



3747 Chase Ave
Miami Beach, FL 33140

DESIGN REVIEW BOARD MEETING #DRB21-0730

MAY 3, 2022

Presentation by Yefim Massarsky Architecture

1111 Kane Concourse Suite 320 Bay Harbor, FL 33154

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www.ymarchitecture.com



AGENDA

- REQUEST TO DEMO EXISTING STRUCTURE AT **3747 CHASE AVE**



AGENDA: REQUEST TO DEMO EXISTING STRUCTURE AT 3747 CHASE AVE



- HAS SOME FEATURES OF THE MEDITERRANEAN REVIVAL - NOT WELL PRONOUNCED
- BULKY RECTANGULAR FRONT CANOPY, DISPROPORTIONAL
- HOTEL LOOK & FEEL, OBSTRUCTS THE VIEW OF THE HOUSE
- PORTE COCHERE SEEMS AS GARAGE
- NO PARTICULARLY SIGNIFICANT FLOOR PLAN
- NOT ARCHITECTURALLY SIGNIFICANT PER REPORT ON HISTORIC RELEVANCE BY NAJEEB CAMPBELL, PROFESSOR OF ARCHITECTURE AND HISTORIC PRESERVATION BOARD MEMBER, CITY OF MIAMI

NEW CONSTRUCTION AT 3747 CHASE AVE



FRONT FACADE

NEW CONSTRUCTION AT 3747 CHASE AVE



FRONT FAÇADE – VIEW 2

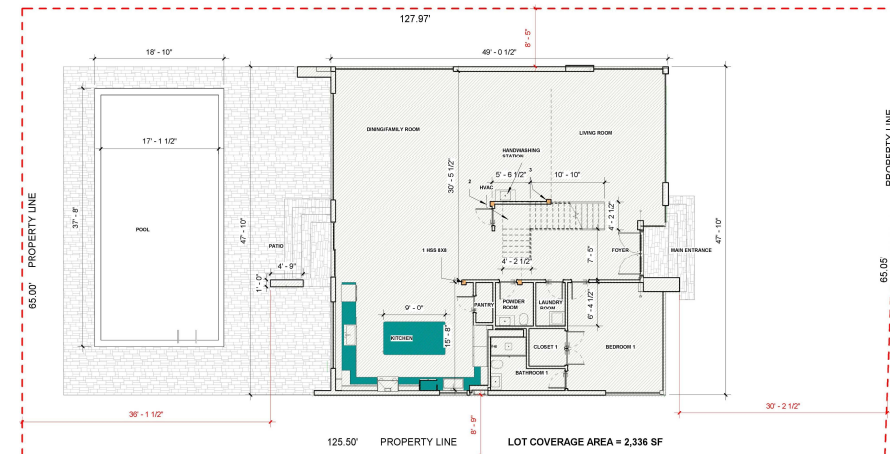
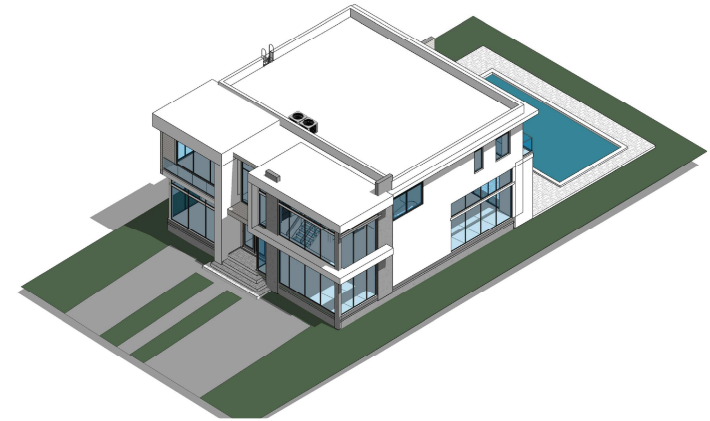
NEW CONSTRUCTION AT 3747 CHASE AVE



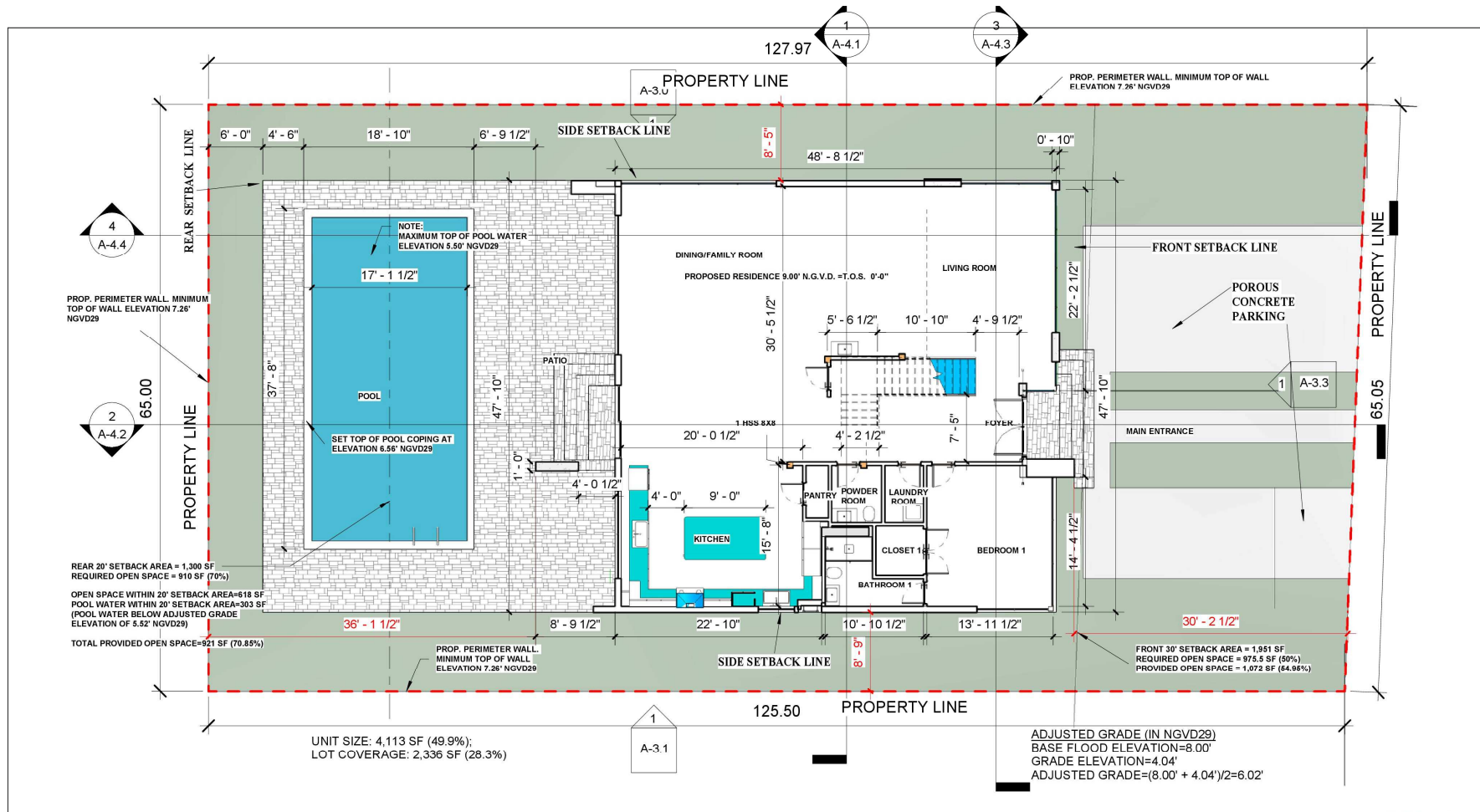
REAR FAÇADE

NEW CONSTRUCTION AT 3747 CHASE AVE

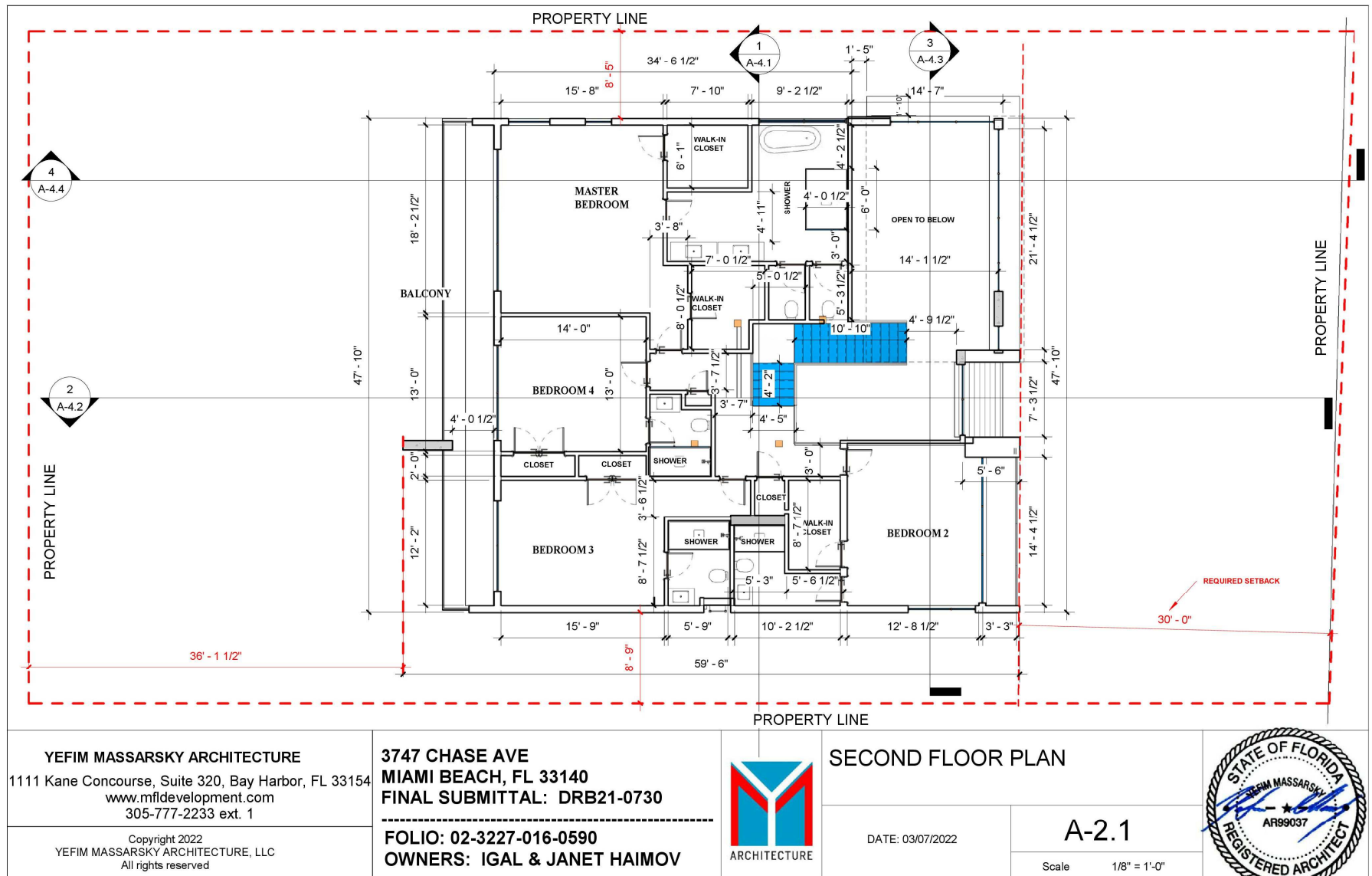
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET				
ITEM #	Zoning Information			
1	Address:	3747 Chase Ave		
2	Folio number(s):	02-3227-016-0590		
3	Board and file numbers :	N/A		
4	Year built:	1928	Zoning District:	RS-4
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:	4.04' NGVD
6	Adjusted grade (Flood+Grade/2):	6.02' NGVD	Free board:	9.0' NGVD
7	Lot Area:	8,231 Sq.Ft		
8	Lot width:	65.00 ft.	Lot Depth:	127.97 ft.
9	Max Lot Coverage SF and %:	2,469.3 sf. (30%)	Proposed Lot Coverage SF and %:	2,336 sf. (28.3%)
10	Existing Lot Coverage SF and %:	4,346 sf (52%)	Lot coverage deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	1,072 sf (54.95% of 1,951 sf)	Rear Yard Open Space SF and %:	921 sf. (70.8% of 1,300 sf)
12	Max Unit Size SF and %:	4,115.5 sf (50%)	Proposed Unit Size SF and %:	4,113 sf. (50%)
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size:	2,316 sf.
14	Existing Second Floor Unit Size:		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	1,797 sf.
15			Proposed Second Floor Unit Size SF and %:	1,797 sf. (77%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A
		Required	Existing	Proposed
17	Height:	24 ft.	N/A	24 ft
18	Setbacks:			
19	Front First level:	20 ft.	N/A	30 ft.
20	Front Second level:	30 ft.	N/A	30 ft.
21	Side 1:	7.5 ft.	N/A	8.42 ft.
22	Side 2 or (facing street):	8.75 ft.	N/A	8.75 ft.
23	Rear:	20 ft.	N/A	36.12 ft.
	Accessory Structure Side 1:		N/A	N/A
24	Accessory Structure Side 2 or (facing street) :		N/A	N/A
25	Accessory Structure Rear:		N/A	N/A
26	Sum of Side yard :	16.25 ft.	N/A	17.17 ft.
27	Located within a Local Historic District?			No
28	Designated as an individual Historic Single Family Residence Site?			No
29	Determined to be Architecturally Significant?			No
Notes:				
If not applicable write N/A				
All other data information should be presented like the above format				



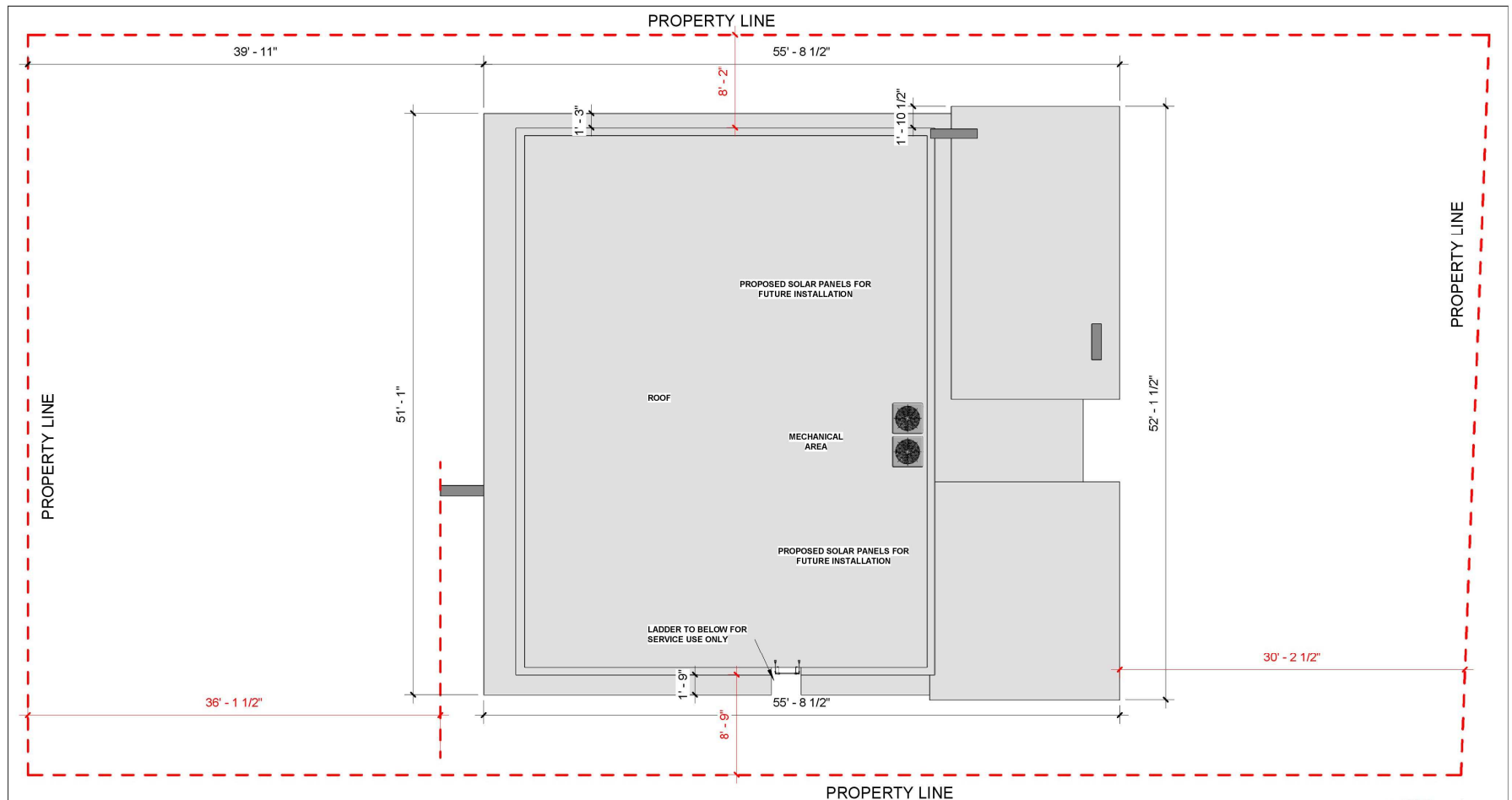
- *Request the waiver for compliance with section Sec. 142-105(b)(4)© for 2nd front elevation.
- Proposed lot coverage exceeds 25%
 - 35% of 2nd floor front elevation is not set back a minimum of 5 feet from the required setback



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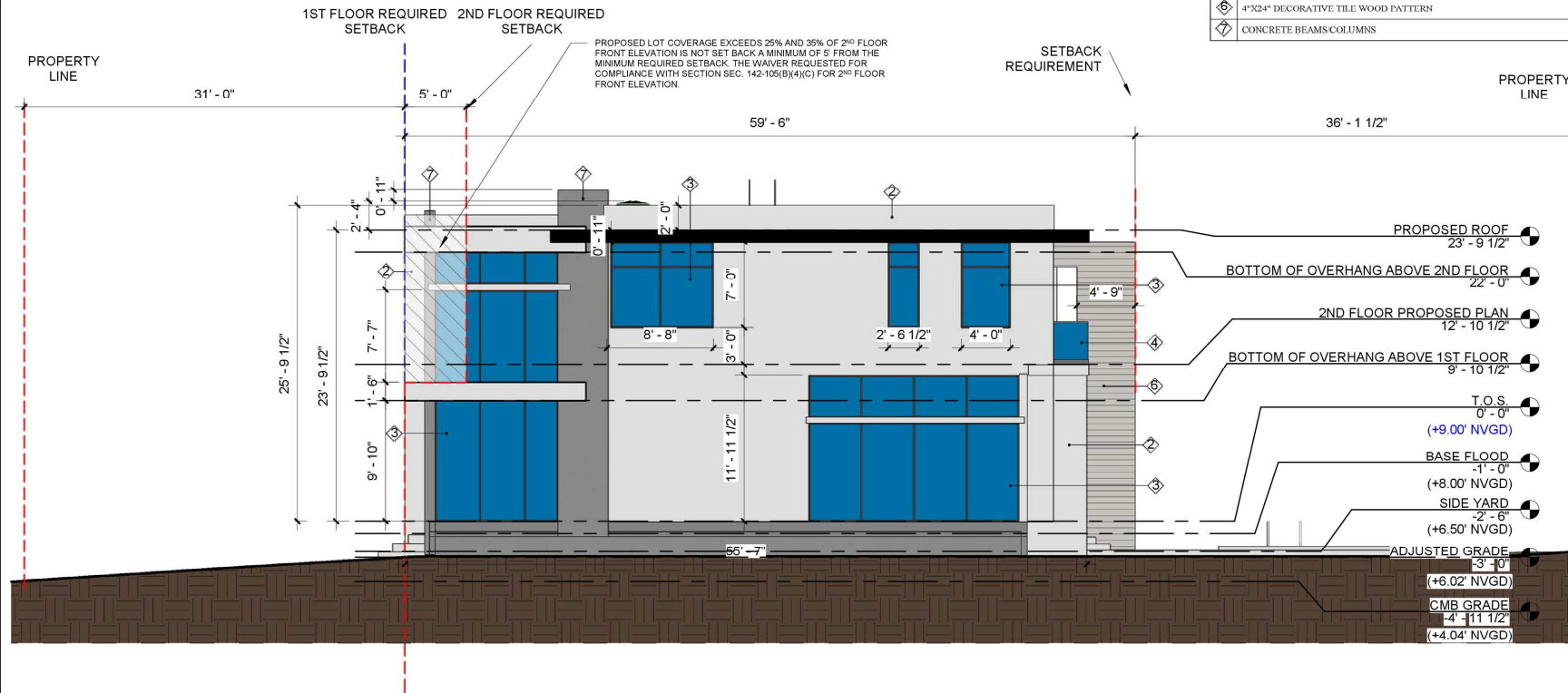


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FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42" A.F.F.
⑤	STEEL BEAMS/COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH
⑥	4"X24" DECORATIVE TILE WOOD PATTERN
⑦	CONCRETE BEAMS/COLUMNS



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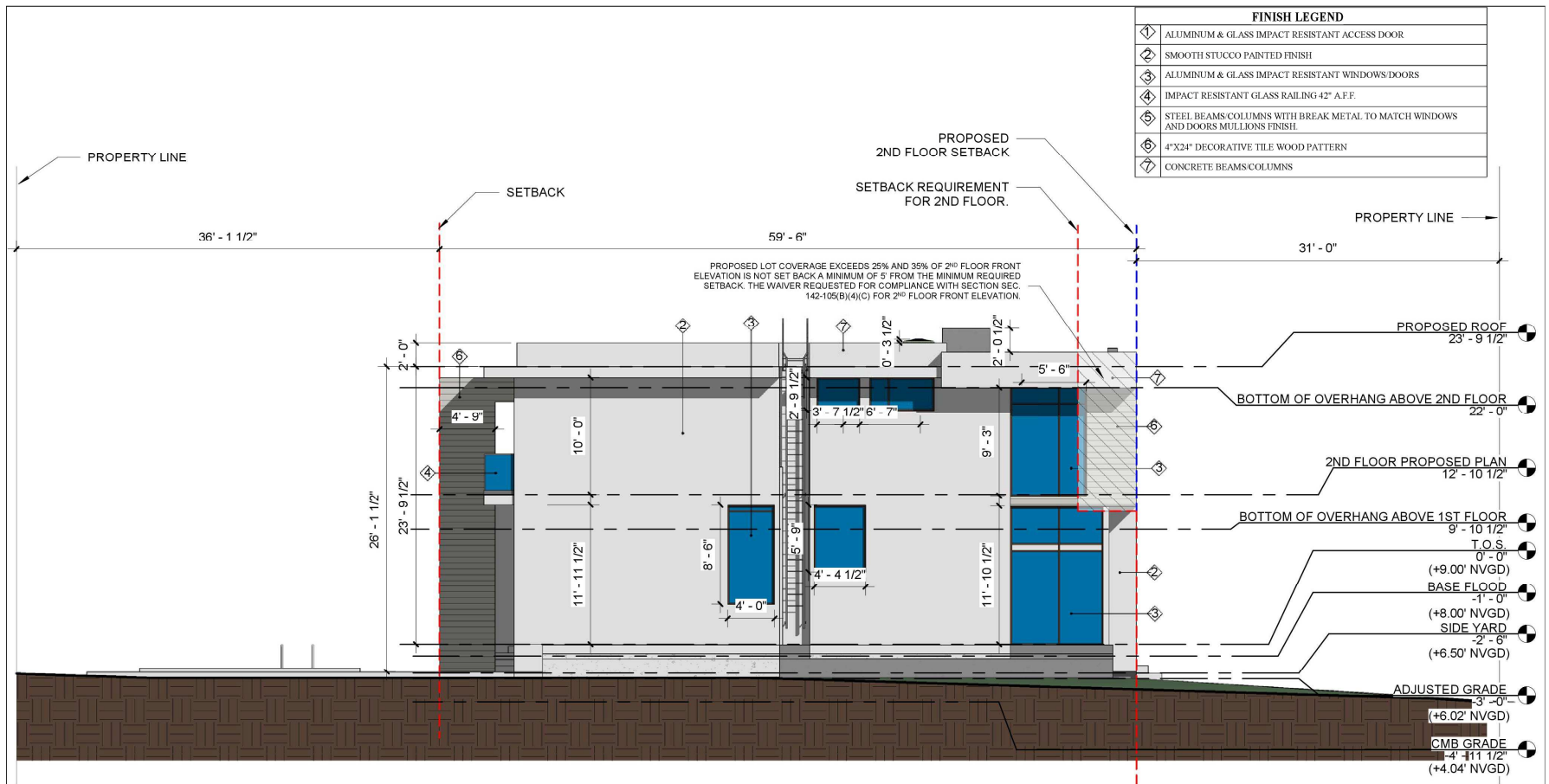
SOUTH ELEVATION

DATE: 03/07/2022

A-3.0

Scale 1/8" = 1'-0"

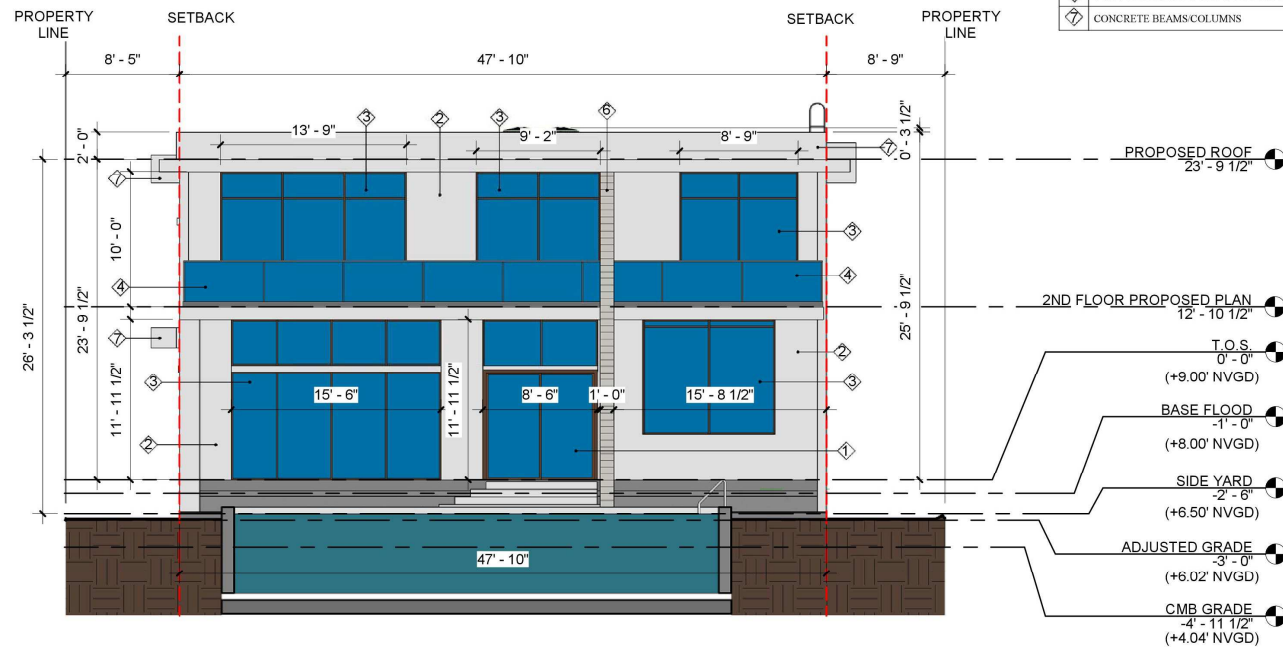




FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42\" A.F.F.
⑤	STEEL BEAMS/COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH
⑥	4\"X24\" DECORATIVE TILE WOOD PATTERN
⑦	CONCRETE BEAMS/COLUMNS

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			DATE: 03/07/2022 <div style="display: flex; justify-content: space-between;"> A-3.1 Scale 1/8" = 1'-0" </div>	

FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42" A.F.F.
⑤	STEEL BEAMS/COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH
⑥	4"X24" DECORATIVE TILE WOOD PATTERN
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EAST ELEVATION

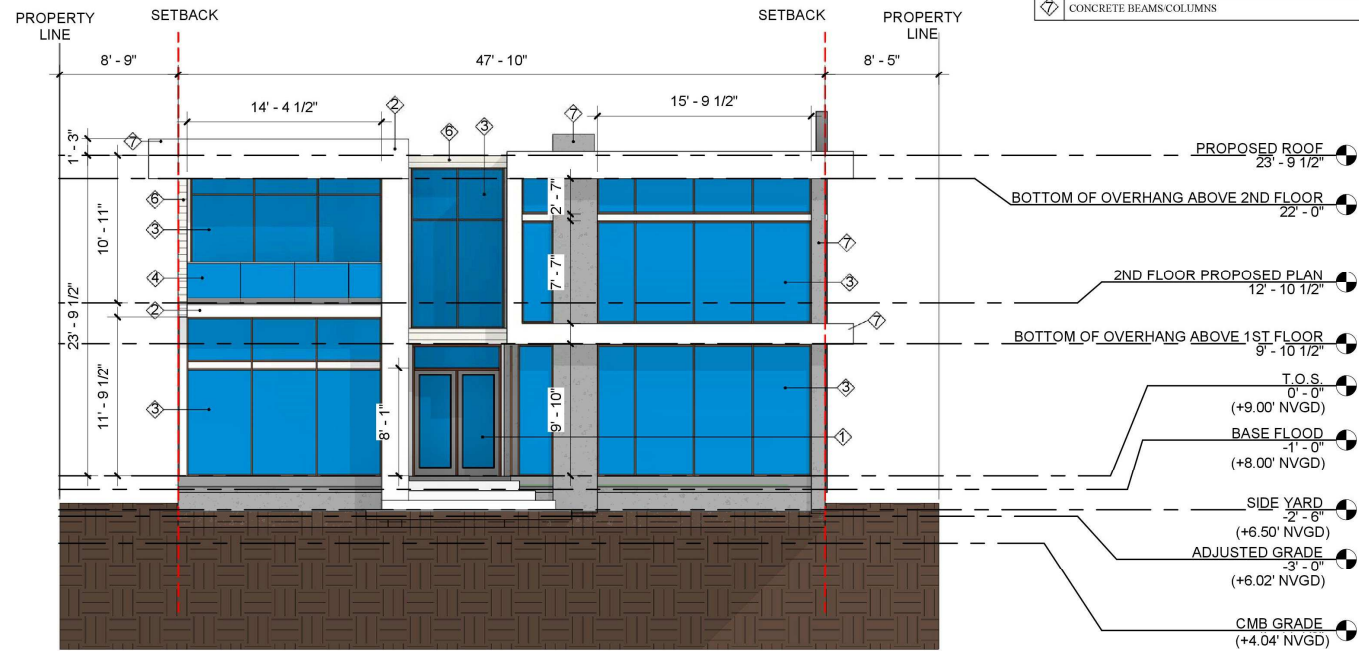
DATE: 03/07/2022

A-3.2

Scale 1/8" = 1'-0"



FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42" A.F.F.
⑤	STEEL BEAMS/COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH
⑥	4"X24" DECORATIVE TILE WOOD PATTERN
⑦	CONCRETE BEAMS/COLUMNS



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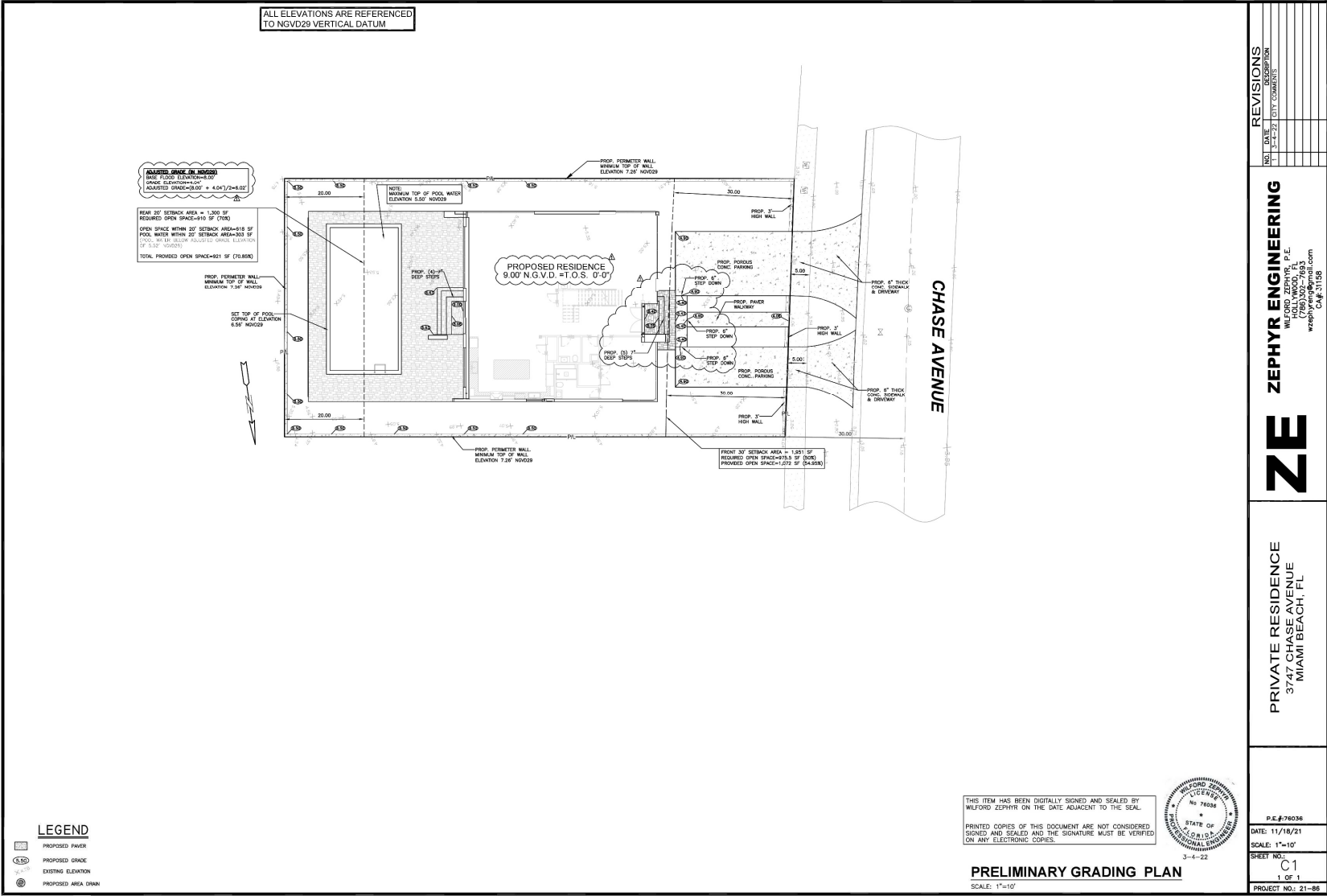
WEST ELEVATION

DATE: 03/07/2022

A-3.3

Scale 1/8" = 1'-0"





GENERAL NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. For City of Fort Lauderdale 305.966.1111 or 954-588-9000. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and/or dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All linerrock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Soil 1.5-2" topsoil comes furnished.

All burp, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flare or slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant nursery periods. Every watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 100% overlap. Each system shall be installed with an operational rain sensor and shut inhibitor.

No fertilizers are required.

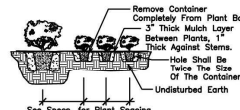
All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3' away from the trunk/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

Please refer to the planting details for a graphic representation of the above notes.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days after final acceptance by the owner or owner's representative.

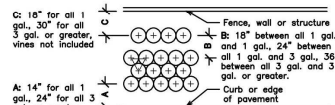
City of Miami Beach

Section 126.6 (b) Table A			
Required Site Trees RS-4 Zoning & Max. Lawn Area			
Event Year	Required	Provided	
Year 1	3	3	
Year 2	3	3	
Year 3	3	3	
Section 126.6 (c)			
Required Site Shrubs at 18-24" & Large Shrubs or Small Trees at 6"x4"			
Event Year	Required	Provided	
Year 1	1,565	1,500	
Year 2	1,565	1,500	
Year 3	1,565	1,500	
Section 126.6 (d)			
Required Site Trees at 18-24" & Large Shrubs or Small Trees at 6"x4"			
Event Year	Required	Provided	
Year 1	60	168	
Year 2	60	168	
Year 3	60	168	
Section 126.6 (e)			
1 Street Tree Required Each 20' L.F. on average (min 12" DB, 4' G, 3" Cal.)			
Event Year	Required	Provided	
Year 1	3	3	
Year 2	3	3	
Year 3	3	3	



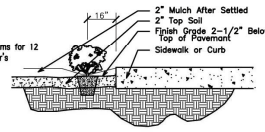
SHRUB PLANTING DETAIL

See Specs. for Plant Spacing



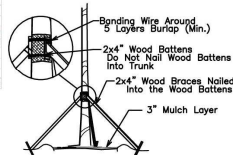
TYPICAL PLANT SPACING DETAIL

NTB



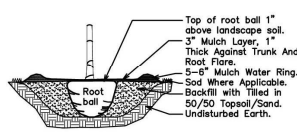
SHRUB INSTALLATION DETAIL

NTB



TREE/PALM BRACING DETAIL

NTB



TREE/PALM PLANTING DETAIL

NTB

3747 CHASE AVE. SITE PLAN INFORMATION

Current Zoning Designation:	RS-4 Sing. Family Residential
Current Land Use Designation:	SFR
Gross Site Area:	8,231 Sq. Feet = 0.18 Acres
Proposed Building Area:	2,316 Sq. Feet = 28.1%
Pourous Conc. Driveway Area:	470 Sq. Feet = 5.7%
Conc. Walkways / Patio / Wall:	2,316 Sq. Feet = 28.1%
Total Impervious Areas:	5,102 Sq. Feet = 62.0%
Total Permeous/Landscape Areas:	3,129 Sq. Feet = 38.0%

PLANT LIST

Code	Drought	Qty.	Botanical Name / Common Name	Specifications
PROPOSED TREES				
CR	(N)	2	Clusia rosea / Pitch Apple	12 Ht. x 6 Spr. 2 DBH Sing. Trunks
LS	(N)	2	Lythraea salicaria / Wink Tamarind	12 Ht. x 6 Spr. 2 DBH Sing. Trunks
LI	(N)	1	Lagerstroemia indica / Crape Myrtle Muskogee	12 Ht. x 6 Spr. 2 DBH Sing. Trunks
TH	(N)	3	Taxodium heterophyllum / Pink Trumpet Tree	12 Ht. x 6 Spr. 4 CT, 2 DBH Sing. Trunks
		8	Total Trees	
		50%	Native Trees	
SMALL TREES				
LL	(N)	3	Ligustrum lucidum / Ligustrum Tree	6x4
MF	(N)	3	Myrsine fragrans / Simpson Stopper	6x4
		6	Total Trees	
		3	Native Trees	
		50%	Native Trees	
PROPOSED ACCENTS / SHRUBS				
CRS	(N)	64	Clusia rosea / Small Leaf Clusia	3 Gal. 18-24/24/ 30/OC
PMP	(N)	90	Podocarpus macrophyllus / Podocarpus	3 Gal. 18-24/24/ 24/OC
TDF	(N)	14	Trisetum dactyloides / Fakahatchee Grass	3 Gal. 18-24/24/ 30/OC
		168	Total Shrubs	
		78	Native Shrubs	
		46%	Native Shrubs	
GROUND COVER / TURF / MISCELLANEOUS				
UME	(N)	50	Utricularia muscari sp. / Utricularia Evergreen Giant	1 Gal. 12" OA 12" OC
SOO	(N)	GP	Qu. Aquilegia Palmstro	0.50 application - no gaps between stems
SOIL	(N)		Sand / Topsoil	Per Planting Details
		78	Total Ground Cover / Turf / Miscellaneous	
		14	Florida Native Plant Species	
		14	Moderate Drought Tolerance	
		14	Very Drought Tolerant	



THOMAS WHITE, ASIA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
twhite@elliecah.net
954-233-2205

REVISIONS

No.	Description

Landscape Plan for Design Review Board
Igal and Janet Haimov Residence
3747 Chase Avenue
Miami Beach, Florida



DRAWN:
THE
CHECKED:
DATE:
3/3/22
SCALE: 1/4"=1'-0"
Sheet No.
L-1
Sheet 1 of 1