

PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

DRB PRESENTATION PACKAGE (DRB22-0811)  
05-31-2022



ARCHITECT  
KOBI KARP ARCHITECTURE  
AND INTERIOR DESIGN, INC.  
571 NW 28 th St.  
Miami , Florida 33127  
Tel: (305) 573-1818  
Fax: (305) 573-3766

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER ADDRESS1  
Address OWNER ADDRESS2  
Tel: OWNER PHONE  
Email OWNER\_EMAIL

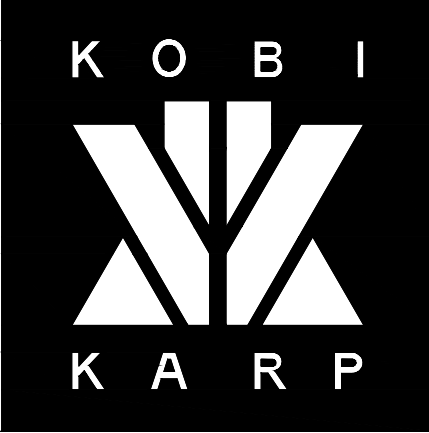
Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

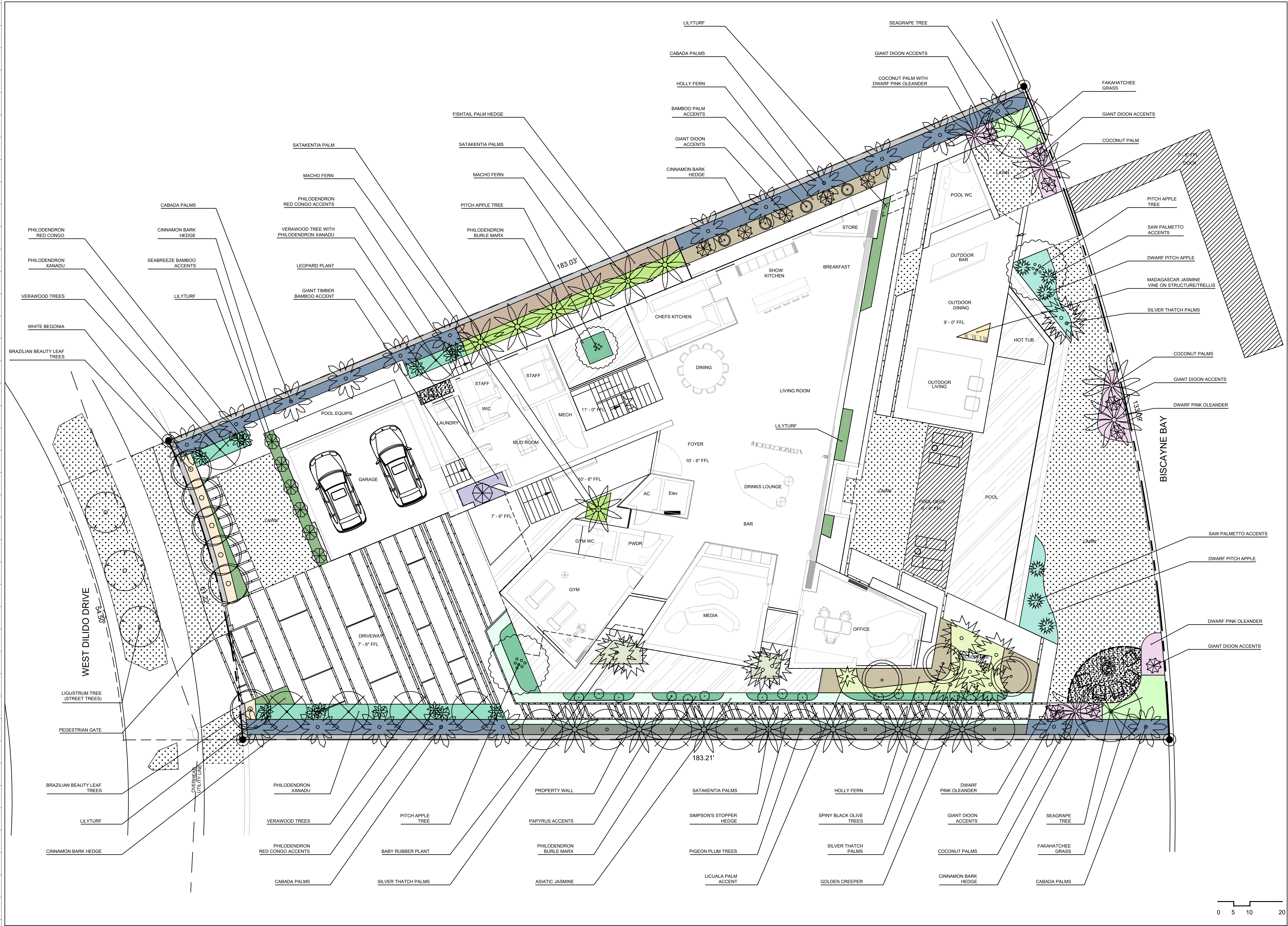
KOBI KARP  
Lic. # AR0012578



Cover Sheet

Date	05/31/2022	Sheet No.
Scale	--	A0.00
Project	21102	





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2018

**PRIVATE RESIDENCE**  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER ADDRESS1  
Tel: OWNER PHONE  
Email: OWNER EMAIL

**Consultant:**  
Name: OWNER ADDRESS2  
Address: OWNER ADDRESS2  
Tel: OWNER ADDRESS2  
Email: OWNER ADDRESS2

**Consultant:**  
Name: OWNER ADDRESS2  
Address: OWNER ADDRESS2  
Tel: OWNER ADDRESS2  
Email: OWNER ADDRESS2

**Consultant:**  
Name: OWNER ADDRESS2  
Address: OWNER ADDRESS2  
Tel: OWNER ADDRESS2  
Email: OWNER ADDRESS2

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



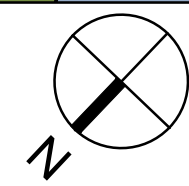
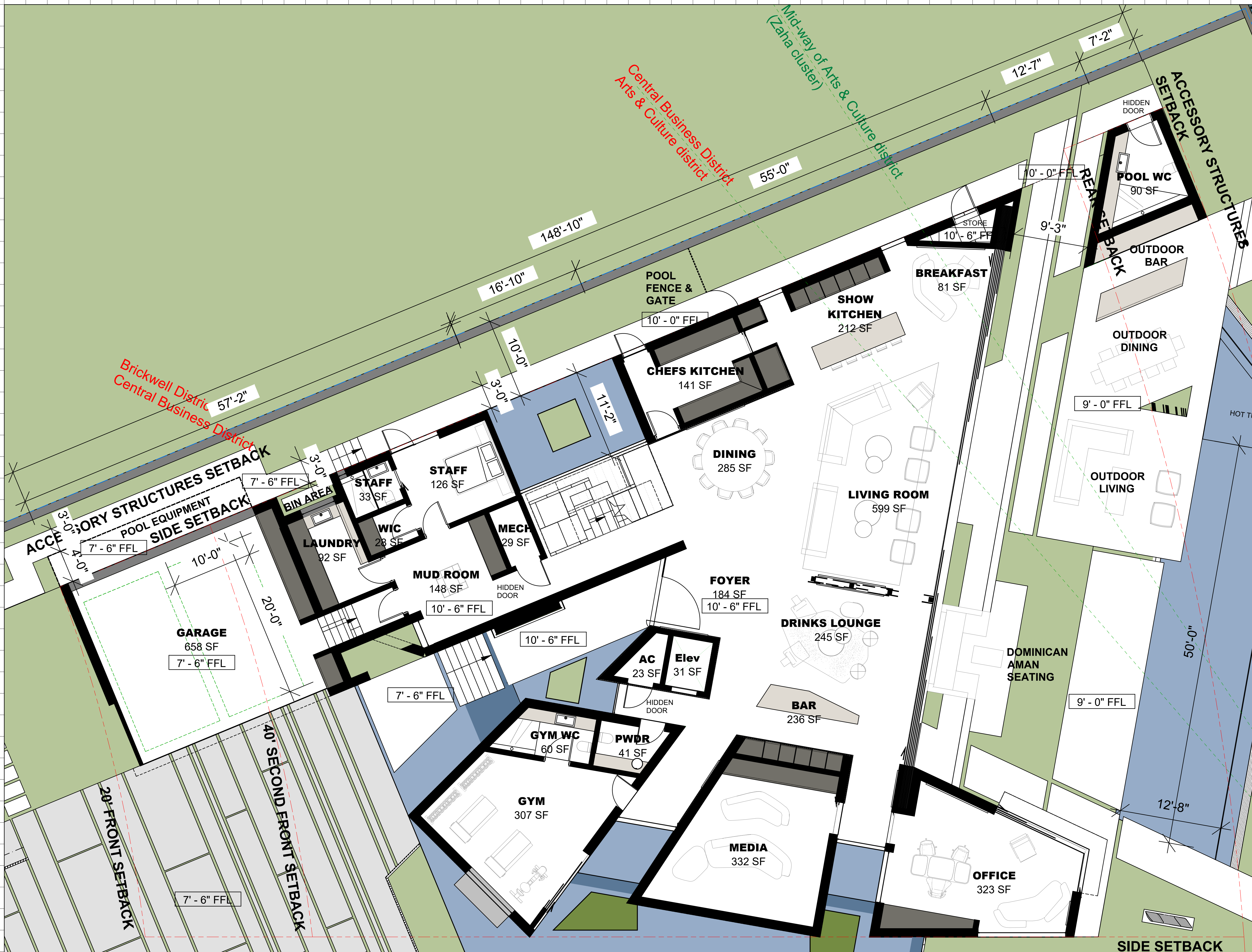
Kobi Karp  
Lic. # AR0012578

**SITE PLAN PROPOSED**

Date	05/31/2022	Sheet No.
Scale	--	A0.001
Project	21102	

1 COLORED SITE PLAN PROPOSED





1

1ST FLOOR PLAN PROPOSED

Scale: 3/16" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name: OWNER  
Address: OWNER ADDRESS1  
Tel: OWNER PHONE  
Email: OWNER EMAIL

Consultant:  
Name:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Tel:  
Email:

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ KARP  
Lic. # AR0012578



1ST FLOOR PLAN PROPOSED

Date	05/31/2022	Sheet No.
Scale	--	A0.002
Project	21102	





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name: OWNER  
Address: OWNER ADDRESS1  
Tel: OWNER PHONE  
Email: OWNER EMAIL

Consultant:  
Name:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Tel:  
Email:

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

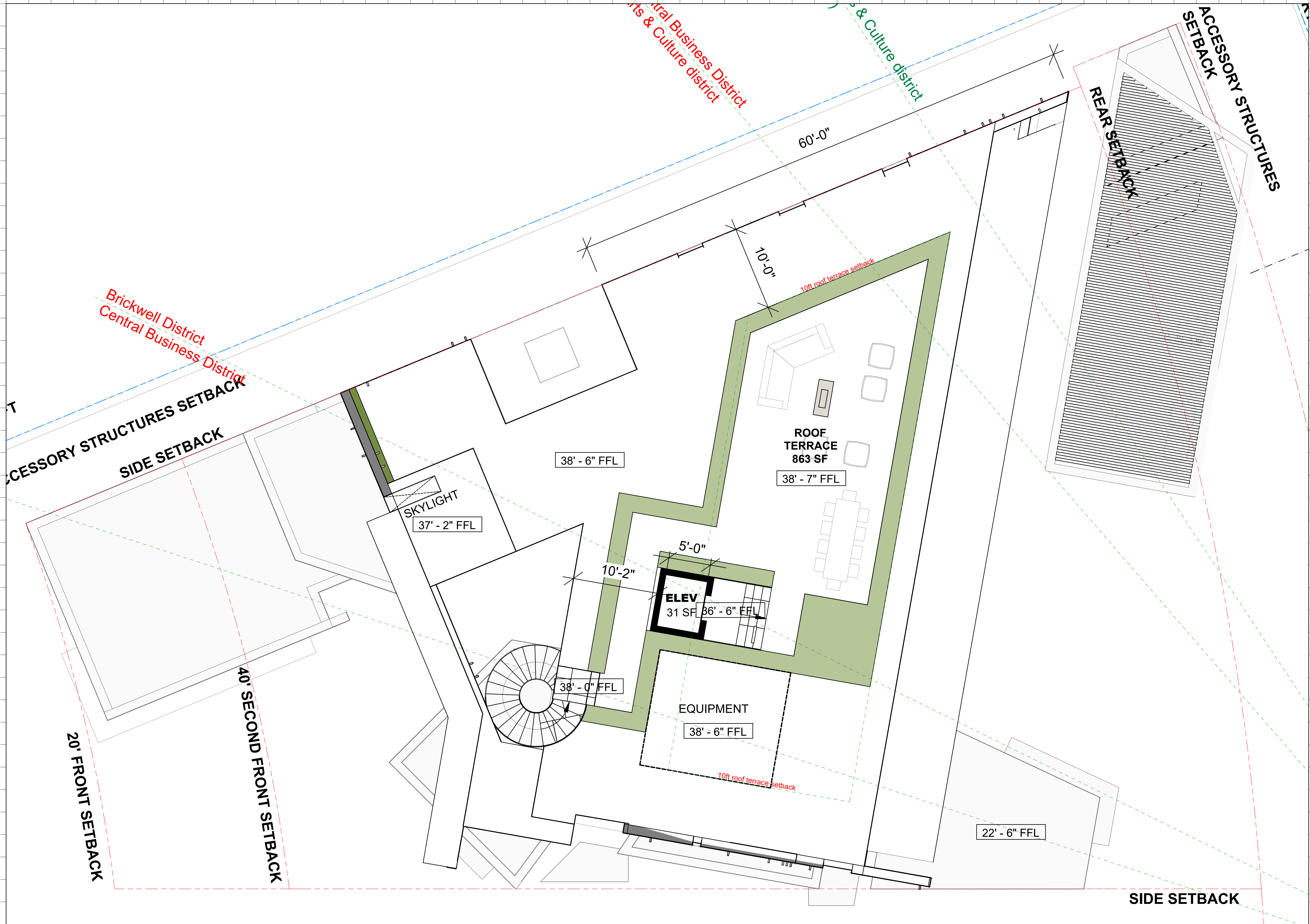
K O B I  
K A R P

Kobi Karp  
Lic. # AR0012578

2ND FLOOR PLAN PROPOSED

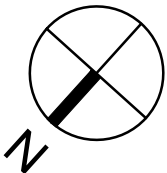
Date	05/31/2022	Sheet No.
Scale	--	A0.003
Project	21102	





PROPOSED UNIT SIZE CALCULATION ROOF LEVEL	
ELEVATOR BULKHEAD	49 SF
TOTAL	49 SF

PROPOSED ROOF DECK CALCULATION			
SECOND FLOOR ENCLOSED AREA	3,603 SF		
MAX USEABLE ROOF DECK ALLOWED	900.8 SF	(25.00%)	
TOTAL PROPOSED USEABLE ROOF DECK	900.5 SF	(24.99%)	



1 ROOF PLAN PROPOSED  
Scale: 3/16" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER EMAIL


Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ KARP  
Lic. # AR0012578



ROOF PLAN PROPOSED

Date	05/31/2022	Sheet No.
Scale	--	A0.004
Project	21102	





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name  
Address  
Address  
Tel:  
Email

OWNER  
OWNER\_ADDRESS1  
OWNER\_ADDRESS2  
OWNER\_PHONE  
OWNER\_EMAIL

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ  
KARP

KOBİ KARP  
Lic. # AR0012578

FRONT RENDERING

Date	05/31/2022	Sheet No.
Scale	--	A0.005
Project	21102	





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER\_ADDRESS1  
Address: OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email: OWNER\_EMAIL

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBI KARP  
Lic. # AR0012578

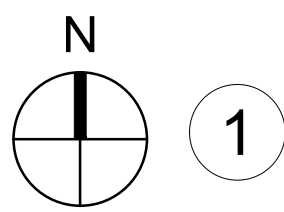
K O B I

K A R P

REAR RENDERING

Date	05/31/2022	Sheet No.
Scale	--	A0.006
Project	21102	





RADIUS SITE LOCATION & IMAGE KEY PLAN

No Scale

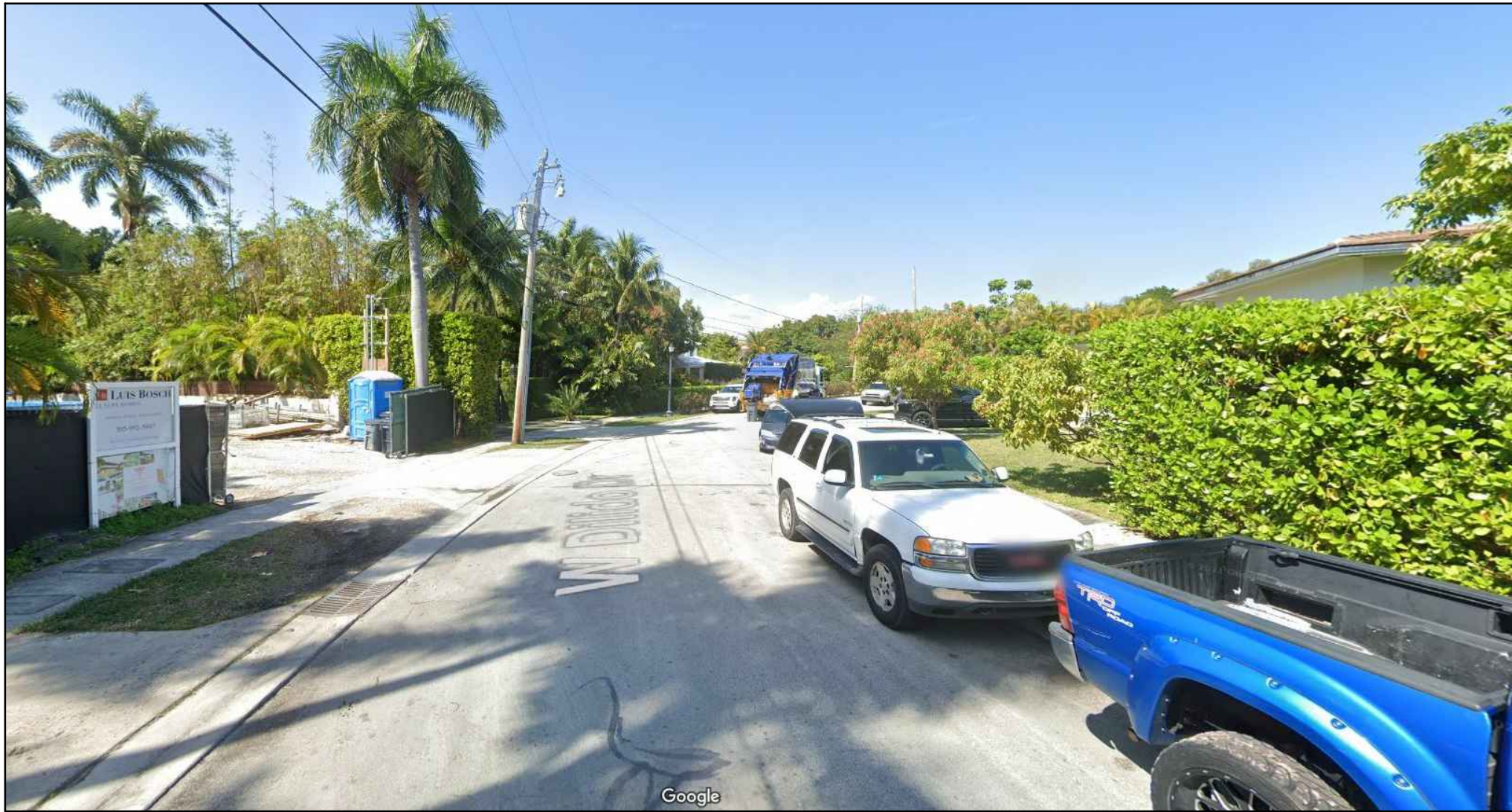


16 W DILIDO DR

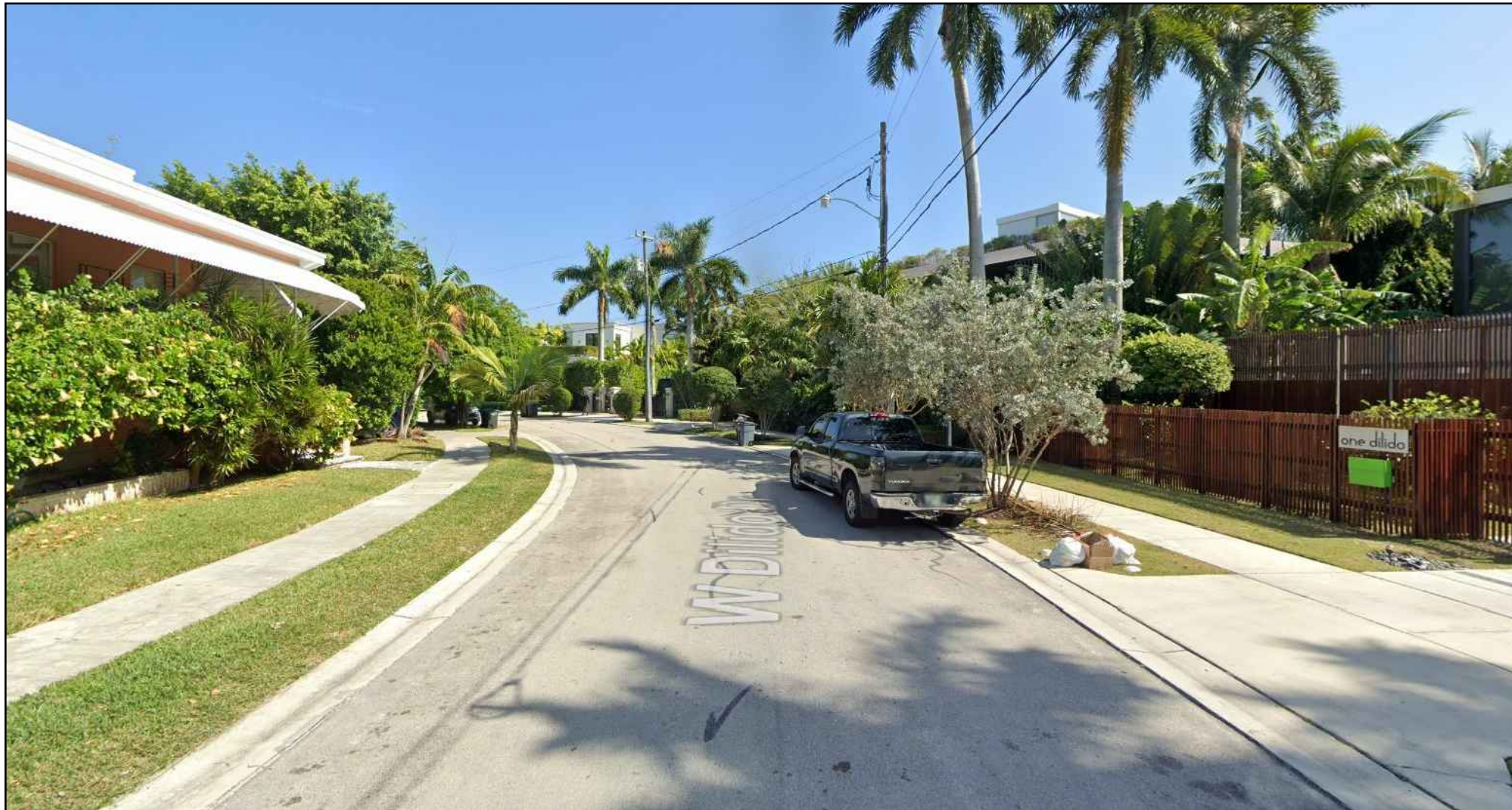
IMAGES ON SHEET A0.02-CONTEXT  
C1 - W. DILIDO DR. - LOOKING EAST  
C2 - W. DILIDO DR. - LOOKING WEST

IMAGES ON SHEET A0.03-EXISTING PROPERTY  
E1 - FRONT YARD  
E2 - SIDE YARD - EAST  
E3 - SIDE YARD - WEST  
E4 - REAR YARD

IMAGES ON SHEET A0.05-NEIGHBOR PROPERTY  
N1 - 1 E. DILIDO Dr.  
N2 - 18 E. DILIDO Dr.  
N3 - 20 W. DILIDO Dr.



C1 - W DILIDO DR. (VIEW TO EAST)



C2 - W DILIDO DR. (VIEW TO WEST)

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER\_EMAIL

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ KARP  
Lic. # AR0012578

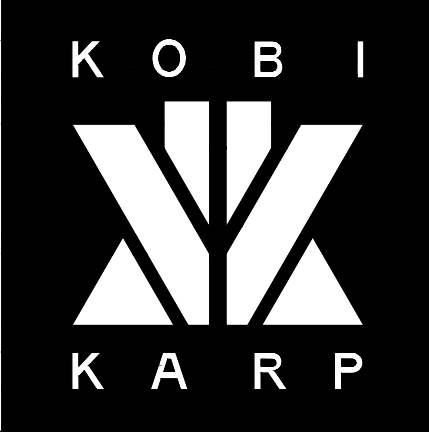


IMAGE KEY

Date	03/21/2022	Sheet No.
Scale	--	A0.02
Project	21102	





11 EAST DILIDO DRIVE - EXISTING      01 EAST DILIDO DRIVE - EXISTING      16 WEST DILIDO DRIVE - PROPOSED      20 WEST DILIDO DRIVE - EXISTING      28 EAST DILIDO DRIVE EXISTING

EXISTING CONDITION – FRONT OF RESIDENCE WITH SURROUNDING CONTEXT



11 EAST DILIDO DRIVE - EXISTING      01 EAST DILIDO DRIVE - EXISTING      16 WEST DILIDO DRIVE - EXISTING      20 WEST DILIDO DRIVE - EXISTING      28 EAST DILIDO DRIVE EXISTING

PROPOSED CONDITION – FRONT OF RESIDENCE WITH SURROUNDING CONTEXT

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name      OWNER  
Address      OWNER ADDRESS1  
Address      OWNER ADDRESS2  
Tel:      OWNER PHONE  
Email      OWNER EMAIL

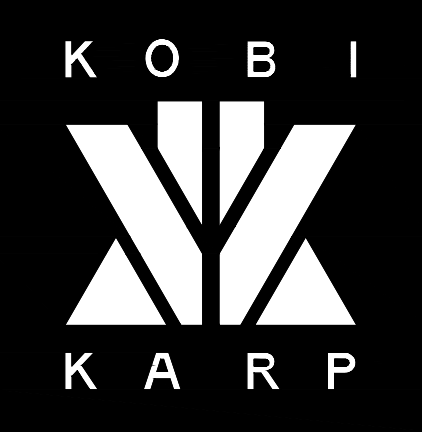
Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

Kobi Karp  
Lic. # AR0012578



SITE IMAGES

Date	03/21/2022	Sheet No.
Scale	--	A0.05
Project	21102	





1 FRONT ELEVATION  
No Scale



2 REAR ELEVATION  
No Scale

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER ADDRESS1  
Address OWNER ADDRESS2  
Tel: OWNER PHONE  
Email OWNER EMAIL

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ  
KARP

KOBİ KARP  
Lic. # AR0012578

RENDERED ELEVATIONS

Date	05/31/2022	Sheet No.
Scale	--	A4.02
Project	21102	





1 RIGHT SIDE ELEVATION  
No Scale



2 LEFT SIDE ELEVATION  
No Scale

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. © 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER ADDRESS1  
Address OWNER ADDRESS2  
Tel: OWNER\_PHONE  
Email OWNER\_EMAIL

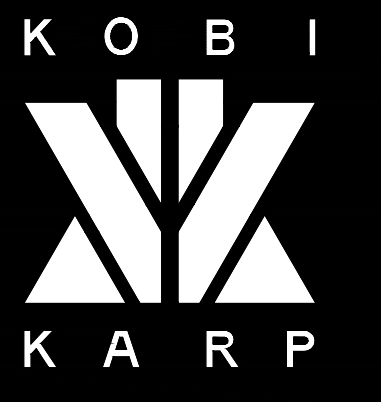
Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

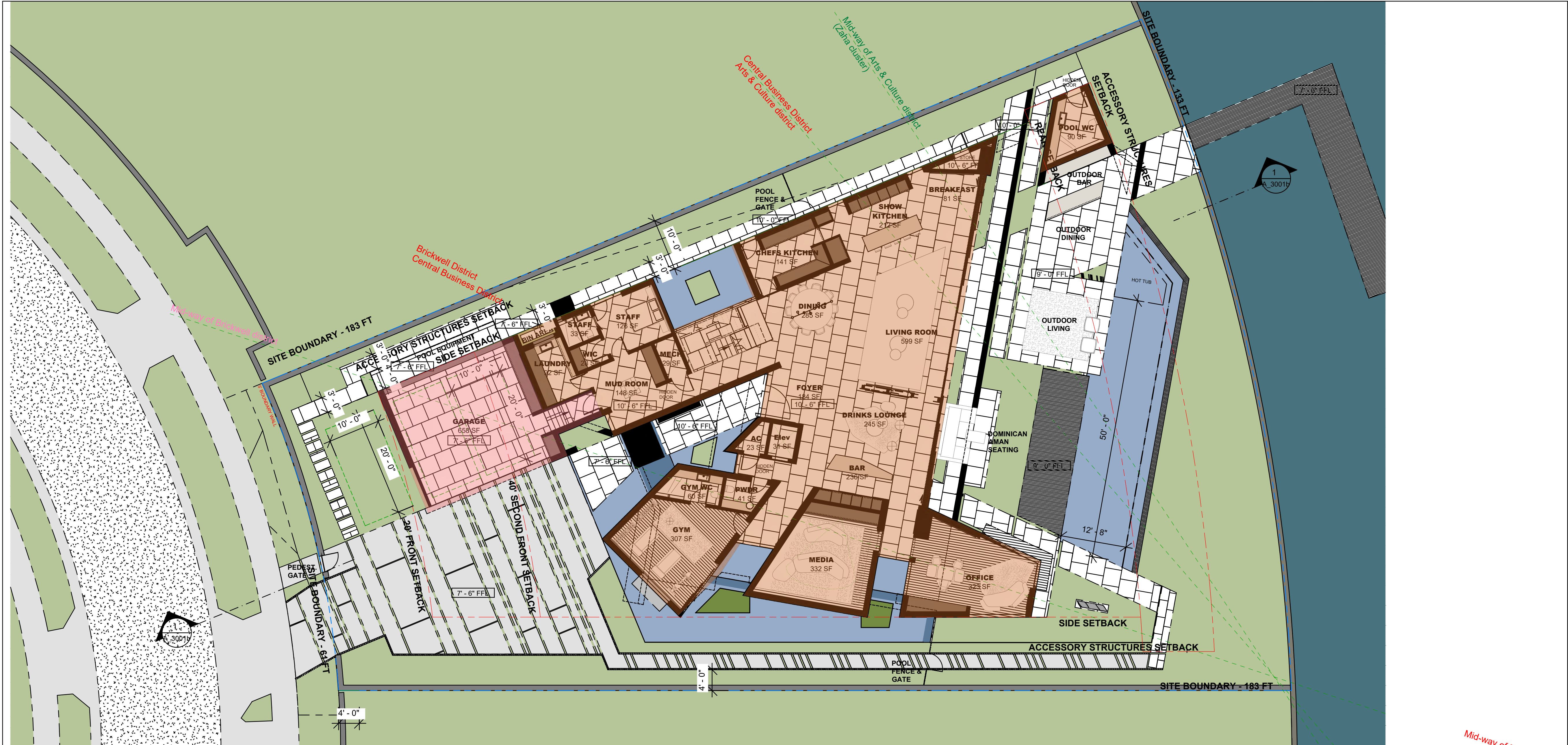
Kobi Karp  
Lic. # AR0012578



RENDERED ELEVATIONS

Date	05/31/2022	Sheet No.
Scale	--	A4.03
Project	21102	

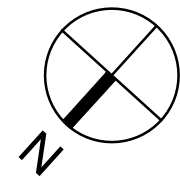




PROPOSED TOTAL UNIT SIZE CALCULATION	
LEVEL 1 GARAGE	767 SF
LEVEL 1 GARAGE DEDUCTION	-500 SF
LEVEL 1 MAIN RESIDENCE	4,850 SF
LEVEL 2 MAIN RESIDENCE	3,603 SF
LEVEL ROOF	49 SF
TOTAL	8,769 SF (49.3%)

LOT SIZE = 17,780 SF  
MAX 8,890 SF  
MAIN RESIDENCE = 8,769 SF (49.3%)

PROPOSED UNIT SIZE CALCULATION LEVEL 1		
MAIN RESIDENCE	4,850 SF	
GARAGE	767 SF	
GARAGE DEDUCTION	-500 SF	
TOTAL	5,117 SF	(28.8%)



### 1 UNIT SIZE LEVEL ONE

Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA (c) 2018

### PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER EMAIL

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

K O B I  
K A R P

Kobi Karp  
Lic. # AR0012578

### UNIT SIZE LEVEL ONE

Date	03/21/2022	Sheet No.
Scale	--	A1.12
Project	21102	





PROPOSED UNIT SIZE CALCULATION LEVEL 2		
MAIN RESIDENCE	3,603 SF	
TOTAL	3,603 SF (20%)	

1

UNIT SIZE LEVEL TWO

Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER\_EMAIL

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

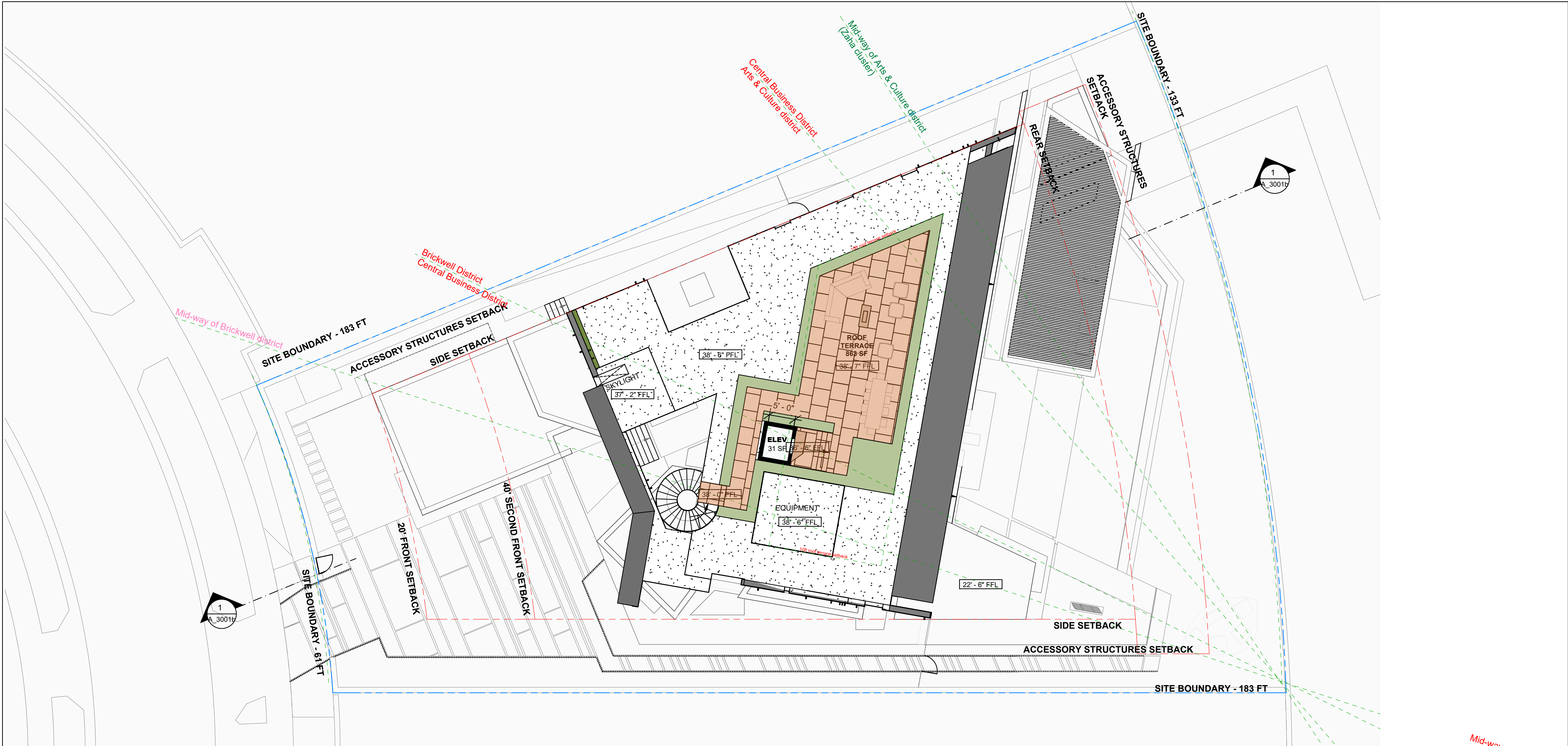
KOBİ  
KARP

KOBİ KARP  
Lic. # AR0012578

UNIT SIZE LEVEL TWO

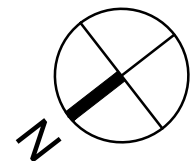
Date	03/21/2022	Sheet No.
Scale	--	A1.13
Project	21102	





PROPOSED UNIT SIZE CALCULATION ROOF LEVEL	
ELEVATOR BULKHEAD	49 SF
TOTAL	49 SF

PROPOSED ROOF DECK CALCULATION			
SECOND FLOOR ENCLOSED AREA	3,603 SF		
MAX USEABLE ROOF DECK ALLOWED	900.8 SF	(25.00%)	
TOTAL PROPOSED USEABLE ROOF DECK	891 SF	(24.73%)	



## 1 ROOF DECK CALCULATION

Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2018

## PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER\_EMAIL

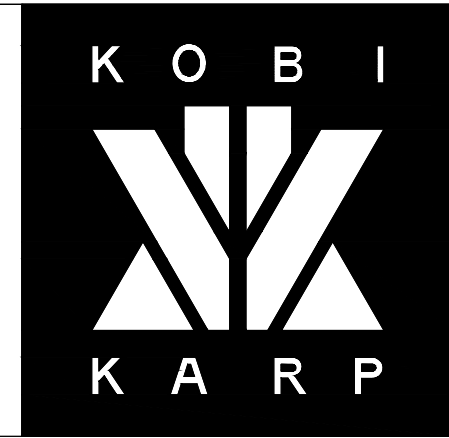
**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ KARP  
Lic. # AR0012578



## ROOF DECK CALCULATION

Date	03/21/2022	Sheet No.
Scale	--	A1.14
Project	21102	



TEXTURED PAVING



DARK STONE



VEGETATION



WARM VEIN STONE



BRONZE GLASS



WARM METAL



WARM STUCCO



DARK STUCCO



LIGHT STUCCO



POOL & POND STONE



WATER



WARM STONE



MATERIALITY

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER\_ADDRESS1  
Address OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email OWNER\_EMAIL

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBI KARP  
Lic. # AR0012578



MATERIAL PALETTE

Date	04/08/2022	Sheet No.
Scale	--	A4.04
Project	21102	





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2018

**PRIVATE RESIDENCE**  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER\_ADDRESS1  
Address: OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email: OWNER\_EMAIL

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

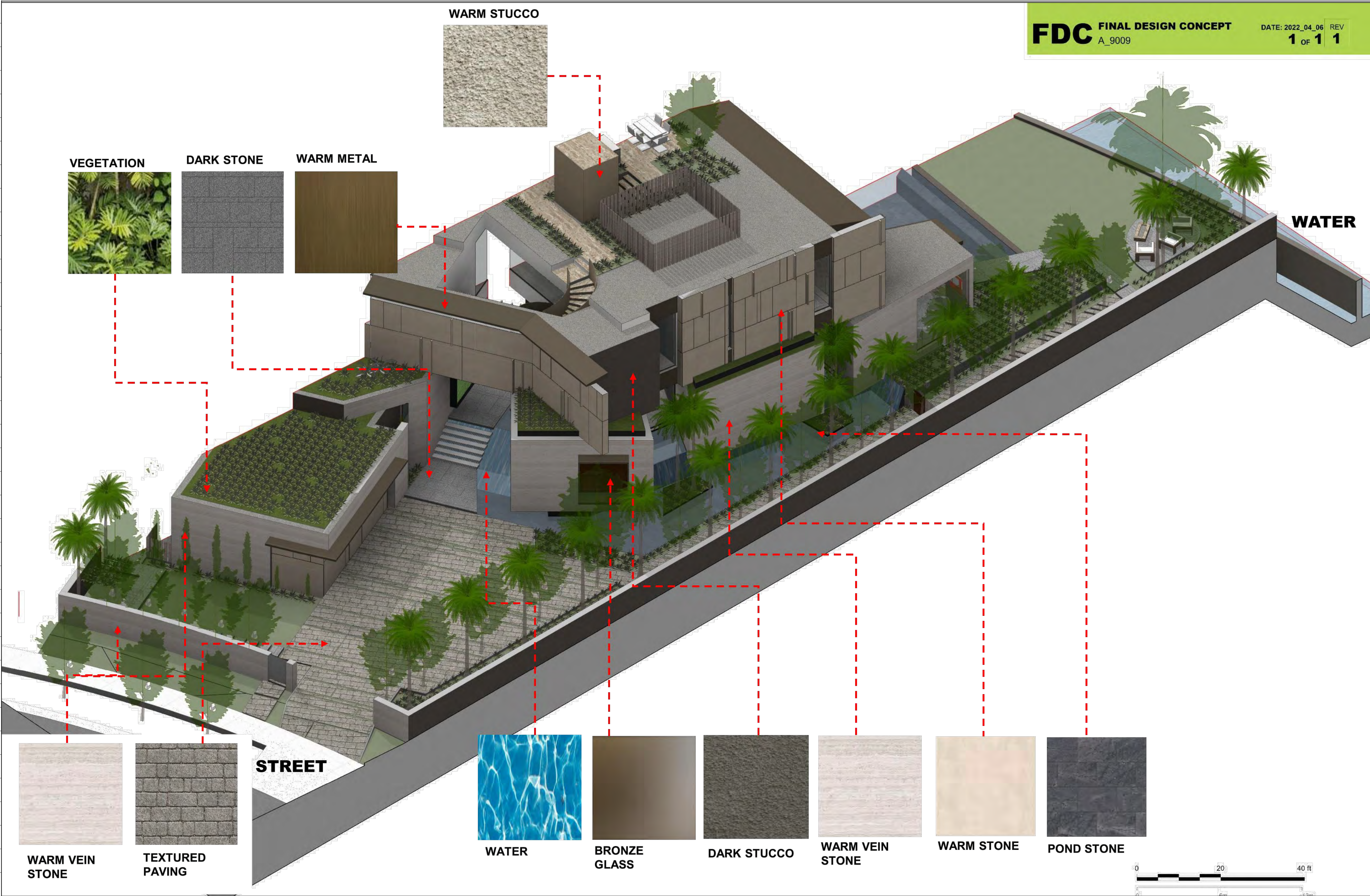
K O B I  
K A R P

Kobi Karp  
Lic. # AR0012578

MATERIALS

Date	04/08/2022	Sheet No.
Scale	--	A4.05
Project	21102	





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

**PRIVATE RESIDENCE**  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER EMAIL

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

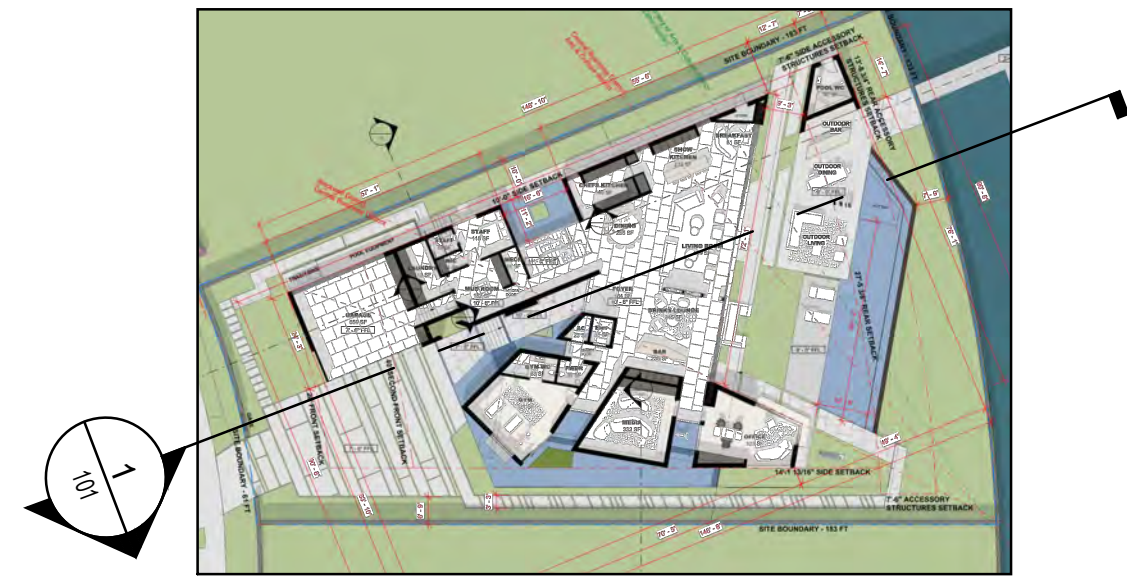


KOBİ KARP  
Lic. # AR0012578

**MATERIALS**

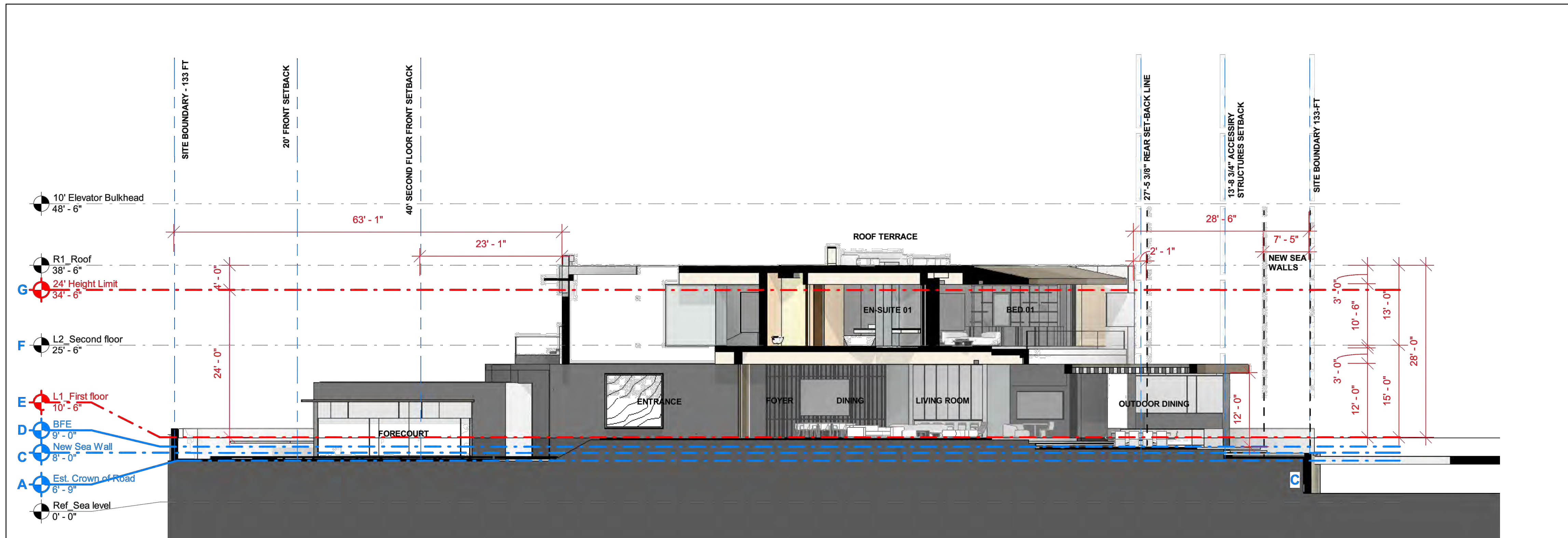
Date	04/08/2022	Sheet No.
Scale	--	A4.06
Project	21102	





SECTION KEY

Scale: 1:1



1 SECTION  
Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

## PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER\_ADDRESS1  
Address: OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email: OWNER\_EMAIL

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ KARP  
Lic. # AR0012578



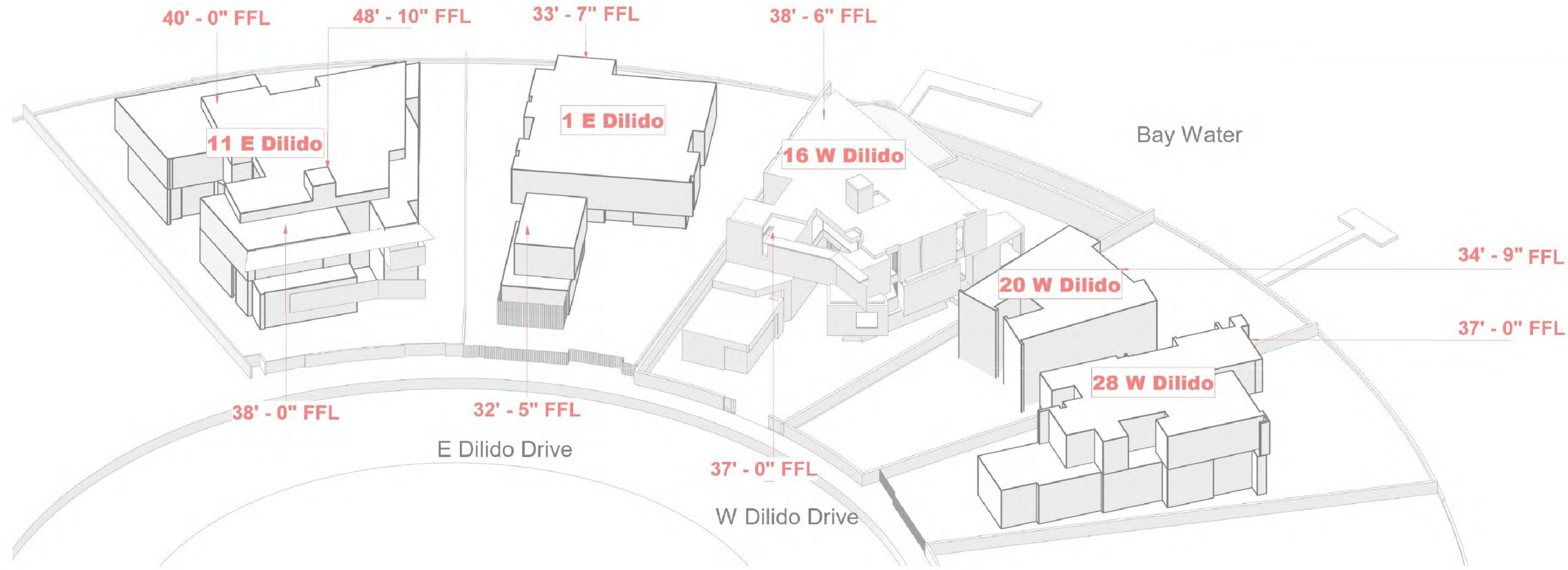
## SECTION

Date	04/08/2022	Sheet No.
Scale	--	A6.00
Project	21102	

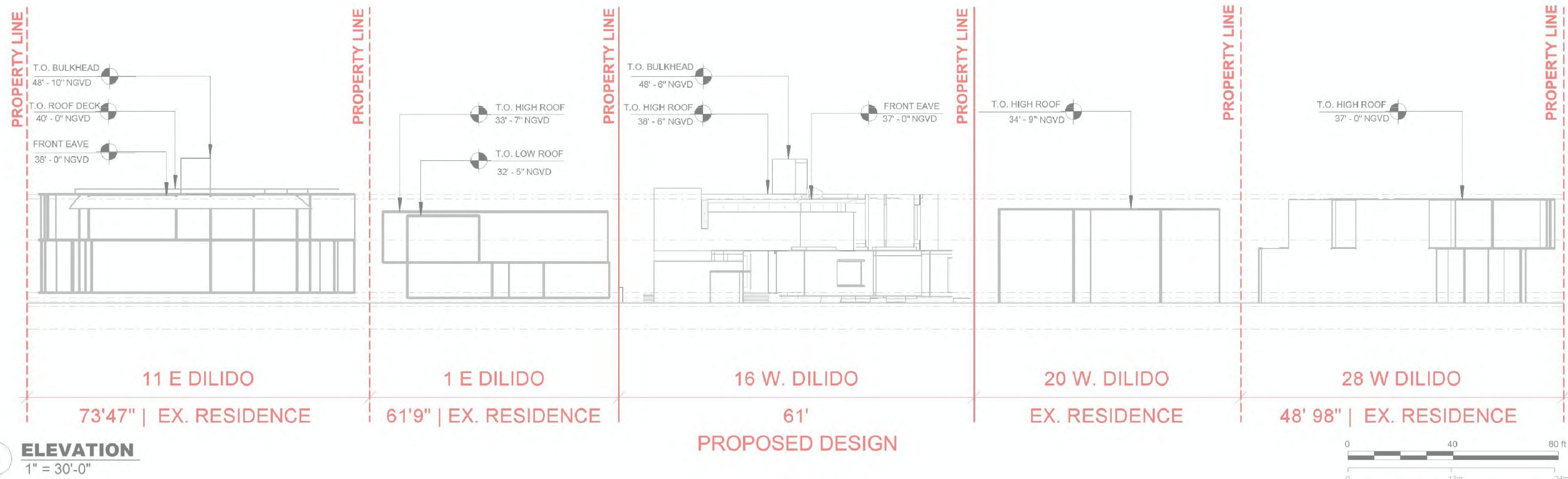








2 PERSPECTIVE



1 ELEVATION  
1" = 30'-0"

1 Height Diagram

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name  
Address  
Tel:  
Email

OWNER  
OWNER ADDRESS1  
OWNER ADDRESS2  
OWNER PHONE  
OWNER EMAIL

Consultant:  
Name  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

K O B I  
K A R P

Kobi Karp  
Lic. # AR0012578

Height Diagram

Date	05/31/2022	Sheet No.
Scale	--	A0.006
Project	21102	



PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

DRB PRESENTATION PACKAGE (DRB22-0811)  
05-31-2022



ARCHITECT  
KOBI KARP ARCHITECTURE  
AND INTERIOR DESIGN, INC.  
571 NW 28 th St.  
Miami , Florida 33127  
Tel: (305) 573-1818  
Fax: (305) 573-3766

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER ADDRESS1  
Address OWNER ADDRESS2  
Tel: OWNER PHONE  
Email OWNER\_EMAIL

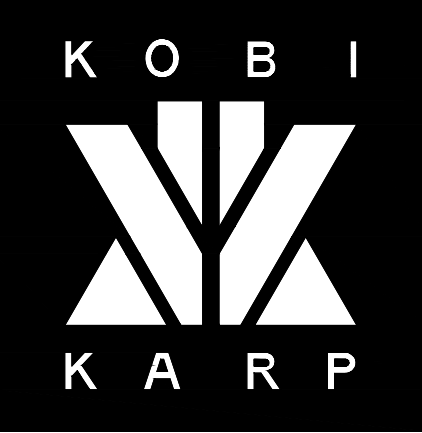
Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

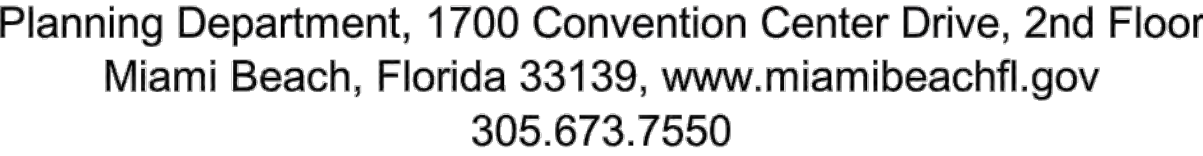
KOBI KARP  
Lic. # AR0012578



Cover Sheet

Date	05/31/2022	Sheet No.
Scale	--	A0.00
Project	21102	





ITEM #	Project Information			
1	Address:	16 WEST DILIDO DRIVE, MIAMI BEACH, FL 33139		
2	Folio number(s):	02-3232-011-0080		
3	Board and file numbers :			
4	Year built:(EXISTING TO BE DEMO'D.)	MULTIPLE	Zoning District:	RS-3
5	Base Flood Elevation:	AE 9'	Grade value in NGVD: +6.53' NGVD - CROWN OF ROAD	
6	Adjusted grade (Flood+Grade/2):	7.765' NGVD	Free board:	10' MIN.
7	Lot Area:	17,780 SF		
8	Lot width: (front+rear / 2)	(60.9'+132.3') / 2 = 96.6'	Lot Depth: 183'-1 1/2" AVERAGE TWO SIDE LENGTHS	
9	Max Lot Coverage SF and %:	5,334 SF (30%)	Proposed Lot Coverage SF and %:	5,332 SF (29.9%)
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	664 SF (51%)	Rear Yard Open Space SF and %:	2,454 SF (70.0%)
12	Max Unit Size SF and %:	8,890 SQ FT (50%)	Proposed Unit Size SF and %:	8,769 SQ FT (49%)
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size:	4,850 SQ FT
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	3,603 SQ FT (74% OF LEVEL 1)
15			Proposed Second Floor Unit Size SF and % :	3,603 SQ FT
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	891 SQ FT (24%)

**Notes:**  
If not applicable write N/A

[illegible][illegible]

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

# PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

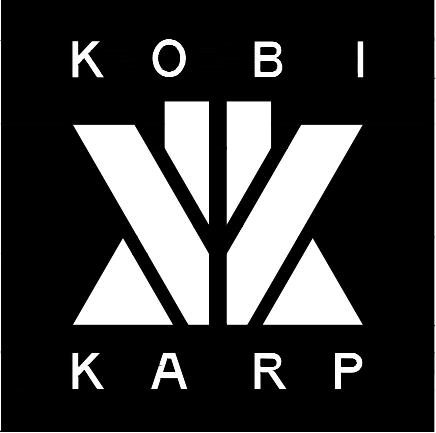
<b>Owner:</b>	
Name	OWNER
Address	OWNER_ADDRESS1
Address	OWNER_ADDRESS2
Tel:	OWNER_PHONE
Email	OWNER_EMAIL

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



## DATA SHEET

Date	04/08/2022	Sheet No.  <b>A0.01</b>
Scale	--	
Project	21102	





E1 - 16 W DILIDO DR. - VIEW TO FRONT (EXISTING STRUCTURE)



E2 - 16 W DILIDO DR. - VIEW TO RIGHT SIDE (EXISTING STRUCTURE)



E3 - 16 W DILIDO DR. - VIEW TO LEFT SIDE (EXISTING STRUCTURE)



E4 - 16 W DILIDO DR. - VIEW TO REAR (EXISTING STRUCTURE)

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name            OWNER  
Address        OWNER\_ADDRESS1  
Address        OWNER\_ADDRESS2  
Tel:            OWNER\_PHONE  
Email           OWNER\_EMAIL

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel:    +1(305) 573 1818  
Fax:    +1(305) 573 3766

KOBİ  
KARP

KOBİ KARP  
Lic. # AR0012578

SITE IMAGES

Date	03/21/2022	Sheet No.
Scale	--	A0.03
Project	21102	





16 W DILIDO DR. - VIEW OF EXISTING FRONT DOOR DETAIL



16 W DILIDO DR. - VIEW OF EXISTING DETAIL

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2018

PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name OWNER  
Address OWNER\_ADDRESS1  
Address OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email OWNER\_EMAIL

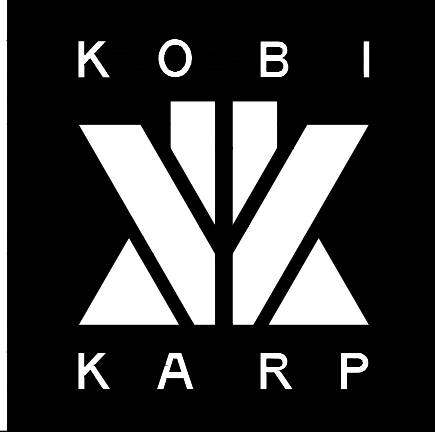
**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

Kobi Karp  
Lic. # AR0012578

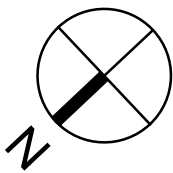


SITE IMAGES





PROPOSED PERVIOUS CALCULATION	
REQUIRED FRONT YARD (20'-0" SETBACK)	
1,303 SF = 652 SF (50%) MIN. PERVIOUS SPACE REQUIRED	
<div></div>	664 (51%) PERVIOUS SPACE PROPOSED
REQUIRED REAR YARD (27'-5 3/8" SETBACK)	
3,505 SF = 2,454 SF (70%) MIN. PERVIOUS SPACE REQUIRED	
<div></div>	379 SF POOL ABOVE GROUND = (50% USED)= 189 SF (5.4%)
<div></div>	2,265 SF GREEN SPACE PROVIDED (65%)
2,454 SF (70.0%) TOTAL PERVIOUS SPACE PROPOSED	



# 1 PERVIOUS CALCULATIONS

Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2018

## PRIVATE RESIDENCE

16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER EMAIL

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

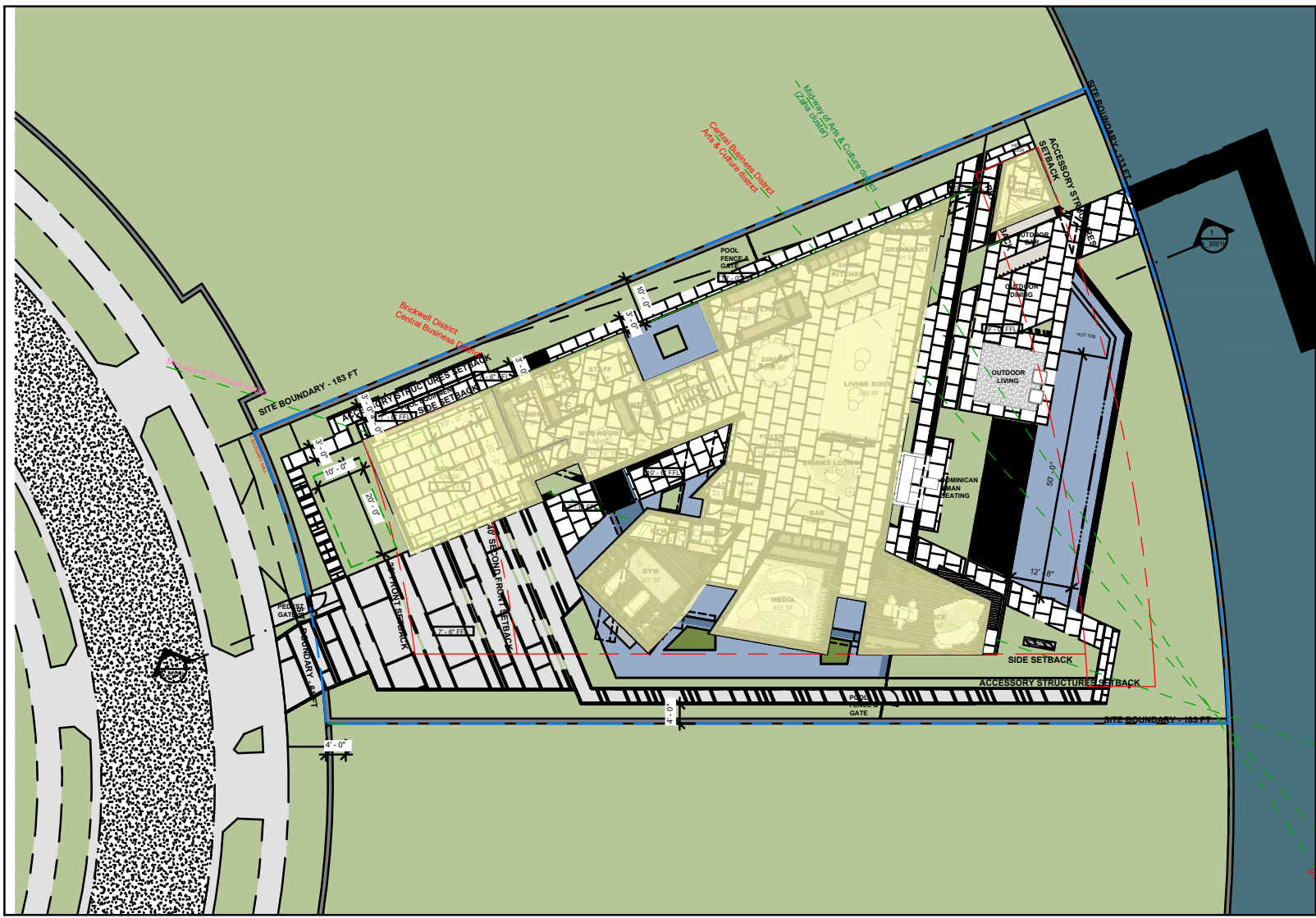
KOBİ  
KARP

KOBİ KARP  
Lic. # AR0012578

## PERVIOUS CALCULATIONS

Date	03/21/2022	Sheet No.
Scale	--	A1.10
Project	21102	

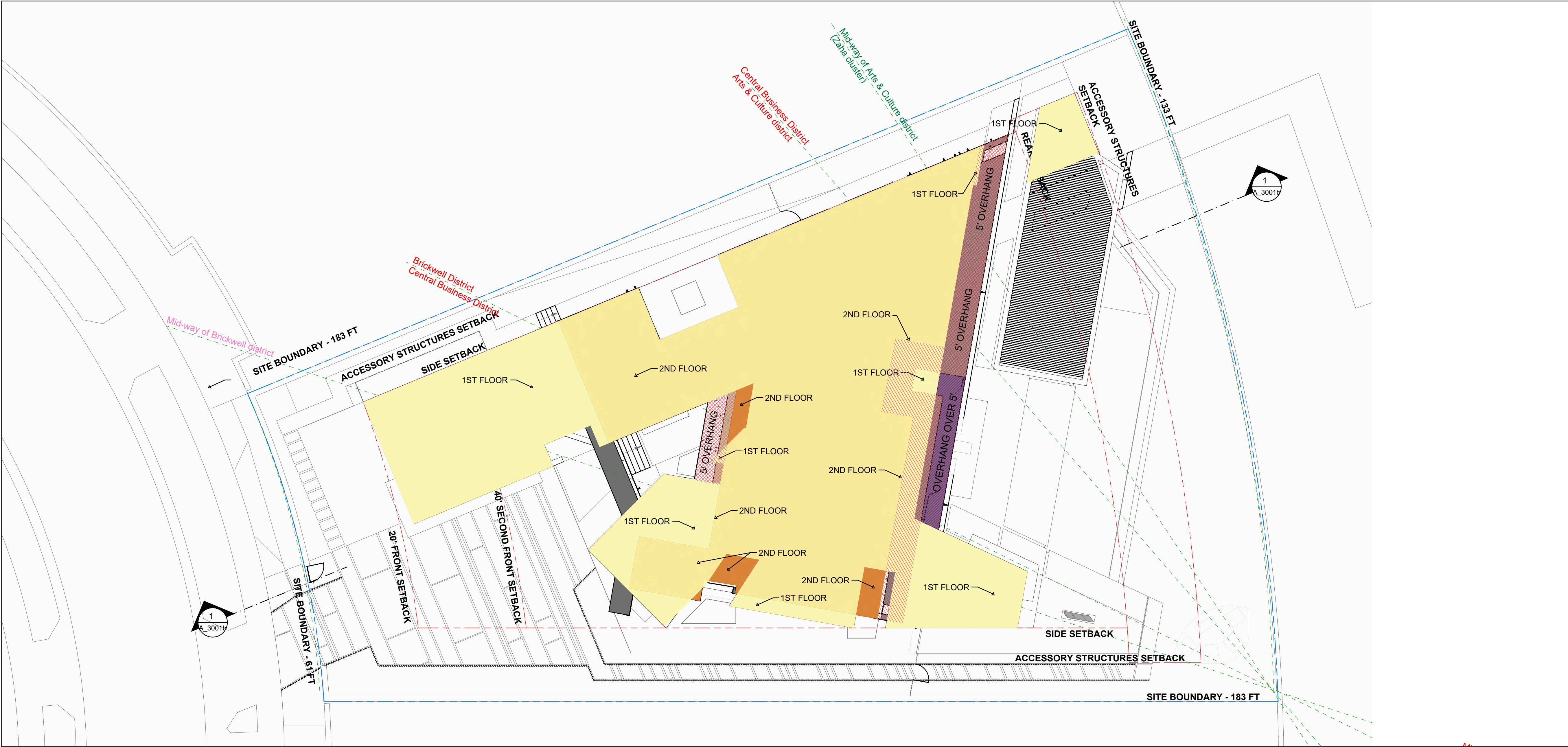




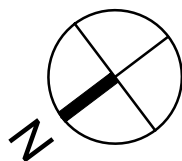
1 FIRST FLOOR  
Scale: 1/32" = 1'-0"



2 SECOND FLOOR  
Scale: 1/32" = 1'-0"



PROPOSED LOT COVERAGE CALCULATION	
LOT SIZE = 17,780 SF	
MAXIMUM LOT COVERAGE (30.00%) = 5,334 SF	
<div></div>	FIRST FLOOR COVERAGE = 5,617 SF
<div></div>	SECOND FLOOR COVERAGE = 104.4 SF (EXCLUDES FIRST FLOOR OVERLAP)
<div></div>	5' OVERHANGS
<div></div>	OVERHANG OVER 5' = 110.6 SF
MAIN RESIDENCE PROPOSED = 5,832 SF	
GARAGE ALLOWANCE = -500 SF	
TOTAL PROPOSED	
5,332 SF (29.9%)	



3 LOT COVERAGE  
Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER EMAIL

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Address:  
Tel:  
Email:

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

K O B I  
K A R P

Kobi Karp  
Lic. # AR0012578

LOT COVERAGE

Date	03/21/2022	Sheet No.
Scale	--	A1.11
Project	21102	





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

**PRIVATE RESIDENCE**  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

**Owner:**  
Name: OWNER  
Address: OWNER ADDRESS1  
Address: OWNER ADDRESS2  
Tel: OWNER PHONE  
Email: OWNER EMAIL

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

**Consultant:**  
Name:   
Address:   
Address:   
Tel:   
Email:

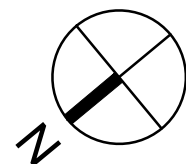
**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



KOBİ KARP  
Lic. # AR0012578

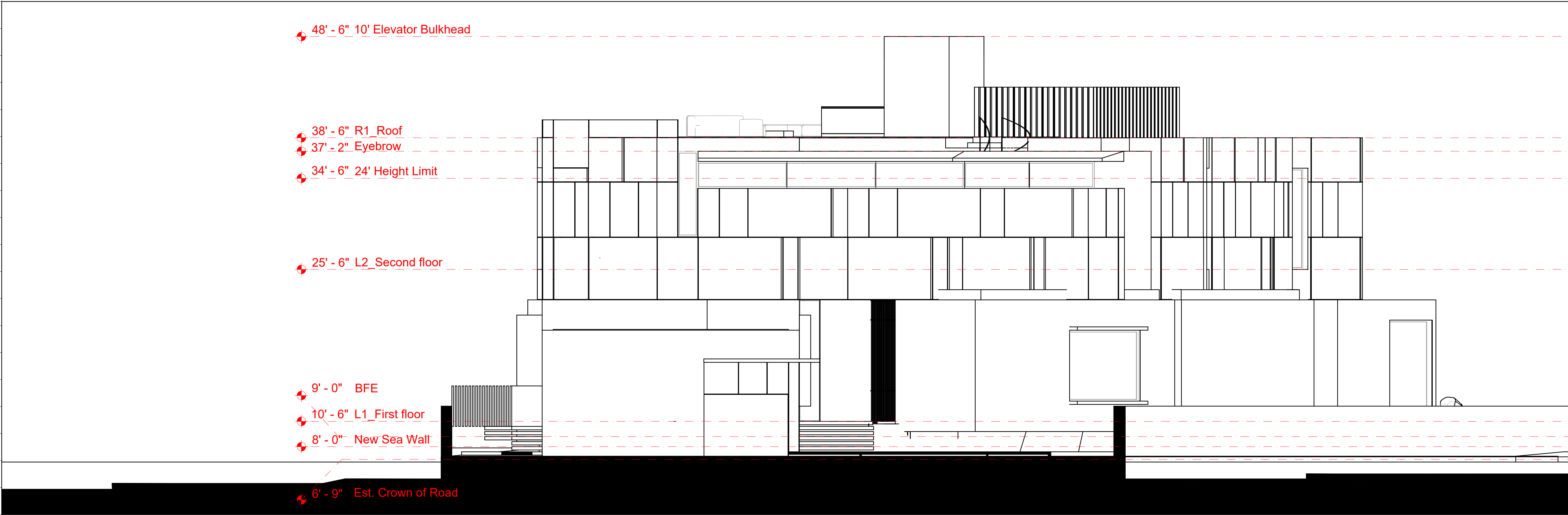
SITE PLAN PROPOSED

Date	04/08/2022	Sheet No.
Scale	--	A2.00
Project	21102	

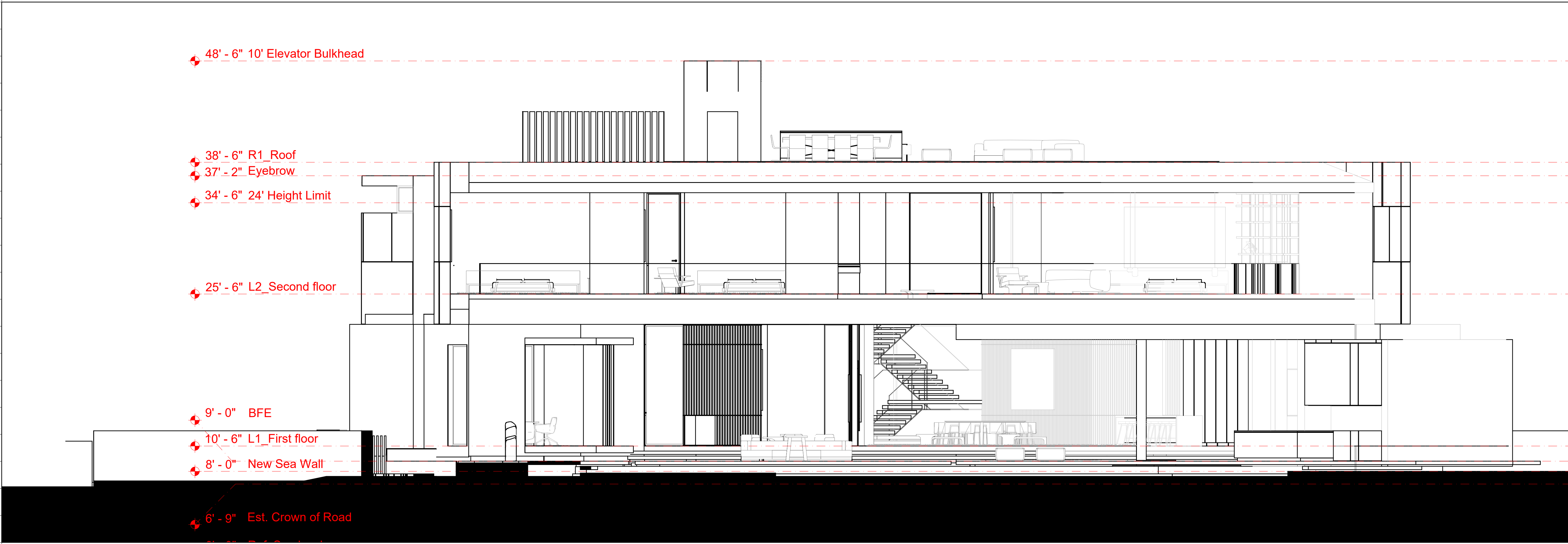


1 SITE PLAN PROPOSED  
Scale: 3/32" = 1'-0"





1 FRONT ELEVATION  
Scale: 3/16" = 1'-0"



2 REAR ELEVATION  
Scale: 3/16" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER\_ADDRESS1  
Address OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email OWNER\_EMAIL


Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

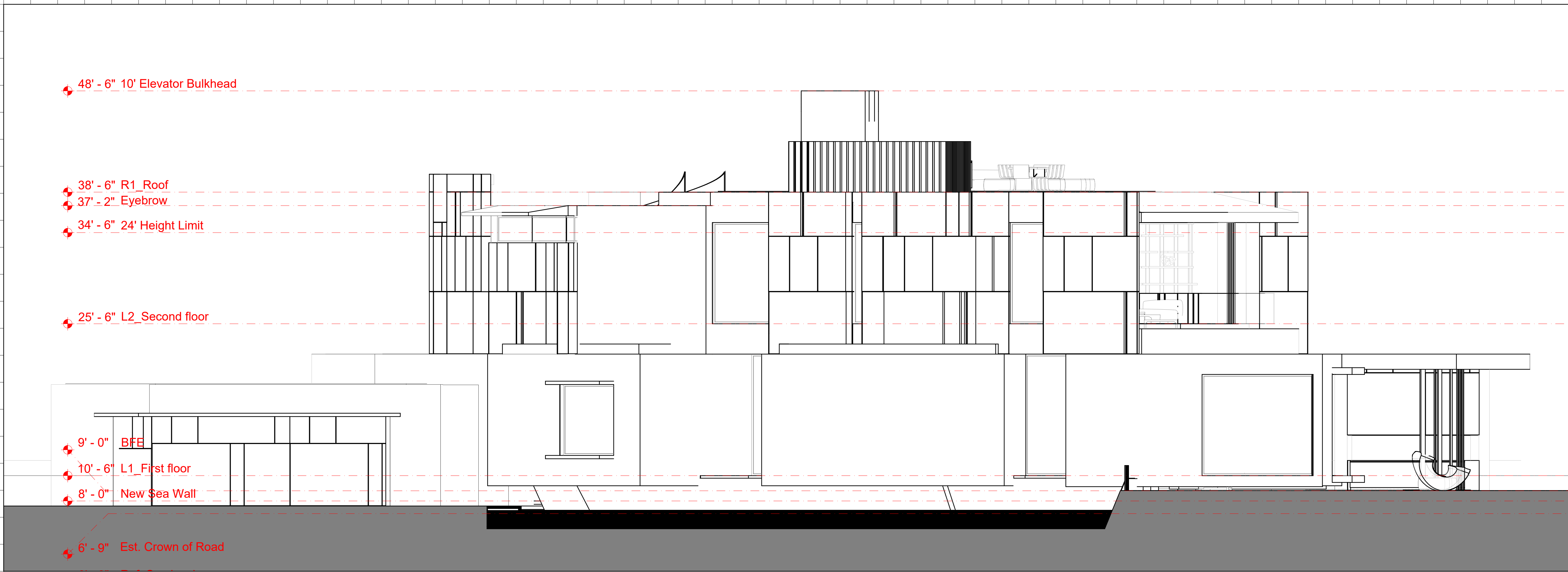
KOBİ KARP  
Lic. # AR0012578



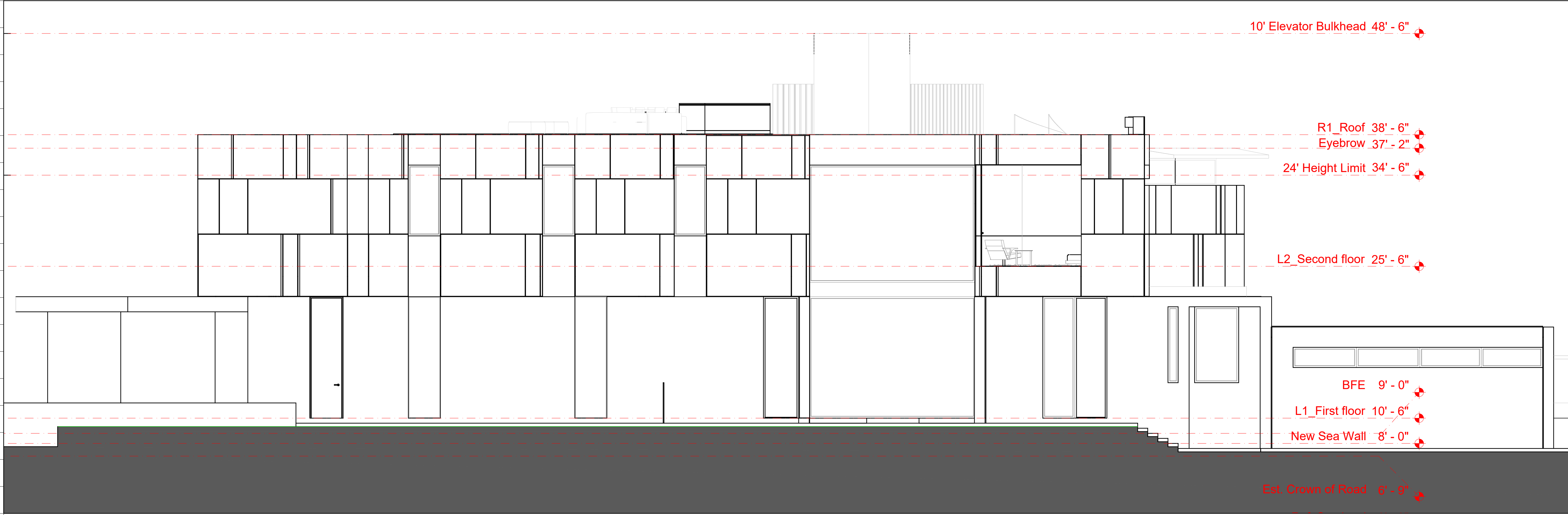
ELEVATIONS

Date	05/31/2022	Sheet No.
Scale	--	A4.00
Project	21102	





1 RIGHT SIDE ELEVATION  
Scale: 3/16" = 1'-0"



2 LEFT SIDE ELEVATION  
Scale: 3/16" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER\_ADDRESS1  
Address OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email OWNER\_EMAIL

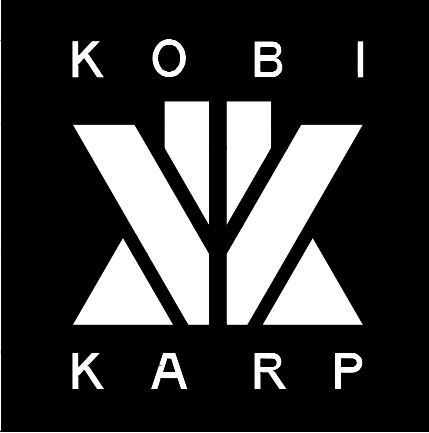
Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

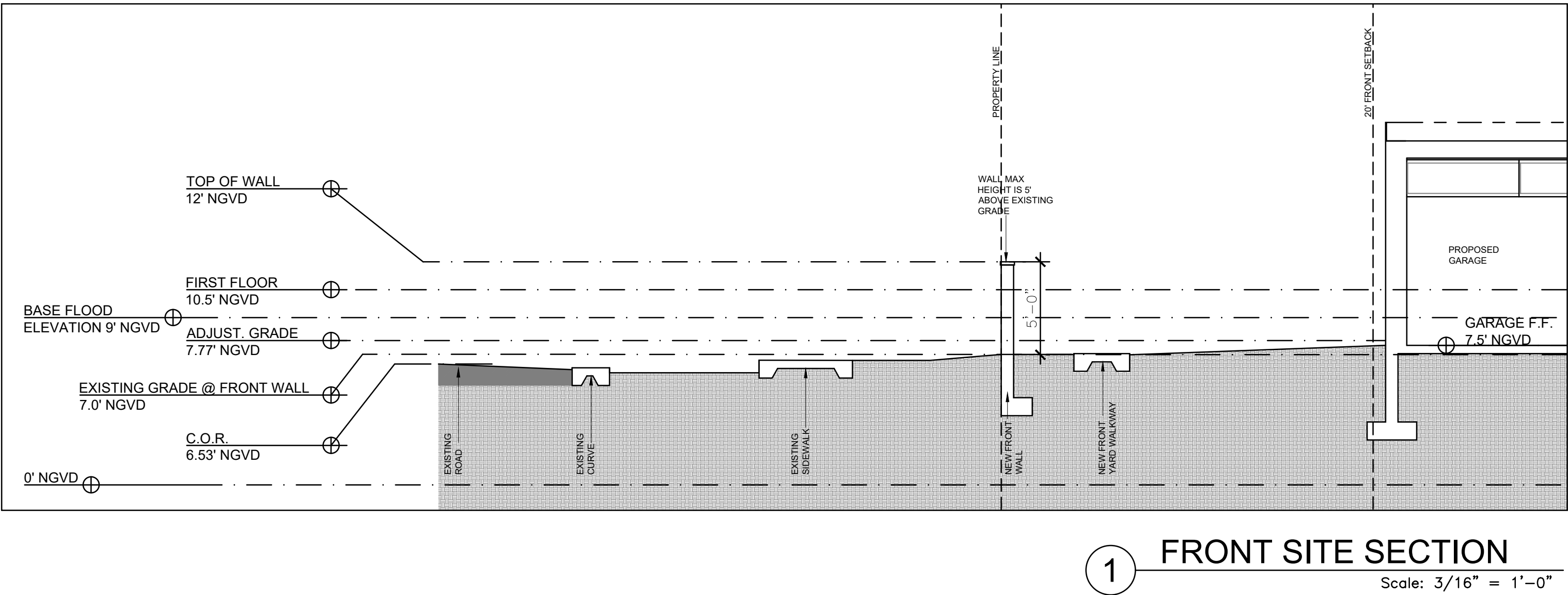
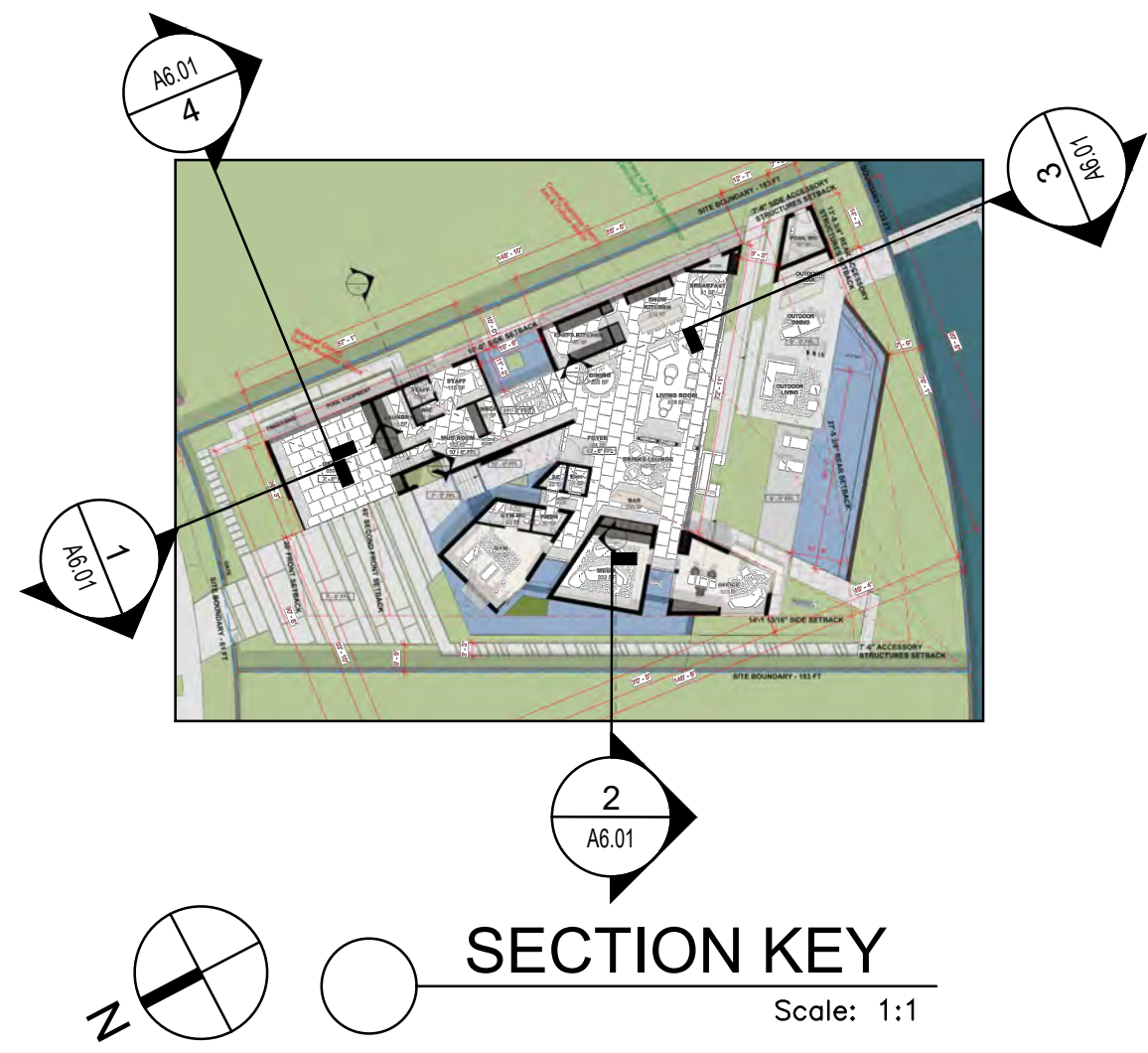
KOBİ KARP  
Lic. # AR0012578



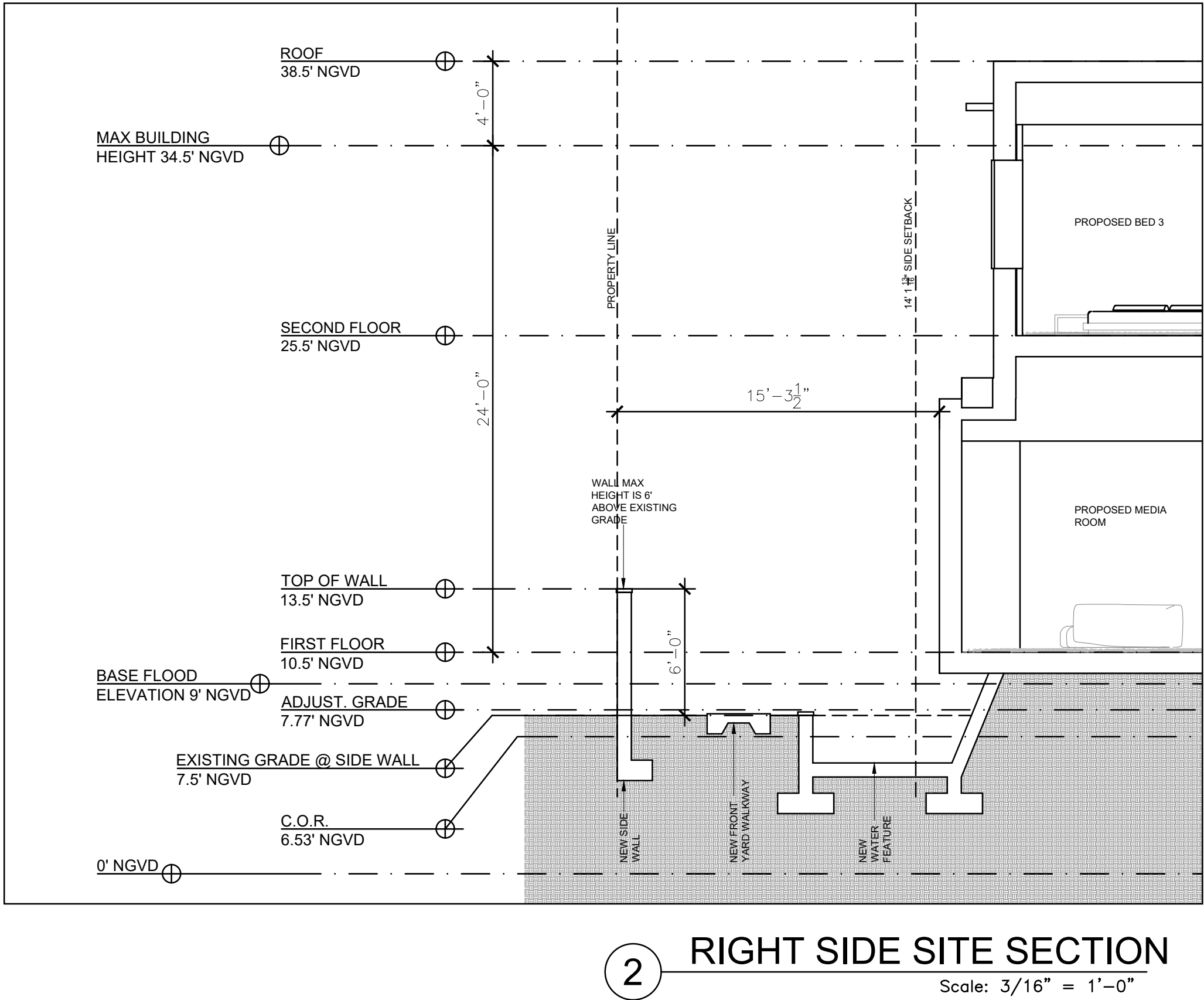
ELEVATIONS

Date	05/31/2022	Sheet No.
Scale	--	A4.01
Project	21102	

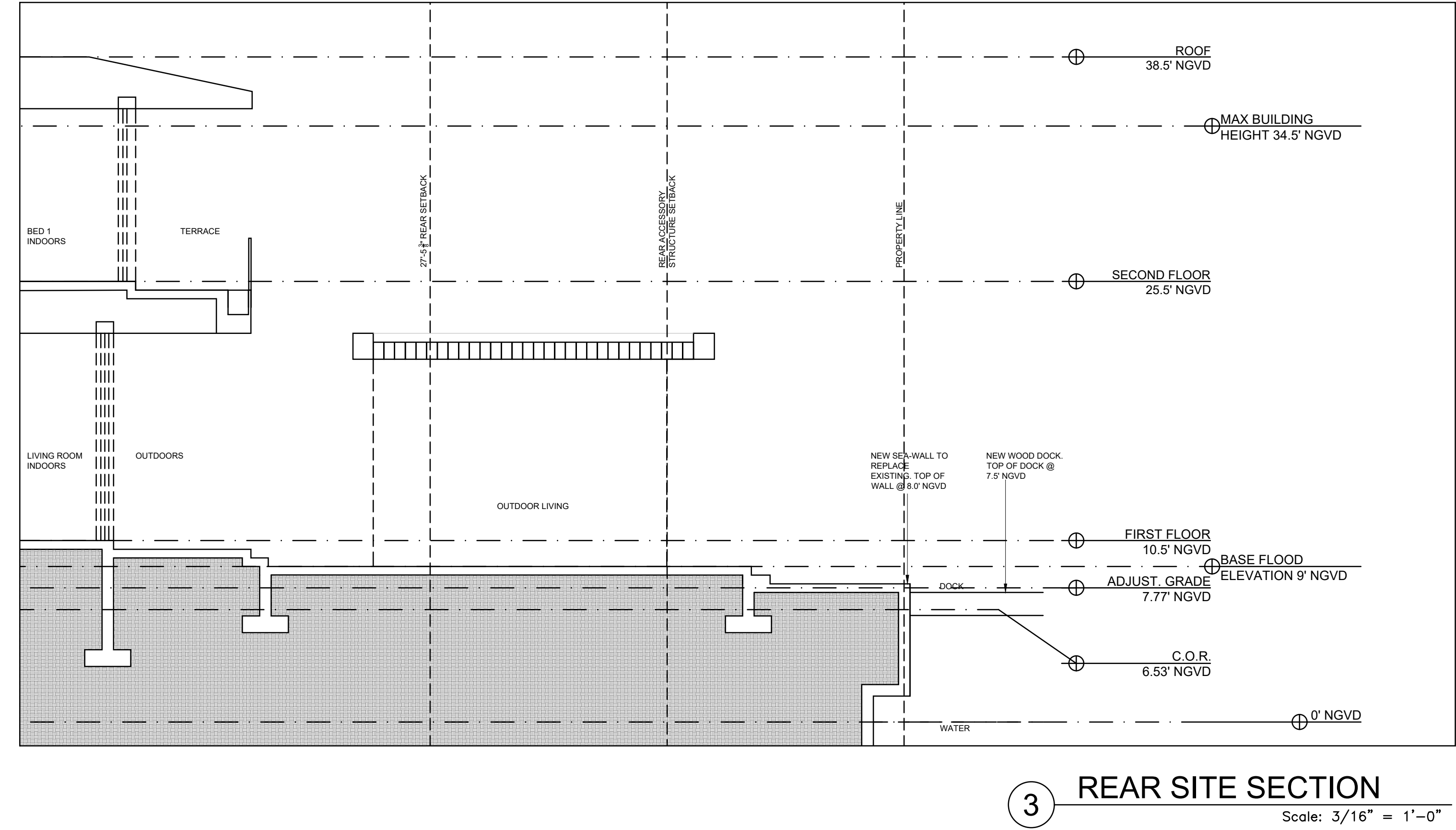




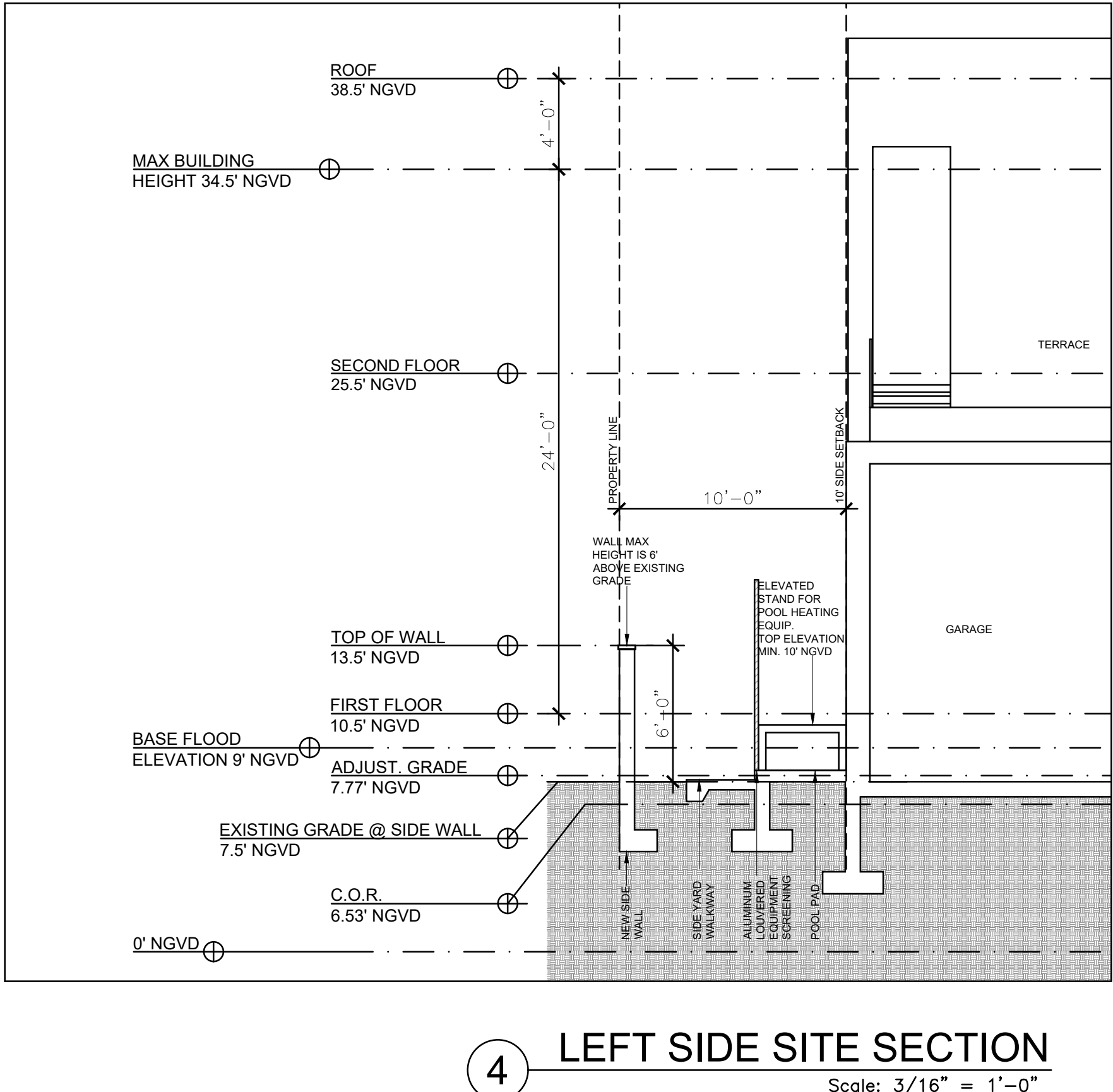
1 FRONT SITE SECTION  
Scale: 3/16" = 1'-0"



2 RIGHT SIDE SITE SECTION  
Scale: 3/16" = 1'-0"



3 REAR SITE SECTION  
Scale: 3/16" = 1'-0"



4 LEFT SIDE SITE SECTION  
Scale: 3/16" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER ADDRESS1  
Address OWNER ADDRESS2  
Tel: OWNER PHONE  
Email OWNER EMAIL

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

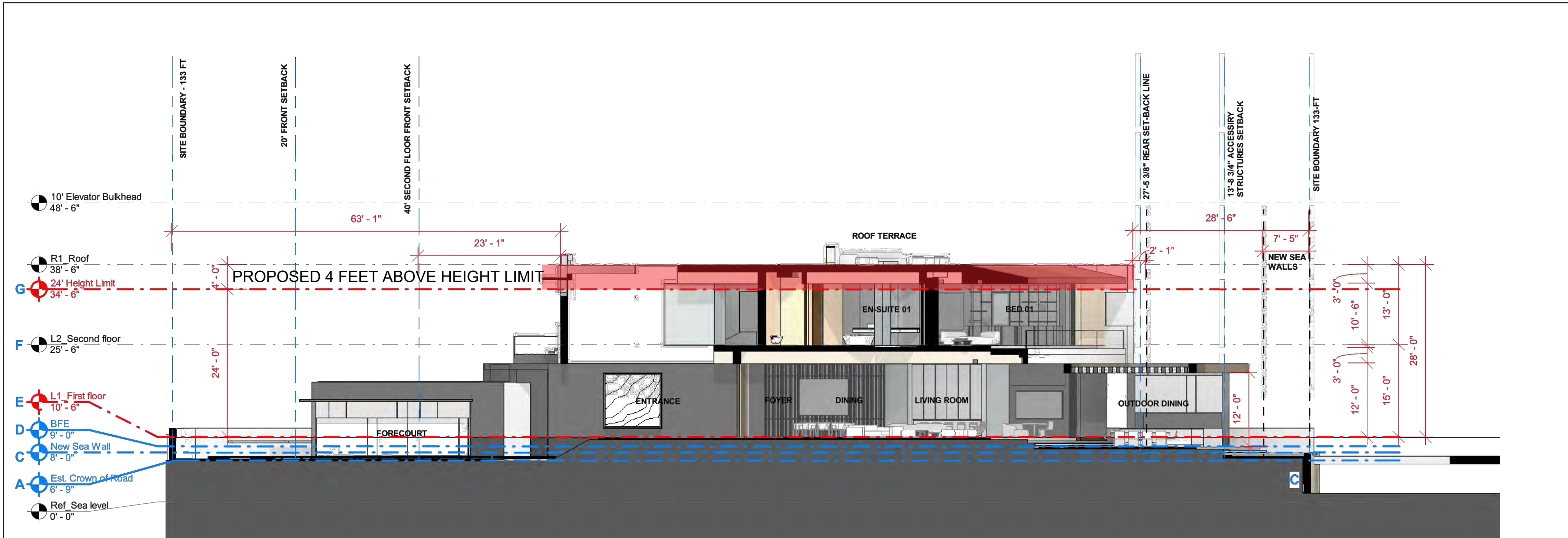
KOBİ  
KARP

KOBİ KARP  
Lic. # AR0012578

SITE SECTIONS

Date	04/08/2022	Sheet No.
Scale	--	A6.01
Project	21102	





1 SECTION  
Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name OWNER  
Address OWNER\_ADDRESS1  
Address OWNER\_ADDRESS2  
Tel: OWNER\_PHONE  
Email OWNER\_EMAIL

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ  
KARP

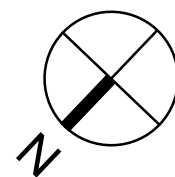
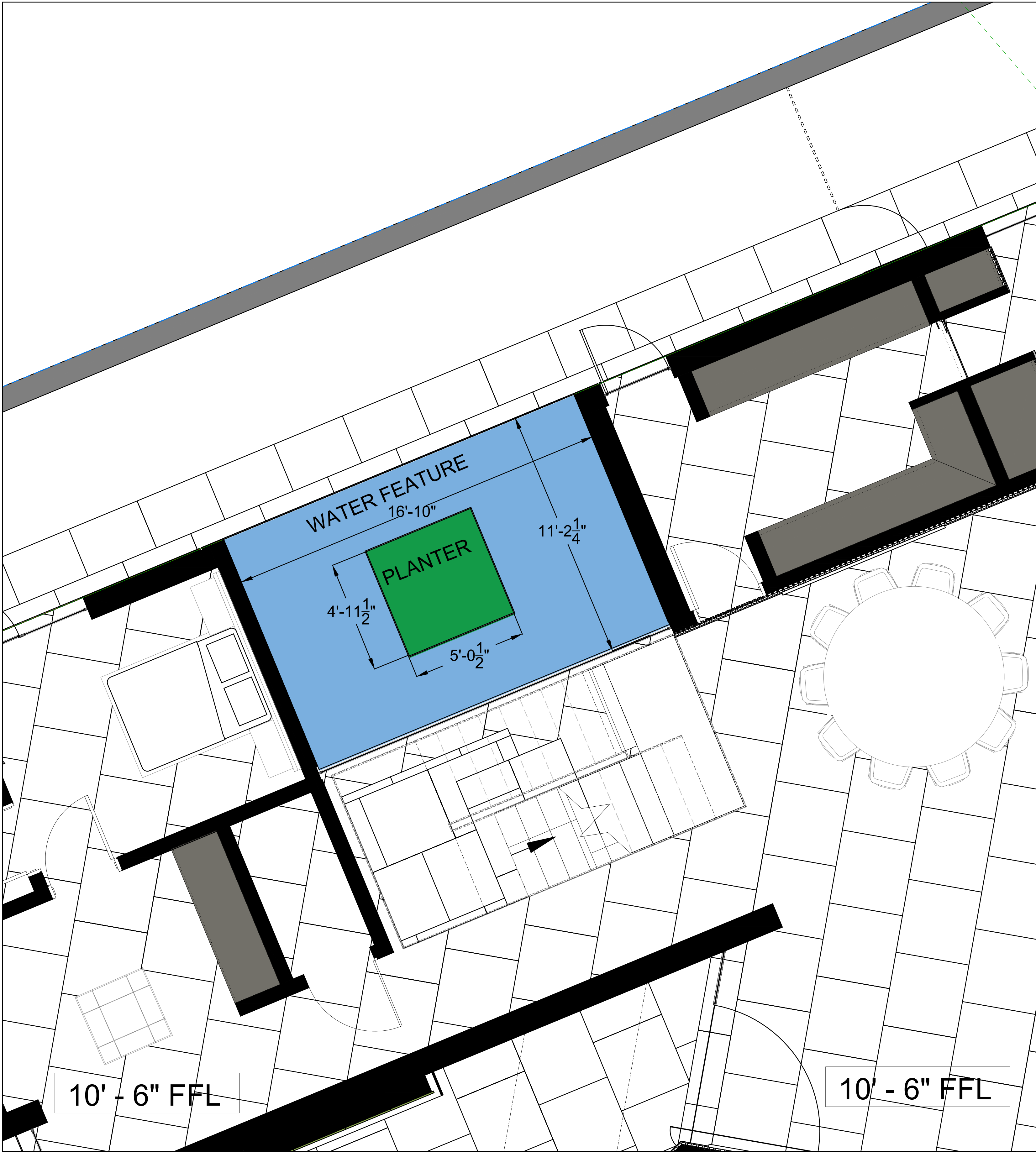
KOBİ KARP  
Lic. # AR0012578

HEIGHT WAIVER

Date	04/08/2022	Sheet No.
Scale	--	A6.02
Project	21102	



LEFT SIDE COURTYARD CALCULATIONS			
TOTAL LOT AREA		17,780 SF	
MIN. 1% REQUIRED		177.8 SF	
PROPOSED		184 SF (1%)	
<div></div>	WATER FEATURE	160 SF	
<div></div>	PLANTER	24 SF	



1 COURTYARD DIAGRAM  
Scale: 3/8" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2018

PRIVATE RESIDENCE  
16 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

Owner:  
Name: OWNER  
Address: OWNER\_ADDRESS1  
Tel: OWNER\_PHONE  
Email: OWNER\_EMAIL

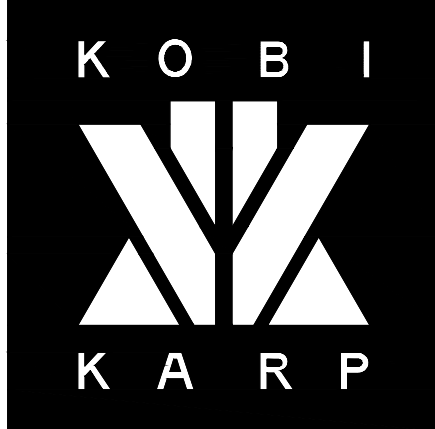
Consultant:  
Name:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Tel:  
Email:

Consultant:  
Name:  
Address:  
Tel:  
Email:

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

KOBİ KARP  
Lic. # AR0012578



COURTYARD DIAGRAM

Date	04/08/2022	Sheet No.
Scale	--	A7.00
Project	21102	