

NEW SINGLE FAMILY RESIDENCE - DRB22-0819 FINAL SUBMITTAL

DRB PRE-APPLICATION MEETING: MARCH 10TH, 2022
DRB FIRST CSS SUBMITTAL: MARCH 21ST, 2022
FINAL DRB CSS SUBMITTAL: APRIL 11TH, 2022
DESIGN REVIEW BOARD MEETING: JUNE 7TH, 2022

4635 ALTON ROAD

MIAMI BEACH, FLORIDA

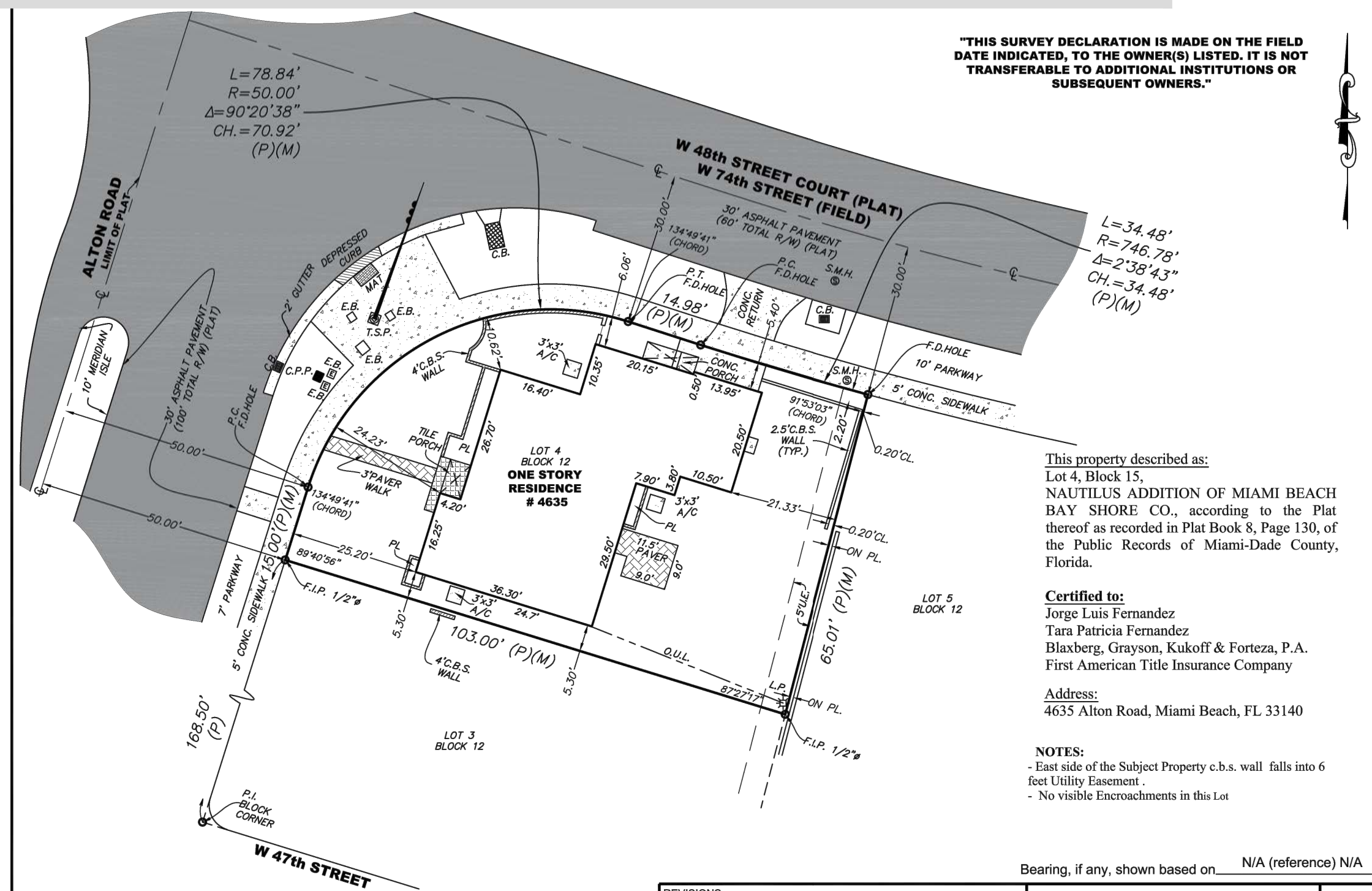
CLIENT	ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	LANDSCAPING	CIVIL ENGINEER	SCOPE OF WORK
JORGE FERNANDEZ 4635 ALTON ROAD MIAMI BEACH FL, 33140	CALIL ARCHITECTS 1728 CORAL WAY #102 MIAMI, FL 33145 (305) 860-9600 AR00003383	IGNACIO CALVO P.E. 1800 SW 21 AVE MIAMI, FL 33145 (305) 648-9008 FE 56155	MENDEZ PROFESSIONAL ENGINEERING CORP 1385 CORAL WAY #206 MIAMI, FL 33145 (305) 854-9824 FE 53288	LAURA LLERENA & ASSOCIATES 13710 SW 128 ST #201 MIAMI, FL 33186 (305) 256-1155	CHEROKEE CONSULTING, INC 5821 SW 51 TER MIAMI, FL 33155 (305) 205-2361 FE 35944	- DEMOLITION OF A SINGLE FAMILY RESIDENCE - NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE



INDEX OF DRAWINGS

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4635 ALTON ROAD MIAMI BEACH, FLORIDA



This property described as:
Lot 4, Block 15,
NAUTILUS ADDITION OF MIAMI BEACH
BAY SHORE CO., according to the Plat
thereof as recorded in Plat Book 8, Page 130, of
the Public Records of Miami-Dade County,
Florida.

Certified to:
Jorge Luis Fernandez
Tara Patricia Fernandez
Blaxberg, Grayson, Kukoff & Forteza, P.A.
First American Title Insurance Company

Address:
4635 Alton Road, Miami Beach, FL 33140

NOTES:
- East side of the Subject Property c.b.s. wall falls into 6 feet Utility Easement .
- No visible Encroachments in this Lot

Bearing, if any, shown based on N/A (reference) N/A

REVISIONS:				Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.
FLOOD ZONE AE	COMM. No. 120651	PANEL No. 0309	SUFFIX: L	
F.I.R.M.DATE 09 / 11 / 09	F.I.R.M.INDEX 09 / 11 / 09	BASE ELEV. + 7' N.G.V.D.		

BOUNDARY SURVEY.
I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

[Signature]
RENE AIGUESVIVES 10/29/21
PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

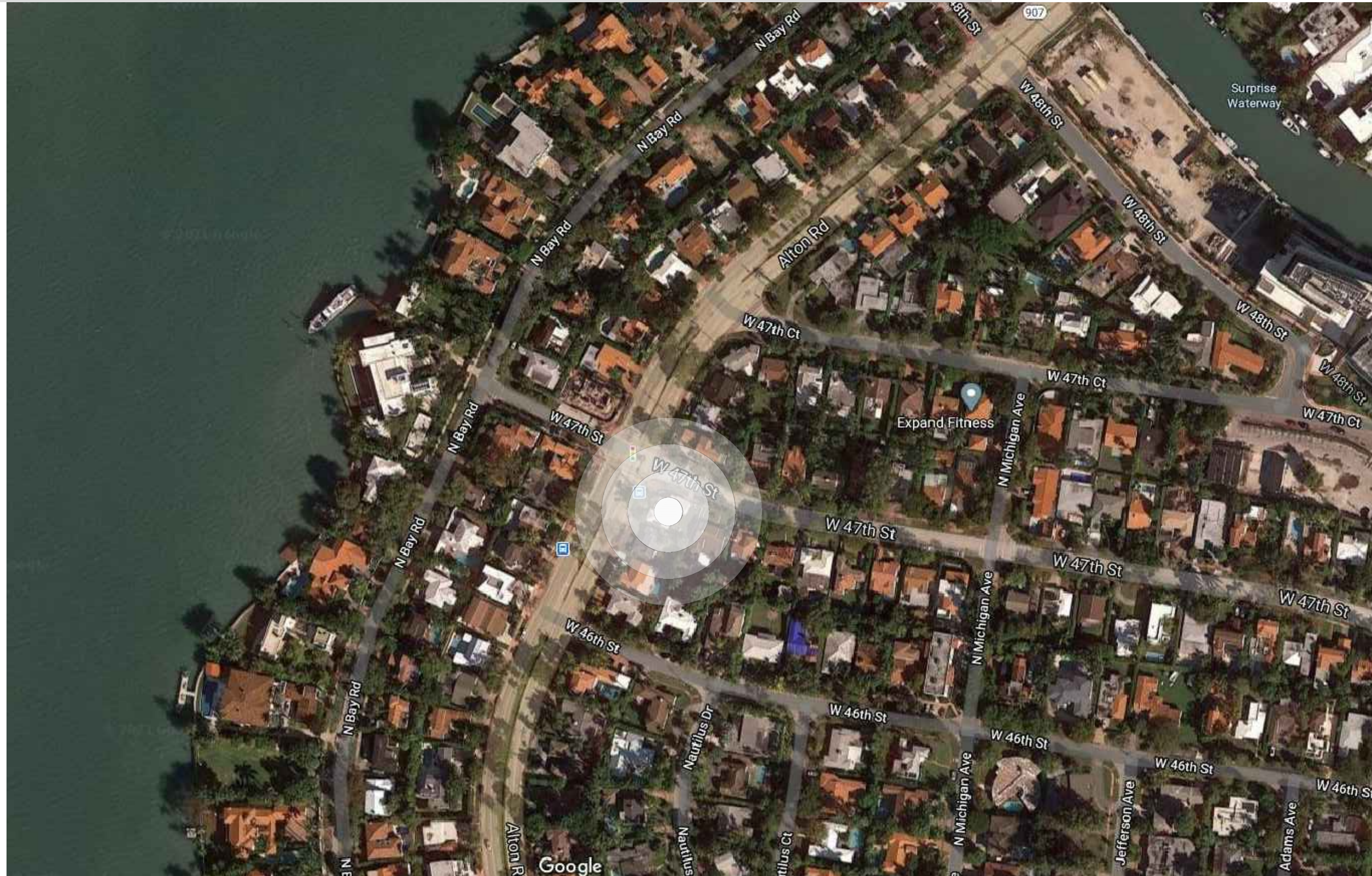
Alvarez, Aiguesvives and Associates, Inc.
Surveyors, Mappers and Land Planners
9789 Sunset Drive, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date	Scale:	Drawn by:	Drwg. No.
10/29/21	1"= 20'	D.G.	21-23263

NOTE:
a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined.
b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
c) Code restrictions and title search not reflected in this survey
d) Underground utilities, improvements, footings and encroachments, if any not located.
e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

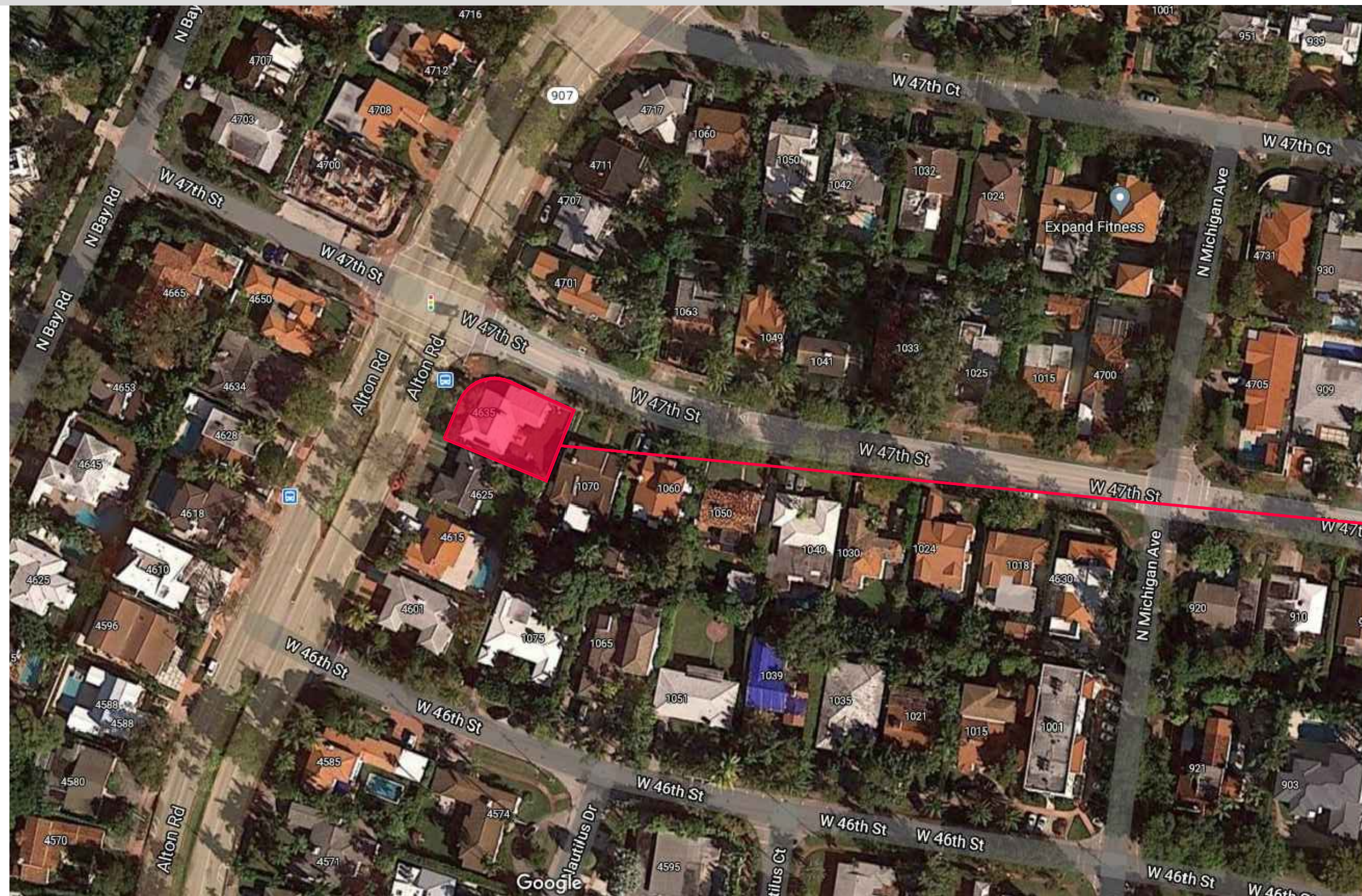
LEGEND	
A	= Arc
ASPH	= Asphalt
BM	= Bench Mark
BRG	= Bearing
CATV	= Catch basin
CB	= Catch basin
CBS	= Concrete Block Structure
CH	= Chord
Chatta	= Chattahoochee
CL	= Center Line
CLF	= Chain Link Fence
CL	= Clear
CONC	= Concrete
D	= Delta
Ø	= Diameter
DH	= Drill Hole
DME	= Drainage & Maintenance Easement
E.B.	= Electric Box
Enc.	= Encroachment
F.F.	= Finish Floor
F.H.	= Fire Hydrant
F.I.R.	= Found Iron Rebar
FPL	= Florida Power & Light
F.I.P.	= Found Iron Pipe
FD	= Found
L.P.	= Light Pole
M	= Measured
M.F.	= Metal Fence
M.H.	= Manhole
M	= Monument Line
MON.	= Monument
N/A	= Not Applicable
N/D	= Nail & Disc
NTS	= Not to Scale
O/S	= Offset
O.U.L.	= Overhead Utility Lines
OH	= Overhang
P	= Plat
PB	= Plat Book
PC	= Point of Curvature
P.C.C.	= Point of Compound Curvature
PCP	= Permanent Control Point
PG	= Page
P.I.	= Point of Intersection
PL	= Property Line
PL	= Planter
P.O.B.	= Point of Beginning
P.O.C.	= Point of Commencement
P.P.	= Power Pole
P.R.M.	= Permanent Reference Monument
P.R.C.	= Point of Reverse Curvature
PT	= Point of Tangency
R	= Radius
R/R	= Railroad
PSM	= Professional Surveyor Mapper
R/W	= Right-of-Way
SWK	= Sidewalk
Sec.	= Section
(TYP)	= Typical
T	= Tangent
U.E.	= Utility Easement
W.F.	= Wood Fence
W.M.	= Water Meter
W.V.	= Water Valve
+	= Denotes Spot Elevations Taken

LOCATION MAP



4635 ALTON ROAD MIAMI BEACH, FLORIDA

NEIGHBORHOOD ANALYSIS



4635 ALTON ROAD



NEIGHBORHOOD ANALYSIS - KEY PLAN

4635 ALTON ROAD MIAMI BEACH, FLORIDA

NEIGHBORHOOD ANALYSIS



4635 ALTON ROAD MIAMI BEACH, FLORIDA



NEIGHBORHOOD ANALYSIS - EXISTING SITE

N.T.S.



CALIL
ARCHITECTS

AA 26001949

EX-1.03

NEIGHBORHOOD ANALYSIS



4635 ALTON ROAD MIAMI BEACH, FLORIDA



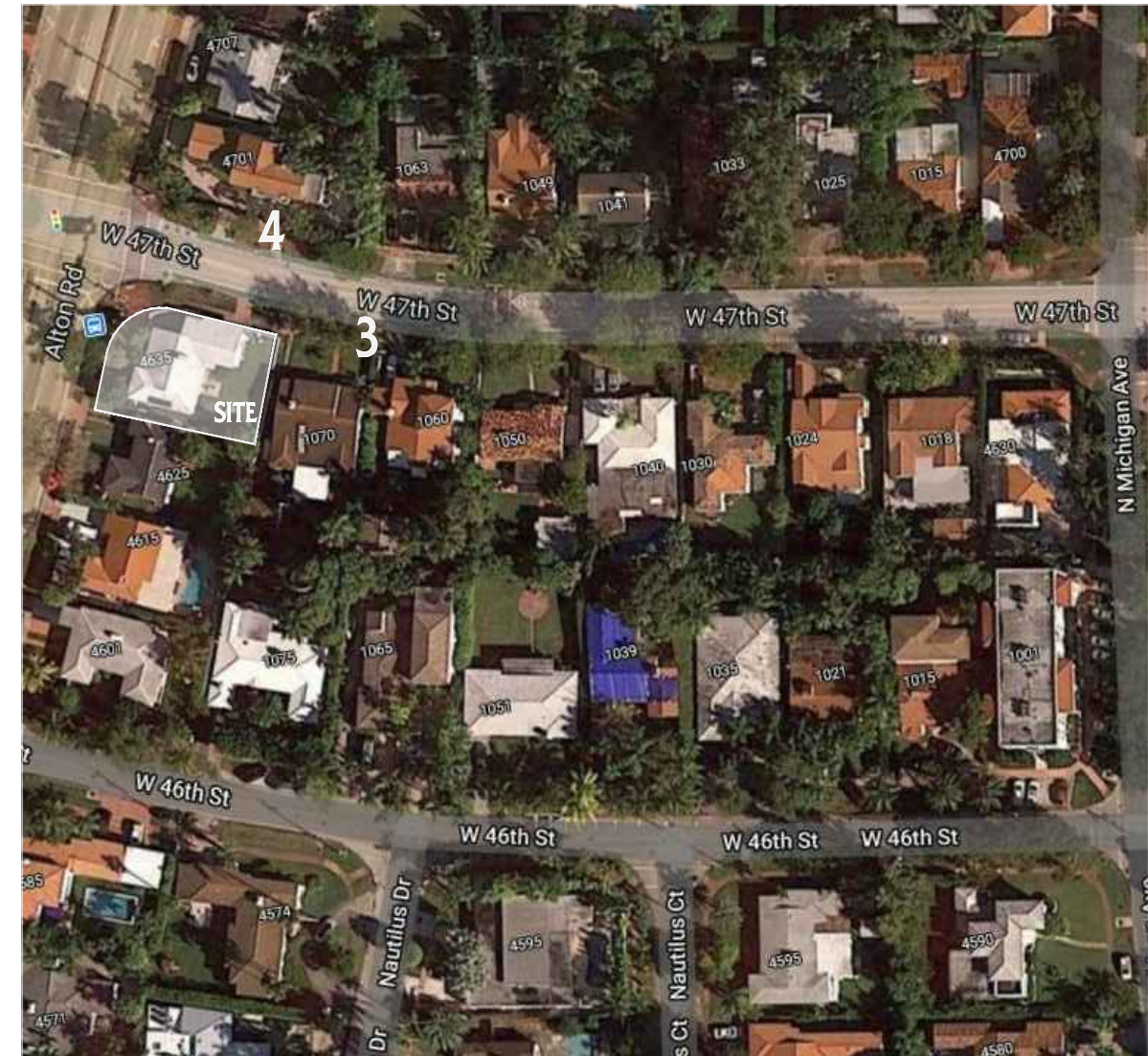
NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES



AA 26001949

EX-1.04

NEIGHBORHOOD ANALYSIS



4635 ALTON ROAD MIAMI BEACH, FLORIDA

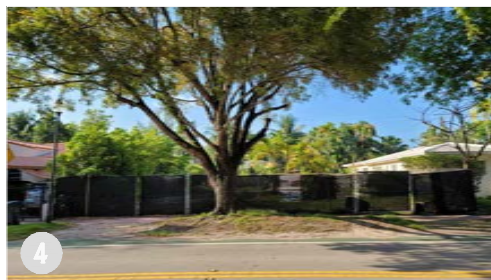


NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES

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ARCHITECTS
AA 26001949

EX-1.05

NEIGHBORHOOD ANALYSIS



4635 ALTON ROAD MIAMI BEACH. FLORIDA



NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES



EX-1.06

ZONING DATA SHEET



Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	4635 ALTON ROAD			
2	Folio number(s):	02-3222-014-1480			
3	Board and file numbers :	DRB22- 0819			
4	Year built:	1941	Zoning District:	RS-4	
5	Based Flood Elevation:	8.00' NGVD	Grade value in NGVD:	3.68' NGVD	
6	Adjusted grade (Flood+Grade/2):	5.84' NGVD	Free board:	1.00'	
7	Lot Area:	6,027 sq ft			
8	Lot width:	65.01'	Lot Depth:	103'	
9	Max Lot Coverage SF and %:	1,808.1 SQ FT (30%)	Proposed Lot Coverage SF and %:	1,703 SQ FT (28.2%)	
10	Existing Lot Coverage SF and %:	2,078 SQ FT (34.4%)	Lot coverage deducted (garage-storage) SF:	398 SQ FT	
11	Front Yard Open Space SF and %:	876 SQ FT (94.2%)	Rear Yard Open Space SF and %:	1,143 SQ FT (87.9%)	
12	Max Unit Size SF and %:	3,013.5 SQ FT (50%)	Proposed Unit Size SF and %:	3,003 SQ FT (49.8%)	
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	1,563 SQ FT	
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A	
15			Proposed Second Floor Unit Size SF and % :	1,440 SQ FT	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A	
		Required	Potential Future	Proposed	Deficiencies
17	Height:	24'-0"		24'-0"	N/A
18	Setbacks:				
19	Front First level:	20'-0"		20'-2"	N/A
20	Front Second level:	30'-0"		40'-6"	N/A
21	Side 1: (Street)	15'-0"		15'-4"	N/A
22	Side 2:	7'-6"		7'-9"	N/A
23	Rear:	20'-0"		21'-4"	N/A
	Accessory Structure Side 1:	7'-6"		N/A	N/A
24	Accessory Structure Side 2:	7'-6"		N/A	N/A
25	Accessory Structure Rear:	7'-6"		N/A	N/A
26	Sum of Side yard :	22'-6"		23'-1"	
27	Located within a Local Historic District?			NO	
28	Designated as an individual Historic Single Family Residence Site?			NO	
29	Determined to be Architecturally Significant?			YES	

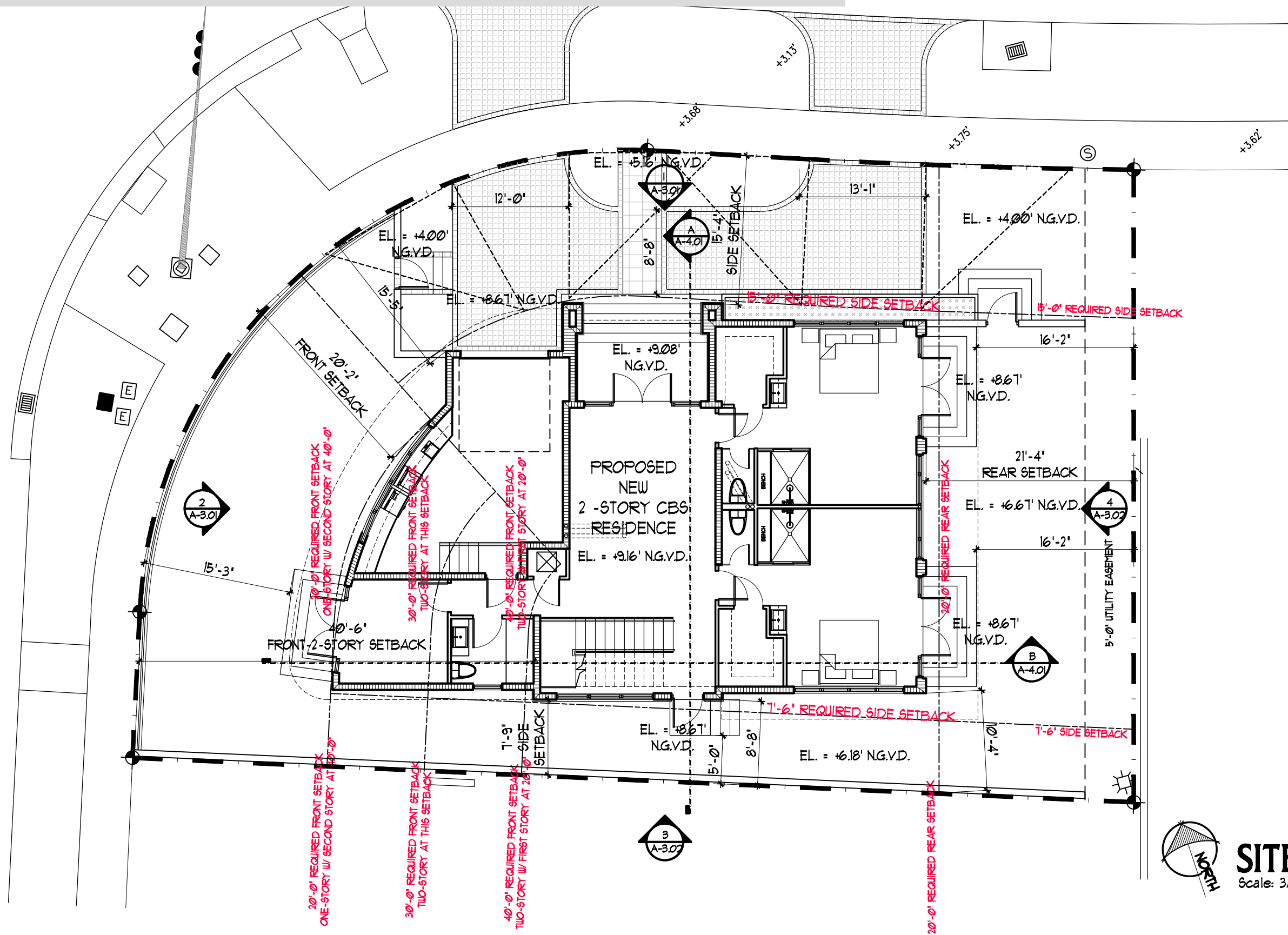
Notes:

If not applicable write N/A
All other data information should be presented like the above format

ZONING DATA SHEET

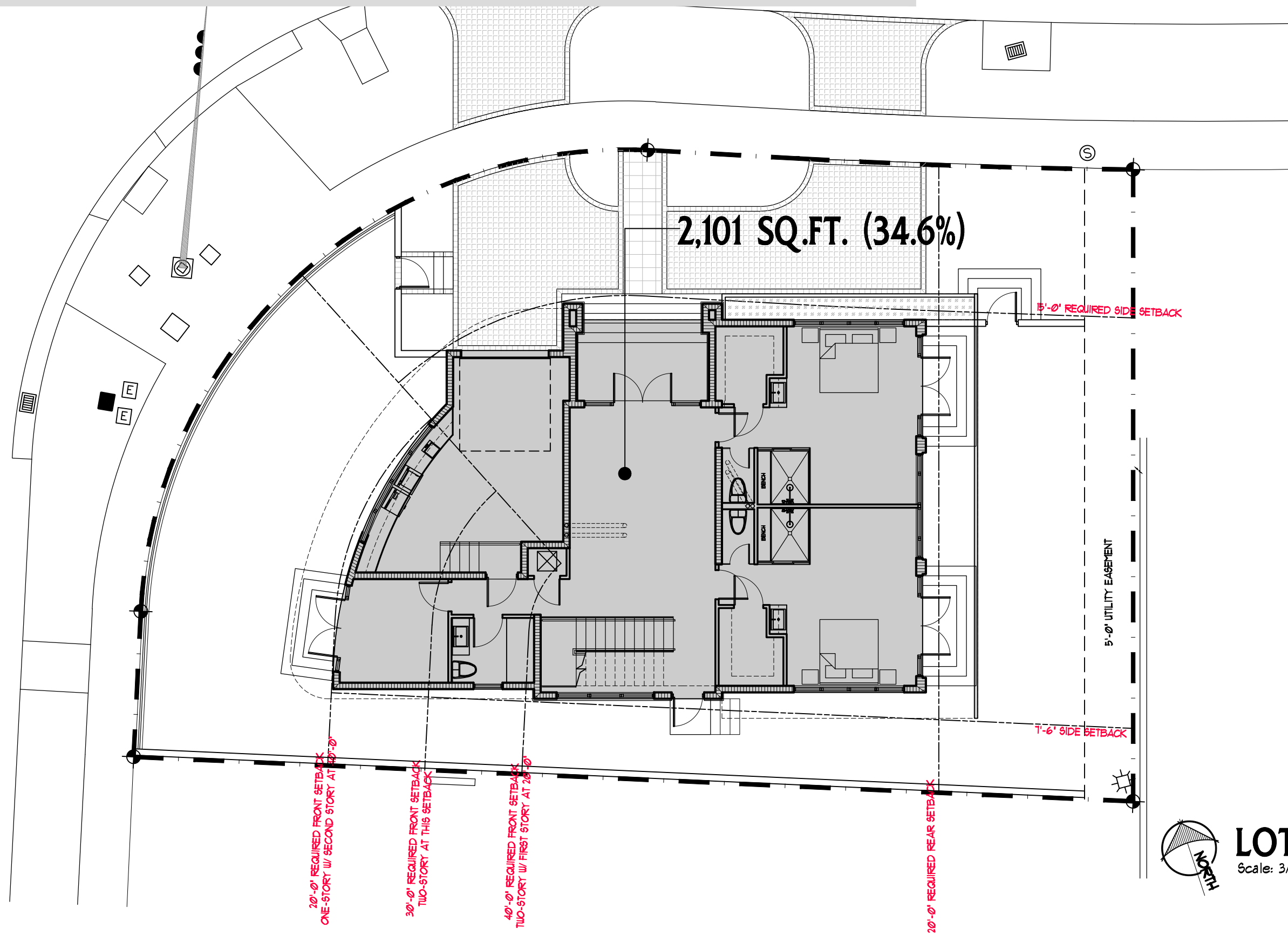
4635 ALTON ROAD MIAMI BEACH. FLORIDA

SITE PLAN

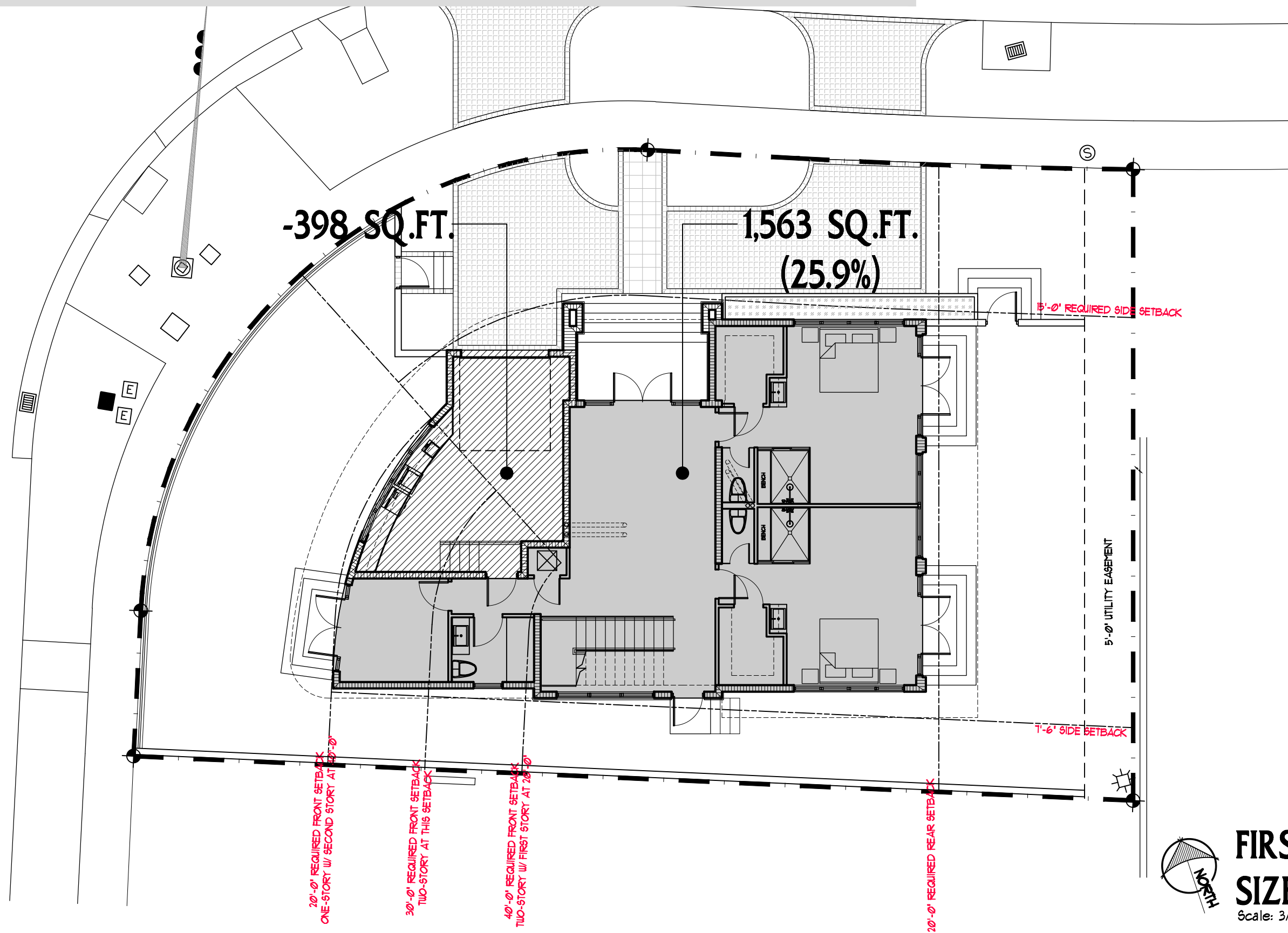


SITE PLAN
Scale: 3/32" = 1'-0"

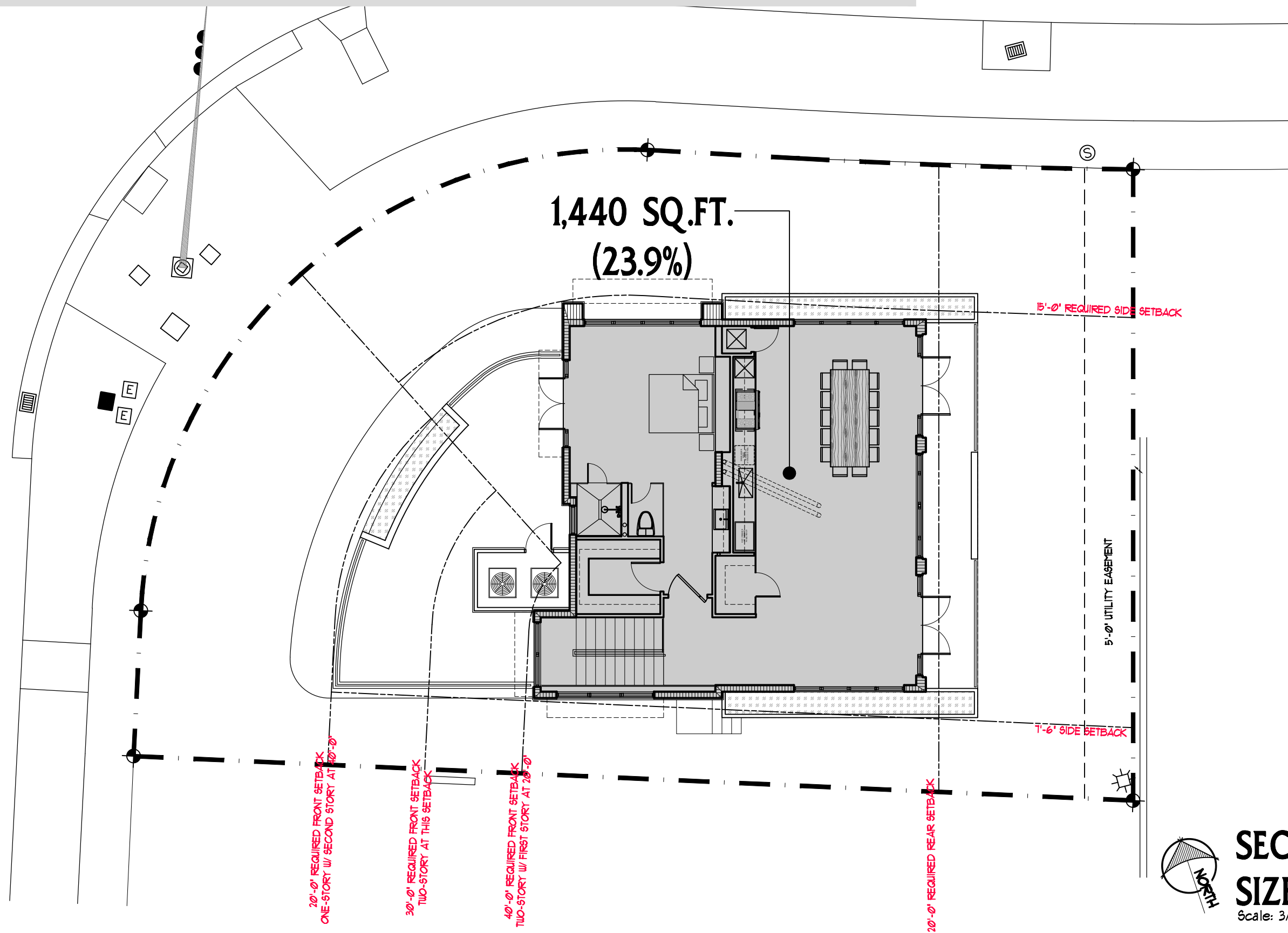
4635 ALTON ROAD MIAMI BEACH, FLORIDA



LOT COVERAGE
Scale: 3/32" = 1'-0"



4635 ALTON ROAD MIAMI BEACH, FLORIDA



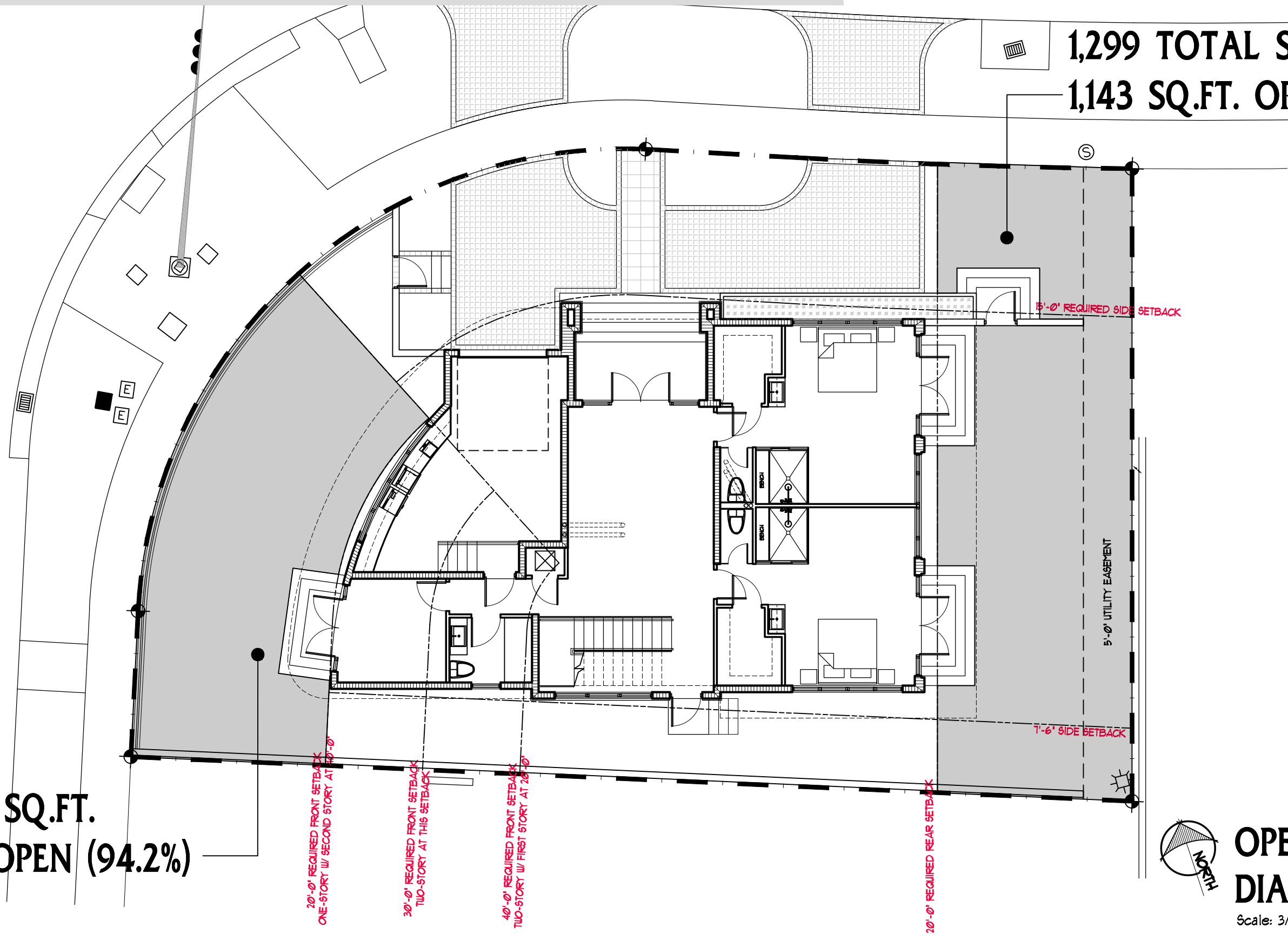
SECOND FLOOR UNIT SIZE DIAGRAM

Scale: 3/32" = 1'-0"

DIAGRAMS

929 TOTAL SQ.FT.
876 SQ.FT. OPEN (94.2%)

1,299 TOTAL SQ.FT.
1,143 SQ.FT. OPEN (87.9%)



4635 ALTON ROAD MIAMI BEACH, FLORIDA

DIAGRAMS

1,257 TOTAL SQ.FT.
578 SQ.FT. (45.9%)

621 TOTAL SQ.FT.
604 SQ.FT. (97.3%)

20'-0" REQUIRED FRONT SETBACK
ONE-STORY W/ SECOND STORY AT 20'-0"

30'-0" REQUIRED FRONT SETBACK
TWO-STORY AT THIS SETBACK

40'-0" REQUIRED FRONT SETBACK
TWO-STORY W/ FIRST STORY AT 20'-0"

20'-0" REQUIRED REAR SETBACK

7'-6" SIDE SETBACK

15'-0" REQUIRED SIDE SETBACK

5'-0" UTILITY EASEMENT



OPEN SPACE
DIAGRAM #2

Scale: 3/32" = 1'-0"

4635 ALTON ROAD MIAMI BEACH, FLORIDA

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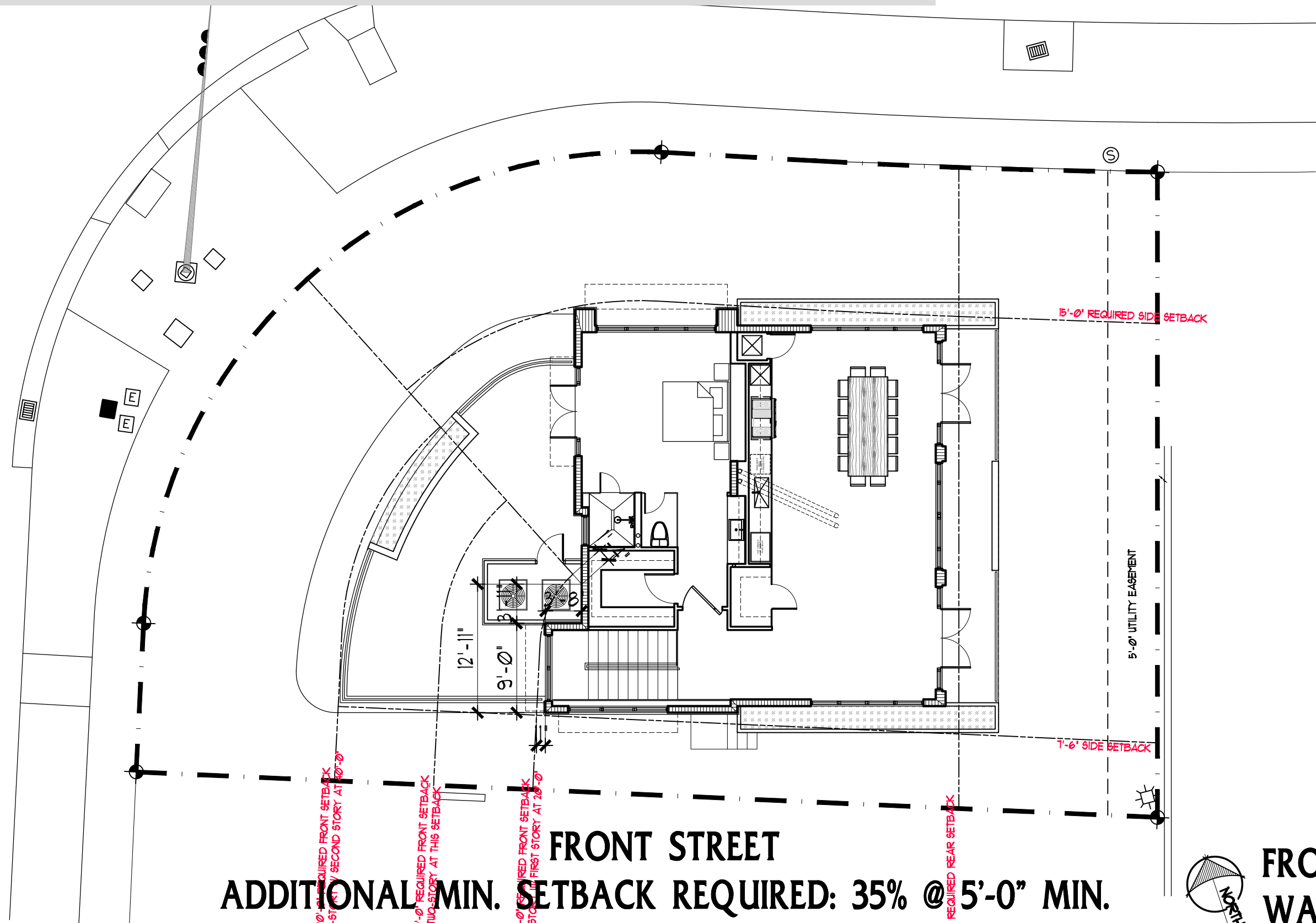
A-1.06



Scale: $3/32" = 1'-0"$

AA 26001949

A-1.07



FRONT STREET
ADDITIONAL MIN. SETBACK REQUIRED: 35% @ 5'-0" MIN.
ADDITIONAL MIN. SETBACK PROVIDED: 0% @ 5'-0" MIN.



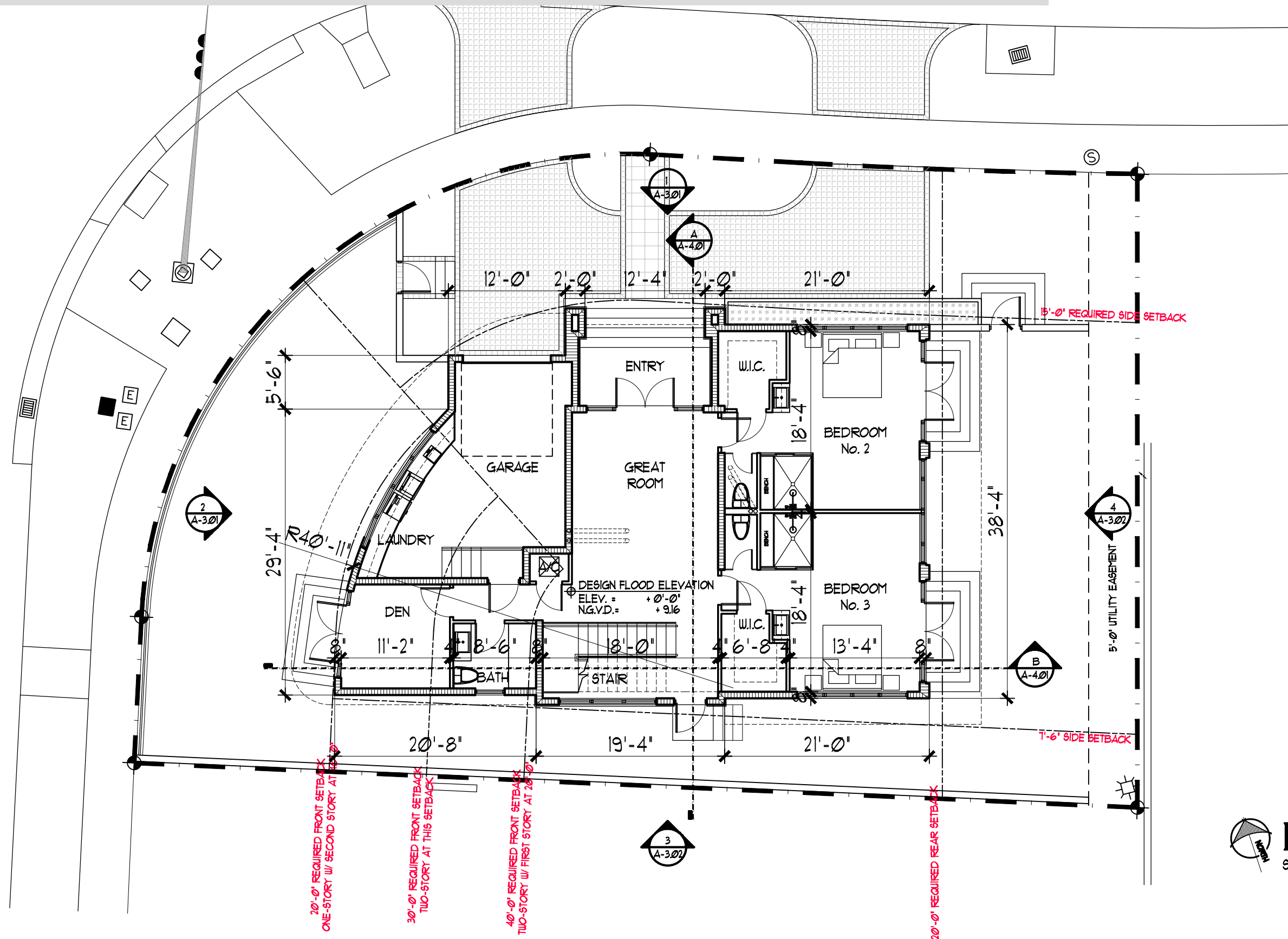
**FRONT STREET
WAIVER DIAGRAM**
 Scale: 3/32" = 1'-0"

4635 ALTON ROAD MIAMI BEACH, FLORIDA



AA 26001949

A-1.08



FIRST FLOOR PLAN

Scale: 3/32" = 1'-0"

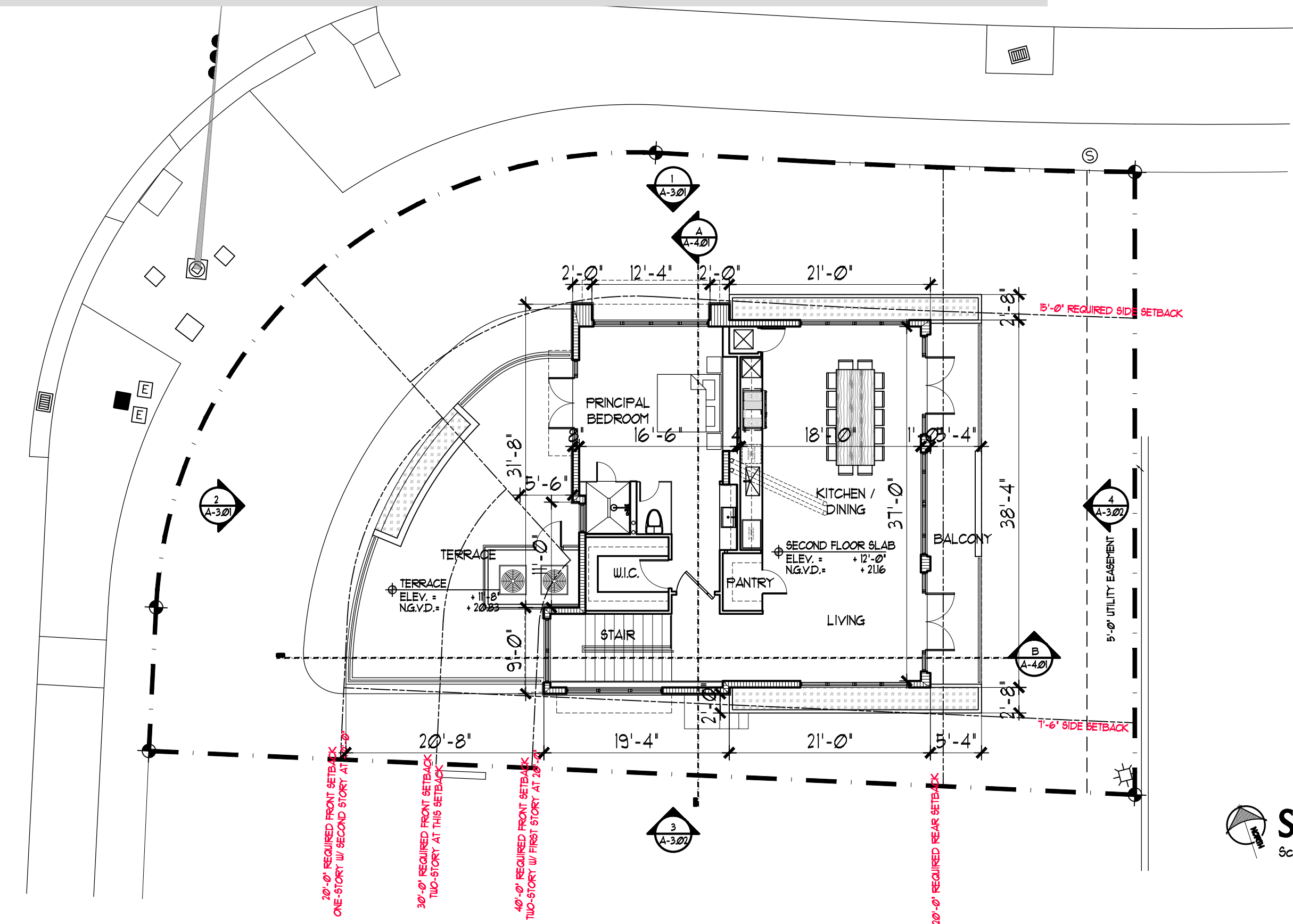
4635 ALTON ROAD MIAMI BEACH, FLORIDA



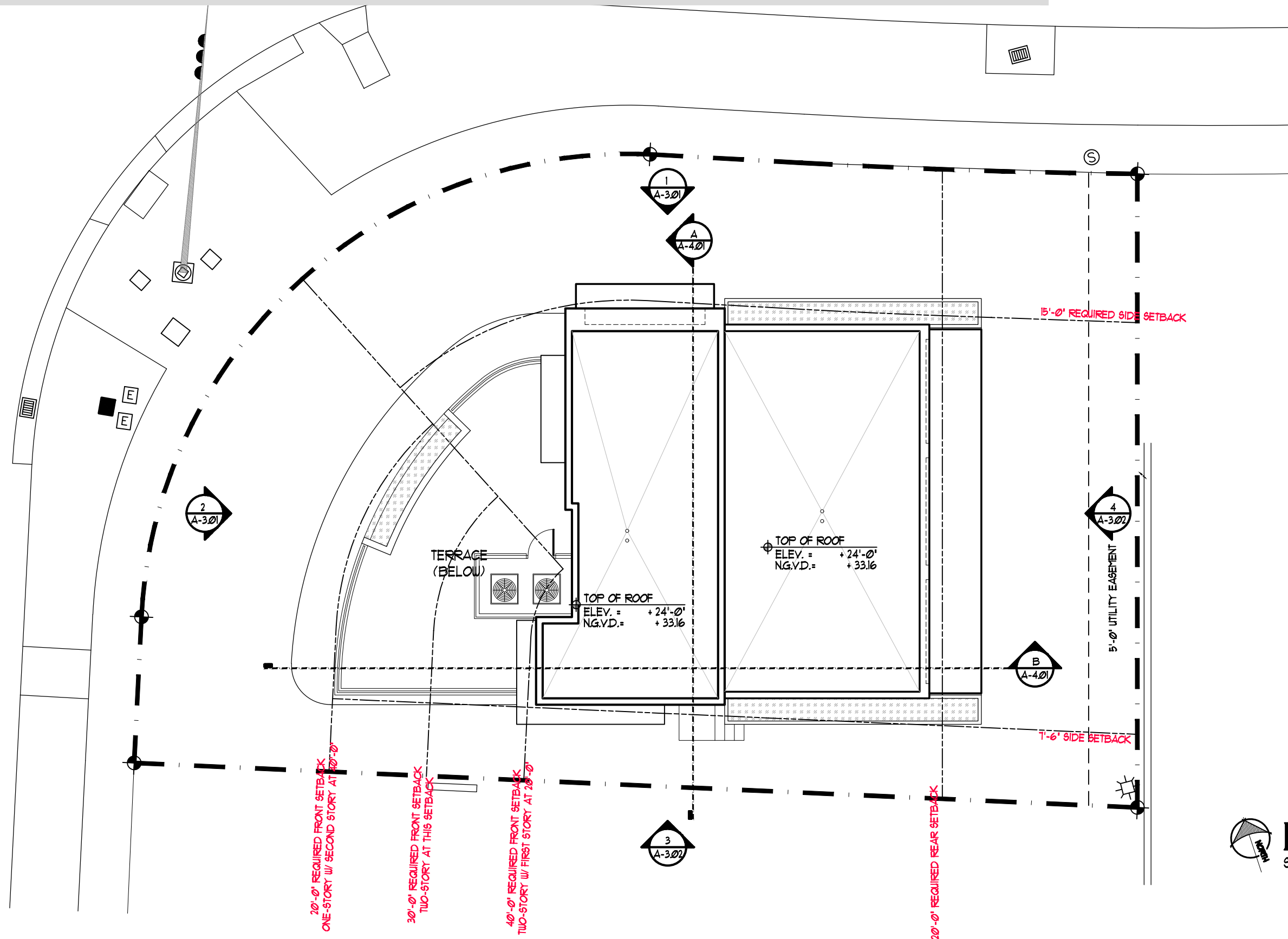
CALIL
ARCHITECTS

AA 26001949

A-2.01



 **SECOND FLOOR PLAN**
Scale: 3/32" = 1'-0"



ROOF PLAN
Scale: 3/32" = 1'-0"

4635 ALTON ROAD MIAMI BEACH, FLORIDA

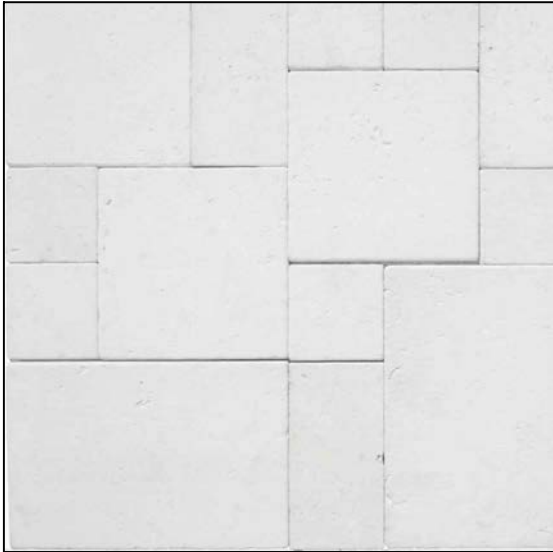
MATERIAL PALETTE



LM1 LIMESTONE



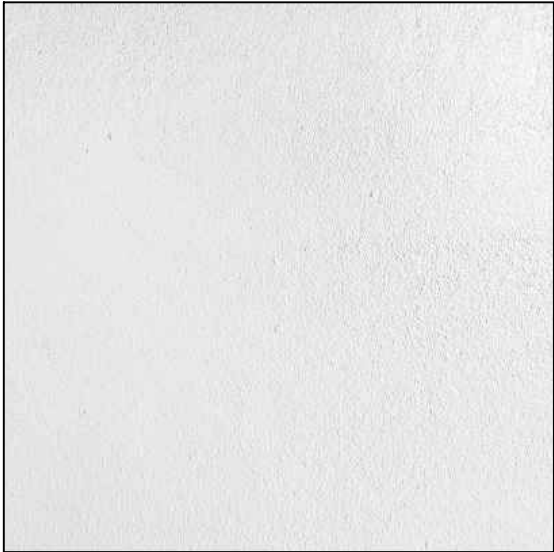
BSL VERTICAL BUSH HAMMER
SCORE LIMESTONE



LM2 WHITE
LIMESTONE



MT BRONZE METAL
FINISH

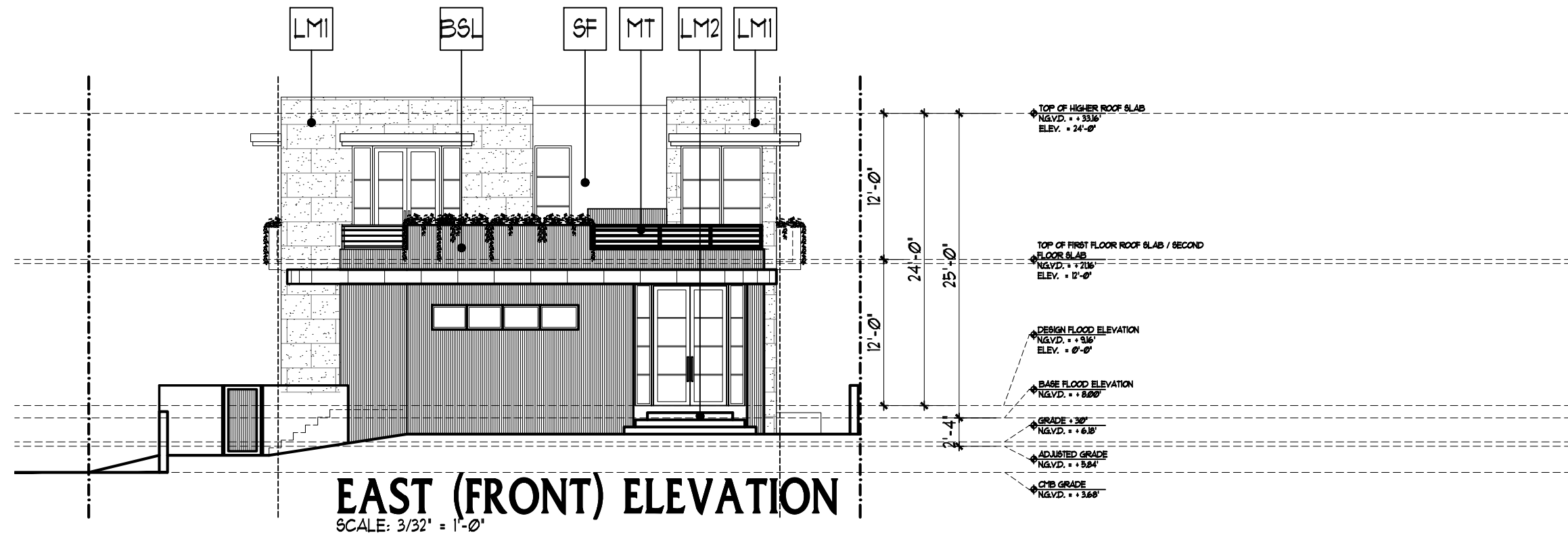
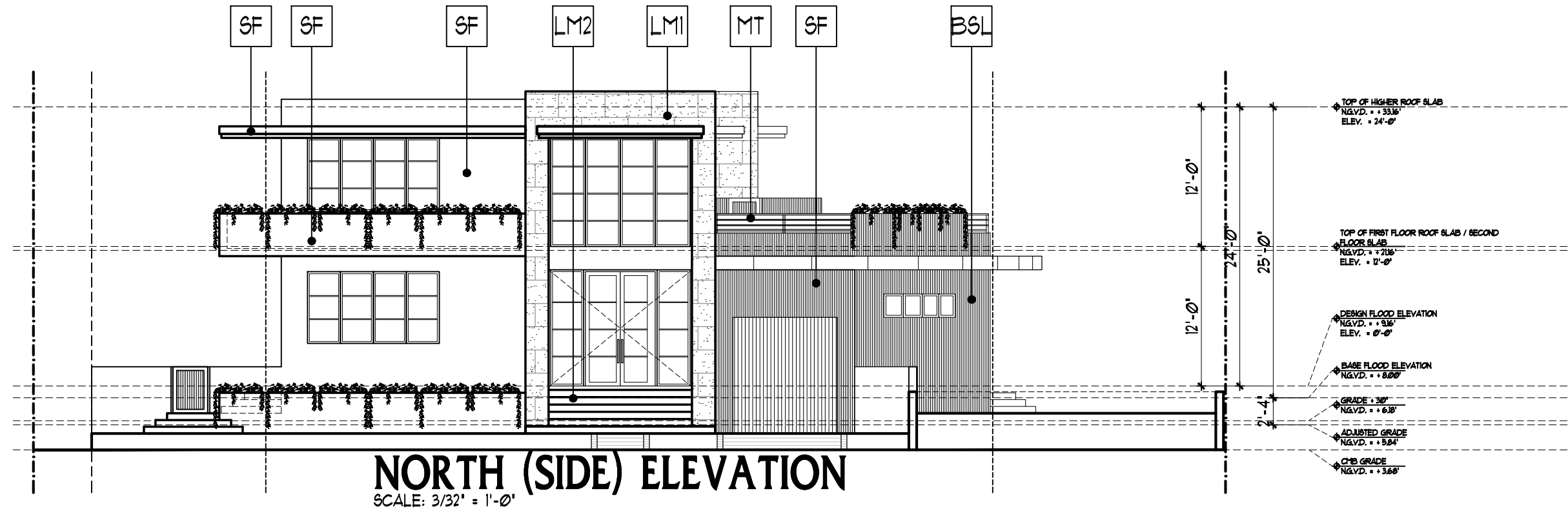


SF SMOOTH STUCCO



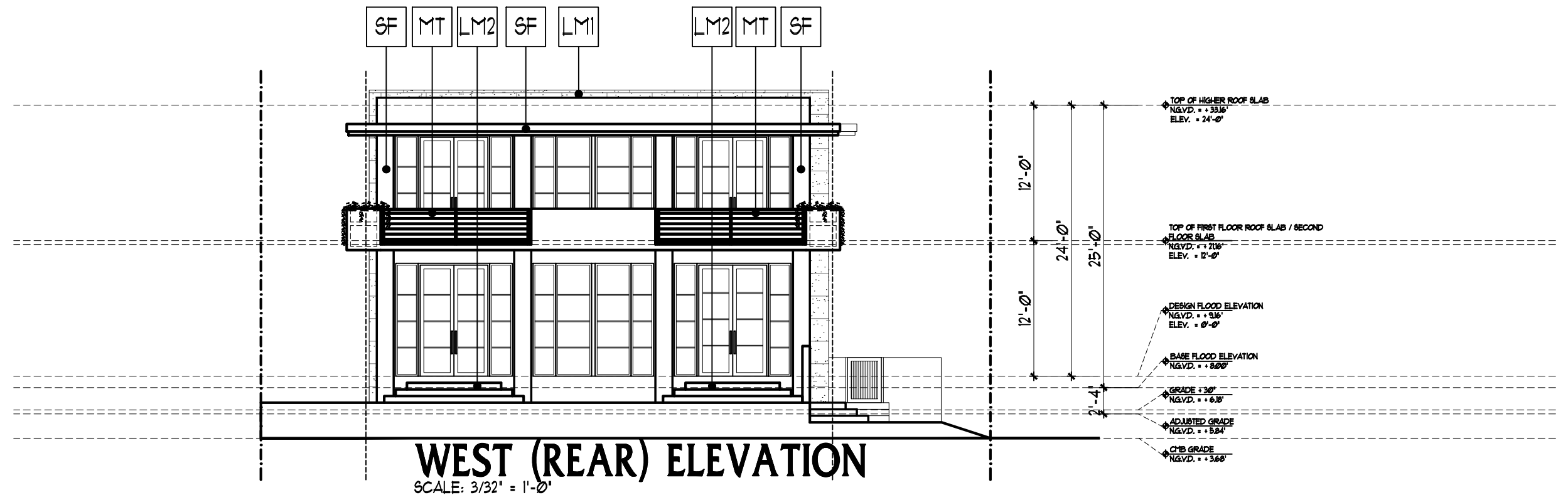
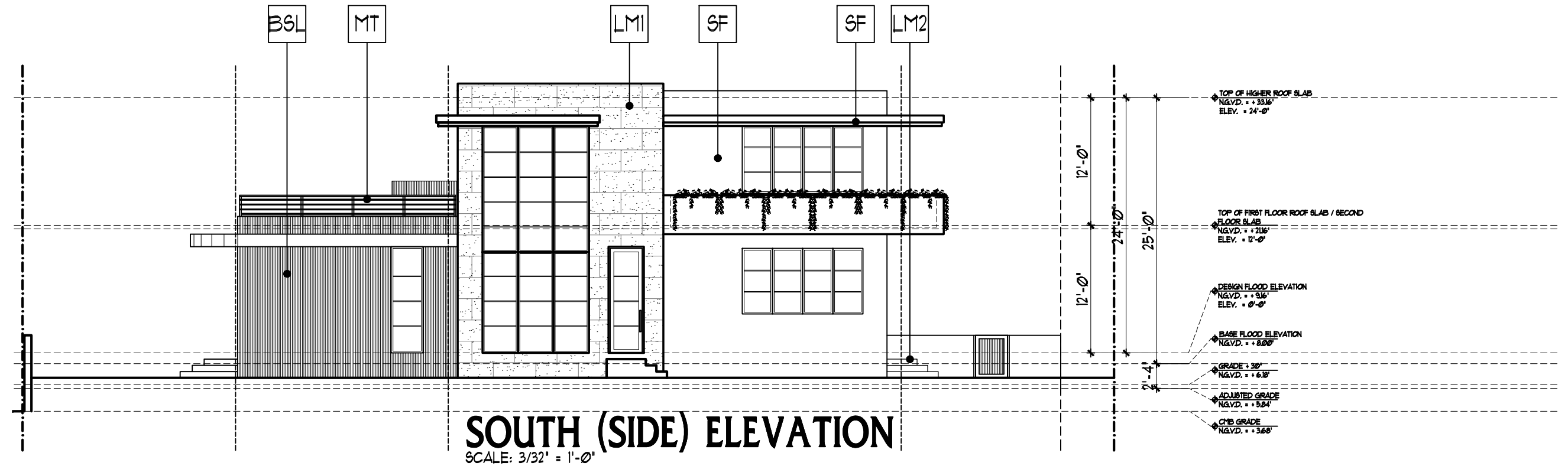
PP PERVIOUS PAVER

ELEVATIONS



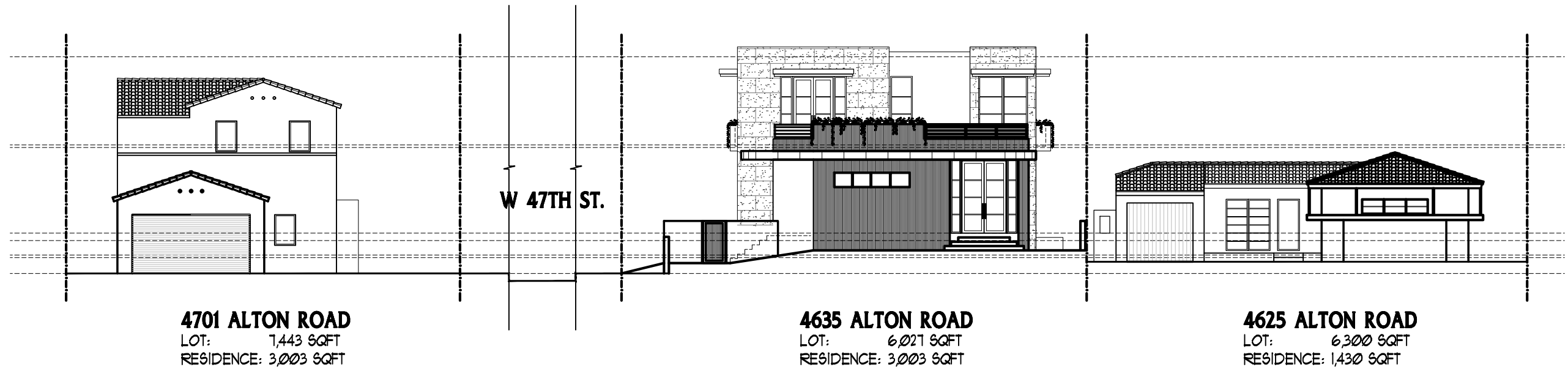
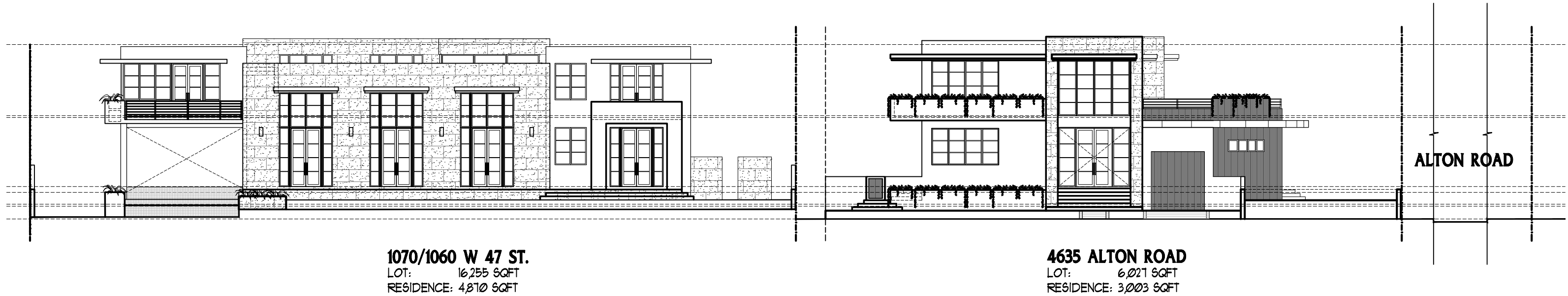
4635 ALTON ROAD MIAMI BEACH, FLORIDA

ELEVATIONS



4635 ALTON ROAD MIAMI BEACH, FLORIDA

ELEVATIONS

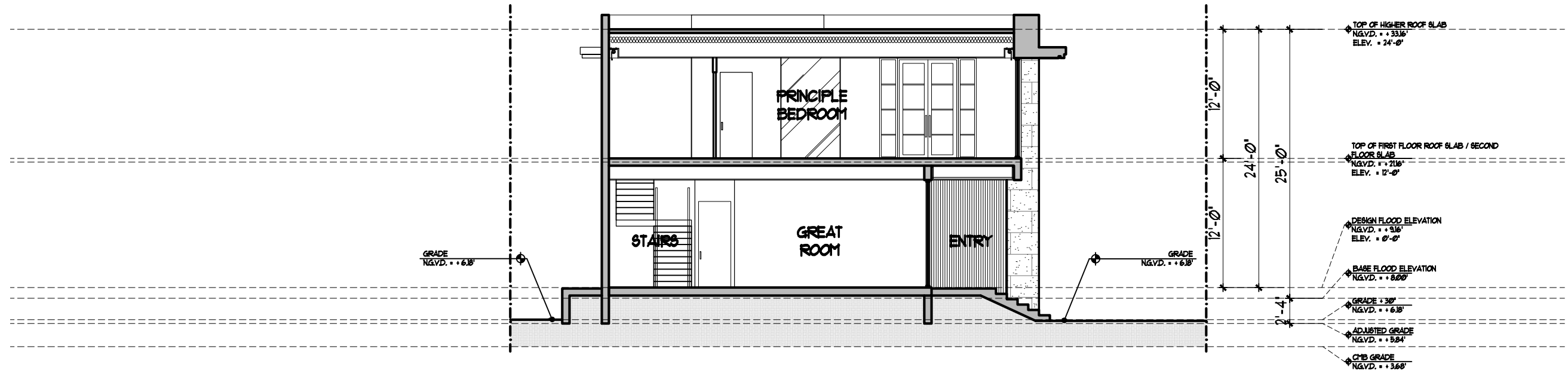


CONTEXT ELEVATIONS

SCALE: 1/16" = 1'-0"

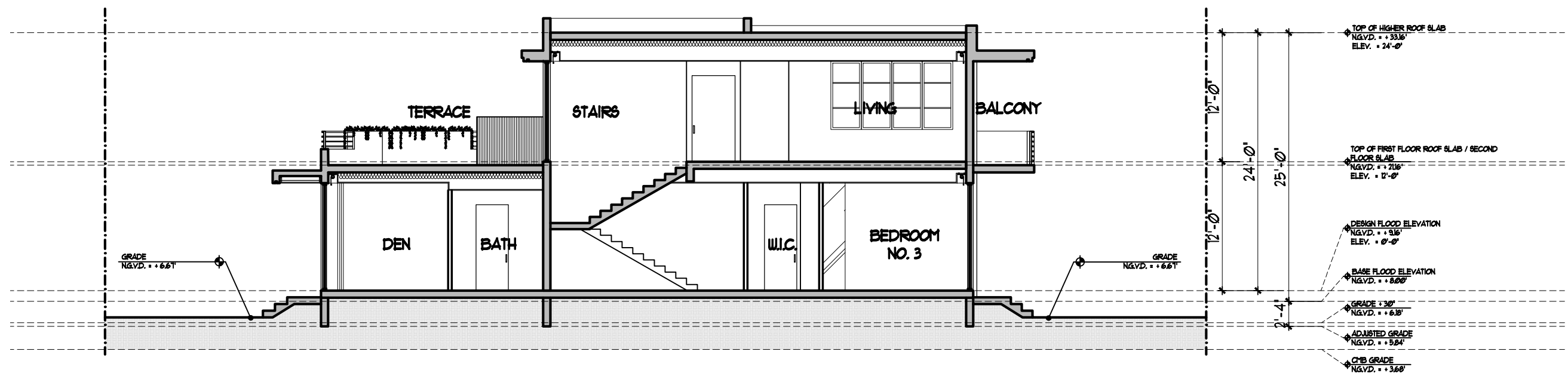
4635 ALTON ROAD MIAMI BEACH, FLORIDA

SECTIONS



SECTION "A"

SCALE: 3/32" = 1'-0"



SECTION "B"

SCALE: 3/32" = 1'-0"

4635 ALTON ROAD MIAMI BEACH, FLORIDA



AA 26001949

A-4.01



FRONT RENDERING
N.T.S.

4635 ALTON ROAD MIAMI BEACH, FLORIDA



REAR RENDERING
N.T.S.

4635 ALTON ROAD MIAMI BEACH, FLORIDA

ISOMETRIC VIEWS

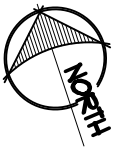
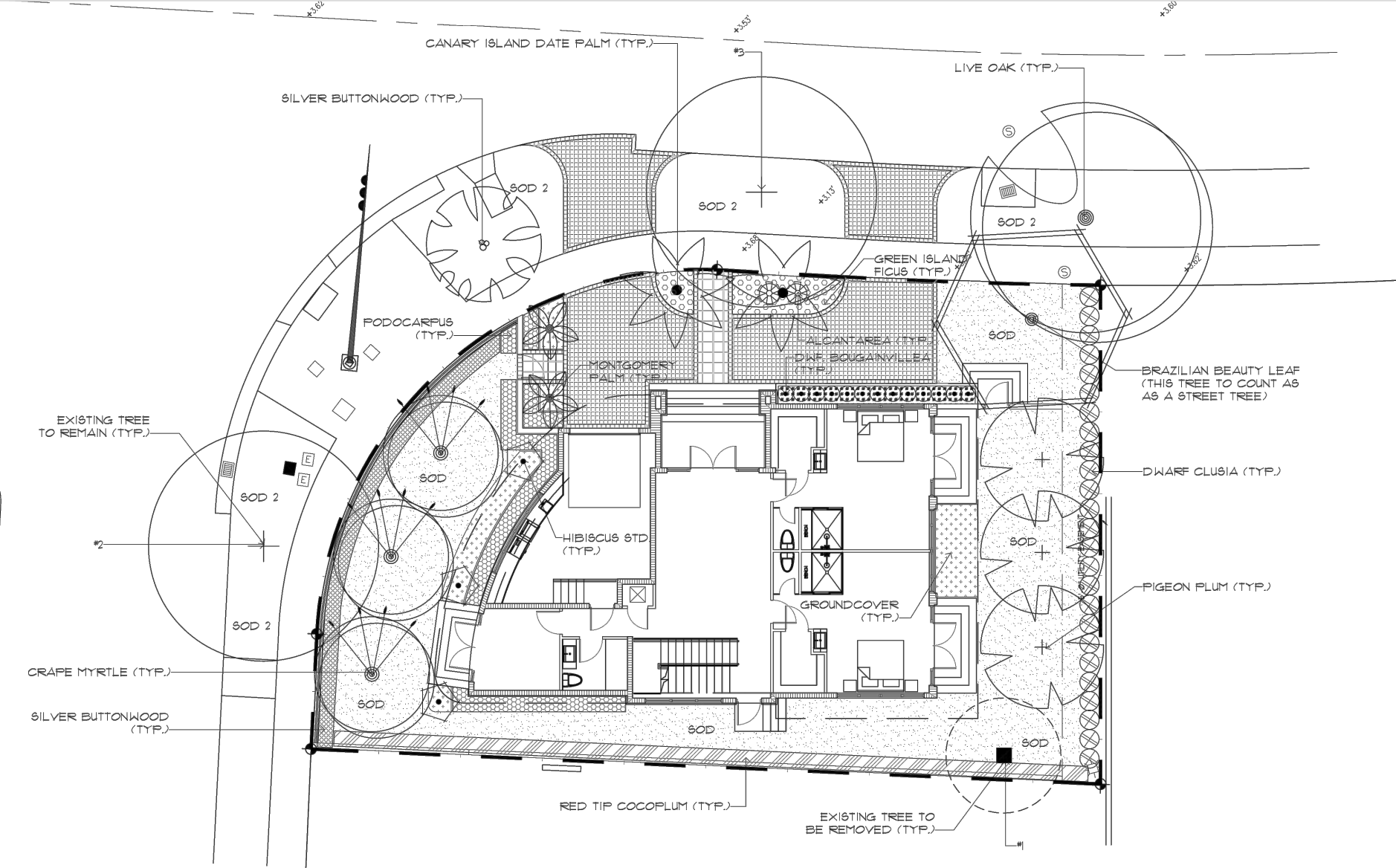


ISOMETRIC VIEWS

N.T.S.

4635 ALTON ROAD MIAMI BEACH, FLORIDA

LANDSCAPE



PRELIMINARY
LANDSCAPE PLAN
Scale: N.T.S.

EXISTING TREE LIST:

No.	BOTANICAL NAME	COMMON NAME	DBH (")	Ht. (')	Sp. (')	Condition	Disposition	DBH loss (")	Comments
1	Dypsis Lutescens	Areca Palm	24	15	8	Fair	Remove	0	Cluster - does not require permitting / replacement
2*	Swietenia Mahogani	Mahogany	18	25	30	Fair	Remain	0	
3*	Quercus Virginiana	Live Oak	5	15	3	Good	Remain	0	
			Total DBH loss:		0				

* Indicates ROW trees
Total Palm trees to be removed: (1)
Palm tree replacement required: (0)
Total DBH proposed for removal: 0"
Total Mitigation trees required: (0)

4635 ALTON ROAD MIAMI BEACH, FLORIDA

CITY OF MIAMI BEACH LANDSCAPE LEGEND

ZONING: RS-4	NET LOT AREA: 6,021 SF, ACRES 0.14
LANDSCAPE OPEN AREA	REQUIRED PROVIDED
A. FRONT LANDSCAPE (35% OF THE REQ. FRONT SETBACK) =	816#
B. SIDE (STREET) LANDSCAPE 35% OF THE REQ. TREET SETBACK) =	N/A N/A
C. REAR LANDSCAPE (10% OF THE REQ. REAR SETBACK) =	1143#

LAWN AREA CALCULATIONS	
A. MAXIMUM LAWN AREA (SOD) PERMITTED = 50% x 6,021# =	3,014# 1,845#

TREES	
A. NUMBER OF TREES REQUIRED PER LOT: 5 TREES PER LOT (2 IN BACK, 3 IN FRONT) +1 ADDITIONAL TREES (1 TREE REQ. FOR EVERY 1,000# OVER 6,000#) = 6 TOTAL LOT TREES	6 6
B. % NATIVES REQUIRED: NUMBER OF TREES REQUIRED x 30% =	5 5
C. % LOW MAINTENANCE / DROUGHT AND SALT TOLERANT REQUIRED: NUMBER OF TREES REQUIRED x 50% =	7 9
D. STREET TREES (MAXIMUM AVERAGE SPACING OF 20' o.c.) 92 LINEAR FEET ALONG STREET DIVIDED BY 20' =	5 1 EX. + 2 NEW
E. STREET TREE SPECIES ALLOWED DIRECTLY BENEATH POWER LINES: (MAXIMUM AVERAGE SPACING OF 20' o.c.) 68 LINEAR FEET ALONG STREET DIVIDED BY 20' =	3 1 EX. + 1 NEW

SHRUBS	
A. NUMBER OF SHRUBS REQUIRED: SUM OF LOT AND STREET TREES x 12 =	168 169
B. % NATIVE SHRUBS REQUIRED: NUMBER OF SHRUBS REQUIRED x 50 % =	84 84

LARGE SHRUBS OR SMALL TREES	
A. NUMBER OF LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF REQUIRED SHRUBS x 10% =	17 25
B. % NATIVE LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF LARGE SHRUBS OR SMALL TREES PROVIDED x 50% =	9 25

PLANT LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	D.T.	SIZE	#	REMARKS
<u>TREES:</u>							
1	CB	CALOPHYLLUM BRASILIENSE	BRAZILIAN BEAUTYLEAF	**	MIN. 12' HT. x 6' SP. x 2" DBH, 4' C.T., F.G.,		
1	CES	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTONWOOD	Δ**	MIN. 12' HT. x 2" DBH, STD., F.G		
3	CD	COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	Δ**	MIN. 12' HT. x 2" DBH, MALE SPECIES, F.G		
4	LI	LAGESTROEMIA INDICA	CRAPE MYRTLE	**	MIN. 8' HT. , MULTI-TRUNK, RED FLOWERS, F.G		
1	QV	QUERCUS VIRGINIANA	LIVE OAK	Δ**	MIN. 16' HT. x 8' SP. x 4" DBH, 5' C.T., F.G.,		
<u>PALMS:</u>							
2	PS	PHOENIX CANARIENSIS	CANARY ISLAND DATE	**	MIN. 10' G.W., MATCHED, F.G.		
2	VM	VEITCHIA MONTGOMERIANA	MONTGOMERY PALM	**	MIN. 16' OAH.T., MATCHED, F.G.		
<u>LARGE SHRUBS:</u>							
25	CG	CLUSIA GUTTIFERA	DWARF CLUSIA	Δ**	MIN. 6' HT., 30" O.C., FULL		
<u>ACCENTS:</u>							
2	AI	ALCANTAREA IMPERIALIS	ALCANTAREA	**	1 GAL., FULL, MATCHED		
3	HS	HIBISCUS SPP.	HIBISCUS	**	25 GAL., STD.		
<u>SHRUBS:</u>							
13	BS	BOUGAINVILLEA SPP.	DWARF BOUGAINVILLEA	**	3 GAL., 24" O.C., S.R.		
53	CI	CHYSABALANUS ICACO	RED TIP COCOPLUM	Δ**	3 GAL., 24" O.C., S.R.		
31	CES	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTONWOOD	Δ**	3 GAL., 24" O.C., S.R.		
24	FM	FICUS MICROCARPA	GREEN ISLAND FICUS	**	3 GAL., 24" O.C., T.S.		
48	PM	PODOCARPUS MACROPHYLLUS	PODOCARPUS	**	1 GAL., 24" O.C., S.R.		
<u>GROUNDCOVERS:</u>							
TO BE DETERMINED							
<u>SOD:</u>							
1,845#	SOD	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE FLORATAM	Δ	* SOLID SOD		
INSIDE PROPERTY LINE							
1,000#	SOD	2 STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE FLORATAM	Δ	* SOLID SOD		
IN ROW OF WAY AREA							
<u>ABBREVIATIONS:</u>							
OAH.T.	OVERALL HEIGHT	MIN.	MINIMUM	* MODERATE DROUGHT TOLERANCE			
STG.	STAGERRED	STD.	STANDARD	** VERY DROUGHT TOLERANT			
S.R.	SINGLE ROW	O.C.	ON CENTER	Δ NATIVE			
T.S.	TRIANGULAR SPACING	GAL.	GALLON				
S.T.	SINGLE TRUNK	G.W.	GREY WOOD				
D.T.	DOUBLE TRUNK						