



4541 NORTH BAY ROAD Miami Beach

SAOTA

jungles



ORSINI DESIGN
ASSOCIATES INC.

US_MIA_NBAY4541

4541 NORTH BAY ROAD



4541 NORTH BAY ROAD, MIAMI BEACH



Neighbor Outreach & Support
4541 North Bay Road
DRB File No. DRB22-0795



No.	Property Address	Owner
1.	4555 N Bay Rd	Alexander P. & Tiffany Z. Heckler
2.	4540 N Bay Rd	4540 NBR LLC
3.	4570 N Bay Rd	Mag NBR LLC Howard D. Komisar
4.	4580 N Bay Rd	Mag NBR LLC Howard D. Komisar

DRAWINGS

**INTERNAL TIMBER FLOORS +
CEILINGS**
*European Oak - brushed + gray
wash*

TIMBER SLATS
FSC Ipe hardwood

**FEATURE ACCENT
METAL**
*blackened steel / patina
steel*

EXTERNAL TIMBER DECKING
*FSC Ipe hardwood - weathered
to gray*

FEATURE STONE WALLS
Basalt Stone

STONE FLOORS + FEATURE WALLS
Limestone

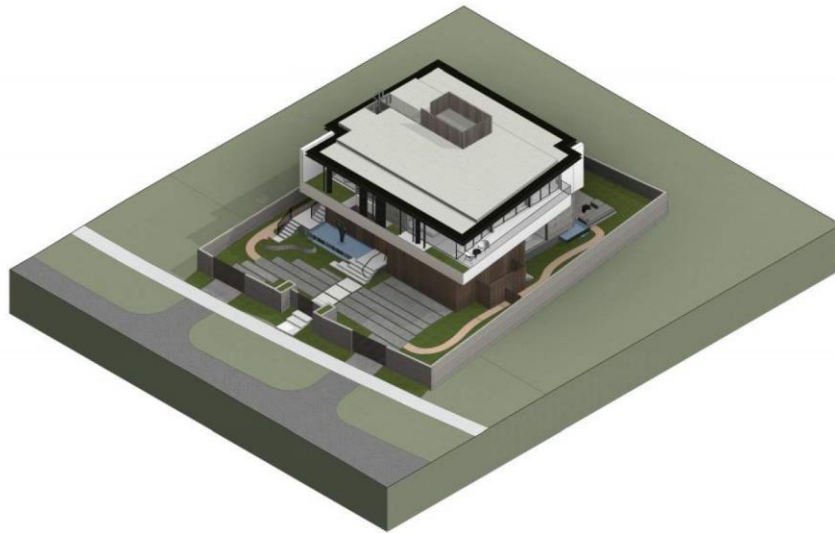
**PLASTERED FEATURE
WALLS & CEILINGS**
Dark Grey Venetian Plaster

WINDOW FRAMES
black matte finish

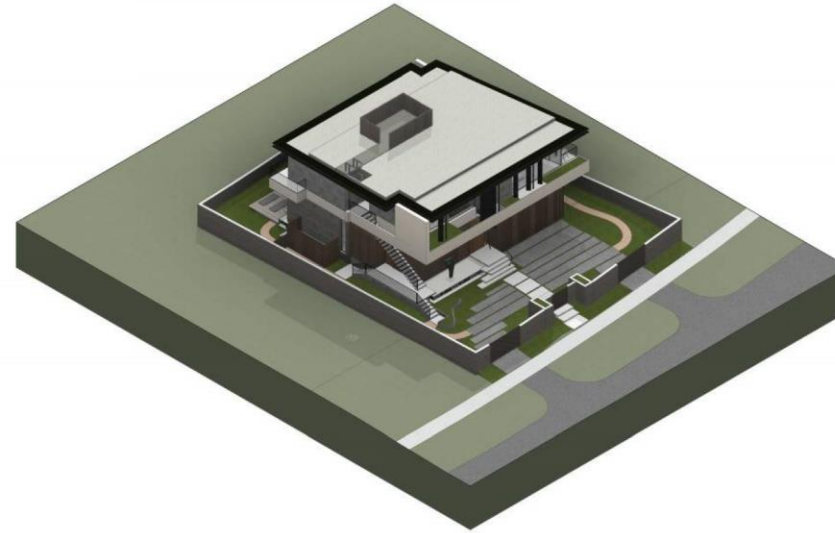
INTERNAL FEATURE WALLS
Light Grey Venetian Plaster

INTERNAL TIMBER
FSC Peruvian Walnut

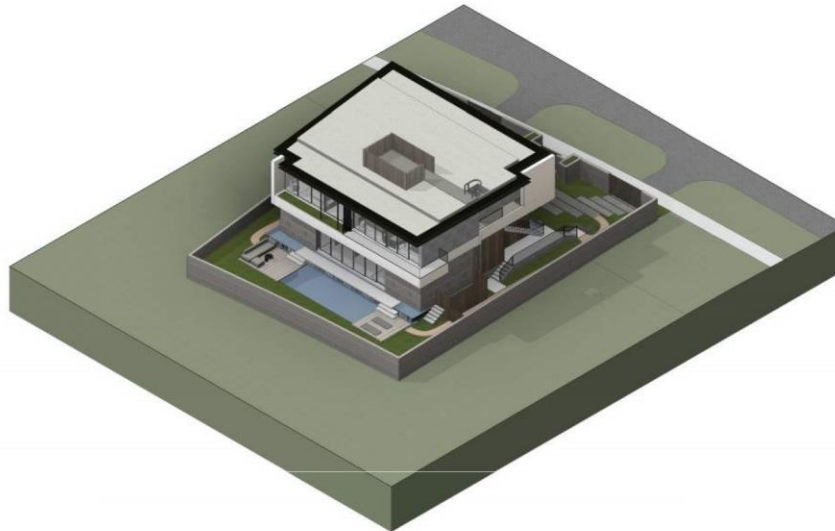




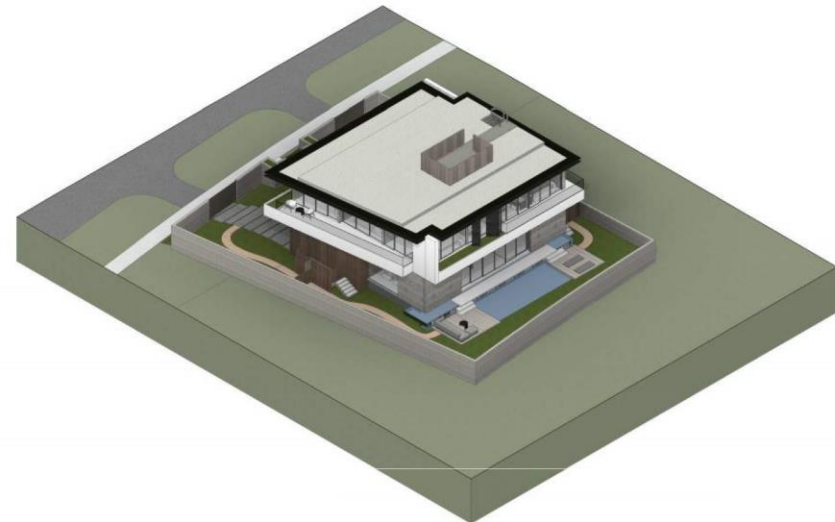
1 AXO 01



2 AXO 02



3 AXO 03



4 AXO 04

OWNER
MIA, USA
MIAMI, UNITED STATES

ARCHITECT
CORNELL DANNWOLF AND PARTNERS ARCHITECTS INC.
2402 HOLLYWOOD BOULEVARD, SUITE 1000
MIAMI, FL 33133

DESIGN CONSULTANT
SAOTA PVT LTD
100 WATFIELD STREET, GARDENS
CAPETOWN, 8001 SOUTH AFRICA
T: +27 21 461 1000
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
BETHUNE LANGE, INC.
1000 WATFIELD AVENUE, GARDENS, 8001
T: +27 21 461 1000



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100 WATFIELD STREET, GARDENS
CAPETOWN, 8001 SOUTH AFRICA
T: +27 21 461 1000
WWW.SAOTA.COM

PROJECT
US_MIA_NBAY4541
MIAMI, UNITED STATES

REVISIONS		

KEY PLAN

SCALE
DATE: 01/15/22
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AXOS

SHEET NO.
A_6102

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OWNER
MR. DANIEL
4541 NORTH BAY ROAD
MIAMI BEACH, FL 33149

ARCHITECT
C/O DONNELLY AND PARTNERS ARCHITECTS INC.
3402 HOLLYWOOD BOULEVARD
MIAMI BEACH, FL 33149
T: 305.658.1111
F: 305.658.1112
WWW.DONNELLYANDPARTNERS.COM

DESIGN CONSULTANT
SAOTA LTD.
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 21 461 1111
F: +27 21 461 1112
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
BIRMINGHAM LANDSCAPE INC.
2804 AUSTON AVENUE, COVINGTON, LA 70045
T: 504.884.8771



04/09/2022
KURT DANNWOLF
FL ARCHITECT REG. NO.
AR00042

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SAOTA
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 21 461 1111
F: +27 21 461 1112
WWW.SAOTA.COM

PROJECT
4541 NORTH BAY RD
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS
04-11-2022 (DRG) FINAL SUBMITTAL

KEY PLAN

SCALE
DATE: 08/01/2022
DRAWN BY: [NAME]
CHECKED BY: [NAME]

**EXISTING STREET
VIEW**

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A-30

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MIAMI BEACH, FL 33149

ARCHITECT
C/O DONNELL, DANIELLY AND PARTNERS ARCHITECTS INC.
3402 HOLLYWOOD BOULEVARD
MIAMI BEACH, FL 33139
TEL: 305.555.1111

DESIGN CONSULTANT
SAOTA LTD.
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
TEL: +27 21 521 4864

LANDSCAPE ARCHITECT
REINOLD LANGER, INC.
2800 AUSTIN AVENUE, SUITE 100
MIAMI BEACH, FL 33139
TEL: 305.884.8771



04/09/2022
KURT DANNWOLF
FL ARCHITECT REG. NO.
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SAOTA
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
TEL: +27 21 521 4864
WWW.SAOTA.CO.ZA

PROJECT
4541 NORTH BAY RD
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS	
04-11-2022	DRG FINAL SUBMITTAL

KEY PLAN

SCALE
DATE: 08/01/2022
DRAWN BY: [REDACTED]

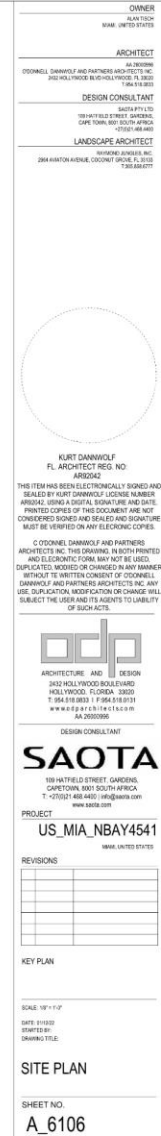
**PROPOSED STREET
MONTAGE VIEW**

SHEET NO.
A-31

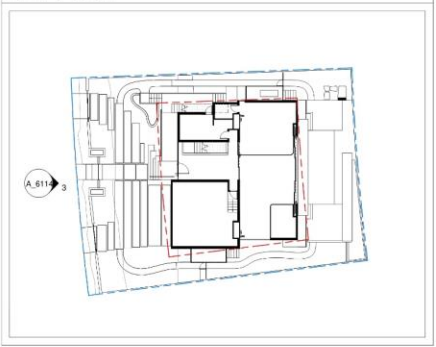
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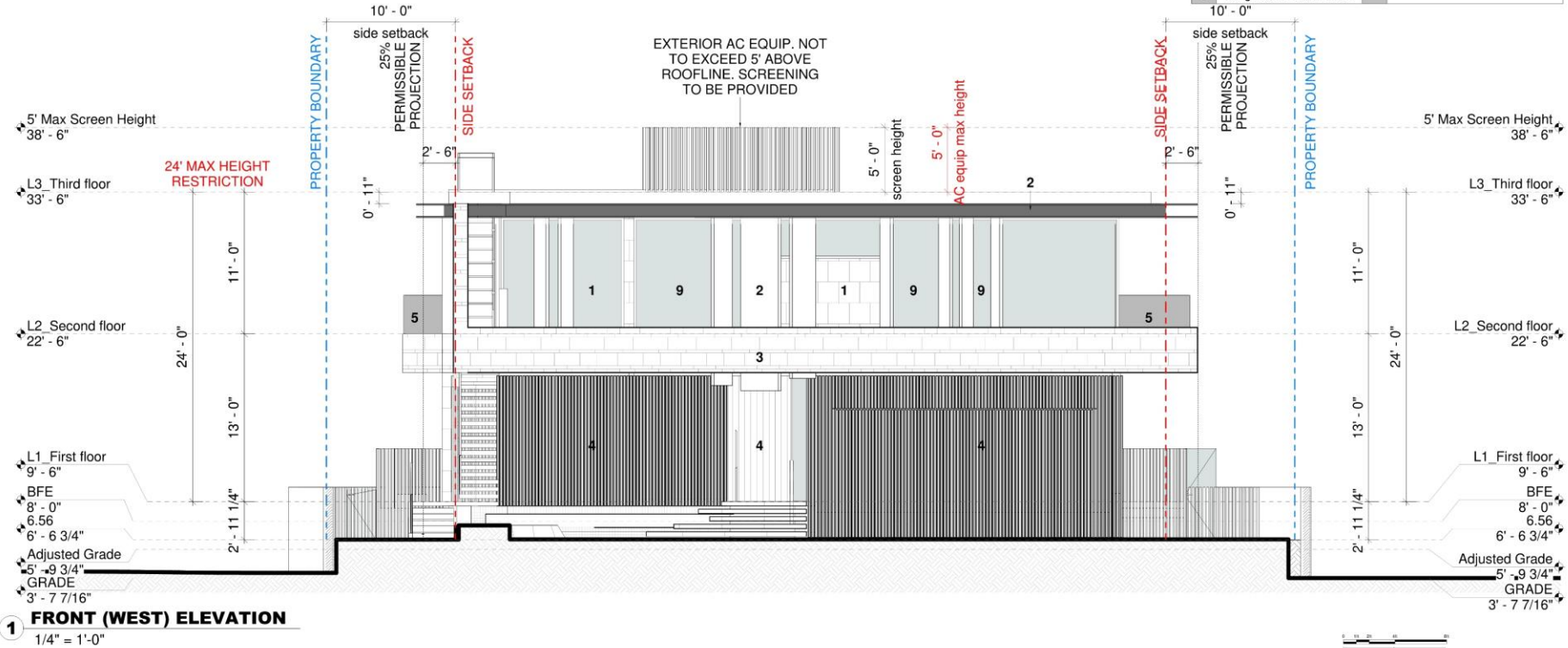


MATERIAL PALLETE



KEY

1	Basalt Stone	6	Concrete
2	Blackened Steel	7	Light Grey Venetian Plaster
3	Tiled Limestone	8	Dark Grey Venetian Plaster
4	Timber Slats	9	Matt Black Alu. Frame & Clear Glazing
5	Toughened Clear Glass		



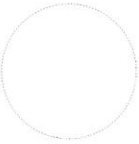
1 FRONT (WEST) ELEVATION
1/4" = 1'-0"

OWNER
ALCO TRON
MIAMI, UNITED STATES

ARCHITECT
KURT DANNWOLF ARCHITECTS INC.
100 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 461 4000
WWW.SAOTA.COM

DESIGN CONSULTANT
SAOTA PTY LTD
100 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 461 4000
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
NORMAN JENSEN, INC.
2004 HAZARD AVENUE, COCONUT GROVE, FL 33133
T: 305 456 6777



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DESIGN CONSULTANT
SAOTA
100 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 461 4000
WWW.SAOTA.COM

PROJECT
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REVISIONS

NO.	DESCRIPTION

KEY PLAN

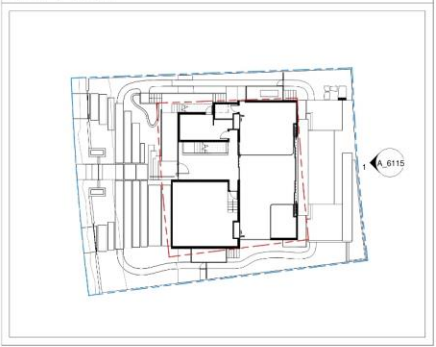
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DATE: 01/2020
DRAWN BY:
DRAWING TITLE:

FRONT (WEST)
ELEVATION

SHEET NO.
A_6113

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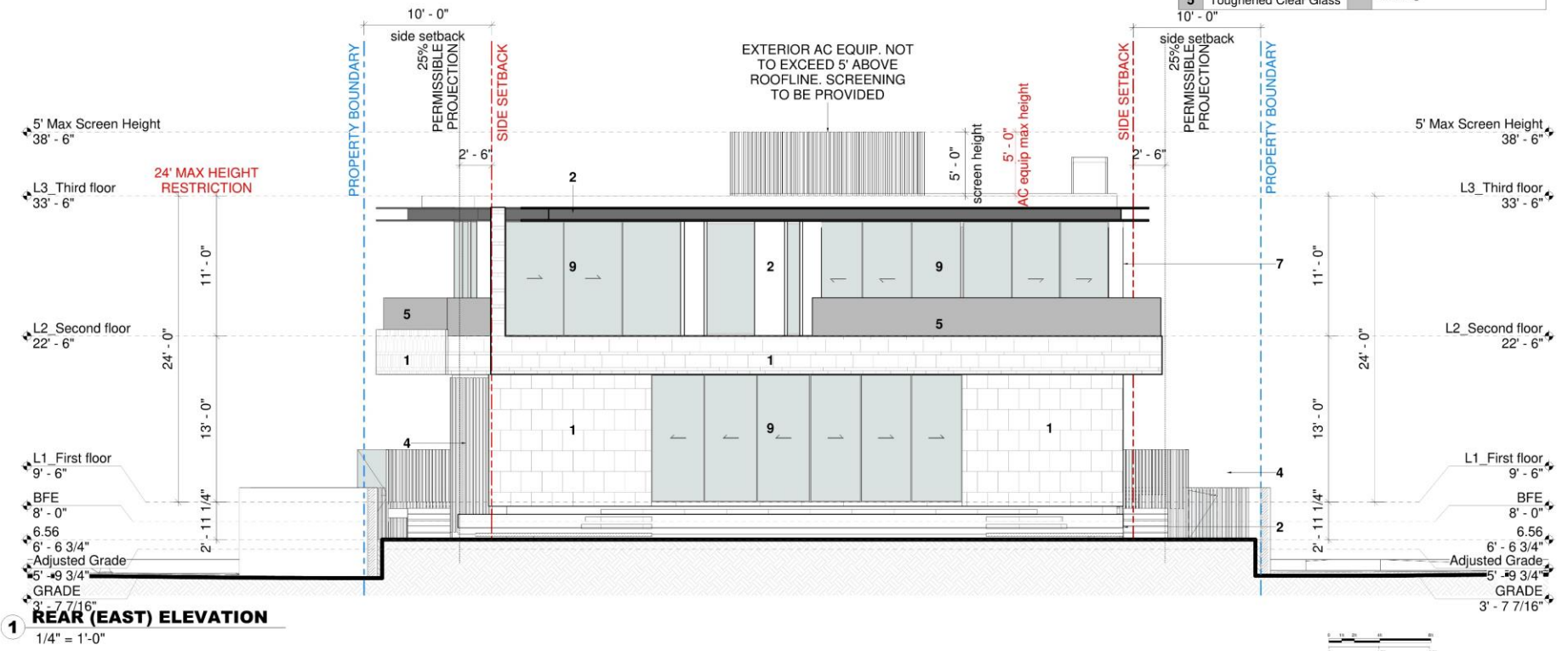


MATERIAL PALLETE



KEY

1	Basalt Stone	6	Concrete
2	Blackened Steel	7	Light Grey Venetian Plaster
3	Tiled Limestone	8	Dark Grey Venetian Plaster
4	Timber Slats	9	Matt Black Alu. Frame & Clear Glazing
5	Toughened Clear Glass		



OWNER
MIA TECH
MIAMI, UNITED STATES

ARCHITECT
COTTONWELL, DANNWOLF AND PARTNERS ARCHITECTS INC.
3402 HOLLYWOOD BOULEVARD, SUITE 100
MIAMI, FLORIDA 33133
P: 305.576.0033 F: 305.576.0131
WWW.COTTONWELL-AND-PARTNERS.COM

DESIGN CONSULTANT
SAOTA PTY LTD
100 WATERFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 461 1115
WWW.SAOTA.CO.ZA

LANDSCAPE ARCHITECT
NORMAN JENSEN & ASSOCIATES
2004 HAZEN AVENUE, COVINGTON, LA 70423
T: 504.835.6777



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100 WATERFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 461 1115
WWW.SAOTA.CO.ZA

PROJECT
US_MIA_NBAY4541
MIAMI, UNITED STATES

REVISIONS

KEY PLAN

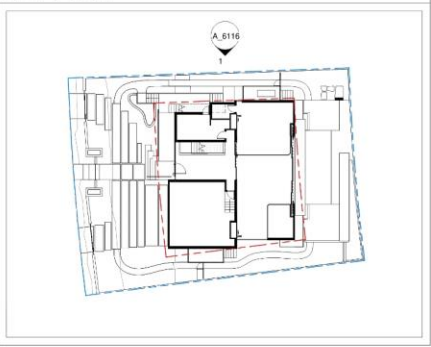
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REAR (EAST) ELEVATION

SHEET NO.
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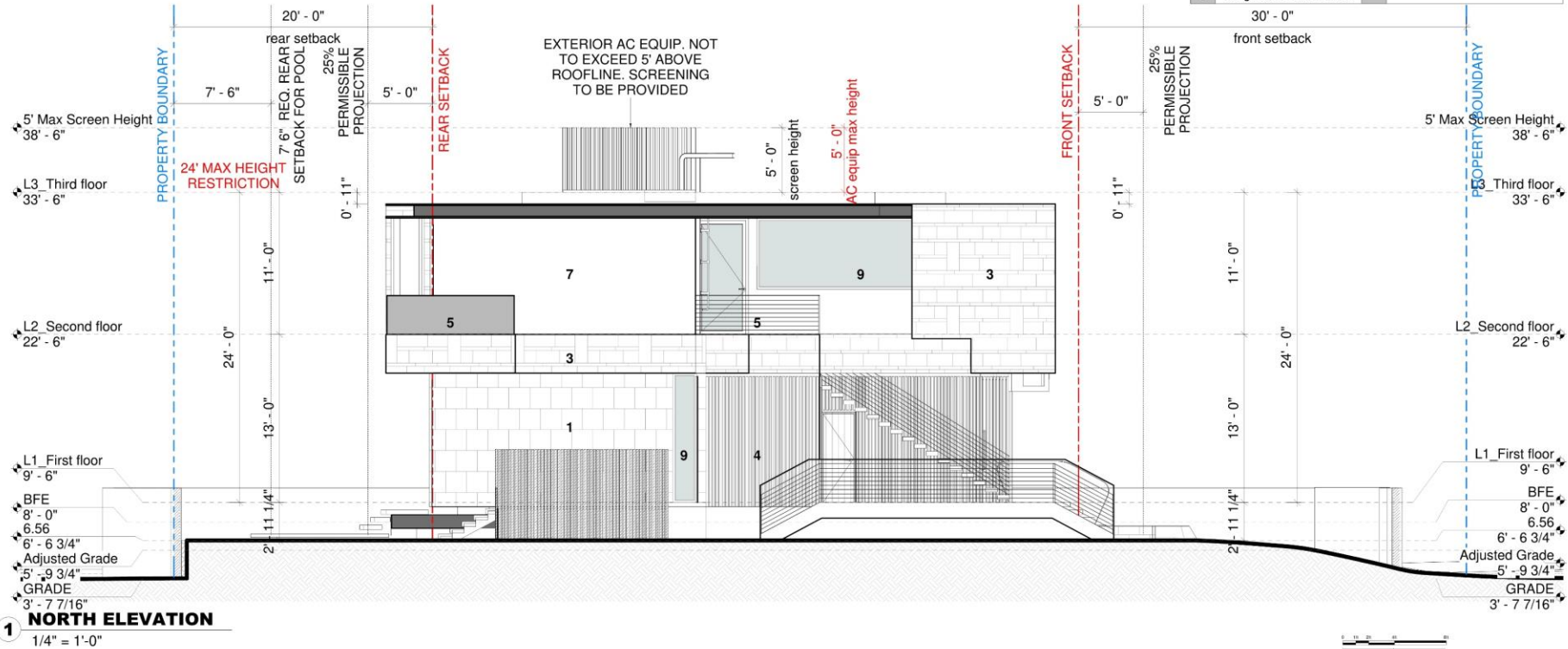


MATERIAL PALLETE



KEY

1	Basalt Stone	6	Concrete
2	Blackened Steel	7	Light Grey Venetian Plaster
3	Tiled Limestone	8	Dark Grey Venetian Plaster
4	Timber Slats	9	Matt Black Alu. Frame & Clear Glazing
5	Toughened Clear Glass		



OWNER
ALAN TICH
MIAMI, UNITED STATES

ARCHITECT
CORNELL DANNWOLF AND PARTNERS ARCHITECTS INC.
3402 HOLLYWOOD BOULEVARD
MIAMI, FLORIDA 33133
TEL: 305.576.0003 | FAX: 305.576.0131
WWW.CORNELLDANNWOLF.COM

DESIGN CONSULTANT
SAOTA
100 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
TEL: +27 (0)21 466 4000 | WWW.SAOTA.CO.ZA

LANDSCAPE ARCHITECT
NORMAN JENSEN & ASSOCIATES
2004 HAZARD AVENUE, COCONUT GROVE, FL 33133
TEL: 305.466.6777

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MIAMI, FLORIDA 33133
TEL: 305.576.0003 | FAX: 305.576.0131
WWW.CORNELLDANNWOLF.COM

DESIGN CONSULTANT
SAOTA
100 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
TEL: +27 (0)21 466 4000 | WWW.SAOTA.CO.ZA

PROJECT
US_MIA_NBAY4541
MIAMI, UNITED STATES

REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

SCALE IN INCHES
DATE: 01/2020
DRAWN BY: [NAME]
CHECKED BY: [NAME]

NORTH ELEVATION

SHEET NO.
A_6116

KEY PLAN

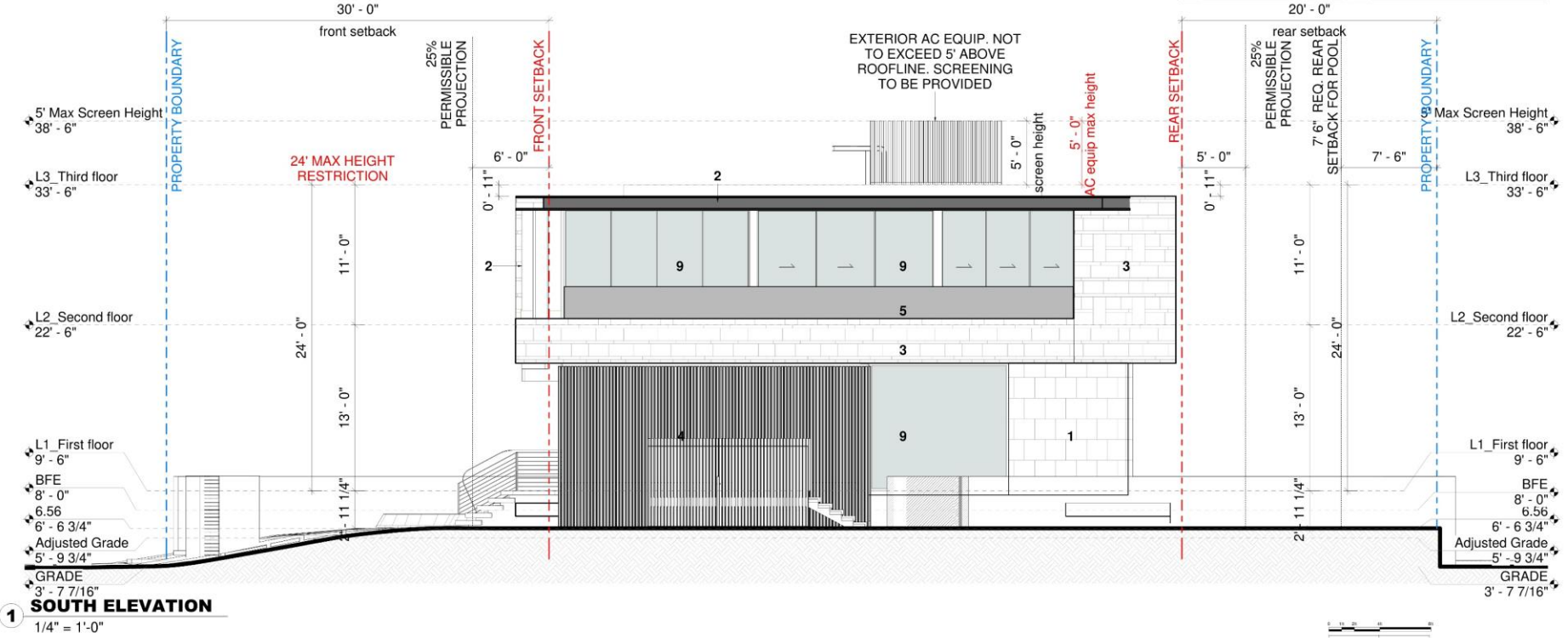


MATERIAL PALLETE



KEY

1	Basalt Stone	6	Concrete
2	Blackened Steel	7	Light Grey Venetian Plaster
3	Tiled Limestone	8	Dark Grey Venetian Plaster
4	Timber Slats	9	Matt Black Alu. Frame & Clear Glazing
5	Toughened Clear Glass		



OWNER
MIA TECH
MIAMI, UNITED STATES

ARCHITECT
CORNWELL, DANNWOLF AND PARTNERS ARCHITECTS INC.
3402 HOLLYWOOD BOULEVARD, SUITE 100
MIAMI, FLORIDA 33133
P: 305.576.1100
WWW.CORNWELL-AND-PARTNERS.COM

DESIGN CONSULTANT
SAOTA PVT LTD
100 WATERFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 461 4000
WWW.SAOTA.CO.ZA

LANDSCAPE ARCHITECT
NORMAN SCHWARTZ, INC.
2004 HAZARD AVENUE, COCONUT GROVE, FL 33133
T: 305.466.8777

KURT DANNWOLF
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ARCHITECTURE AND DESIGN
3402 HOLLYWOOD BOULEVARD
MIAMI, FLORIDA 33133
T: 305.576.1100 | F: 305.576.0131
WWW.CORNWELL-AND-PARTNERS.COM
MI 20200000

DESIGN CONSULTANT
SAOTA
100 WATERFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 461 4000
WWW.SAOTA.CO.ZA

PROJECT
US_MIA_NBAY4541
MIAMI, UNITED STATES

REVISIONS

NO.	DESCRIPTION	DATE

KEY PLAN

SCALE IN INCHES
DATE: 01/10/20
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SOUTH ELEVATION

SHEET NO.
A_6117

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LANDSCAPE PLANS

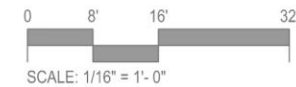


LEGEND

PROPERTY LINE

SETBACK

- ① *Eugenia rhombea*
Red Stopper
- ② *T.B.D.*
Sculptural Accent Canopy Tree
- ③ *Polyalthia longifolia*
False Ashoka Tree
- ④ *Myrcianthes fragrans*
Simpson's Stopper
- ⑤ *Clusia rosea*
Autograph Tree
- ⑥ *T.B.D.*
Misc. Native Canopy Tree
- ⑦ *Sabal domingensis*
Dominican Sabal Palm
- ⑧ *Cocos nucifera*
Coconut Palm relocated from on-site
- ⑨ *Dypsis pambana*
Pemba Palm
- ⑩ *T.B.D.*
Misc. Native Understory Tree
- ⑪ *Thrinax radiata*
Green Thatch Palm
- ⑫ *Thrinax radiata*
Green Thatch Palm relocated from on-site



OWNER
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

ARCHITECT
AS ASSOCIATES
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

DESIGN CONSULTANT
SAOTA PTY LTD
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

LANDSCAPE ARCHITECT
RAYMOND JUNGLES, INC.
2004 AVONDALE AVENUE, COCONUT GROVE, FL 33133
T: 305.884.8777



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FL. LANDSCAPE ARCHITECT
Lic. # LA0000856

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RAYMOND JUNGLES INC
Landscape Architect FASLA

odp
ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitect.com
AA 20020066

DESIGN CONSULTANT
SAOTA
109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

PROJECT
4541 NORTH BAY RD

4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

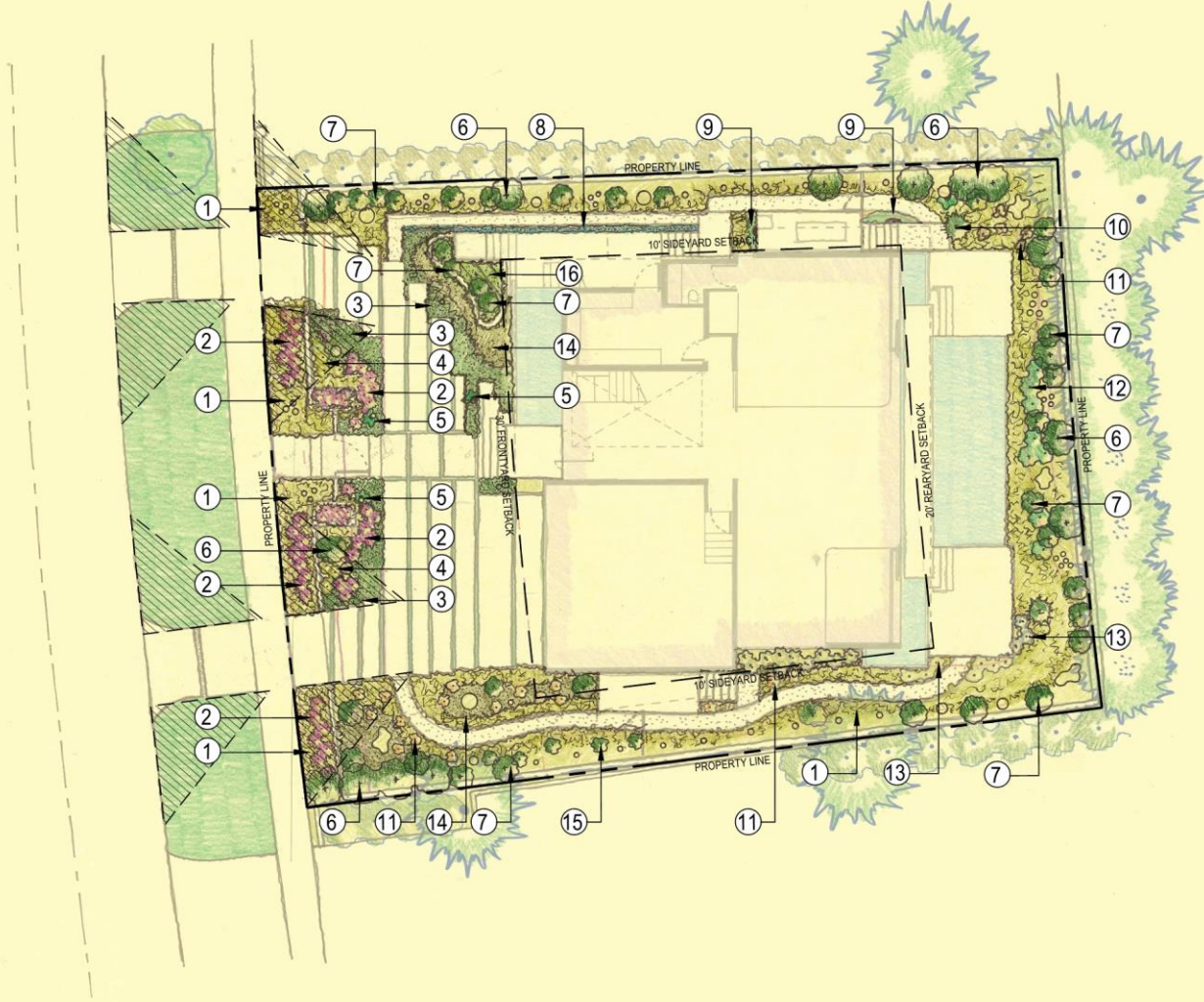
REVISIONS

NO.	DESCRIPTION	DATE

SCALE: AS NOTED
DATE: 04/11/22
DRAWN BY: JS
DRAWING TITLE:

CANOPY PLANTING PLAN

SHEET NO.
L-104



LEGEND

PROPERTY LINE

SETBACK

- ① *Microsorium scolopendrium*
Wart Fern
- ② *Portea petropolitana* 'Jungles'
Portea Bromeliad 'Jungles'
- ③ *Peperomia obtusifolia*
Baby Rubber Plant
- ④ *Philodendron* 'Burle Marx'
Same
- ⑤ *Monstera adansonii*
Swiss Cheese Philodendron
- ⑥ T.B.D.
Misc. Large Native Shrub
- ⑦ T.B.D.
Misc. Low Native Shrub
- ⑧ *Pilea glauca*
Same
- ⑨ *Trachelospermum jasminoides*
Confederate Jasmine
- ⑩ *Zamia floridana*
Coontie
- ⑪ *Farugium japonicum* 'Gigantea'
Giant Leopard plant
- ⑫ *Philodendron gloriosum*
Anthurium Gloriosum
- ⑬ *Begonia odorata*
Sweet Begonia
- ⑭ *Hymenocallis latifolia*
Spider Lily
- ⑮ *Eranthemum pulchellum*
Blue Sage
- ⑯ *Phyllanthus myrtifolius*
Mousetail Plant



0 8' 16' 32'
SCALE: 1/16" = 1'-0"

OWNER
RAYMOND JUNGLES, INC.
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140
ARCHITECT
RAYMOND JUNGLES, INC.
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
DESIGN CONSULTANT
SAOTA PTY LTD
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
LANDSCAPE ARCHITECT
RAYMOND JUNGLES, INC.
2004 KINGTON AVENUE, COCONUT GROVE, FL 33133



RAYMOND JUNGLES, INC.
FL. LANDSCAPE ARCHITECT
Lic. # LA0000856

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jungles
RAYMOND JUNGLES INC
Landscape Architect FASLA

odp
ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitect.com
LA 20020096

DESIGN CONSULTANT
SAOTA
109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

PROJECT
4541 NORTH BAY RD

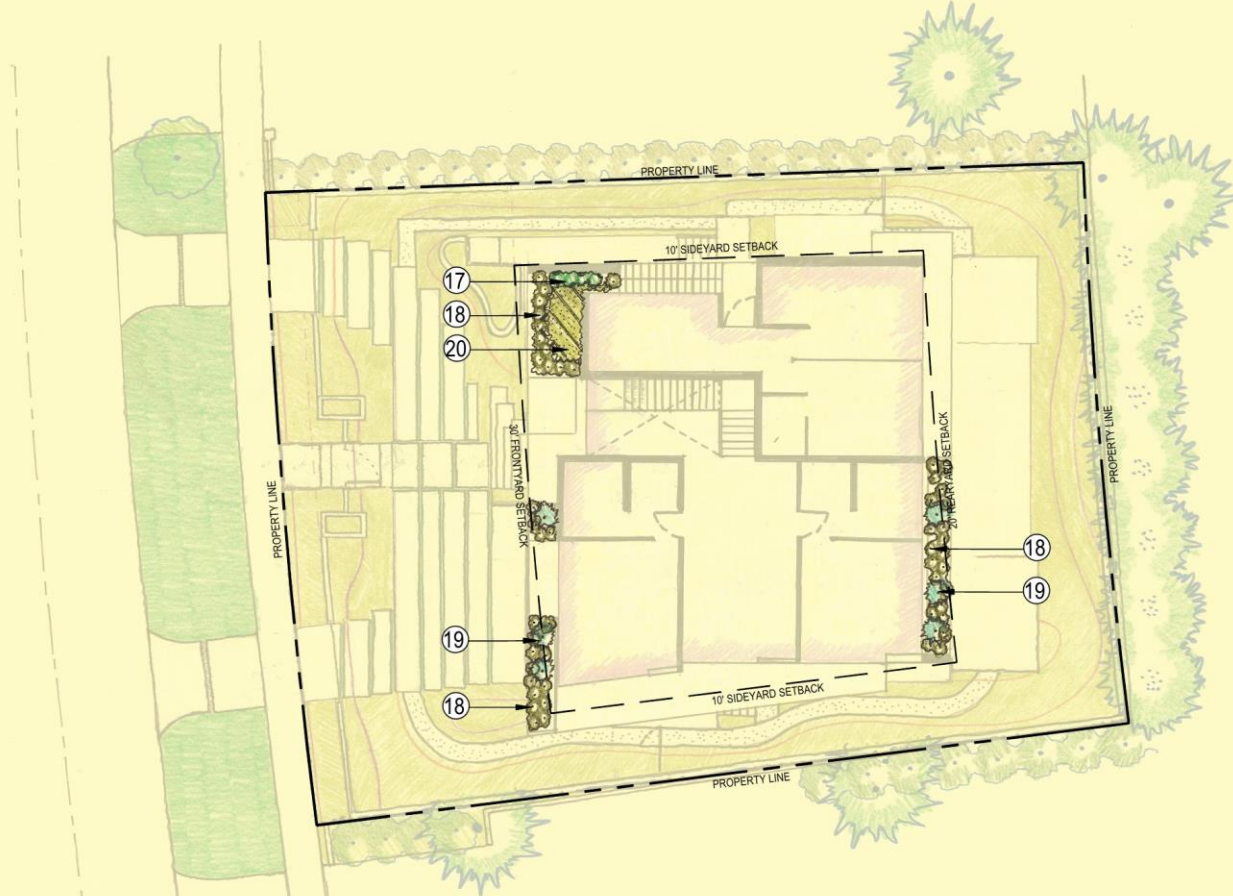
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS	

SCALE: AS NOTED
DATE: 04/11/22
DRAWN BY: JS
DRAWING TITLE:

UNDERSTORY PLANTING
PLAN - GROUND LEVEL

SHEET NO.
L-105



LEGEND

PROPERTY LINE

SETBACK

17 *Stephanotis floribunda*
Madagascar Jasmine

18 *Ernodea littoralis*
Golden Beach Creeper

19 *Alcantarea 'Odorata'*
Same

20 *Nephrolepis exaltata*
Boston Fern

OWNER
RAYMOND JUNGLES, INC.
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

ARCHITECT
AS ASSOCIATES
ODONNELL, CHARNICK & PARTNERS ARCHITECTS INC. 3422 HOLLYWOOD BLVD
HOLLYWOOD, FL 33020

DESIGN CONSULTANT
SAOTA PTY LTD
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
+27(0)21 468 4400

LANDSCAPE ARCHITECT
RAYMOND JUNGLES, INC.
2804 AVONDALE AVENUE, COCONUT GROVE, FL 33133
+1(305) 884 8777



RAYMOND JUNGLES, INC.
FL. LANDSCAPE ARCHITECT
Lic. # LA0000856

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Landscape Architect FASLA

odp
ARCHITECTURE AND DESIGN

2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitects.com
AA-20020096

DESIGN CONSULTANT
SAOTA

109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

PROJECT
4541 NORTH BAY RD

4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS			

SCALE: AS NOTED

DATE: 04/11/22
DRAWN BY: JS
DRAWING TITLE:

UNDERSTORY PLANTING
PLAN - SECOND LEVEL

SHEET NO.

L-106



0 8' 16' 32'
SCALE: 1/16" = 1'-0"





SAOTA



jungles

CLIENT

4541 NBR LLC
ADDRESS: 655 MADISON AVE 11 FL
NEW YORK, NY 10065

DESIGN CONSULTANT

SAOTA
ADDRESS: 109 HATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
PHONE: +27(0)21.468.4400

ARCHITECT OF RECORD

O'DONNELL DANNWOLF AND PARTNERS ARCHITECTS INC
ADDRESS: 2432 HOLLYWOOD BOULEVARD, HOLLYWOOD, FL 33020
PHONE: 954.518.0833

LANDSCAPE ARCHITECT

RAYMOND JUNGLES, INC.
ADDRESS: 2964 AVIATION AVENUE, COCONUT GROVE, FL 33133
PHONE: 305.858.6777

4541 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

DESIGN REVIEW BOARD APPLICATION: DRB22-0795

FINAL SUBMITTAL: 04-11-2022

		DRB 1st Submittal 03-21-22	DRB Final Submittal 04-11-22

LANDSCAPE

L-000	COVER	*	*
L-100	TREE DISPOSITION PLAN	*	*
L-101	TREE DISPOSITION SCHEDULE	*	*
L-102	TREE DISPOSITION NOTES & DETAILS	*	*
L-103	HARDSCAPE PLAN	*	*
L-104	CANOPY PLANTING PLAN	*	*
L-105	UNDERSTORY PLANTING PLAN - GROUND LEVEL	*	*
L-106	UNDERSTORY PLANTING PLAN - SECOND LEVEL	*	*
L-107	PLANT LIST & MITIGATION CHART	*	*
L-108	LANDSCAPE LEGEND	*	*
L-109	PLANTING DETAILS	*	*
L-110	PLANTING NOTES & SPECIFICATIONS	*	*
L-111	LANDSCAPE LIGHTING SPECIFICATIONS	*	*

SURVEY

.	BOUNDARY SURVEY	*	*
---	-----------------	---	---

		DRB 1st Submittal 03-21-22	DRB Final Submittal 04-11-22

ARCHITECTURE

A-00	COVER	*	*
A-01	DRAWING INDEX	*	*
A-02	PROJECT INFO & CITY ZONING DATA	*	*
A-03	ZONING ANALYSIS	*	*
A-10	EXISTING SOUTH-WEST NEIGHBOR PHOTOS	*	*
A-11	EXISTING NORTH-WEST NEIGHBOR PHOTOS	*	*
A-12	EXISTING SOUTH NEIGHBOR PHOTOS	*	*
A-13	EXISTING NORTH NEIGHBOR PHOTOS	*	*
A-14	EXISTING NORTH BAY ROAD PHOTOS	*	*
A-20	EXISTING SITE PHOTOS	*	*
A-21	EXISTING HOUSE PHOTOS	*	*
A-30	EXISTING STREET VIEW	*	*
A-31	PROPOSED STREET MONTAGE VIEW	*	*

DESIGN ARCHITECTURE

A_6101	MATERIAL PALLETTE	*	*
A_6102	AXOS	*	*
A_6103	UNIT SIZE	*	*
A_6104	COVERAGE	*	*
A_6105	PERVIOUS YARDS	*	*
A_6106	SITE PLAN	*	*
A_6107	FIRST FLOOR PLAN	*	*
A_6108	SECOND FLOOR PLAN	*	*
A_6109	ROOF PLAN	*	*
A_6110	L1 DIMENSIONED PLAN	*	*
A_6111	L2 DIMENSIONED PLAN	*	*
A_6112	L3 DIMENSIONED PLAN	*	*
A_6113	FRONT (WEST) ELEVATION	*	*
A_6114	35% FRONT SETBACK	*	*
A_6115	REAR (EAST) ELEVATION	*	*
A_6116	NORTH ELEVATION	*	*
A_6117	SOUTH ELEVATION	*	*
A_6118	SECTION AA	*	*
A_6119	SECTION BB	*	*
A_6120	SECTION CC	*	*
A_6121	SECTION DD	*	*
A_6122	SECTION EE	*	*
A_6123	SECTION FF	*	*
A_6124	SECTION GG	*	*
A_6125	FRONT VIEW 01	*	*
A_6126	FRONT VIEW 01	*	*
A_6127	FRONT VIEW 02	*	*
A_6128	FRONT VIEW 02	*	*
A_6129	INTERNAL VIEW	*	*
A_6130	REAR VIEW 01	*	*
A_6131	PERSPECTIVE SECTION 01	*	*
A_6132	PERSPECTIVE SECTION 02	*	*

OWNER
4541 NORTH BAY ROAD NORTH BEACH, FL 33584
ARCHITECT
AXOS INCORPORATED C/O DONNELL DANNWOLF AND PARTNERS ARCHITECTS INC. 3402 HOLLYWOOD BOULEVARD, SUITE 100 HOLLYWOOD, FL 33024
DESIGN CONSULTANT
SAOTA LTD 108 HATFIELD STREET, GARDENS CAPE TOWN, 8001 SOUTH AFRICA T: +27 (0)21 468 4500 WWW.SAOTA.CO.ZA
LANDSCAPE ARCHITECT
BERNARD LANGER, INC. 2804 AUSTIN AVENUE, SUITE 100, AUSTIN, TX 78741 T: 512.834.4773



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DESIGN CONSULTANT

SAOTA

108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 468 4500
WWW.SAOTA.CO.ZA

PROJECT

4541 NORTH BAY RD

4541 NORTH BAY ROAD, NORTH BEACH, FL 33584

REVISIONS
04-11-2022 [DRB FINAL SUBMITTAL]

KEY PLAN

SCALE

DATE: 08/01/2022
STARTED BY:
DRAWN BY:

DRAWING INDEX

SHEET NO.

A-01

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140		
2	Folio number(s):	02-3222-011-0840		
3	Board and file numbers:	DESIGN REVIEW BOARD - DRB22-0795		
4	Year built:	1928	Zoning District:	RS-4
5	Base Flood Elevation:	+8' NGVD (per 54-35)	Grade value in NGVD:	+3.62' NGVD
6	Adjusted grade (Flood+Grade/2):	+5.81' NGVD	Free board:	1'-6"
7	Lot Area:	7,314 SF		
8	Lot width:	75.79 FT (@20' front setback)	Lot Depth:	100.00 FT
9	Max Lot Coverage SF and %:	2,194.2 SF / 30%	Proposed Lot Coverage SF and %:	2,163 SF / 29.57%
10	Existing Lot Coverage SF and %:	4,548 SF / 62.18%	Lot coverage deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	2,286 SF / 50%	Rear Yard Open Space SF and %:	1,391 SF / 72%
12	Max Unit Size SF and %:	3,657 SF / 50%	Proposed Unit Size SF and %:	3,597 SF / 49%
15	Min Additional 5' Setback for 35% of Front 2nd Story:	35% of 57.71 FT = 20.20 FT	Proposed Additional 5' Setback of Front 2nd Story:	23.46' + 3.24' = 26.70 FT / 46.27%
16	Max Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A	Proposed Roof Deck Area SF and %:	N/A

	Required	Existing	Proposed	Deficiencies
17	Height:	24 FT	24.0'	24'-0"
18	Setbacks:			
19	Front First level:	30 FT	20.5'	30'-0"
20	Front Second level:	30 FT	20.5'	30'-0"
21	Side 1:	10 FT	5.2'	10'-0"
22	Side 2 or (facing street):	10 FT	8.8'	10'-0"
23	Rear:	20 FT	9.45'	20'-0"
	Accessory Structure Side 1:	N/A	N/A	N/A
24	Accessory Structure Side 2 or (facing street):	N/A	N/A	N/A
25	Accessory Structure Rear:	N/A	N/A	N/A
26	Sum of Side yard:	18.88' (25% lot width)	14.0'	20'-0"

27	Located within a Local Historic District?	NO
28	Designated as an individual Historic Single Family Residence Site?	NO
29	Determined to be Architecturally Significant?	YES - BASED ON AGE (1928)

Notes:

If not applicable write N/A

All other data information should be presented like the above format



PROPERTY INFORMATION AND DATA

PROPERTY ADDRESS: 4541 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

FOLIO NUMBER: 02-3222-011-0840

SUB-DIVISION: NAUTILUS SUB

LEGAL DESCRIPTION: LOT 13, OF BLOCK 4, OF NAUTILUS SUBDIVISION, PLATBOOK 8, PAGE 95.

ZONING LOT DISTRICT: RS-4 SINGLE-FAMILY RESIDENTIAL DISTRICT

FLOOD ZONE: ZONE AE-8

OWNER
4541 NORTH BAY ROAD MIAMI BEACH, FL 33140
ARCHITECT
CORNELL DANNOLFF AND PARTNERS ARCHITECTS INC. 4541 NORTH BAY ROAD, SUITE 100 MIAMI BEACH, FL 33140
DESIGN CONSULTANT
SAOTA 108 HATFIELD STREET, GARDEN CITY, FL 33440 407.261.1111 / 407.261.1112
LANDSCAPE ARCHITECT
LANDSCAPE ARCHITECTS, INC. 108 HATFIELD STREET, GARDEN CITY, FL 33440 407.261.1111 / 407.261.1112



04/09/2022
KURT DANNOLFF
FL ARCHITECT REG. NO. AR92042

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odp
ARCHITECTURE AND DESIGN
2402 HOLLYWOOD BOULEVARD
MIAMI BEACH, FLORIDA 33133
T: 305.451.1111 / F: 305.451.1112
WWW.ODPFLA.COM

DESIGN CONSULTANT
SAOTA
108 HATFIELD STREET, GARDEN CITY, FL 33440
407.261.1111 / 407.261.1112
WWW.SAOTA.COM

PROJECT
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS
04-11-2022 (DRB FINAL SUBMITTAL)

KEY PLAN

SCALE: 1/2" = 1'-0"
DATE: 08/01/2022
DRAWN BY: [blank]
CHECKED BY: [blank]

PROJECT INFO & CITY ZONING DATA

SHEET NO.
A-02

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4541 NORTH BAY ROAD 4



4540 NORTH BAY ROAD 3



4520 NORTH BAY ROAD 2



4462 NORTH BAY ROAD 1



OWNER
 4541 NORTH BAY ROAD
 MIAMI BEACH, FL 33140

ARCHITECT
 C/O DONNELL, DANNWOLF AND PARTNERS ARCHITECTS INC.
 3402 HOLLYWOOD BOULEVARD
 MIAMI BEACH, FL 33130
 T: 305.536.1100 F: 305.536.1101
 WWW.DONNELL-AND-PARTNERS.COM

DESIGN CONSULTANT
 SAOTA LTD.
 108 HATFIELD STREET, GARDENS
 CAPE TOWN, 8001 SOUTH AFRICA
 T: +2721 458 4848 F: +2721 458 4849
 WWW.SAOTA.COM

LANDSCAPE ARCHITECT
 KENNEDY LANDSCAPE INC.
 2804 AUSTIN AVENUE, SUITE 100
 MIAMI BEACH, FL 33134
 T: 305.684.6773

STATE OF FLORIDA
 KURT DANNWOLF
 AR 92042
 REGISTERED ARCHITECT
 04/09/2022
 FL ARCHITECT REG. NO. AR92042

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 3402 HOLLYWOOD BOULEVARD
 MIAMI BEACH, FLORIDA 33130
 T: 305.536.1100 F: 305.536.1101
 WWW.DONNELL-AND-PARTNERS.COM

DESIGN CONSULTANT
SAOTA
 108 HATFIELD STREET, GARDENS
 CAPE TOWN, 8001 SOUTH AFRICA
 T: +2721 458 4848 F: +2721 458 4849
 WWW.SAOTA.COM

PROJECT
 4541 NORTH BAY ROAD
 4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS

NO.	DATE	DESCRIPTION
1	04-11-2022	DRG FINAL SUBMITTAL

KEY PLAN

SCALE 1/2" = 1'-0"

DATE ISSUED
 04/11/2022

DRAWING TITLE
 EXISTING
 SOUTH-WEST
 NEIGHBOR PHOTOS

SHEET NO.
 A-10



4580 NORTH BAY ROAD 5



4570 VACANT LOT 3



4550 NORTH BAY ROAD 2



4540 NORTH BAY ROAD 1



OWNER
 4541 NORTH BAY ROAD
 MIAMI BEACH, FL 33149

ARCHITECT
 C/O DONNELLY AND PARTNERS ARCHITECTS INC.
 100 HOLLWOOD BOULEVARD, SUITE 100
 HOLLYWOOD, FLORIDA 33020
 T: 305.555.1111 F: 305.555.1112
 WWW.DONNELLY.COM

DESIGN CONSULTANT
 SAOTA LTD.
 100 HOLLWOOD BOULEVARD, SUITE 100
 HOLLYWOOD, FLORIDA 33020
 T: 305.555.1111 F: 305.555.1112
 WWW.SAOTA.COM

LANDSCAPE ARCHITECT
 KURT DANNWOLF, INC.
 100 HOLLWOOD BOULEVARD, SUITE 100
 HOLLYWOOD, FLORIDA 33020
 T: 305.555.1111 F: 305.555.1112
 WWW.KURT-DANNWOLF.COM

STATE OF FLORIDA
 KURT DANNWOLF
 AR 92042
 REGISTERED ARCHITECT
 04/09/2022
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 ARCHITECTURE AND DESIGN
 3402 HOLLYWOOD BOULEVARD
 HOLLYWOOD, FLORIDA 33020
 T: 305.555.1111 F: 305.555.1112
 WWW.ODP-FL.COM

DESIGN CONSULTANT
SAOTA
 100 HOLLWOOD BOULEVARD, SUITE 100
 HOLLYWOOD, FLORIDA 33020
 T: 305.555.1111 F: 305.555.1112
 WWW.SAOTA.COM

PROJECT
 4541 NORTH BAY ROAD
 MIAMI BEACH, FL 33149

REVISIONS

NO.	DATE	DESCRIPTION
01	04-11-2022	DRG FINAL SUBMITTAL

KEY PLAN

SCALE 1/2" = 1'-0"

DATE 04/11/2022
STARTED BY SAOTA
DESIGNED BY SAOTA
EXISTING
NORTH-WEST
NEIGHBOR PHOTOS
SHEET NO.
A-11



4541 NORTH BAY ROAD 4



4531 NORTH BAY ROAD 3



4515 NORTH BAY ROAD 2



4501 NORTH BAY ROAD 1



OWNER
 4541 NORTH BAY ROAD
 MIAMI BEACH, FL 33149

ARCHITECT
 C/O DONNELLY AND PARTNERS ARCHITECTS INC.
 3402 HOLLYWOOD BOULEVARD
 MIAMI BEACH, FL 33139
 T: 305.555.1111
 WWW.DONNELLY.COM

DESIGN CONSULTANT
 SAOTA
 108 HATFIELD STREET, GARDENS
 CAPE TOWN, 800 SOUTH AFRICA
 T: +2721 488 4888
 WWW.SAOTA.COM

LANDSCAPE ARCHITECT
 BERNARD J. JAMES, INC.
 2804 AUSTIN AVENUE, SUITE 100, MIAMI BEACH, FL 33139
 T: 305.684.6773

STATE OF FLORIDA
KURT DANNWOLF
 AR 92042
 REGISTERED ARCHITECT
 04/09/2022
 FL ARCHITECT REG. NO. AR92042

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odp
 ARCHITECTURE AND DESIGN
 3402 HOLLYWOOD BOULEVARD
 MIAMI BEACH, FLORIDA 33139
 T: 305.555.1111 | F: 305.555.1112
 WWW.ODPFLA.COM

DESIGN CONSULTANT
SAOTA
 108 HATFIELD STREET, GARDENS
 CAPE TOWN, 800 SOUTH AFRICA
 T: +2721 488 4888
 WWW.SAOTA.COM

PROJECT
 4541 NORTH BAY ROAD
 MIAMI BEACH, FL 33149

REVISIONS

NO.	DATE	DESCRIPTION
01	04-11-2022	DRG FINAL SUBMITTAL

KEY PLAN

SCALE 1/2" = 1'-0"

DATE 08/01/2022
STARTED BY [NAME]
DRAWN BY [NAME]

EXISTING SOUTH NEIGHBOR PHOTOS

SHEET NO.
 A-12



4591 NORTH BAY ROAD 8



4575 NORTH BAY ROAD 7



4565 NORTH BAY ROAD 6



4555 NORTH BAY ROAD 5



OWNER
 4541 NORTH BAY ROAD
 MIAMI BEACH, FL 33140

ARCHITECT
 C/O DONNELLY AND PARTNERS ARCHITECTS INC.
 3402 HOLLYWOOD BOULEVARD
 MIAMI BEACH, FL 33130
 T: 305.531.1234
 WWW.DONNELLY.COM

DESIGN CONSULTANT
 SAOTA LTD.
 108 HATFIELD STREET, GARDENS
 CAPE TOWN, 800 SOUTH AFRICA
 T: +2721 468 4000
 WWW.SAOTA.COM

LANDSCAPE ARCHITECT
 BERNARD J. LARSEN, INC.
 2804 AUSTIN AVENUE, SUITE 100
 MIAMI BEACH, FL 33134
 T: 305.684.6773



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odp
 ARCHITECTURE AND DESIGN
 3402 HOLLYWOOD BOULEVARD
 MIAMI BEACH, FLORIDA 33130
 T: 305.531.1234 | F: 305.531.1235
 WWW.ODPFL.COM | INFO@ODPFL.COM

DESIGN CONSULTANT
SAOTA
 108 HATFIELD STREET, GARDENS
 CAPE TOWN, 800 SOUTH AFRICA
 T: +2721 468 4000
 WWW.SAOTA.COM

PROJECT
 4541 NORTH BAY ROAD
 4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS

NO.	DATE	DESCRIPTION
01	04-11-2022	DRG FINAL SUBMITTAL

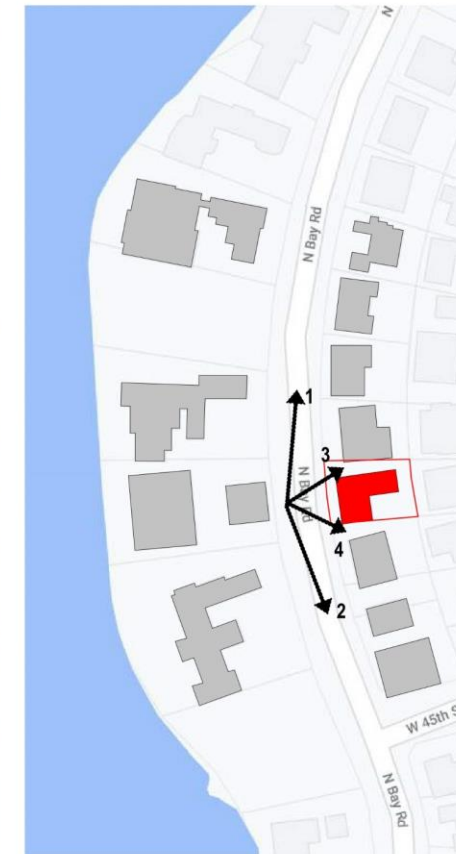
KEY PLAN

SCALE: 1/2" = 1'-0"
DATE: 08/01/2022
STATUS: FINAL
DESIGNED BY: [Redacted]
CHECKED BY: [Redacted]

EXISTING NORTH NEIGHBOR PHOTOS

SHEET NO.:
 A-13

C:\PROJECTS\4541 NORTH BAY ROAD\4541 NORTH BAY ROAD - EXISTING\4541 NORTH BAY ROAD - EXISTING - KEY PLAN.dwg, 08/01/2022, 10:00 AM, KURT DANNWOLF, AR 92042



OWNER
K&S DEVELOPMENT LLC
4501 NORTH BAY ROAD
SUITE 3000
FORT LAUDERDALE, FL 33309

ARCHITECT
COUNSELL, DANNOLFF AND PARTNERS ARCHITECTS INC.
10000 WILLOW PARKWAY
SUITE 100
FORT LAUDERDALE, FL 33304
TEL: 754.936.8300

DESIGN CONSULTANT
JACQUESF112
1000 WILLOW PARKWAY, SUITE 100
FORT LAUDERDALE, FL 33304
TEL: 754.936.8300

LANDSCAPE ARCHITECT
NORMAN ARBESCH, INC.
2800 AUSTIN AVENUE, SUITE 200
FORT LAUDERDALE, FL 33304
TEL: 754.936.4777

STATE OF FLORIDA
REGISTERED ARCHITECT
AR 92042

04/09/2022

KURT DANNOLFF
FL ARCHITECT REG. NO.
AR0042

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ARCHITECTURE AND DESIGN
3442 HOLLYWOOD BOULEVARD
HOUSTON, TEXAS 77004
TEL: 713.936.5121 • FAX: 713.936.5121
www.oldp.com • info@oldp.com
AR 2020096

DESIGN CONSULTANT

SAOTA
100 HAYWARD STREET, GARLAND,
CALIFORNIA 94024
TEL: 714.772.4844 • FAX: 714.772.4844
www.saota.com

PROJECT
4541 NORTH BAY ROAD

REVISIONS
04-11-2022 ONE FINAL SUBMITTAL

KEY PLAN

SCALE: 1/2" = 1'-0"
DATE: 04/09/2022
DRAWING TITLE:
EXISTING NORTH BAY
ROAD PHOTOS

SHEET NO.
A-14



LOOKING EASTERLY TO THE BACKYARD 6



LOOKING TOWARDS NW CORNER OF PROPERTY 5



LOOKING NORTHERLY FROM FRONT YARD 4



LOOKING SOUTH FROM FRONT YARD 3



LOOKING SOUTH FROM THE BACKYARD 2



LOOKING SOUTH TO SW CORNER OF PROPERTY 1

OWNER
4541 NORTH BAY ROAD
MIAMI BEACH, FL 33149

ARCHITECT
C/O DONNELLY AND PARTNERS ARCHITECTS INC.
2402 HOLLYWOOD BOULEVARD
MIAMI BEACH, FL 33139
TEL: 305.674.1111
WWW.DONNELLY.COM

DESIGN CONSULTANT
SAOTA LTD.
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
TEL: 27.2192.7100
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
KURT DANNWOLF
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33149
TEL: 305.674.1111

STATE OF FLORIDA
KURT DANNWOLF
AR 92042
REGISTERED ARCHITECT
04/09/2022
KURT DANNWOLF
FL ARCHITECT REG. NO.
AR0042

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ARCHITECTURE AND DESIGN
2402 HOLLYWOOD BOULEVARD
MIAMI BEACH, FLORIDA 33139
TEL: 305.674.1111 | FAX: 305.674.1112
WWW.DONNELLY.COM

DESIGN CONSULTANT
SAOTA
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
TEL: 27.2192.7100
WWW.SAOTA.COM

PROJECT
4541 NORTH BAY RD
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS

NO.	DATE	DESCRIPTION
01	04-11-2022	DRG FINAL SUBMITTAL

KEY PLAN

SCALE

DATE (ISSUED)

STARTED BY:

DRAWING TITLE

EXISTING SITE PHOTOS

SHEET NO.
A-20

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NORTHWEST ELEVATION 1



WEST ELEVATION 2



SOUTHWEST ELEVATION 3

OWNER
4541 NORTH BAY ROAD
MIAMI BEACH, FL 33149

ARCHITECT
CORNELL DANNWOLF AND PARTNERS ARCHITECTS INC.
2402 HOLLYWOOD BOULEVARD, SUITE 1000
MIAMI, FL 33133

DESIGN CONSULTANT
SAOTA LTD.
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 486 4000
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
REYNOLDS LARSEN INC.
2800 AUSTON AVENUE, SUITE 100
TALLAHASSEE, FL 32310
T: 904.884.6773



KURT DANNWOLF
FL ARCHITECT REG. NO.
AR00462

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DESIGN CONSULTANT
SAOTA
108 HATFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T: +27 (0)21 486 4000
WWW.SAOTA.COM

PROJECT
4541 NORTH BAY RD
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS
04-11-2022 (DRS) FINAL SUBMITTAL

KEY PLAN

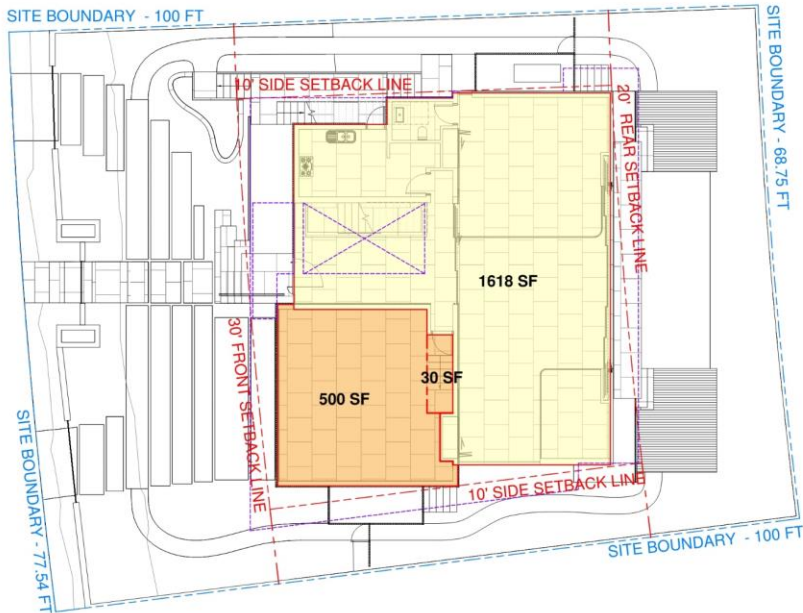
SCALE
DATE: 08/01/2022
DRAWN BY: [Name]
CHECKED BY: [Name]

EXISTING HOUSE
PHOTOS

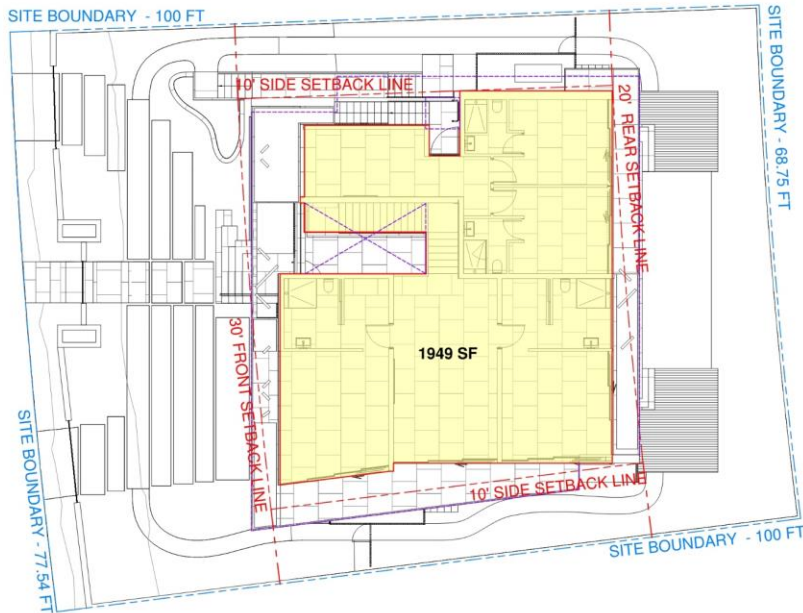
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A-21

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UNIT SIZE ALLOWANCE (For CITY Compliance)		ALLOWABLE UNIT SIZE = LOT AREA X 50% 7 314 SF X 50%	
ALLOWABLE UNIT SIZE		3 657 SF	
<div></div> GROSS INTERNAL AREA (Air Conditioned)	L1 FIRST FLOOR	1618 SF	
	L2 SECOND FLOOR	1 949 SF	
<div></div> GARAGE (Not Air Conditioned)	500 SF EXEMPT	(530 - 500)	30 SF
TOTAL UNIT SIZE		3 597 SF	
PERCENTAGE ACHIEVED		49 %	



1 UNIT SIZE: FIRST FLOOR
1/8" = 1'-0"



2 UNIT SIZE: SECOND FLOOR
1/8" = 1'-0"



OWNER
BLM TRCO
MIAMI, UNITED STATES

ARCHITECT
SAOTA
CORNELL, DANIELLY AND PARTNERS ARCHITECTS INC.
2402 HOLLYWOOD BOULEVARD, SUITE 1000
MIAMI, FL 33133

DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
CHERTOWN, VIRGINIA 23043

LANDSCAPE ARCHITECT
BERNARDI LUNDELL, INC.
1000 WASHINGTON AVENUE, SUITE 100
MIAMI, FL 33133



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DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
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T: 757.551.0001 | F: 757.551.0002
WWW.SAOTA.COM

PROJECT
US_MIA_NBAY4541
MIAMI, UNITED STATES

REVISIONS	

KEY PLAN

SCALE AS SHOWN
DATE: 01/20/2024
DRAWN BY: [blank]
CHECKED BY: [blank]

UNIT SIZE
SHEET NO.
A_6103



2 COVERAGE
1/8" = 1'-0"

COVERAGE ALLOWANCE (For CITY Compliance)		ALLOWABLE COVERAGE = LOT AREA X 30% 7 314 SF X 30%
ALLOWABLE COVERAGE		2 194 SF
FIRST FLOOR		2 120 SF
SECOND FLOOR		8 SF
> 5FT PROJECTIONS		35 SF
TOTAL COVERAGE		2 163 SF
PERCENTAGE ACHIEVED		29.57 %

COVERAGE EXEMPTION		
< 5FT PROJECTIONS		762 SF

OWNER
MIA, USA
MIA, USA
ARCHITECT
CORNELL, DANIELLY AND PARTNERS ARCHITECTS INC.
1000 HOLLWOOD BOULEVARD, SUITE 1000
HOLLYWOOD, FLORIDA 33020
DESIGN CONSULTANT
SAOTA PVT LTD
100 HATFIELD STREET, GARDENS
CHITRALPA, WEST BENGAL, INDIA
LANDSCAPE ARCHITECT
NIRMAL KUMAR, INC.
1000 HOLLWOOD BOULEVARD, SUITE 1000
HOLLYWOOD, FLORIDA 33020



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100 HATFIELD STREET, GARDENS
CHITRALPA, WEST BENGAL, INDIA
171001
www.saota.com
PROJECT
US_MIA_NBAY4541
MIA, USA

REVISIONS	
NO.	DESCRIPTION




KEY PLAN

SCALE: AS SHOWN
DATE: 01/10/2022
DRAWING TITLE

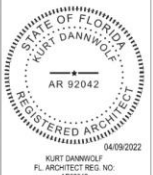
COVERAGE
SHEET NO.
A_6104





REAR YARD PVIOUS ALLOWANCE (For CITY Compliance)		
MINIMUM PVIOUS REAR YARD		70%
	PERVIOUS	750 SF
	POOL BELOW ADJUSTED GRADE	241 SF
	POOL ABOVE ADJUSTED GRADE	22 SF
	HARDSCAPE	378 SF
TOTAL REAR YARD		1 391 SF
	PERVIOUS	750 SF
	100% POOL BELOW ADJ. GRADE	241 SF
	50% POOL ABOVE ADJ GRADE	11 SF
	TOTAL PERMEABLE	1 002 SF
PERCENTAGE ACHIEVED		72 %

PERVIOUS	750 SF
100% POOL BELOW ADJ. GRADE	241 SF
50% POOL ABOVE ADJ GRADE	11 SF
TOTAL PERMEABLE	1 002 SF



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CAPETOWN, 8001 SOUTH AFRICA
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www.saota.com

PROJECT
US_MIA_NBAY4541

[illegible]

KEY PLAN

SCALE As indicated

DATE: 01/12/00

STARTED BY:

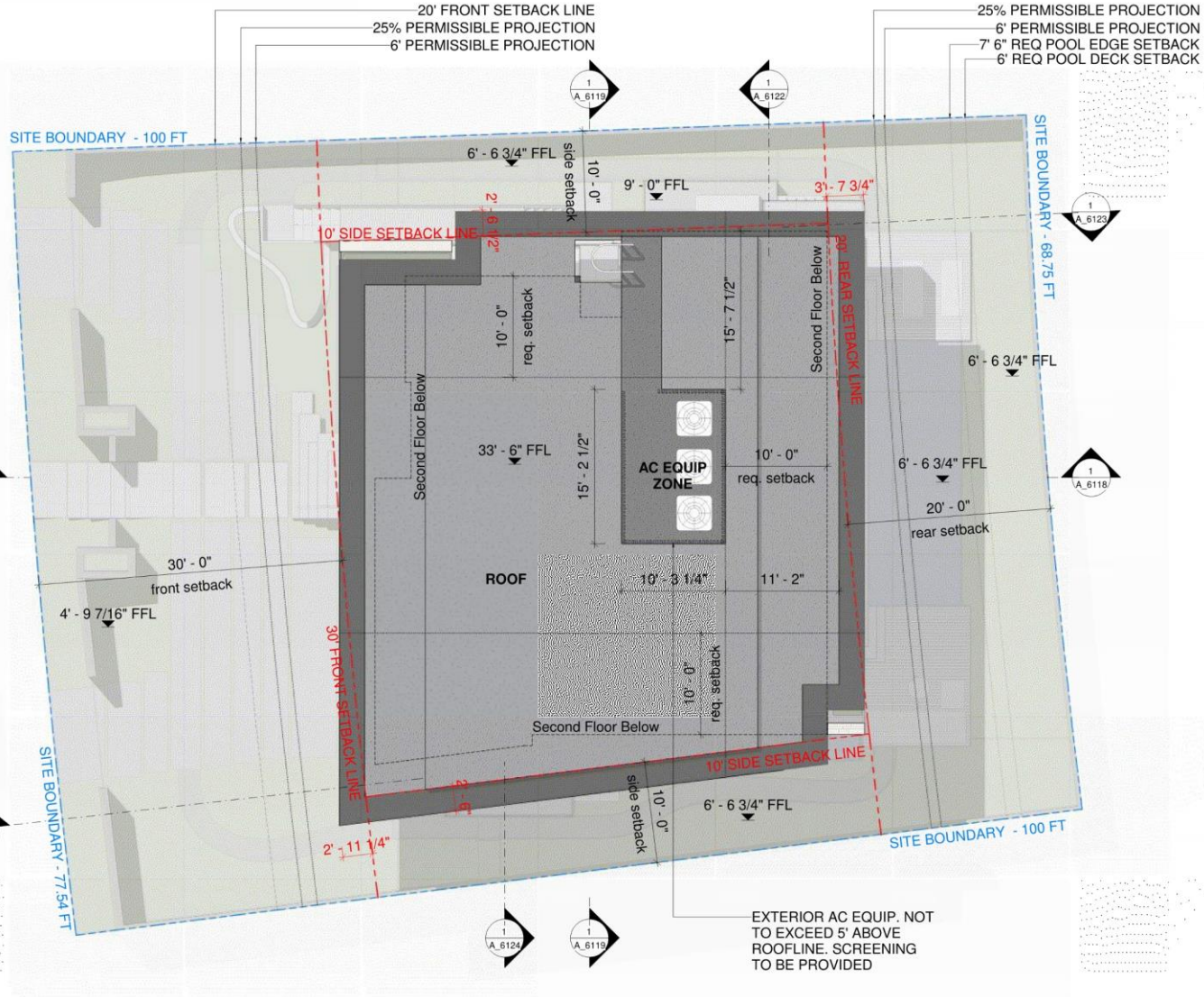
DRAWING TITLE:

PERVIOUS YARDS

SHEET NO.
A_6105



NORTH BAY ROAD



1 ROOF PLAN
3/16" = 1'-0"

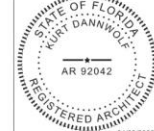


OWNER
MIA, INC.
MIAMI, UNITED STATES

ARCHITECT
CORNELL DANWOLF AND PARTNERS ARCHITECTS INC.
2402 HOLLYWOOD BOULEVARD, SUITE 100
MIAMI BEACH, FLORIDA 33139

DESIGN CONSULTANT
SAOTA PVT LTD
100 WATFIELD STREET, GARDENS
CHERTON, WEST SOUTH AFRICA
27000 400 0000

LANDSCAPE ARCHITECT
NORMAN LANGE, INC.
1000 HUNTER AVENUE, SUITE 100
MIAMI, FLORIDA 33139



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ARCHITECTURE AND DESIGN
2402 HOLLYWOOD BOULEVARD
MIAMI BEACH, FLORIDA 33139
T: 305.531.0001 | F: 305.531.0101
WWW.ODPARCHITECT.COM

DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
CHERTON, WEST SOUTH AFRICA
27000 400 0000
WWW.SAOTA.CO.ZA

PROJECT
US_MIA_NBAY4541
MIAMI, UNITED STATES

REVISIONS

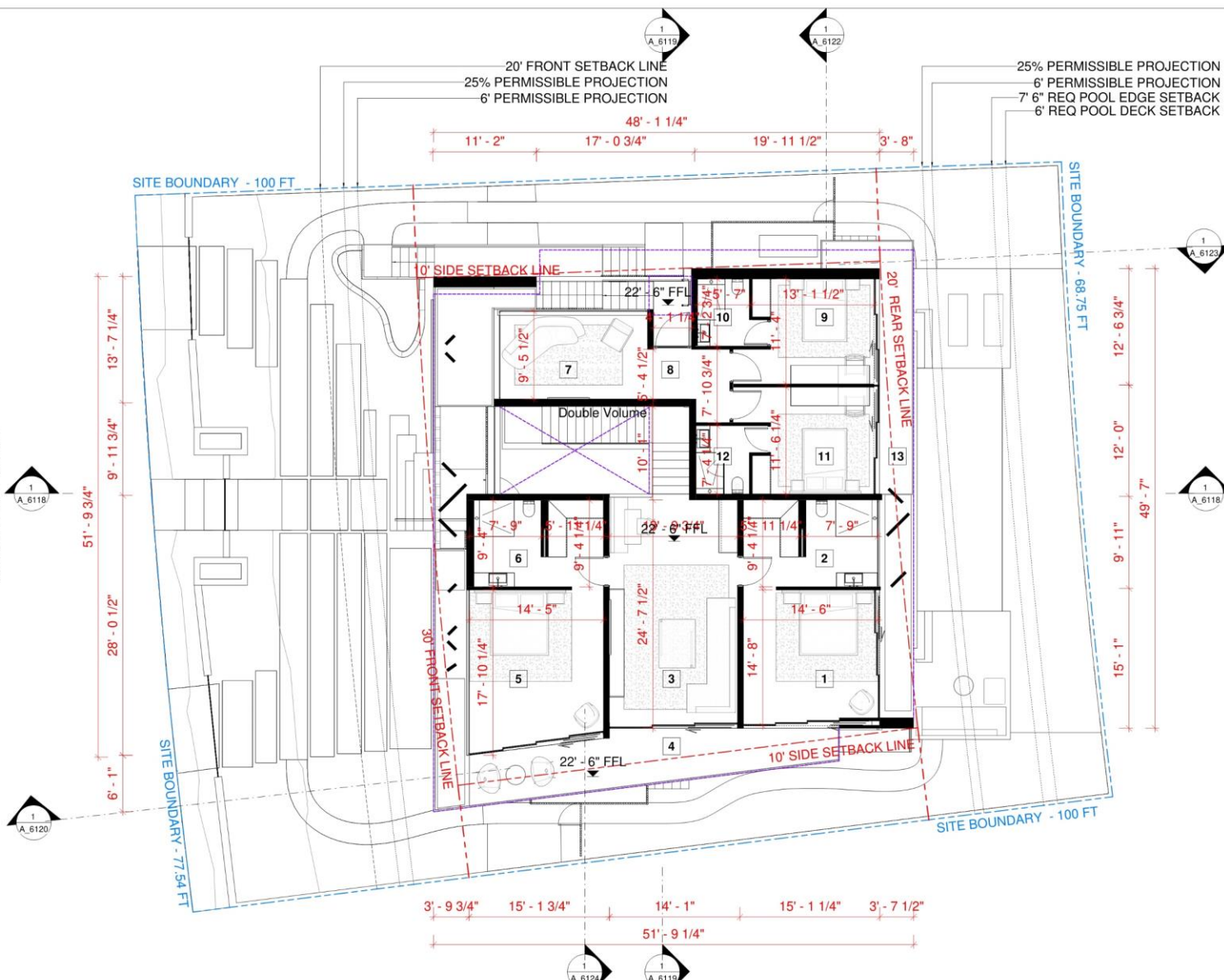
KEY PLAN

SCALE: 3/16" = 1'-0"
DATE: 01/15/2024
DRAWN BY: [blank]
CHECKED BY: [blank]

ROOF PLAN

SHEET NO.
A_6109

NORTH BAY ROAD



KEY

1 Guest Suite 01	6 ES 02	11 Bedroom 04	16
2 ES 01	7 Lounge	12 ES 04	17
3 Guest Lounge	8 Entry	13 Outdoor Terrace	18
4 Outdoor Terrace	9 Bedroom 03	14	19
5 Guest Suite 02	10 ES 03	15	20

1 SECOND FLOOR DIM PLAN
3/16" = 1'-0"

OWNER
MIA, INC.
MIAMI, FLORIDA 33131

ARCHITECT
CORNELL DANWOLF AND PARTNERS ARCHITECTS INC.
2400 HOLLYWOOD BOULEVARD, SUITE 1000
MIAMI, FLORIDA 33133

DESIGN CONSULTANT
SAOTA LTD.
100 WATFIELD STREET, GARDENS
CHERTOWN, WEST SOUTH AFRICA
7170 001 0000

LANDSCAPE ARCHITECT
BARNARD LANDSCAPE INC.
1000 BAYVIEW AVENUE, SUITE 1000
MIAMI BEACH, FLORIDA 33139



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SUITE 1000
MIAMI, FLORIDA 33133
WWW.ODPARCHITECT.COM

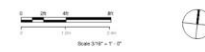
DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
CHERTOWN, WEST SOUTH AFRICA
7170 001 0000
WWW.SAOTA.COM

PROJECT
US_MIA_NBAY4541
MIAMI, FLORIDA

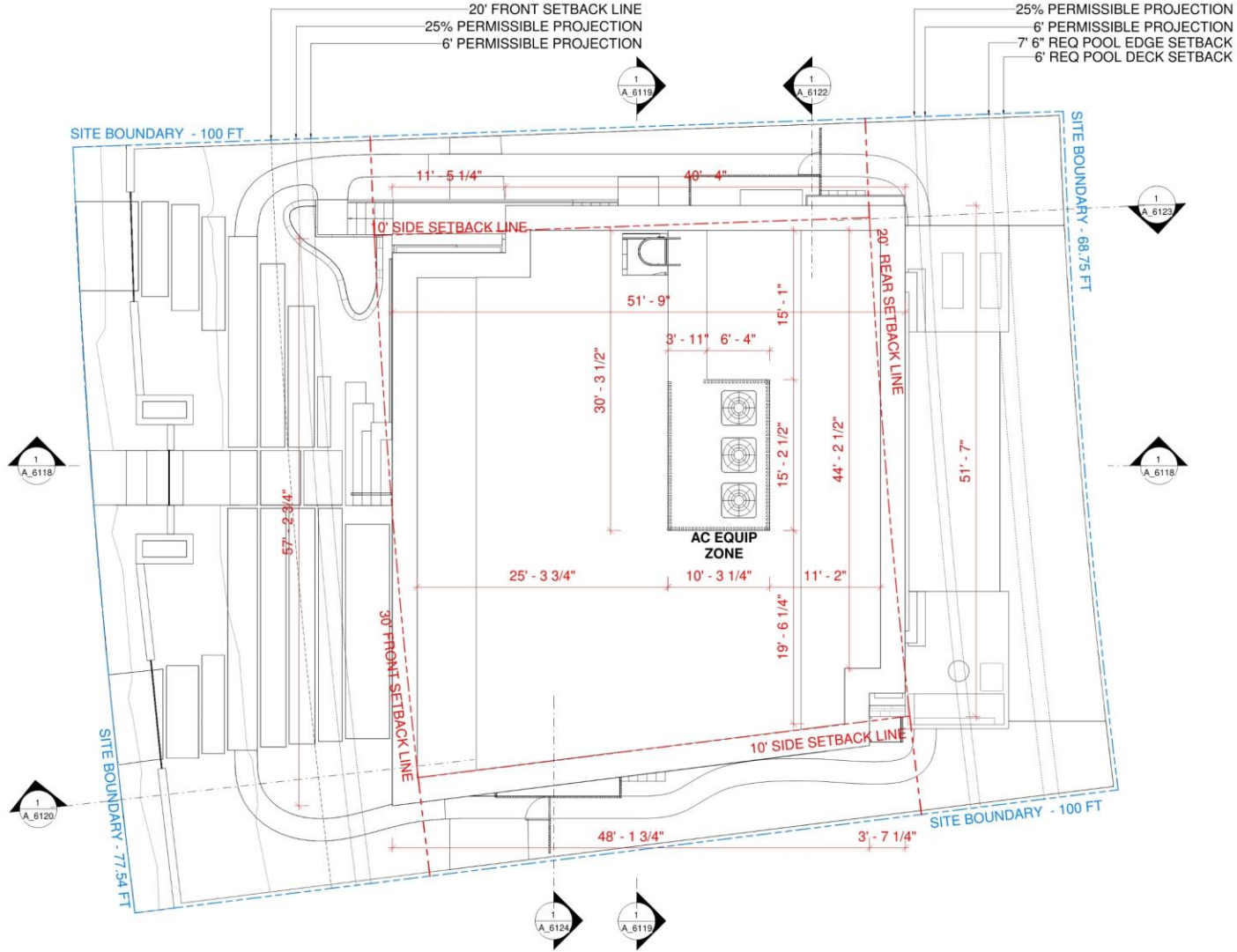
REVISIONS

KEY PLAN

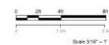
SCALE: AS SHOWN
DATE: 01/18/2023
DRAWING TITLE:
L2 DIMENSIONED PLAN
SHEET NO.
A_6111



NORTH BAY ROAD



1 ROOF DIM PLAN
3/16" = 1'-0"



OWNER
BAYVIEW
HOME, UNITED STATES

ARCHITECT
KURT DANNWOLF
COUNSELL, DANNWOLF AND PARTNERS ARCHITECTS INC.
2402 HOLLYWOOD BOULEVARD, SUITE 100
HOUSTON, TEXAS 77058-1000
P: 281.441.1000
F: 281.441.1001
WWW.CDAI.COM

DESIGN CONSULTANT
SAOTA PVT LTD
100 WATFIELD STREET, GARDENS
CHERTON, WEST SOUTH AFRICA
201301 0000
P: +27 11 650 1000
F: +27 11 650 1001
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
NORMAN LANGE, INC.
1000 HUNTER AVENUE, SUITE 100
HOUSTON, TEXAS 77058-1000
P: 281.441.1000
F: 281.441.1001
WWW.NORMANLANGE.COM



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ARCHITECTURE AND DESIGN
2402 HOLLYWOOD BOULEVARD
HOUSTON, TEXAS 77058-1000
P: 281.441.1000 | F: 281.441.1001
WWW.CDAI.COM

DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
CHERTON, WEST SOUTH AFRICA
201301 0000
P: +27 11 650 1000
F: +27 11 650 1001
WWW.SAOTA.COM

PROJECT
US_MIA_NBAY4541
HOME, UNITED STATES

REVISIONS

KEY PLAN

SCALE: 3/16" = 1'-0"

DATE: 01/15/2022

DRAWN BY: [Signature]

CHECKED BY: [Signature]

L3 DIMENSIONED
PLAN

SHEET NO.
A_6112

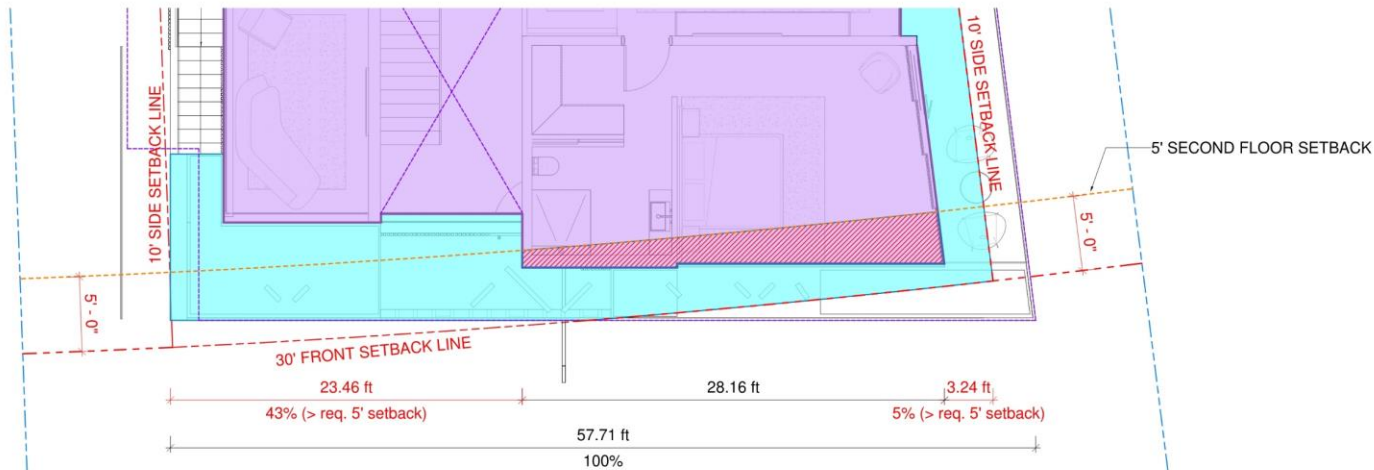


35% SECOND FLOOR SETBACK (For CITY Compliance)		(5' Setback from required front setback line)
MIN REQUIRED SETBACK		35%
EXTERNAL AREA	(23.46 + 3.24)	26.7 ft
INTERNAL AREA ($< \text{req. } 5' \text{ setback}$)		28.16 ft
TOTAL LENGTH		57.71 ft
> 5' REQUIRED SETBACK		46.27 %

INTERNAL AREA
($> \text{req. } 5' \text{ setback}$)

3 FRONT ELEVATION: 35% SETBACK

1/4" = 1'-0"



2 SECOND FLOOR: 35% SETBACK PLAN

1/4" = 1'-0"



OWNER
MIA, MIAMI
MIAMI, UNITED STATES

ARCHITECT
SAOTA
100 HATFIELD STREET, GARDENS
CHITONIA, MIAMI SOUTH AFRICA
T: +27 21 451 1111 | F: +27 21 451 1111
WWW.SAOTA.COM

DESIGN CONSULTANT
SAOTA LTD
100 HATFIELD STREET, GARDENS
CHITONIA, MIAMI SOUTH AFRICA
T: +27 21 451 1111 | F: +27 21 451 1111
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
BARNARD LANGE, INC.
100 HATFIELD STREET, GARDENS
CHITONIA, MIAMI SOUTH AFRICA
T: +27 21 451 1111 | F: +27 21 451 1111
WWW.SAOTA.COM



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ARCHITECTURE AND DESIGN
100 HATFIELD STREET, GARDENS
CHITONIA, MIAMI SOUTH AFRICA
T: +27 21 451 1111 | F: +27 21 451 1111
WWW.SAOTA.COM

DESIGN CONSULTANT
SAOTA
100 HATFIELD STREET, GARDENS
CHITONIA, MIAMI SOUTH AFRICA
T: +27 21 451 1111 | F: +27 21 451 1111
WWW.SAOTA.COM

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MIAMI, UNITED STATES

REVISIONS

KEY PLAN

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MIAMI, FLORIDA 33133
T 305 376 0833 F 305 376 0733
WWW.ODPARCHITECT.COM
04-20200008

DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
CHRYSTOWN, WEST SOUTH AFRICA
T 27 07507 06 4000 LANG@saota.com
WWW.SAOTA.CO.ZA

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ARCHITECT
CORNELL, DANNWOLF AND PARTNERS ARCHITECTS INC.
3420 HOLLYWOOD BOULEVARD, SUITE 1000
MIAMI, FLORIDA 33133
P: 305.375.1111
WWW.CORNELL-DANNWOLF.COM

DESIGN CONSULTANT
SAOTA PVT LTD
100 WATFIELD STREET, GARDENS
CHRYSTOWN, 8001 SOUTH AFRICA
T: +27 021 461 4000
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
NATHANIEL LANGE, INC.
1000 HUNTER AVENUE, COVINGTON, MISSISSIPPI 39426
T: 601.836.8777

STATE OF FLORIDA
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MIAMI, FLORIDA 33133
T: 305.375.1111 | F: 305.375.1112
WWW.CORNELL-DANNWOLF.COM

DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
CHRYSTOWN, 8001 SOUTH AFRICA
T: +27 021 461 4000
WWW.SAOTA.COM

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100 WATFIELD STREET, GARDENS
CHRISTOWN, WEST SOUTH AFRICA
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7170701 48 48 48
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MIAMI, UNITED STATES

ARCHITECT
CORNELL, DANNWOLF AND PARTNERS ARCHITECTS INC.
3402 HOLLYWOOD BOULEVARD, SUITE 1000
MIAMI, FL 33134

DESIGN CONSULTANT
SAOTA PVT LTD
100 WATFIELD STREET, GARDENS
CHRYSTON, WEST SOUTHERN AFRICA
170501 06 4000

LANDSCAPE ARCHITECT
BARNARD LANGE, INC.
1000 HUNTER AVENUE, COVINGTON, LA 70032
T 504 836 8777



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MIAMI, FLORIDA 33134
T 305 351 0033 | F 305 351 0131
WWW.ODPARCHITECT.COM
MI 2000008

DESIGN CONSULTANT
SAOTA
100 WATFIELD STREET, GARDENS
CHRYSTON, WEST SOUTHERN AFRICA
170501 06 4000
WWW.SAOTA.COM

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KURT DANNWOLF AND PARTNERS ARCHITECTS INC.
2402 HOLLYWOOD BOULEVARD, SUITE 1000
MIAMI, FLORIDA 33133
P: 305.375.1111
WWW.KDPA.COM

DESIGN CONSULTANT
SAOTA PVT LTD
100 WATFIELD STREET, GARDENS
CHERTOWN, WEST SOUTH AFRICA
7700704 400 0000
WWW.SAOTA.COM

LANDSCAPE ARCHITECT
BETHANN LANGE, INC.
1000 HUNTER AVENUE, COVINGTON, LA 70424
P: 504.836.8777



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4541 NORTH BAY ROAD GARDEN

4541 North Bay Road, Miami Beach, FL 33140

FINAL SUBMITTAL 4/11/2022 DRB File. No. DRB22-0795

Prepared for:

4541 NBR LLC
655 MADISON AVE., 11TH FLOOR
NEW YORK, NY 10065

Prepared by:

jungles

Raymond Jungles, Inc.
Landscape Architect

2964 Aviation Ave.
Coconut Grove, FL 33133
P: 305.858.6777
www.raymondjungles.com
Florida License No. LC 000258

Sheet #	Drawing Index	DRB22-0795 FINAL SUBMITTAL (04-11-22)
L-000	COVER	•
L-100	TREE DISPOSITION PLAN	•
L-101	TREE DISPOSITION SCHEDULE	•
L-102	TREE DISPOSITION NOTES & DETAILS	•
L-103	HARDSCAPE PLAN	•
L-104	CANOPY PLANTING PLAN	•
L-105	UNDERSTORY PLANTING PLAN - GROUND LEVEL	•
L-106	UNDERSTORY PLANTING PLAN - SECOND LEVEL	•
L-107	PLANT LIST & MITIGATION CHART	•
L-108	LANDSCAPE LEGEND	•
L-109	PLANTING DETAILS	•
L-110	PLANTING NOTES & SPECIFICATIONS	•
L-111	LIGHTING SPECIFICATIONS	•

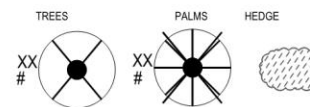
Raymond
L Jungles

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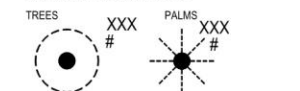
LEGEND

PROPERTY LINE

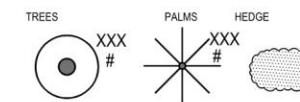
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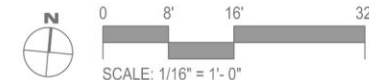


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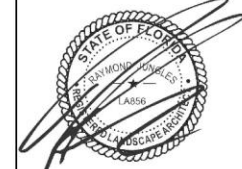


GENERAL NOTES:

1. TREE SURVEY BASED ON ALL AVAILABLE INFORMATION. CONTRACTOR TO REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION. RAYMOND JUNGLES, INC. MAY ASSIST WITH THE TAGGING OF ALL TREES IN THE FIELD.
2. ALL TREES TO BE RELOCATED SHALL BE ROOT PRUNED 60 DAYS PRIOR TO THEIR RELOCATION. RJ WILL ALSO OVERSEE ANY RECOMMENDATIONS FOR FURTHER MODIFICATIONS TO ANY EXISTING MATERIAL.
3. ALL PITS TO BE FILLED THE SAME DAY OF REMOVAL OF TREES. RESTORE SURFACE WITH SOD OR MULCH TO MATCH EXISTING CONDITIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING ABOVE AND UNDERGROUND UTILITIES 48 HOURS PRIOR TO ANY ON SITE EXCAVATION.
5. SEE LR.200 FOR TREE DISPOSITION SCHEDULE.
6. REVIEW ADDITIONAL NOTES AND SPECIFICATIONS ON SHEET LR.200 & LR.201 FOR RELOCATED MATERIAL.



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ARCHITECT
AS 000000
ODONNELL, CHANNELL AND PARTNERS ARCHITECTS INC. 1420 N. MIAMI AVENUE SUITE 200
DESIGN CONSULTANT
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
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RAYMOND JUNGLES INC
Landscape Architect FLSA

odp
ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 F: 954.518.0131
www.odparchitects.com
LA-2000006

DESIGN CONSULTANT
SAOTA
109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

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4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

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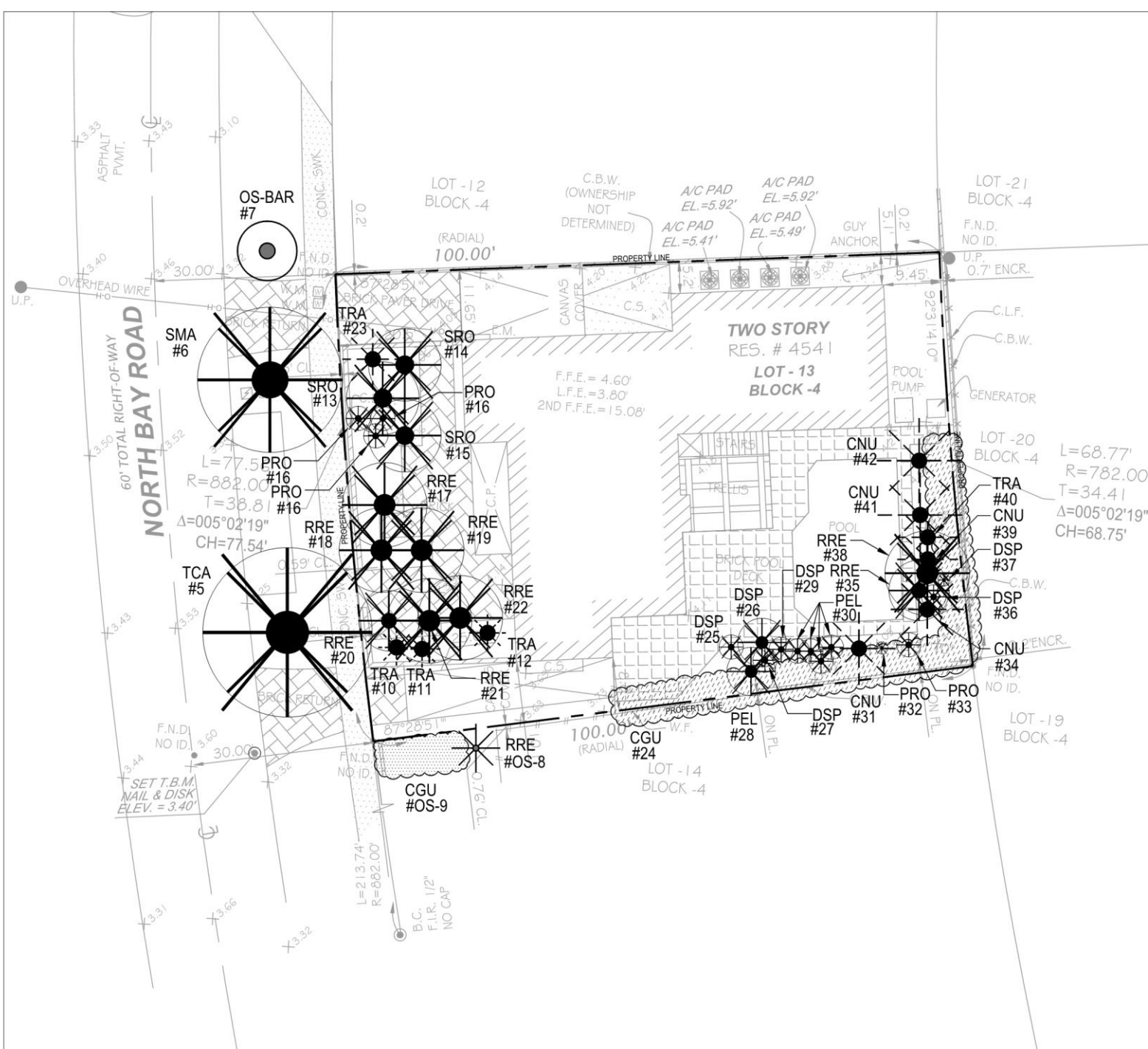
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TREE DISPOSITION PLAN

SHEET NO.

L-100



4541 North Bay Road Garden
4541 North Bay Road, Miami Beach, FL 33140

TREE DISPOSITION SCHEDULE

Per Survey Date 11/01/2021

Existing Trees and Palms

Iden.	Symbol	Scientific Name	Common Name	D.B.H. (inch)	O.A. Height (feet)	Canopy Diameter (feet)	Notes	Disposition	Mitigation Required
#1			Tree does not exist						0
#2			Tree does not exist						0
#3			Tree does not exist						0
#4			Tree does not exist						0
#5	TCA	<i>Tabebuia caribba</i>	Yellow Trumpet Tree	18	25	30		Remove	18
#6	SMA	<i>Swietenia mahagoni</i>	Mahogany Tree	18	35	25		Remove	18
#7	BAR	<i>Bulnesia arborea</i>	Verawood	4.8	20	10	Offsite	Remain	0
#8	RRE	<i>Roystonea regia</i>	Royal Palm	18	20	8	Offsite	Remain	0
#9	CGU	<i>Clusia sp.</i>	Small Leaf Clusia	hedge	10	5	Offsite	Remain	0
#10	TRA	<i>Thrinax radiata</i>	Green Thatch Palm	6	10	5		Relocate	0
#11	TRA	<i>Thrinax radiata</i>	Green Thatch Palm	6	10	5		Relocate	0
#12	TRA	<i>Thrinax radiata</i>	Green Thatch Palm	7.2	15	6		Relocate	0
#13	SRO	<i>Syagrus romanzoffiana</i>	Queen Palm	8.4	25	12		Remove	(1) Tree
#14	SRO	<i>Syagrus romanzoffiana</i>	Queen Palm	9.6	30	12		Remove	(1) Tree
#15	SRO	<i>Syagrus romanzoffiana</i>	Queen Palm	9.6	25	12		Remove	(1) Tree
#16	PRO	<i>Phoenix roebelenii</i>	Pygmy Date Palm	6 x (3)	12	10	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#17	RRE	<i>Roystonea regia</i>	Royal Palm	20.4	45	15		Remove	(1) Tree
#18	RRE	<i>Roystonea regia</i>	Royal Palm	24	45	15		Remove	(1) Tree
#19	RRE	<i>Roystonea regia</i>	Royal Palm	19.2	45	15		Remove	(1) Tree
#20	RRE	<i>Roystonea regia</i>	Royal Palm	19.2	40	10		Remove	(1) Tree
#21	RRE	<i>Roystonea regia</i>	Royal Palm	24	45	15		Remove	(1) Tree
#22	RRE	<i>Roystonea regia</i>	Royal Palm	24	30	15		Remove	(1) Tree
#23	TRA	<i>Thrinax radiata</i>	Green Thatch Palm	19.2	15	10		Relocate	0
#24	CGU	<i>Clusia sp.</i>	Small Leaf Clusia	hedge	10	5	Mitigation not required; Hedge	Remove	0
#25	DSP	<i>Dracaena sp.</i>	Same	7.2	20	3	Mitigation not required; Shrub	Remove	0
#26	DSP	<i>Dracaena sp.</i>	Same	7.2	20	8	Mitigation not required; Shrub	Remove	0
#27	DSP	<i>Dracaena sp.</i>	Same	8.4	25	3	Mitigation not required; Shrub	Remove	0
#28	PEL	<i>Ptychosperma elegans</i>	Solitaire Palm	3.6	30	8	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#29	DSP	<i>Dracaena sp.</i>	Same	4.8	12	3	Mitigation not required; Shrub	Remove	0
#30	PEL	<i>Ptychosperma elegans</i>	Solitaire Palm	2.5	40	20	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#30	PEL	<i>Ptychosperma elegans</i>	Solitaire Palm	2.5	40	20	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#30	PEL	<i>Ptychosperma elegans</i>	Solitaire Palm	2.5	40	20	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#30	PEL	<i>Ptychosperma elegans</i>	Solitaire Palm	2.5	40	20	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#31	CNU	<i>Cocos nucifera</i>	Coconut Palm	7.4	45	13		Relocate	0
#32	PRO	<i>Phoenix roebelenii</i>	Pygmy Date Palm	2.4	5	2	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#33	PRO	<i>Phoenix roebelenii</i>	Pygmy Date Palm	2.4	7	3	Mitigation not required; Specs do not meet minimum requirements	Remove	0
#34	CNU	<i>Cocos nucifera</i>	Coconut Palm	8.4	35	13		Relocate	0
#35	RRE	<i>Roystonea regia</i>	Royal Palm	12	20	10		Remove	(1) Tree
#36	DSP	<i>Dracaena sp.</i>	Same	3.6	8	5	Mitigation not required; Shrub	Remove	0
#37	DSP	<i>Dracaena sp.</i>	Same	3.6	15	2	Mitigation not required; Shrub	Remove	0
#38	RRE	<i>Roystonea regia</i>	Royal Palm	12	20	15		Remove	(1) Tree
#39	CNU	<i>Cocos nucifera</i>	Coconut Palm	7.2	30	10		Relocate	0
#40	TRA	<i>Thrinax radiata</i>	Green Thatch Palm	7.2	13	10		Relocate	0
#41	CNU	<i>Cocos nucifera</i>	Coconut Palm	8.4	40	15		Relocate	0
#42	CNU	<i>Cocos nucifera</i>	Coconut Palm	8.4	38	15		Relocate	0
Total Tree D.B.H. Removed Requiring Mitigation (Inches)									36
Total Palm Removed Requiring Mitigation									11

4541 North Bay Road Garden
4541 North Bay Road, Miami Beach, FL 33140

EXISTING TREES

Total # of Existing Trees: 2 To remain: 0 To be relocated: 0 To be removed: 2

EXISTING PALMS

Total # of Existing Palms: 21 To remain: 0 To be relocated: 10 To be removed: 11

OWNER
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140
ARCHITECT
AS 000000
JOHNWELL, CHARNELL AND PARTNERS ARCHITECTS INC. 100 N. WOOD BLVD
HOLLYWOOD, FL 33020
DESIGN CONSULTANT
SAOTA PFL 170
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
+27(0)21 468 4400
LANDSCAPE ARCHITECT
RAYMOND JUNGLES, INC.
2804 ARLINGTON AVENUE, COCONUT GROVE, FL 33133
754-884-8777



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RAYMOND JUNGLES INC
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ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitect.com
AS 00000096

DESIGN CONSULTANT
SAOTA
109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

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4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

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SCALE: AS NOTED
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TREE DISPOSITION
SCHEDULE

SHEET NO.
L-101

TREE / PALM PROTECTION NOTES

1. CONTRACTOR QUALIFICATIONS

- 1.1. CONTRACTOR MUST BE A LICENSED LANDSCAPE CONTRACTOR.
- 1.2. CONTRACTOR MUST HAVE A MINIMUM OF 10 YEARS OF PROVEN EXPERIENCE RELOCATING LARGE SPECIMEN TREES AND PALMS IN SOUTH FLORIDA.
- 1.3. CONTRACTOR MUST HAVE PROVIDED EXPERIENCE LOCATING TREES AND PALMS OF THE SAME SPECIES AND SIZE AS THOSE TO BE RELOCATED FOR THE CURRENT PROJECT.
- 1.4. CONTRACTOR MUST HAVE A CERTIFIED ARBORIST ON STAFF.

2. CONTRACTOR REQUIREMENTS

- 2.1. CONTRACTOR MUST VERIFY THE JOBSITE AND INSPECT ALL TREES AND PALMS TO BE RELOCATED AS WELL AS EXISTING SITE CONDITIONS AND RESTRICTIONS PRIOR TO PREPARING BID.
- 2.2. CONTRACTOR MUST VISIT AND ENSURE THAT ALL TREES AND PALMS IDENTIFIED ON THE PLANS AND THOSE TAGGED ON THE JOBSITE CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY PRIOR TO PREPARING BID.
- 2.3. CONTRACTOR MUST CONDUCT ALL WORK ASSOCIATED WITH RELOCATION AND MAINTENANCE OF TREES AND PALMS TO BE RELOCATED. NO WORK SHALL BE SUBTRACTED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- 2.4. CONTRACTOR MUST DESIGNATE A COMPETENT, ENGLISH-SPEAKING SUPERVISOR OR FOREMAN TO OVERSEE AND DIRECT ALL RELOCATION AND MAINTENANCE ACTIVITIES AS OUTLINED IN THE SPECIFICATIONS.
- 2.5. CONTRACTOR MUST SCHEDULE ROOT PRUNING TO PROVIDE THE MAXIMUM POSSIBLE TIME FOR NEW ROOT GROWTH. EVEN TREES AND PALMS THAT TYPICALLY DO NOT REQUIRE LONG OR ANY ROOT PRUNING WILL BENEFIT FROM MORE ROOT PRUNING TIME. THEREFORE, ALL TREES AND PALMS TO BE RELOCATED MUST BE ROOT PRUNED. CONTRACTOR MUST PROVIDE A ROOT PRUNE SCHEDULE FOR EACH TREE OR PALM TO BE RELOCATED AS AN ATTACHMENT TO THE BID.
- 2.6. CONTRACTOR MUST CALL SUNSHINE #1 TO HAVE ALL UNDERGROUND UTILITIES LOCATED UNDER OR IN THE VICINITY OF THE CURRENT OR FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED PRIOR TO WORK COMMENCING.
- 2.7. CONTRACTOR MUST VERIFY WITH THE GENERAL CONTRACTOR THE ABSENCE OF ANY UNDERGROUND CONDUIT OR OBSTRUCTIONS (E.G., BULKHEADS, SEPTIC SYSTEMS, ETC.) IN THE CURRENT AND FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED.
- 2.8. CONTRACTOR MUST ALERT THE LANDSCAPE ARCHITECT OF ANY TREES OR PALMS THAT WILL NOT SUCCESSFULLY RELOCATE DUE TO POOR HEALTH PRIOR TO BEGINNING ROOT PRUNING.
- 2.9. CONTRACTOR MUST FLAG ALL PROPOSED TRANSPLANT LOCATIONS FOR THE LANDSCAPE ARCHITECT'S APPROVAL, A MINIMUM OF 15 DAYS PRIOR TO RELOCATION.
- 2.10. CONTRACTOR MUST ENSURE THAT TREES AND PALMS TO BE RELOCATED ARE INSTALLED AT THE CORRECT GRADE OR ELEVATION, ACCORDING TO THE GRADING PLAN.
- 2.11. CONTRACTOR MUST ENSURE THAT ALL ROOT FLARES ARE EXPOSED AFTER RELOCATION.
- 2.12. CONTRACTOR MUST REMOVE ALL RESIDUAL ROOTS AND PORTIONS OF THE TRUNK AND BACKFILL PITS FROM WHICH RELOCATED TREES AND PALMS WERE REMOVED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- 2.13. CONTRACTOR MUST REPAIR ANY DAMAGE TO OTHER PLANTS, LAWN, HARDSCAPES, OR NEW CONSTRUCTION WITHIN THE LOCATION AREA AT CONTRACTOR'S EXPENSE. HARDSCAPES INCLUDE BUT ARE NOT LIMITED TO CURBS, WALKS, ROADS, FENCES, SITE FURNISHINGS, ETC.
- 2.14. CONTRACTOR MUST PHOTOGRAPHICALLY DOCUMENT NEW ROOT GROWTH FOLLOWING EACH ROOT PRUNE AND SUBMIT THIS DOCUMENTATION TO THE LANDSCAPE ARCHITECT. THE PURPOSE OF THIS REQUIREMENT IS TO ENSURE THAT SUFFICIENT ROOT GROWTH HAS OCCURRED PRIOR TO THE SECOND AND SUBSEQUENT ROOT PRUNES AND FOLLOWING THE FINAL ROOT PRUNE PRIOR TO RELOCATION.
- 2.15. CONTRACTOR MUST INSTALL AND MAINTAIN PROTECTION FENCING AROUND EACH TREE AND PALM TO BE RELOCATED BOTH DURING ROOT PRUNING AND AFTER RELOCATION. PROTECTION FENCING MUST CONSIST OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH ATTACHED TO 4" X 4" POSTS INSERTED AROUND THE PERIMETER OF THE DRIPLINE OF THE TREE OR PALM. PROTECTION FENCING MUST BE PLUMB, TAUT, AND STAYED AT ALL THIRDS AND MUST REMAIN IN PLACE THROUGHOUT THE ROOT PRUNING AND WARRANTY PERIODS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- 2.16. CONTRACTOR MUST OBTAIN ALL NECESSARY OR REQUIRED PERMITS FOR THE RELOCATION AND TRANSPORTATION OF THE TREES AND PALMS TO BE RELOCATED.
- 2.17. CONTRACTOR MUST REPLACE ANY TREES OR PALMS SCARRED OR DAMAGED DURING RELOCATION, AT THE CONTRACTOR'S EXPENSE, WITH THE SAME OR SIMILAR SPECIES, SIZE, AND QUALITY. REPLACEMENT TREES OR PALMS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION, AND/OR INSTALLATION. REPLACEMENT TREES AND PALMS MUST BE INSTALLED WITHIN 90 DAYS OF NOTICE.
- 2.18. CONTRACTOR MUST GUARANTEE ALL RELOCATED TREES AND PALMS FOR ONE YEAR FROM THE DATE OF RELOCATION TO THE FINAL LOCATION. GUARANTEE MUST INCLUDE TREE HEALTH AND SETTLING.
- 2.19. CONTRACTOR MUST PROVIDE ALL MATERIAL, NECESSARY TO PERFORM THE WORK COVERED HEREIN, INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTION FENCING, FLAGGING, JACOITIES AND SUPPLEMENTS, TEMPORARY IRRIGATION, BURLAP, WIRE, SHRINK WRAP, AND ALL NECESSARY TOOLS AND EQUIPMENT.

3. ROOT PRUNING SPECIFICATIONS

3.1. GENERAL

- 3.1.1. ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 3-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- 3.1.2. EACH TREE AND PALM MUST NOT BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN. DURING THE ENTIRE ROOT PRUNING PROCESS (EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND, EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH).
- 3.1.3. TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24-HOUR PERIOD. NO TREES OR PALMS MAY BE "STOCKPILED" ONSITE OR OFFSITE FOR ANY PERIOD OF TIME WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. WHEN ALLOWED, APPROVAL FOR THE METHOD OF "STOCKPIILING" MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT.
- 3.1.4. ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND. NO MACHINERY WILL BE ALLOWED. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN, SHARP TOOLS. DO NOT PANT CUT ROOTS WITH TREE PAINT OR ANY KIND OF SEALANT.
- 3.1.5. MYCORRHIZA (ROOTS TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURER'S INSTRUCTIONS.
- 3.1.6. AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 8" MUST BE CONSTRUCTED 6-12" OUTSIDE THE ROOTBALL'S OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER, AND ANY ADDED SUPPLEMENTS DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.
- 3.1.7. ONCE THE TREE RING IS COMPLETED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.

3.2. TREES

- 3.2.1. PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.
- 3.2.2. MANY TREE RELOCATION SPECIFICATIONS USE "GENERAL RULES" TO CALCULATE MINIMUM ROOTBALL DIAMETER, SUCH AS MULTIPLYING THE DIAMETER AT BREAST HEIGHT (DBH) OF THE TREE BY A FACTOR OF 10 OR ALLOWING A MINIMUM OF 8'-12" OF ROOTBALL FOR EVERY 1" OF TREE CALIPER. OTHERS LIST UNREALISTIC MINIMUM SIZES FOR THE ROOTBALLS BASED ON TREE CALIPERS OR HEIGHTS. IN MANY CASES, SUCH APPROACHES RESULT IN ROOTBALLS THAT ARE EITHER TOO LARGE OR TOO SMALL FOR A GIVEN TREE. THE FOLLOWING TABLE LISTS MINIMUM ROOTBALL DIAMETERS BASED ON REAL-WORLD EXPERIENCE OF TREE RELOCATION SPECIALISTS IN SOUTH FLORIDA.

CALIPER (INCHES)	MIN. ROOTBALL DIA. (INCHES)	CALIPER (INCHES)	MIN. ROOTBALL DIA. (INCHES)
1-4	3	12-14	8
4-5	4	15-17	10
5-7	5	18-24	12-15
8-9	6	25-30	15-25
10-11	7	30+	as needed

- 3.2.3. WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.
- 3.2.4. MINIMUM ROOTBALL DEPTH MUST BE 24"-36" FOR ALL TREES TO BE RELOCATED, WITH THE ACTUAL DEPTH TO BE DETERMINED ONLY AFTER A THOROUGH EXAMINATION OF ALL ROOTS DURING THE INITIAL ROOT INSPECTION AND BASED ON THE ABSENCE OF MAJOR ROOTS AT THE BOTTOM OF THE ROOTBALL. ROOTBALLS DEEPER THAN 36" MAY BE REQUIRED FOR LARGE SPECIMEN TREES DEPENDING ON THE RELATIVE LOCATIONS AND DEPTHS OF THE MAJOR ROOTS AS OBSERVED DURING THE INITIAL ROOT INSPECTION.

- 3.2.5. AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10" IS 12 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, AND THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 6 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 3 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- 3.2.6. AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10" OR GREATER IS 24 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- 3.2.7. CERTAIN HARDWOOD TREES AND GYMNOSPERM REQUIRE LONGER ROOT PRUNING TIMES. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - AVOCADO (PERSEA AMERICANA)
 - CERTAIN HARDWOOD TREES AND GYMNOSPERMS RELOCATED IN SOUTH FLORIDA
 - BIRDALIVE (CAESALPINA GRANADILLO)
 - CASSIA (ALL SPECIES OF CASSIA)
 - LIGUIM TREE (GUAIACUM SANCTUM & G. OFFICINALE)
 - PODOPARUS (PODOCARPUS SP.)
 - LIVE OAK (QUERCUS VIRGINICA)
 - MANGOCANY (SWITEINA MANGONI)
 - MANGO (MANGIFERA INDICA)
 - PIGEON PLUM (COCOCCOLA DIVERSIFOLIA)
 - SHADY ACACIA (ACACIA FARNESIANA)
 - VERAWOOD (BULNESIA ARBorea)
 - WILD TAMARIND (LYSILLOA LATISSIMUM & L. SABICU)

- 3.2.8. FOR THESE TREES, THE MINIMUM ROOT PRUNE TIMES DISCUSSED IN SECTIONS 3.2.5 AND 3.2.6 ABOVE MUST BE INCREASED IMMEDIATELY PRIOR TO BEGINNING ROOT PRUNING. AN EARLIER ROOT PRUNE CAN BE THE NEXT ROOT PRUNE BE DONE, AND ONLY WHEN NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING THE FINAL ROOT PRUNE MAY THE TREE BE RELOCATED (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS).

3.3. PALMS

- 3.3.1. THE FOLLOWING TABLE LISTS MINIMUM ROOTBALL DIAMETERS FOR VARIOUS SPECIES OF PALMS BASED ON REAL-WORLD EXPERIENCE OF RELOCATION SPECIALISTS IN SOUTH FLORIDA:

PALM SPECIES	ROOTBALL SPECIFICATIONS
SABAL, CABBAGE PALM	36" diameter
QUEEN & FOXTAIL PALM	12" from trunk in all directions
ROYAL & COCONUT PALM	18"-24" from trunk in all directions
CANARY DATE PALM	24" from trunk in all directions
SLOW-GROWING PALMS	24" from trunk in all directions
- 3.3.2. PALM ROOTBALLS MUST BE A MINIMUM OF 24" DEEP. WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.
- 3.3.3. AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR PALMS IS 6-8 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 3-4 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 4-6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- 3.3.4. CERTAIN PALMS, IN PARTICULAR THOSE THAT ARE SLOW GROWING, REQUIRE LONGER ROOT PRUNING TIMES. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - ALL SPECIES OF ARCHONTOPOHYN
 - ALL SPECIES OF CORYPHA
 - AMERICAN OIL PALMS (ALL SPECIES OF ATTALIA)
 - BISMARCK PALM (BISMARCKIA NOBILIS)
 - CUBAN L CARIBBEAN COFFERWOOD
 - CUBAN BELL PALM (GASTROCOCCUS CRISPA)
 - GINGERBREADCOCONUT PALMS (ALL SPECIES OF HYPHAEINE)
 - PALMYRA PALMS (ALL SPECIES OF BOERHAVIA)
 - SATAKE PALM (SATOKENTIA LUKUENSIS)
 - SILVER PALMETTO (SENERA REPENS)
 - SILVER PALM (COCOTHRINAY ARGENTATA)
 - ZOMBIE PALM (ZOMBIA ANTIULARUM)

- 3.3.5. FOR THESE PALMS, THE MINIMUM ROOT PRUNING TIME IS 4-6 MONTHS OR GREATER. ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING AN EARLIER ROOT PRUNE CAN THE NEXT ROOT PRUNE BE DONE, AND ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING THE FINAL ROOT PRUNE MAY THE TREE BE RELOCATED (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS).

4. CANOPY PRUNING SPECIFICATIONS

4.1. TREES

- 4.1.1. PRIOR TO RELOCATION, THE CANOPY OF EACH TREE TO BE RELOCATED MUST BE SELECTIVELY PRUNED TO REMOVE CRUSHING, DEAD, DISEASED, BROKEN, AND LOW-HANGING BRANCHES THAT MAY INTERFERE WITH CONSTRUCTION ACTIVITIES, OR THAT MAY INTERFERE OR RESTRICT STRAPPING OR LIFTING THE TREE DURING RELOCATION.
- 4.1.2. FOR TREES BEING RELOCATED ONSITE, THE CANOPY MAY BE SELECTIVELY THINNED AND REDUCED BY NO MORE THAN 10% OF THE OVERALL CANOPY MASS. AT THE DIRECTION OF THE LANDSCAPE ARCHITECT, HOWEVER, THE BASIC SHAPE, FORM, AND CHARACTER OF THE TREE MUST BE PRESERVED.
- 4.1.3. FOR TREES BEING RELOCATED OFFSITE, THE CANOPY MUST BE PRUNED, AT THE DIRECTION OF THE LANDSCAPE ARCHITECT, TO FIT ON THE TRAILER FOR TRANSPORT. EVERY EFFORT MUST BE MADE TO RETAIN AS MANY LARGE BRANCHES AS POSSIBLE AND TO PRESERVE AS MUCH OF THE SHAPE, FORM, AND CHARACTER OF THE TREE AS POSSIBLE TO THE WIDEST LOAD WIDTH ALLOWABLE BY THE FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND ESCORTS TO TRANSPORT "WIDE LOADS" PER FLORIDA LAW.
- 4.1.4. ALL CANOPY PRUNING MUST BE CONDUCTED FOLLOWING ANSI A300 TREE PRUNING STANDARDS AND BEST MANAGEMENT PRACTICES.
- 4.1.5. ALL DEBRIS GENERATED DURING CANOPY PRUNING MUST BE REMOVED OFFSITE AND DISPOSED.

4.2. PALMS

- 4.2.1. IT IS WELL KNOWN THAT SOME PALMS SURVIVE RELOCATION BETTER WHEN ALL OF THE LEAVES ARE REMOVED (E.G., CABBAGE PALM, SABAL, PALMETTO), AND THAT OTHER PALMS BENEFIT FROM HAVING THEIR LEAVES CUT IN HALF DURING RELOCATION (E.G., COCONUT PALM, COCOS NUCIFERA). BOTH OF THESE HORTICULTURAL PRACTICES, WHILE TRUE, ARE ONLY APPLICABLE WHEN PALMS ARE NOT ROOT PRUNED. LEAVES DO NOT NEED TO BE CUT IN HALF OR REMOVED FROM PALMS THAT ARE ADEQUATELY ROOT PRUNED. ON OCCASION WHEN SUFFICIENT ROOT PRUNING TIME IS NOT AVAILABLE, PALMS TO BE RELOCATED MAY HAVE THEIR LEAVES CUT IN HALF OR REMOVED ENTIRELY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- 4.2.2. PALM LEAVES MUST BE TIED UP WITH 12-GA BINDER/CABLE TIE THINE PRIOR TO RELOCATION TO PREVENT MECHANICAL DAMAGE DURING THE RELOCATION PROCESS.
- 4.2.3. PALM TRUNKS SHALL ONLY BE "CLEANED UP" ACCORDING TO THE LANDSCAPE ARCHITECT'S SPECIFICATIONS SPECIFIC TO EACH PALM.

5. RELOCATION SPECIFICATIONS

5.1. GENERAL

- 5.1.1. LANDSCAPE CONTRACTOR TO FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. NOTIFIED LANDSCAPE ARCHITECT A MINIMUM OF 15 DAYS PRIOR TO THE DATE OF RELOCATION TO THE FINAL LOCATION.
- 5.1.2. ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 5 DAYS PRIOR TO ANY RELOCATION TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- 5.1.3. ALL ROOTBALLS MUST BE WRAPPED IN BURLAP AND THEN TIGHTLY WIRE-WRAPPED (USING REDLINE HORSE WIRE OR EQUIVALENT) TO KEEP THE ENTIRE ROOTBALL INTACT DURING RELOCATION. TREES AND SECOND ROOT PRUNE MUST BE DONE ON THE OTHER TWO SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- 5.1.4. TREES AND PALMS BEING RELOCATED OFFSITE MUST HAVE THEIR ENTIRE ROOTBALLS THOROUGHLY AND TIGHTLY WRAPPED WITH PLASTIC SHRINK WRAP ON THE OUTSIDE OF THE WIRE WRAP, AND THE ENTIRE TREE PALM (INCLUDING MAIN TRUNK, ROOTBALL, AND BURLAP) MUST BE COVERED WITH A BRIGATABLE TARP (E.G., SHADE CLOTH) DURING TRANSPORT.
- 5.1.5. NEW PLANTING PITS FOR RELOCATED TREES AND PALMS MUST BE PREPARED PRIOR TO LIFTING THE TREE PALM (INCLUDING MAIN TRUNK, ROOTBALL, AND BURLAP) AND MUST BE AT LEAST 3-4 FEET WIDER THAN THE ROOTBALL AND THE SAME DEPTH AS THE ROOTBALL, SUCH THAT THE FINAL ELEVATION OF THE TOP OF THE ROOTBALL IS AT OR SLIGHTLY ABOVE (NO MORE THAN 2" HIGHER) FINAL GRADE.
- 5.1.6. TREES AND PALMS TO BE RELOCATED MUST BE LIFTED BY THE ROOTBALL ONLY, USING APPROPRIATELY SIZED LENGTH AND STRENGTH LIFTING STRAPS OR CHAINS. DURING LIFTING, THE TREE OR PALM MUST BE BALANCED IN A MORE-OR-LESS UPRIGHT POSITION, WITH THE STRAP ON THE TRUNK USED ONLY FOR BALANCING AND MANEUVERING THE TREE OR PALM INTO POSITION. NO CHAINS MAY BE USED AROUND OR AGAINST THE TRUNK AT ANY TIME, AT NO TIME SHALL 100% OF THE WEIGHT OF THE TREE OR PALM BE ON THE STRAP ATTACHED TO THE TRUNK. TRUNKS MUST BE HEAVILY PADDED WITH 30-60 LBS OF POLYURETHANE FOAM OR EQUIVALENT.
- 5.1.7. TREES AND PALMS MUST BE LIFTED WITH A CRANE OR BACKHOE APPROPRIATELY SIZED FOR THE SIZE AND WEIGHT OF THE TREE OR PALM AND LIFTED OR CARRIED DIRECTLY TO THE FINAL INSTALL LOCATION OR TRANSPORT TRAILER.
- 5.1.8. ONCE LIFTING BEGINS, ANY UNCLUT ROOTS AROUND OR AROUND THE ROOTBALL THAT MAY YET REMAIN MUST BE IMMEDIATELY SEVERED USING TOOLS TO MINIMIZE TEARING AND ROOT DAMAGE.
- 5.1.9. AGRIFORM PLANTING TABLETS (OR APPROVED EQUIVALENT) MUST BE EVENLY DISTRIBUTED AROUND THE PERIMETER OF THE PLANTING PIT AT A RATE OF 1 TABLET PER 1 TRUNK CALIPER PRIOR TO RELOCATION (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS).
- 5.1.10. MYCORRHIZA (ROOTS TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING.

- 5.1.11. RELOCATED TREES AND PALMS MUST BE CENTERED IN THE PLANTING PIT, AND THE PIT BACKFILLED USING A 1:1 MIXTURE OF EXISTING SOIL AND 80:20 (DOT SAND:MUCK) SOIL MIX THOROUGHLY BLENDED TOGETHER. DO NOT USE MUCKY SOIL AS BACKFILL. (SEE 5.2.2 BELOW FOR SPECIAL CONDITIONS REGARDING DATE PALM BACKFILL SPECIFICATIONS).
- 5.1.12. SMALL TREES AND PALMS MUST BE FIRMLY BRACED USING A MINIMUM OF FOUR 2" X 4" WOODEN BRACERS ATTACHED TO 2" X 4" WOODEN BATTENS HELD IN PLACE WITH TWO STEEL BANDS. LARGER TREES MAY REQUIRE 6" X 8" WOODEN POSTS OR EVEN WOODEN POLES TO PROVIDE SUFFICIENT BRACE STRENGTH TO PREVENT TOPPLING DURING WIND EVENTS. A SUFFICIENT NUMBER OF BATTENS MUST BE STRATEGICALLY PLACED AROUND THE TRUNK SUCH THAT THE STEEL BANDS NEVER CONTACT THE TRUNK. NO BURLAP IS TO REMAIN UNDER THE WOODEN BATTENS DURING BRACING. WHEN BRACING PALMS, NAILS SHALL NEVER BE DRIVEN DIRECTLY INTO THE TRUNK DURING BRACING. BRACING MUST REMAIN IN PLACE FOR A MINIMUM OF ONE YEAR.
- 5.1.13. A TREE RING WITH A MINIMUM HEIGHT OF 8" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY SUPPLEMENTS THAT ARE ADDED DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.

- 5.1.14. ONCE THE TREE RING IS CONSTRUCTED, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN.
- 5.1.15. ROOTBALLS MUST BE THOROUGHLY WATERED IN USING A HOSE AND A JOHNSON BAR INSERTED TO THE VERY BOTTOM OF THE ROOTBALL AND SWING BACK AND FORTH TO PREVENT FORMATION OF AIR POCKETS. THE JOHNSON BAR MUST BE USED TO RELOCATE TREES AND PALMS AT LEAST ONCE MORE WITHIN ONE WEEK AFTER RELOCATION, AND AGAIN IF ANY SIGNS OF STRESS BECOME APPARENT.
- 5.1.16. ORGANIC MULCH (MULCH/EUCALIS IS PREFERRED) MUST BE APPLIED WITHIN 48 HOURS OF RELOCATION. THE DEPTH OF 3-4" OVER THE ENTIRE TOP OF THE ROOTBALL FROM THE TREE RING TO WITHIN 6" OF THE TRUNK. MULCH MUST NOT BE APPLIED OR ALLOWED TO ACCUMULATE DIRECTLY AGAINST THE TRUNK.
- 5.1.17. PITS FROM WHICH THE RELOCATED TREES AND PALMS WERE REMOVED MUST BE CLEARED OF ALL RESIDUAL ROOTS, STUMPS, AND PORTIONS THEREOF AND BACKFILLED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- 5.1.18. RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS. MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE A MINIMUM OF ONE YEAR WARRANTY ON SETTLING AND PLANT MATERIAL FROM TIME OF SUBSTANTIAL COMPLETION.

5.2. SPECIAL CONDITIONS

- 5.2.1. MULTI-TRUNK TREES AND PALMS MUST BE RELOCATED AS ONE UNIT WITH A SINGLE ROOTBALL.
- 5.2.2. PLANTING PITS FOR EDDIE DATE PALMS (PHENIX DACTYLOFERA) MUST BE BACKFILLED WITH PURE DOT SLICK SAND.

6. MAINTENANCE SPECIFICATIONS

6.1. GENERAL

- 6.1.1. ALL RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.
- 6.1.2. CONTRACTOR MAY MAINTAIN ALL RELOCATED TREES AND PALMS FOR ONE FULL YEAR FROM THE DATE OF RELOCATION TO THE FINAL LOCATION.
- 6.1.3. WHENEVER POSSIBLE, EACH TREE AND PALM MUST BE WATERED BY A PERMANENT AUTOMATIC IRRIGATION SYSTEM FOLLOWING RELOCATION. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH. THIS WILL REQUIRE 150-60 GALLONS OF WATER FOR SMALL TREES AND PALMS, DEPENDING ON ROOTBALL SIZE, WHILE LARGE TREES WILL REQUIRE A MINIMUM OF 10 GALLONS PER FOOT OF ROOTBALL DIAMETER (I.E., A 10" DIAMETER ROOTBALL WILL REQUIRE A MINIMUM OF 100 GALLONS PER WATERING). EACH TREE AND PALM MUST BE WATERED EVERY DAY FOR THE FIRST TWO WEEKS, EVERY OTHER DAY FOR THE NEXT THREE WEEKS, AND EVERY THIRD DAY FOR THE NEXT 6-8 WEEKS.
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- 6.1.5. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A CONTACT ROOT FUNGICIDE. FOLLOWING LABEL INSTRUCTIONS, AS INITIAL PREVENTATIVE MAINTENANCE.
- 6.1.6. EVERY THREE MONTHS THEREAFTER, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A BROAD-SPECTRUM SYSTEMIC FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS CONTINUING PREVENTATIVE MAINTENANCE.
- 6.1.7. IRRIGATION AND BRACING MUST BE CHECKED AND EACH TREE OR PALM THOROUGHLY INSPECTED FOR SIGNS OF STRESS, DISEASE, OR PEST PROBLEMS ON A MONTHLY BASIS.
- 6.2. SHADE TREES
- 6.2.1. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- 6.2.2. FOULAR FEED FOUR TIMES PER YEAR.
- 6.3. FLOWERING TREES
- 6.3.1. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 1-5-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- 6.3.2. FOULAR FEED FOUR TIMES PER YEAR.

6.4. PALMS

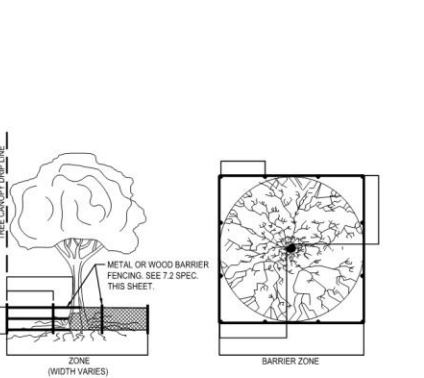
- 6.4.1. STRUNG MUST BE REMOVED FROM THE TIED UP LEAVES IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION IF THE PALM WAS ROOT PRUNED OR WITHIN 30-45 DAYS AFTER RELOCATION ON THE OCCASION THE LANDSCAPE ARCHITECT APPROVED RELOCATION WITHOUT ROOT PRUNING DUE TO TIME CONSTRAINTS.
- 6.4.2. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 6-4-12 GRANULAR PALM FERTILIZER WITH MNORS MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- 6.4.3. FOULAR FEED SIX TIMES PER YEAR.

7. TREE PROTECTION SPECIFICATIONS

- 7.1. TREE PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES / PALMS TO REMAIN OR BE RELOCATED.
- 7.2. FENCES SHOULD BE OF STUDY CONSTRUCTION. STURDY TEMPORARY BARRIERS SHALL BE INSTALLED AROUND ALL TREE PROTECTION ZONES. BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH AND SHALL BE INSTALLED WITH CONTINUOUS CHAIN LINK FENCE WITH METAL POSTS AT EIGHT-FOOT SPACING, OR UP TWO-FOUR-INCH POSTS WITH THREE EQUALLY SPACED TWO-BY-FOUR INCH RAILS. POSTS MAY BE SHIFED TO AVOID ROOTS.
- 7.3. FENCES MUST BE MAINTAINED UNTIL THE PROJECT IS COMPLETED. THEY SHOULD NOT BE REMOVED OR DROPPED FOR ANY REASON WITHOUT AUTHORIZATION FROM THE CITY'S URBAN FORESTER.
- 7.4. NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, MECHANICAL, TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC.

8. WARRANTY

- 8.1. ALL RELOCATED TREES AND PALMS MUST BE GUARANTEED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.
- 8.2. IF A TREE OR PALM DIES WITHIN THE 1-YEAR WARRANTY PERIOD, IT MUST BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- 8.3. IF A TREE OR PALM PERFORMS POORLY WITHIN THE 1-YEAR WARRANTY PERIOD, IT MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. THE DECISION TO REPLACE BASED ON POOR HEALTH IS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- 8.4. IF A TREE OR PALM SETTLES TO AN UNHEALTHY DEPTH WITHIN THE 1-YEAR WARRANTY PERIOD, AS DETERMINED BY THE LANDSCAPE ARCHITECT, IT MUST BE RAISED TO THE CORRECT GRADE AT CONTRACTOR'S EXPENSE.



9. TREE BARRICADE DETAIL

9.1. GENERAL

- 9.1.1. ALL RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.
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10. TREE TRUNK PROTECTION DETAIL

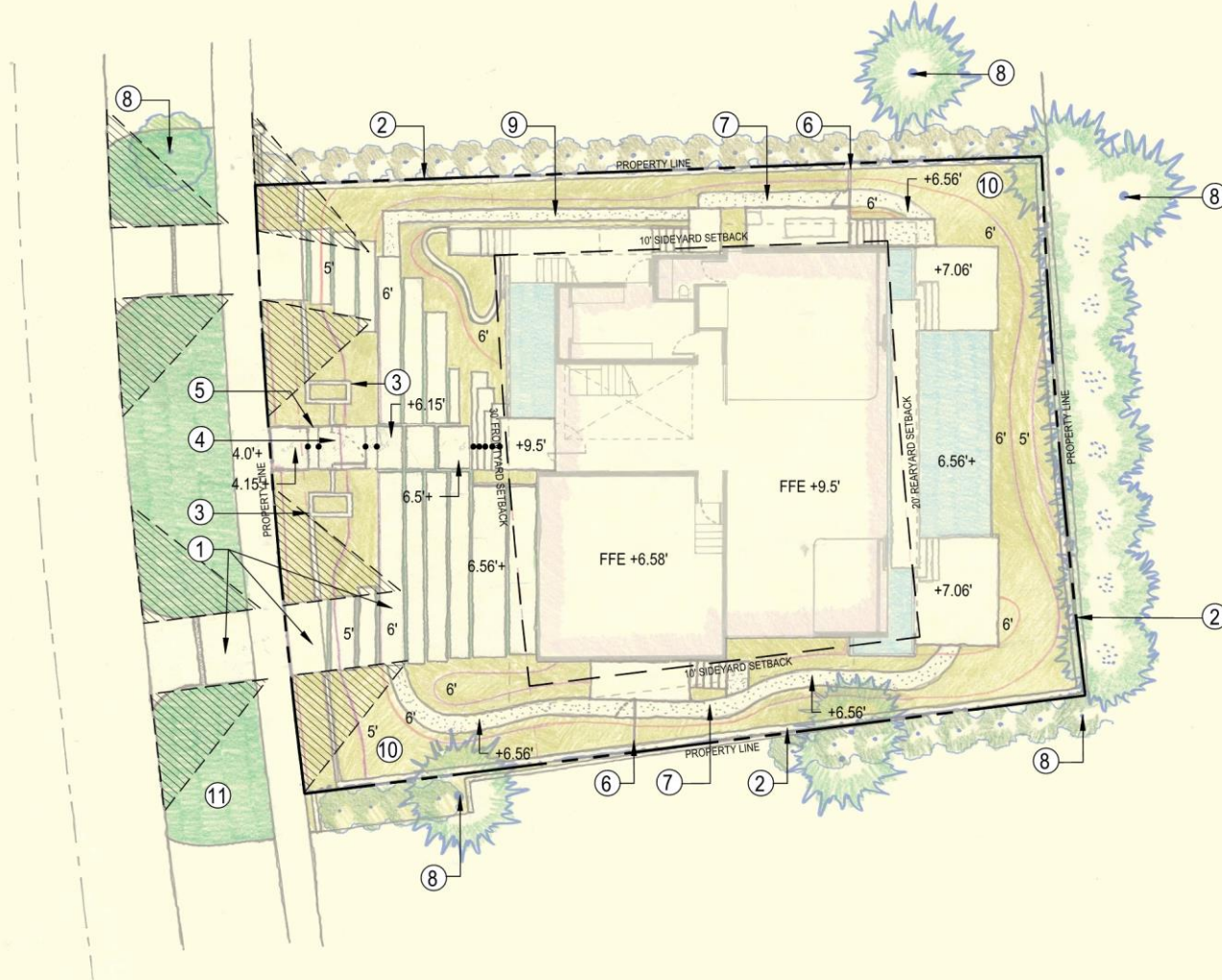
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OWNER
1000 NORTH BAY ROAD, MIAMI BEACH, FL 33140

ARCHITECT

DESIGN CONSULTANT



LEGEND

PROPERTY LINE

SETBACK

- ① Concrete pavers on compacted sand base
- ② Masonry property wall at max. allowed height
- ③ 7'-0" HT Masonry planters with stone veneer to match architecture. To be planted with accents and cascading plants.
- ④ Pedestrian Entrance
- ⑤ Concrete steps
- ⑥ Maintenance gate / pool safety gate
- ⑦ Maintenance path
- ⑧ Existing off-site vegetation to remain
- ⑨ Mulch path
- ⑩ Planting area, TYP.
- ⑪ Lawn, TYP.

OWNER
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

ARCHITECT
AS ASSOCIATES
ODONNELL, CHAMBERS AND PARTNERS ARCHITECTS INC. 3422 HOLLYWOOD BLVD
HOLLYWOOD, FL 33020

DESIGN CONSULTANT
SAOTA PTL LTD
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
+27(0)21 468 4400

LANDSCAPE ARCHITECT
RAYMOND JUNGLES, INC.
2804 AVANTON AVENUE, COCONUT GROVE, FL 33133
+1(305) 661 8777



RAYMOND JUNGLES, INC.
FL. LANDSCAPE ARCHITECT
Lic. # LA0000856

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jungles
RAYMOND JUNGLES INC
Landscape Architect FASLA

odp
ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitects.com
AA-20020096

DESIGN CONSULTANT
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PROJECT
4541 NORTH BAY RD

4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS	

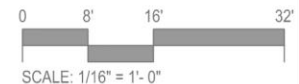
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DATE: 04/11/22
DRAWN BY: JS
DRAWING TITLE:

HARDSCAPE PLAN

SHEET NO.

L-103



jungles

4541 North Bay Road Garden | Proposed Plant List

Miami Beach, FL

8-Apr-22

GROUND LEVEL

RELOCATED TREES & PALMS				
QTY	Botanical Name	Common Name	Native	Specifications
5	<i>Thrinax radiata</i>	Green Thatch Palm	Yes	Relocated from on-site (#10, 11, 12, 23, 40)
5	<i>Coccothrinax</i>	Coconut Palm	No	Relocated from on-site (#31, 34, 39, 41) and to be laid out in the field by landscape architect (#42)
TREES				
QTY	Botanical Name	Common Name	Native	Specifications
3	<i>Clusia rosea</i>	Autograph Tree	Yes	200 Gal., 16' HT., x 8' SPR.; Character trunk
3	<i>Eugenia thymifolia</i>	Red Stopper	Yes	12' HT., x 6' SPR.; 2" DBH (minimum); Character branching, multi trunk
3	<i>Myrciophora fragrans</i>	Slimson's Stopper	Yes	12' HT., x 6' SPR.; 2" DBH (minimum); Character branching, multi trunk
4	<i>T.B.D.</i>	Misc. Native Canopy Tree	Yes	16' HT., x 8' SPR.; 4" DBH (minimum)
1	<i>T.B.D.</i>	Sculptural Accent Canopy Tree	Yes	16' HT., x 8' SPR.; 4" DBH (minimum)
PALMS				
QTY	Botanical Name	Common Name	Native	Specifications
4	<i>Dypsis pinnatifida</i>	Palm Tree	No	F.G.; 16'-20' HT.; 5 trunks min.
2	<i>Sabal domingensis</i>	Dominican Sabal Palm	No	20'-25' CT.; Heavy
8	<i>Thrinax radiata</i>	Green Thatch Palm	Yes	13'-21' WD; Staggered heights; Character trunks
UNDERSTORY TREES / LARGE SHRUBS				
QTY	Botanical Name	Common Name	Native	Specifications
14	<i>Polka dot plant</i>	False Ashoka Tree	No	24' HT.
4	<i>T.B.D.</i>	Misc. Native Understory Trees	Yes	12' HT., x 6' SPR.; 2" DBH (minimum)
15	<i>T.B.D.</i>	Misc. Large Native Shrub	Yes	45 Gal.; 6'-8' HT., x 4'-5' SPR.; Bush
UNDERSTORY SHRUBS				
QTY	Botanical Name	Common Name	Native	Specifications
33	<i>T.B.D.</i>	Misc. Low Native Shrub	Yes	7 Gal.; 24"-36" HT.; Full
19	<i>Begonia odorata</i>	Sweet Begonia	No	3 Gal.; Full
5	<i>Eranthemum pulegium</i>	Blue Sage	No	3 Gal.; 3' HT.
ACCENTS				
QTY	Botanical Name	Common Name	Native	Specification
6	<i>Alcantarea 'Odorata'</i>	Same	No	3 Gal.
2	<i>Monstera adansonii</i>	Swiss cheese Philodendron	No	3 Gal.
8	<i>Philodendron gloriosum</i>	Anthurium gloriosum	No	7 Gal.
60	<i>Portea petropolitana 'Jungles'</i>	Portea Bromeliad 'Jungles'	No	3 Gal.; Full
2	<i>Zamia floridana</i>	Coonbe	Yes	7 Gal.; 18" HT.; Full
GROUNDCOVERS				
QTY	Botanical Name	Common Name	Native	Specification
50	<i>Imodes littoralis</i>	Golden Beach Creeper	No	1 Gal.
22	<i>Furcraea japonica 'Gigantea'</i>	Giant Leopard Plant	No	3 Gal.
28	<i>Hymenocallis latifolia</i>	Spider Lily	Yes	3 Gal. @ 24" O.C.; Full
597	<i>Microrhiza scolopendrium</i>	Wart Fern	No	1 Gal. @ 18" O.C.; Full
20	<i>Nephrolepis exaltata</i>	Boston Fern	Yes	1 Gal. @ 18" O.C.; Full
93	<i>Peperomia obtusifolia</i>	Baby Rubber Plant	Yes	1 Gal. @ 18" O.C.; Full
13	<i>Philodendron 'Burke Marx'</i>	Same	No	3 Gal. @ 24" O.C.; Full
7	<i>Phyllanthus myrsinites</i>	Mouse tail Plant	No	3 Gal. @ 24" O.C.; Full
35	<i>Pilea glauca</i>	Same	No	1 Gal. @ 12" O.C.; Full
SOD				
QTY	Botanical Name	Common Name	Native	Specification
1,069	<i>Zoysia japonica 'Empire'</i>	Zoysia Grass 'Empire'	No	Solid Sod; Quantity shown in square feet
VINE				
QTY	Botanical Name	Common Name	Native	Specification
4	<i>Stephanotis floribunda</i>	Madagascar Jasmine	No	3 Gal.
2	<i>Trachelospermum jasminoides</i>	Confederate Jasmine	No	7 Gal.; Trellis

4541 North Bay Road Garden | Mitigation Chart

Miami Beach, FL

8-Apr-22

Mitigation Chart

Total Tree D.B.H. Removed Requiring Mitigation	36 inches
Total Palms Removed Requiring Mitigation Tree Replacement on a 1:1 basis	11 (12' HT.; 2" DBH)
Proposed Trees with 16' HT., x 8' SPR.; 4" D.B.H. (minimum)	8 (refer to Trees category in plant list)
Proposed Trees with 12' HT. and 2" D.B.H. (minimum)	10 (refer to trees/understory trees category in plant list)

Sec. 46-61. - Tree replacement.

- (1) *Tree replacement chart.* The tree replacement chart below, shall be used to determine the total number and size of trees that shall be planted as replacement trees for all trees permitted for removal. The replacement tree calculations are based on the total diameter in inches of all trees approved for removal. To determine the required replacement trees, calculate the total sum in inches of the diameters of all trees to be removed. This sum will result in one single number in inches that represents the combined total of the diameters of all trees to be removed. Diameter measurement shall be rounded up to the nearest inch.

TREE REPLACEMENT CHART

Total diameter of tree(s) to be removed (sum of inches at DBH)	Total number of replacement trees required (where each replacement tree is a minimum of 2" DBH x 6' spread in canopy x 12' in height)	OR	Total number of replacement trees required (where each replacement tree is a minimum of 4" DBH x 8' spread in canopy x 16' in height)	OR	Contribution to Tree Trust Fund
2"—3"	1	or	0	or	\$1,000.00
4"—6"	2	or	1	or	\$2,000.00
7"—12"	4	or	2	or	\$4,000.00
13"—18"	6	or	3	or	\$6,000.00
19"—24"	8	or	4	or	\$8,000.00
25"—30"	10	or	5	or	\$10,000.00
31"—36"	12	or	6	or	\$12,000.00
37"—42"	14	or	7	or	\$14,000.00
43"—48"	16	or	8	or	\$16,000.00
49"—60"	20	or	10	or	\$20,000.00

- (a) If the sum of the diameter of trees to be removed exceeds a total of 60 inches, the additional inches shall be added cumulatively from the top of the chart, down to the bottom of the chart, to calculate the number of trees required as replacement trees.
- (b) Up to 30 percent of the two-inch DBH replacement tree requirement may be met by planting native species within private property, with a minimum height of ten feet and a minimum DBH of one and one-half inches at time of planting.
- (c) The removal of a palm shall be replaced with one canopy tree at 12 feet overall height with a two-inch DBH.

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4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140	
ARCHITECT	RAYMOND JUNGLES, INC.
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DESIGN CONSULTANT	RAYMOND JUNGLES, INC.
109 MATTHEW STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA	
LANDSCAPE ARCHITECT	RAYMOND JUNGLES, INC.
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jungles
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Landscape Architect FASLA

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ARCHITECTURE AND DESIGN
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T: 954.518.0833 | F: 954.518.0131
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REVISIONS

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PLANT LIST & MITIGATION CHART

SHEET NO.
L-107

	CITY OF MIAMI BEACH LANDSCAPE LEGEND INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS		
	ZONING DISTRICT <u>RS-4</u> LOT AREA <u>7,314 SF</u> ACRES <u>0.17</u>		
	OPEN SPACE	REQUIRED/ ALLOWED	PROVIDED
A.	SQUARE FEET OF REQUIRED OPEN SPACE AS INDICATED ON SITE PLAN: LOT AREA = <u>7,314</u> S.F. X <u>50%</u> % = <u>3,657</u> S.F.	3,657 SF	3,717 SF
B.	SQUARE FEET OF PARKING LOT OPEN SPACE REQUIRED AS INDICATED ON SITE PLAN:	N/A	N/A
	NUMBER OF PARKING SPACES _____ X 10 S.F. PARKING SPACE =	N/A	N/A
C.	TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED: A+B=	3,657 SF	3,717 SF
	COVERAGE EXEMPTION (5'-0" PROJECTIONS-762 SQ.FT.)		
	LAWN AREA CALCULATION		
A.	SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED 3,657	3,657 SF	3,717 SF
B.	MAXIMUM LAWN AREA (SOD) PERMITTED= 50 % X 3,657 S.F.=1,828 SF	1,828 SF	0 SF
	TREES		
A.	TREES REQUIRED PER NET LOT ACRE		
	TREES ON FRONT YARD	2	4
	TREES ON BACK YARD	3	5
	TREES IN EXCESS OF 6,000 SF LOT (1 TREE X 1,000 SF)	2	
	TOTAL TREES ON LOT	7	28
B.	30% NATIVES REQUIRED: 7 X 30% = 2.1	2	15
C.	50% LOW MAINTENANCE / DROUGHT AND SALT TOLERANT REQUIRED: 7 X 50% = 3.5	4	15
D.	STREET TREES (MAXIMUM AVERAGE SPACING OF 20' O.C.) 77 LF / 20' = 3.8	4	4
E.	STREET TREE SPECIES ALLOWED DIRECTLY BENEATH POWER LINES: (MAXIMUM AVERAGE SPACING OF 20' O.C.):	N/A	N/A
	SHRUBS		
A.	NUMBER OF SHRUBS REQUIRED: SUM OF LOT AND STREET TREES REQUIRED 11 X 12 = 132	132	170
B.	50% NATIVE SHRUBS REQUIRED: 132 X 50% = 66	66	70
	LARGE SHRUBS OR SMALL TREES		
A.	LARGE SHRUBS OR SMALL TREES (10% OF REQUIRED SHRUBS) 132 X 10% = 13.2	13	19
B.	50% NATIVE LARGE SHRUBS OR SMALL TREES REQUIRED: 13.2 X 50% = 6.6	7	19

OWNER
RAYMOND JUNGLES, INC.
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

ARCHITECT
AS REQUIRED
CORNWELL, CORNWELL AND PARTNERS ARCHITECTS INC. 3425 HOLLYWOOD BLVD
HOLLYWOOD, FL 33021

DESIGN CONSULTANT
SAOTA PTV LTD
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
+27(0)21 468 4400

LANDSCAPE ARCHITECT
RAYMOND JUNGLES, INC.
2004 ARLINGTON AVENUE, COCONUT GROVE, FL 33133
+1(305) 664 9777



RAYMOND JUNGLES, INC.
FL. LANDSCAPE ARCHITECT
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jungles
RAYMOND JUNGLES INC
Landscape Architect FASLA

odp
ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitect.com
AA-20020096

DESIGN CONSULTANT
SAOTA

109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

PROJECT
4541 NORTH BAY RD

4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS		

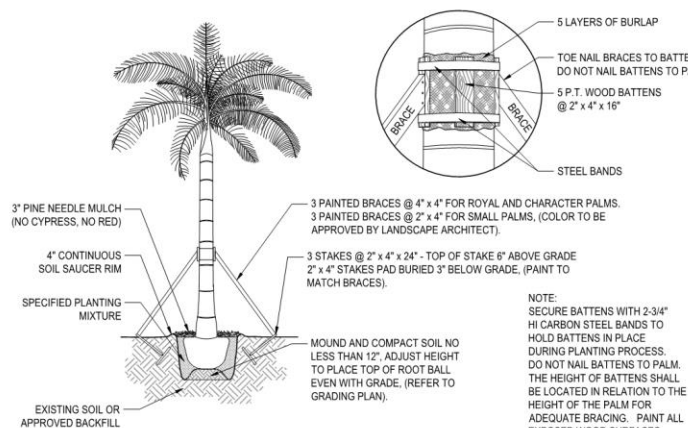
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DATE: 04/1/22
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LANDSCAPE LEGEND

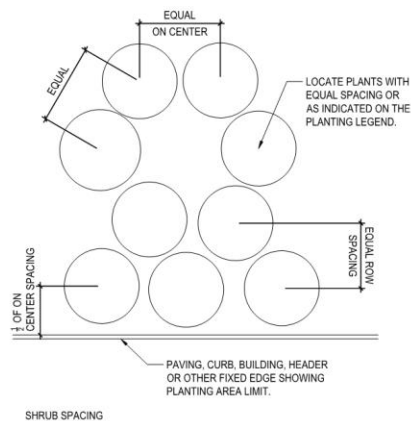
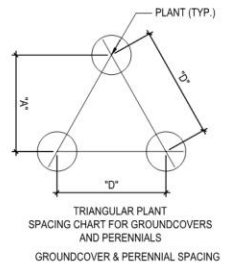
SHEET NO.

L-108

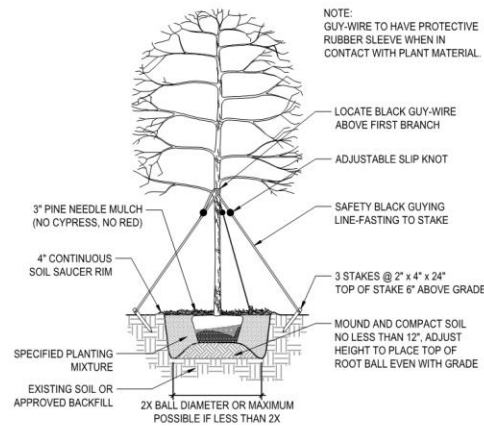


1 PALM PLANTING AND STAKING DETAIL
SCALE: N.T.S.

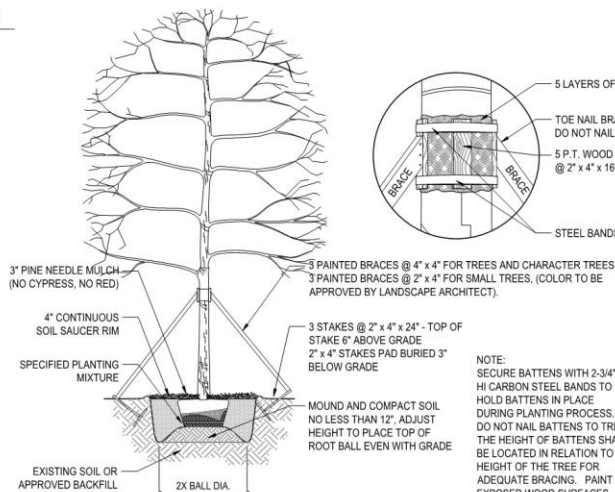
ROW	A
18" O.C.	15" O.C.
24" O.C.	21" O.C.
36" O.C.	31" O.C.



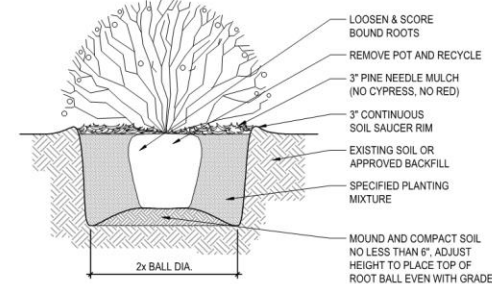
5 PLANT & SHRUB SPACING DETAIL
SCALE: N.T.S.



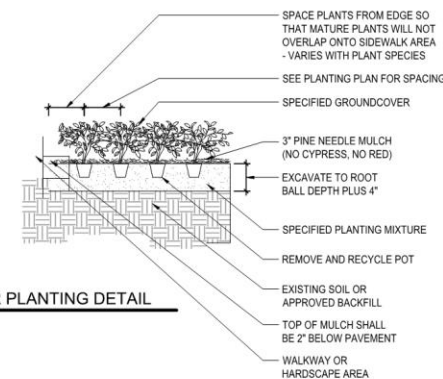
2 UNDERSTORY TREE PLANTING AND STAKING DETAIL
SCALE: N.T.S.



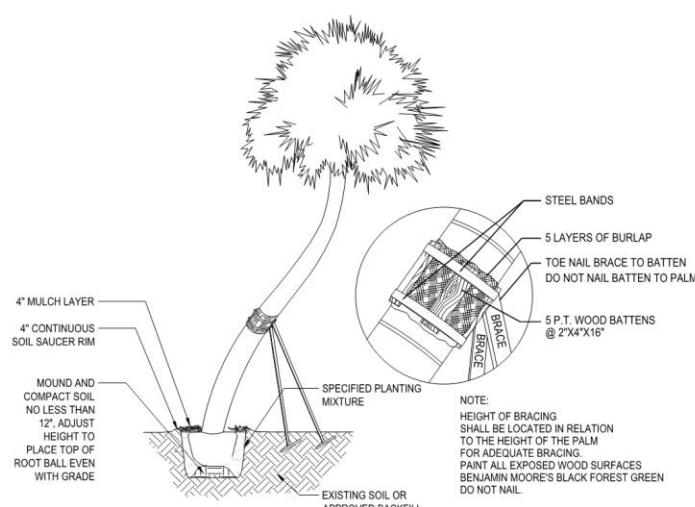
6 TREE PLANTING AND STAKING DETAIL
SCALE: N.T.S.



3 SHRUB PLANTING DETAIL
SCALE: N.T.S.



4 GROUND COVER PLANTING DETAIL
SCALE: N.T.S.



7 CHARACTER PALM PLANTING AND STAKING DETAILS
SCALE: N.T.S.

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4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140	
ARCHITECT	AA 000000
CONTRACTOR	CONTRACTOR
DESIGN CONSULTANT	DESIGN CONSULTANT
LANDSCAPE ARCHITECT	LANDSCAPE ARCHITECT



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jungles
RAYMOND JUNGLES INC
Landscape Architect FLA

odp
ARCHITECTURE AND DESIGN

2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitect.com
AA 00000000

DESIGN CONSULTANT
SAOTA

109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

PROJECT
4541 NORTH BAY RD

4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

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PLANTING DETAILS

SHEET NO.
L-109

GENERAL LANDSCAPE NOTES AND SPECIFICATIONS

- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO SUBMITTING A BID.
- LANDSCAPE CONTRACTOR SHALL PROVIDE AN INSTALLATION SCHEDULE TO THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- LANDSCAPE CONTRACTOR SHOULD VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE LANDSCAPE ARCHITECT'S DRAWINGS PRIOR TO SUBMITTING A BID.
- PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLANS SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS, AFTER CONSULTING THE LANDSCAPE ARCHITECT.
- ALL SIZES SPECIFIED FOR PLANT MATERIAL ON THE PLAN AND PLANT LIST SHALL BE CONSIDERED MINIMUM.
- ALL PLANT MATERIAL MUST MEET OR EXCEED THE SPECIFIED MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD.
- ANY SPECIFIC REQUIREMENTS SUCH AS SPECIFIC SHAPE, CHARACTER, NUMBER OF TREE TRUNKS, PLANT SOURCE, TRANSPORTING, AND OR SPECIAL BRACING NOTED ON THE PLAN OR PLANT LIST, WILL REQUIRE APPROVAL AND OR COORDINATION WITH THE LANDSCAPE ARCHITECT.
- NO CHANGE OR SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT. ANY REVISION OR MODIFICATIONS TO THE LANDSCAPE PLAN MUST HAVE PRIOR APPROVAL BY THE THE LANDSCAPE ARCHITECT & OWNER
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT.
- ALL TREES, PALMS, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS FROM DATE OF FINAL ACCEPTANCE.
- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGES TO UNDERGROUND UTILITIES, AND OR CONSTRUCTION CAUSED BY LANDSCAPE INSTALLATION, AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR, THE REMOVAL OF ALL BUILDING CONSTRUCTION DEBRIS AND FOREIGN MATERIAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- SITE PREPARATION SHOULD INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS OR GRASS, REMOVAL AND CLEAN UP OF ANY DEAD MATERIAL AND ROUGH AND FINISH GRADING PER SPECS AND OR LANDSCAPE PLANS.
- FOR PLANT MATERIAL DESIGNATED TO BE REMOVED, THE ENTIRE ROOT SYSTEM SHALL BE DUG AND REMOVED FROM THE SITE.
- ALL PLANTING AREAS SHALL BE EXCAVATED TO A MINIMUM OF 3" FOR GROUNDCOVER'S AND MORE THAN 3" FOR SHRUBS, TREES, AND PALMS, AND SHOULD RECEIVE A SPECIFIED PLANTING SOIL MIXTURE. PLANTING SOIL SHALL BE 70% COARSE SAND, 20% FLORIDA PEAT, AND 10% PINE BARK AS MANUFACTURED BY ATLAS PEAT & SOIL, OR APPROVED EQUAL. CONTRACTOR TO SUBMIT PLANTING SOIL SAMPLE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTERAS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE 'GRADES AND STANDARDS FOR NURSERY PLANTS' SECOND EDITION FEB. 1998 INCLUDING REVISIONS AND WHICH MEET OR EXCEED THE SIZES INDICATED IN THE PLANTING SCHEDULE AND DETAILS.
- ALL TREES SHALL BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO BRACING NOTES AND PLANTING DETAILS)
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, ALL REMAINING HOLES SHALL BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. SOD DISTURBED AREA, IF REQUIRED, ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND. (SEE SPEC)
- ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION, WITH LONG LASTING FERTILIZER, ACCORDING TO MANUFACTURERS' RECOMMENDATIONS AND BASED ON SOIL TESTS OF EXISTING ON-SITE SOILS.
- ALL EXISTING PLANT MATERIAL TO REMAIN, SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY PLANT MATERIAL SCARRED OR DESTROYED DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES SIZE AND QUALITY.
- ALL TREES ON SOD AREA SHALL RECEIVE A HARDWOOD / PINE NEEDLE MULCH MIX RING 2" IN DIAMETER TYPICAL. MULCH TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND/OR INSTALLATION.
- ALL PLANTING AREAS SHALL BE MULCHED WITH SHREDDED ORGANIC MULCH TO A MINIMUM OF 3"; WITH THE EXCEPTION OF BEACH PLANTING. DO NOT USE CYPRESS OR RED MULCH.
- ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE, UNLESS NOTED OTHERWISE.
- ALL 1 GALLON MATERIAL SHALL HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
- ALL PLANTING AREAS WITHIN THE LIMITS OF WORK SHALL RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECTED BY OWNER. SEE

IRRIGATION PLANS FOR ADDITIONAL SPECIFICATIONS.

- LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR SHALL HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER APPROPRIATE CONTRACTORS.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- ON-SITE LAYOUT OF PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- ALL PLANTS, MATERIALS, WORKMANSHIP, AND INVOICE APPROVAL ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO FLAG ALL PROPOSED TREE AND PALM LOCATIONS FOR OWNER AND LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO EXCAVATION OR INSTALLATION. PLAN LOCATIONS ARE SUBJECT TO FIELD ADJUSTMENTS BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT TO APPROVE ALL SHRUB AND GROUND COVER PLANTING LOCATION AND LAYOUT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHIC DOCUMENTATION DURING INSTALLATION FOR LANDSCAPE ARCHITECT'S REVIEW, DAILEY.
- LANDSCAPE CONTRACTOR TO INSURE ALL PLANT MATERIAL IS INSTALLED AT THE CORRECT ELEVATION, REFER TO GRADING PLAN.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN OR COORDINATE WITH THE IRRIGATION CONTRACTOR AND LANDSCAPING MAINTENANCE SERVICES ALL PLANTING INCLUDING WATERING, MOWING, MULCHING, WEED, AND PEST CONTROL UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND OWNER.
- THE AWARDED LANDSCAPE CONTRACTOR SHALL SUBMIT A PROPOSED BID / CONTRACT WITH PRICING FOR ALL PLANT MATERIAL INCLUDING (WARRANTY, LABOR, TRANSPORTATION, RELOCATION, SITE MAINTENANCE AND PREPARATION) AS PER THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND OR PLANTING PLANS.
- THE LANDSCAPE CONTRACTOR'S CONTRACT SHALL ACKNOWLEDGE ALL TERMS AND CONDITIONS SET FORTH UNDER THESE GENERAL LANDSCAPE NOTES AND SPECIFICATIONS.
- THESE DRAWINGS, DOCUMENTS, AND ALL CONTENTS ARE THE PROPERTY OF RAYMOND JUNGLES, INC. ALL RIGHTS ARE RESERVED. UNAUTHORIZED USE OR PRODUCTION, IN PART OR WHOLE, FOR ANY PURPOSE IS UNLAWFUL AND PROHIBITED EXCEPT BY EXPRESS WRITTEN CONSENT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS OR APPROVALS FROM THE FEDERAL, STATE OR LOCAL GOVERNMENT REQUIRED FOR THE WORK INCLUDED IN THIS CONTRACT AND ON THESE DRAWINGS.
- PLANT SHRUBS IN CIRCULAR PITS WITH A DIAMETER 16" GREATER THAN ROOTBALL OR CONTAINER. PLANT TREES IN CIRCULAR PITS WITH A DIAMETER 36" GREATER THAN ROOTBALL OR CONTAINER.. PLACE PLANTS WITH BEST "FACE" FORWARD.
- BACKFILL ALL PLANTING PITS WITH THE FOLLOWING MIXTURE : $\frac{1}{2}$ ONSITE SOIL, $\frac{1}{2}$ CLEAN FRIABLE TOPSOIL. SUBMIT TOPSOIL SAMPLE AND SOIL TEST ANALYSIS FOR APPROVAL BY LANDSCAPE ARCHITECT, (SEE PLANTING DETAILS). REMOVE EXCESS SOIL EXCAVATED FROM PLANT PIT FROM THE SITE OR DISTRIBUTE ON-SITE AS DIRECTED BY L.A.
- VERIFY ALL QUANTITIES IN THE PLANTING SCHEDULE AND INSTALL ALL PLANTS AND MATERIALS AS INDICATED IN THE PLAN. PROVIDE COMPOSITE UNIT PRICES FOR EACH PLANT, WHICH INCLUDE ALL OTHER INCIDENTAL MATERIALS, (I.E. MULCH, FERTILIZER, TOPSOIL, LABOR, ETC.)
- NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY UNFORESEEN CONDITIONS, I.E., COMPACTED SOIL / SUBGRADE, POOR DRAINAGE, UNCONSOLIDATED SOIL, EROSION, UTILITY CONFLICTS, EXCESSIVE SUN OR SHADE, ETC., PRIOR TO PROCEEDING WITH LANDSCAPE INSTALLATION.
- ALL PLANTS, MATERIALS AND WORKMANSHIP ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER.

GENERAL TREE BRACING NOTES AND SPECIFICATIONS:

TREES AND PALMS GREATER THAN 6" DBH TO BE BRACED WITH PROPS:

- CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT), TIMBER BAMBOO (GUADUA ANGUSTIFOLIA) 3" DIA.).
- ALL (PRESSURE TREATED (PT) 2"x4", 4"x4"). STAKES SHALL BE PAINTED AS SPECIFIED BY THE LANDSCAPE ARCHITECT. WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/3 OF THE DISTANCE FROM GROUND TO THE CLEAR TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
- SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12'-16")
- USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
- PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
- SECURE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. DO NOT NAIL TREE.
- WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKE. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. NOTE: ON STRAIGHT TREES OR PALMS OR TREES, SPACE PROPS EQUAL DISTANCE. AROUND TREE OR PALM ON CURVED (CHARACTER) PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM.
- CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. DO NOT PENETRATE TREE OR PALM WITH NAILS.
- IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN THE VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARLY LABELED WITH THE STATEMENT, "DO NOT REMOVE."
- PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

TREES AND PALMS LESS THAN 6" DBH TO BE BRACED BY GUYING:

- CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF SLEEVE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
- CUT LENGTHS OF STAKING SLEEVE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
- SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO THE GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
- PLACE THE SLEEVE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
- THREAD THE WIRE THROUGH THE SLEEVE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
- TWIST WIRE AT RUBBER SLEEVE TO KEEP IT IN PLACE
- PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
- THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES.
- THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
- FLAG THE GUY WIRES WITH SURVEYOR'S FLAGGING OR APPROVED EQUAL FOR SAFETY.
- ANY WIRES ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE ARCHITECT.

OWNER
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140
ARCHITECT
AL 00000000
CONNELL, CONNELL AND PARTNERS ARCHITECTS INC. 1420 N.W. 17TH BLVD. MIAMI BEACH, FL 33139
DESIGN CONSULTANT
SAOTA PFL132
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
+27(0)1 468 4400
LANDSCAPE ARCHITECT
RAYMOND JUNGLES, INC.
2004 AUSTIN AVENUE, COCONUT GROVE, FL 33133
734-583-9777



RAYMOND JUNGLES, INC.
FL. LANDSCAPE ARCHITECT
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jungles
RAYMOND JUNGLES INC
Landscape Architect FASLA

odp
ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitecture.com
AL 30000096

DESIGN CONSULTANT
SAOTA
109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

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4541 NORTH BAY RD

4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

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PLANTING NOTES &
SPECIFICATIONS

SHEET NO.

L-110



A PATH LIGHT
SCALE: N.T.S.



B UP LIGHT
SCALE: N.T.S.



C IN-GROUND UP LIGHT
SCALE: N.T.S.



D WALL WASH UP LIGHT
SCALE: N.T.S.



E RECESSED STEP LIGHT
SCALE: N.T.S.



F TREE MOUNTED DOWN LIGHT
SCALE: N.T.S.

GENERAL NOTES

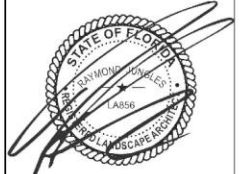
- PROPOSED LANDSCAPE LIGHTING IS TO BE SUBTLE, ACCENTUATE SPECIMEN AND OTHER KEY PLANT MATERIAL, AND PROVIDE WAYFINDING. LIGHTING FOR SPORTS COURTS OR OTHER ATYPICAL FEATURE LIGHTING IS NOT PROPOSED.
- ALL FIXTURES ARE TO BE INSTALLED PER THE NATIONAL ELECTRICAL CODE (N.E.C.), THE N.E.C. SHALL GOVERN AND SUPERCEDE ALL SPECIFICATIONS.
- CONTRACTOR TO COORDINATE EXACT FIXTURE LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY TRANSFORMER QUANTITIES AND LOCATIONS PRIOR TO INSTALLATION.
- ALL VISIBLE HARDWARE CONNECTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- NO LAMP SUBSTITUTIONS SHALL BE PERMITTED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- PERFORMANCE ENHANCING LENSES TO BE SPECIFIED AND APPROVED BY LANDSCAPE ARCHITECT. PRISMATIC SPREAD LENSES TO BE USED FOR WIDE BEAM ANGLES.
- TRANSFORMERS SHALL BE MULTI-MATIC MAGNETIC STAINLESS STEEL.
- PRIOR TO PURCHASING MATERIALS, CONTRACTOR SHALL PROVIDE SUBMITTALS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- WIRE SHALL BE UV RESISTANT DIRECT BURIAL LIGHTING CABLE INSTALLED A MINIMUM OF 6" BELOW GRADE. CONTRACTOR SHALL ALLOW FOR AN

- ADDITIONAL 15% LOAD ON EACH CIRCUIT.
- DIRECT BURIAL WIRE SHALL BE PROTECTED BY 2' LENGTH PVC SLEEVE AT END OF EVERY LANDSCAPE BED LINE.
- ALL CONNECTORS USED SHALL BE KING INNOVATION SILICONE WATER-RESISTANT WIRE NUT CONNECTORS.
- CONTRACTOR SHOULD VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE LANDSCAPE ARCHITECT'S DRAWINGS PRIOR TO SUBMITTING A BID.
- NO CHANGE OR SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT. ANY REVISION OR MODIFICATIONS TO THE LIGHTING PLAN MUST HAVE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT & OWNER.
- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- LIGHTING CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LIGHTING CONTRACTOR SHALL REPAIR ALL DAMAGES TO UNDERGROUND UTILITIES, AND OR CONSTRUCTION CAUSED BY LIGHTING INSTALLATION, AT NO COST TO THE OWNER.
- LIGHTING CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER

- APPROPRIATE CONTRACTORS.
- LIGHTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- ON-SITE LAYOUT OF LIGHT FIXTURES SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS OR APPROVALS FROM THE FEDERAL, STATE OR LOCAL GOVERNMENT REQUIRED FOR THE WORK INCLUDED IN THIS CONTRACT AND ON THESE DRAWINGS.
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- CONTRACTOR SHALL POWER, AND CONFIRM VIA TESTING THE VOLTAGE OF EACH FIXTURE TO ENSURE THAT IT MEETS MANUFACTURER'S SPECIFICATIONS.
- ANY AND ALL WATER FEATURE LIGHTING FIXTURES SHALL BE 12 VOLT MAXIMUM AND BE GROUNDED.
- CONTRACTOR SHALL FURNISH ALL WARRANTY DOCUMENTATION TO OWNER AT COMPLETION OF JOB.
- CONTRACTOR SHALL HAVE LIGHTING INSTALLATION PERMITTED AND INSPECTED BY THE GOVERNING REGULATORY AGENCY. APPROVAL

- DOCUMENTATION SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT & OWNER.
- CONTRACTOR SHALL DISCUSS OWNER PREFERENCES FOR SCENE OPTIONS AND DIMMING CONTROLS PRIOR TO LIGHTING INSTALLATION.
- TRANSFORMER CAPACITY TO BE DETERMINED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
- TRANSFORMERS SHALL BE COMPATIBLE WITH IN-HOUSE CONTROLS.
- LAMP TYPES SHALL BE AN LED LIGHT SOURCE, UNLESS NOTED OTHERWISE, AND APPROVED BY LANDSCAPE ARCHITECT.
- ALL FIXTURES SHALL BE ON A DIMMER CONTROL MODULE WITH SCENE OPTIONS.
- INDIVIDUAL FIXTURE TYPES SHALL BE ON DEDICATED/SEGREGATED CIRCUITS AND TRANSFORMERS.

OWNER
4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140
ARCHITECT
AS 000000
ODONNELL, CHANNELL AND PARTNERS ARCHITECTS INC. 3425 N.W. 11TH AVE. SUITE 200
DESIGN CONSULTANT
109 MATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
LANDSCAPE ARCHITECT
3004 PLYMOUTH AVE. SUITE 100
3004 PLYMOUTH AVE. SUITE 100
3004 PLYMOUTH AVE. SUITE 100



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FL. LANDSCAPE ARCHITECT
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jungles
RAYMOND JUNGLES INC
Landscape Architect FASLA

odp
ARCHITECTURE AND DESIGN
2432 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T: 954.518.0833 | F: 954.518.0131
www.odparchitect.com
AS 00000006

DESIGN CONSULTANT
SAOTA
109 MATFIELD STREET, GARDENS,
CAPE TOWN, 8001 SOUTH AFRICA
T: +27(0)21 468 4400 | info@saota.com
www.saota.com

PROJECT
4541 NORTH BAY RD

4541 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS		

SCALE: AS NOTED
DATE: 04/1/22
DRAWN BY: JS
DRAWING TITLE:

LANDSCAPE LIGHTING
SPECIFICATIONS

SHEET NO.
L-111



PROPOSED STREET MONTAGE VIEW



EXISTING STREET VIEW

OWNER

4540 NORTH BAY ROAD
MIAMI BEACH, FL 33149

ARCHITECT

AK 2008096
COTONWELL, DANNOLOFF AND PARTNERS ARCHITECTS, P.A.
100 HAYFIELD STREET, GARDENS
CAPE TOWN, 801 SOUTH AFRICA
T 262 493 4492
F 262 493 4492

LEAD DESIGNER

SAOTA LTD
100 HAYFIELD STREET, GARDENS
CAPE TOWN, 801 SOUTH AFRICA
T 262 493 4492
F 262 493 4492

LANDSCAPE ARCHITECT

BERNARDUS LANGEVELD, INC.
2000 KENTON AVENUE, SUITE 100, MIAMI
MIAMI, FL 33137
T 305 688 8777
F 305 688 8777

CIVIL ENGINEER

NAME
ADDRESS
TELEPHONE

STRUCTURAL ENGINEER

NAME
ADDRESS
TELEPHONE

MEP/FP ENGINEER

NAME
ADDRESS
TELEPHONE

KURT DANNOLOFF
FL ARCHITECT REG. NO.
AR0042

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odp

ARCHITECTURE AND DESIGN
3402 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020
T 954 918 3023 | F 954 918 0137
WWW.ODP-DESIGN.COM
AK 2008096

LEAD DESIGNER

SAOTA
100 HAYFIELD STREET, GARDENS, CAPE TOWN, 801
T 262 493 4492 | F 262 493 4492
WWW.SAOTA.COM

PROJECT

4540 NORTH BAY RD.
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS

NO.	DATE	DESCRIPTION
01	08-02-21	DRB Final Submitted

KEY PLAN

SCALE

DATE: 08/02/21
DRAWN BY:
EXISTING &
PROPOSED STREET
VIEWS
SHEET NO.
A-030

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