

Owner STEINHARDT HOMES CORP.

Permit No. 32413

Cost \$ 8,300...

Lot 35 Block 15 Subdivision BISCAYNE BEACH

Address 1211 Stillwater Drive

General Contractor Milton Steinhardt Building Corp.

Bond No. No Bond

Architect J. J. DeBrita

Engineer

Zoning Regulations: Use .RD Area 10

Lot Size 50 X 160

Building Size: Front 40' Depth 53'

Height 14' Stories 1

Certificate of Occupancy No.

Use RESIDENCE & GARAGE- 2 bedrooms & 2 baths

Type of Construction #3 CBS

Foundation Spread Footing 12 x 24 Roof Tile Date May 1, 1950

PLUMBING Contractor

Sewer Connection

Date

29838 Fixxit System

Temporary Water Closet

May 26, 1950

Water Closets 1

Swimming Pool Traps

Down Spouts

Lavatories 1

Steam or Hot Water Boilers

Wells

Bath Tubs 1

ROUGH APPROVAL

Showers

FINAL APPROVAL

Urinals

Sinks 1

Dish Washing Machine

GAS Contractor

Date

Laundry Trays 1

Gas Ranges - - - 1

Gas Frylators

Laundry Washing Machines

Electric Gas Water Heaters 1

Gas Pressing Machine

Drinking Fountains

Gas Space Heaters

Gas Vents for Stove

Floor Drains

Gas Refrigerators

Grease Traps

Gas Steam Tables

Safe Wastes

Gas Broilers

GAS Rough APPROVAL 6/8/1950 - T.A. O'Neil

GAS FINAL APPROVAL L. Rothman 10/11/50

AIR CONDITIONING Contractor

SEPTIC TANK Contractor #30082 Yell for Pennell: One 500 gallons & 75' drain tile, July 11, 1950

OIL BURNER Contractor

SPRINKLER Contractor

ELECTRICAL Contractor # 31729 Kenny Electric

Date July 14, 1950

OUTLETS Switches 10 Ranges
Lights 12 Irons 1
Receptacles 15 Refrigerators 1

Temporary Service
Neon Transformers
Sign Outlets
Meter Change
Centers of Distributions 2
Service 1
Violations

HEATERS Water 1
Space 1
Appliances

FIXTURES 12 Electrical Contractor

Date

FINAL APPROVAL

By P. Meginniss

Date 10/5/50

Alterations or Repairs—Over

Permit History - PermitsPlus

Total Permits: 10

Permit No	COMP TYPE	SUB TYPE	DESCRIPTION	STATUS	APPLIED DATE	APPROVED DATE	EXPIRED/FINALED DATE	VAL TOTAL	PARCEL NO	STREET NO	DIR	STREET NAME
BH000120	BCARD	OTH	LOT 35 BLK 15 SUBDIV BISCAYNE BCH	BHISTORY	3/1/1989	5/1/1950	1/1/0001	\$8,300.00	32030111370	1211		STILLWATER DR
BD140355	BDEMOPRJ	ALL	Total Demolition of SFR	FINAL	7/25/2014	9/24/2014	3/23/2015	\$14,891.00	32030111370	1211		STILLWATER DR
BMS81774	BMISC	OTH	CONTRACTORS BOND B9803389 (ROOF)	FINAL	8/10/1998	2/9/1999	1/1/0001	\$0.00	32030111370	1211		STILLWATER DR
BMS99069	BMISC	OTH	REV FEE-B9801480-RPLC WDCRTV CNCRT	FINAL	12/16/1998	12/18/1998	1/1/0001	\$0.00	32030111370	1211		STILLWATER DR
B0002718	BSBUILD		INSTALL CANVAS CARPORT.	CLOSED	4/19/2000	5/24/2000	11/20/2000	\$1,800.00	32030111370	1211		STILLWATER DR
B9803389	BSBUILD	OTH	NEW 350 SQ FT GAF BUILT-UP SEE COND	FINAL	8/10/1998	8/19/1998	5/11/1999	\$950.00	32030111370	1211		STILLWATER DR
B9902289	BSBUILD	OTH	ERECT WOODEN FENCE/25 LF	CLOSED	3/31/1999	1/1/0001	1/1/0001	\$0.00	32030111370	1211		STILLWATER DR
B0000725	BSBUILD		ERECT WOODEN FENCE/76 LF	CLOSED	11/23/1999	11/29/1999	5/27/2000	\$780.00	32030111370	1211		STILLWATER DR
BS911182	BSBUILD	OTH	REPLACE 6 WINDOWS & 1 DOOR	CLOSED	4/5/1991	4/5/1991	10/2/1991	\$1,000.00	32030111370	1211		STILLWATER DR
B9801480	BSBUILD	OTH	REPAIR FRNT PORCH ENTRNCE & CBS	FINAL	2/20/1998	3/10/1998	5/11/1999	\$10,000.00	32030111370	1211		STILLWATER DR

PERMIT NUMBER

B 98-01480

ADDRESS

21

Footing uplifting calculations:

$$\text{Area considered: } \frac{10.5}{2} \times 9.56 \times 45.3 / \text{SF} = 2274 \#$$

$$2274 \times 1.5 = 3411 \# \text{ uplifting}$$

$$\text{Dead loads: } 3' \times 3' \times 2' \times 150 \# / \text{CF} (\text{Footings}) = 2700 \#$$

$$\text{Roof weight: } \frac{10.5}{2} \times 9.56 \times 10 \# / \text{SF} = 500 \#$$

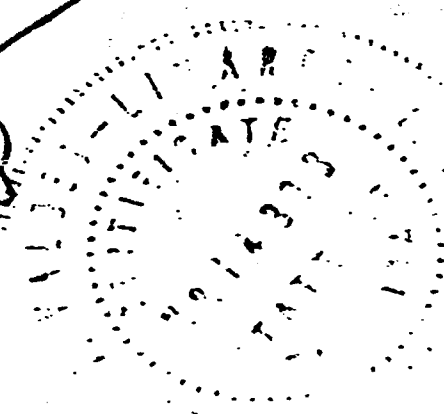
$$10'' \text{ column weight: } 0.785 \times 8 \times 150 \# / \text{CF} = 942 \#$$

$$10' - 3\frac{1}{2} \times 3\frac{1}{2} \times \frac{1}{4} \text{ steel column} = 100 \#$$

$$\underline{4242 \#}$$

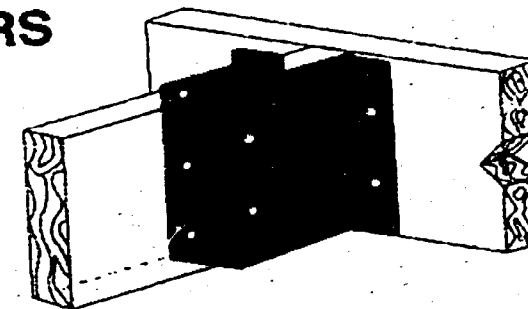
$$4242 \# > 3411 \# \quad \underline{\underline{OK}}$$

[Signature]
3-7-98

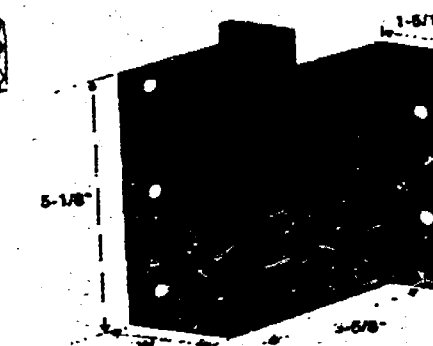


DEEP SEATED U-TYPE JOIST HANGERS

- Easy and fast installation
- Perfect for DIY Deck/Fence application
- 16 gauge galvanized steel
- SBCCI PST&ESI No. 9408A
- Dade County Approval No. 97-0421.05

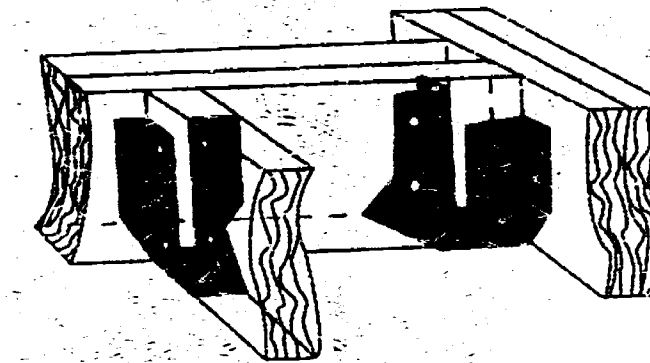
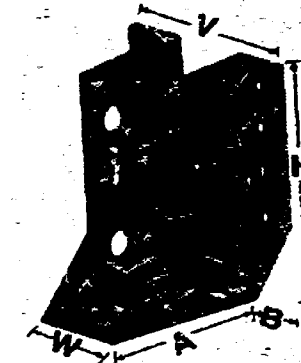


Product Code	Description	Qty/ Box	W	Fasteners		Design Loads (lbs)		
				Nails in Header	Nails in Joist	Normal	Max	Uplift
U2-4	2XU-Hanger	30	1-5/8"	6-16d	5-10d	870	870	585
U4-4	4XU-Hanger	30	3-5/8"	6-16d	5-10d	870	1085	585



JOIST HANGERS, U-TYPE

- Fast safe framing
- Eliminates toenailing
- Prevents split joists
- Develops full joist capacity
- 18 gauge Galvanized Steel
- May be ordered with reverse flanges
- SBCCI PST& ESI No. 94139
- Dade County Approval No. 97-0205.03

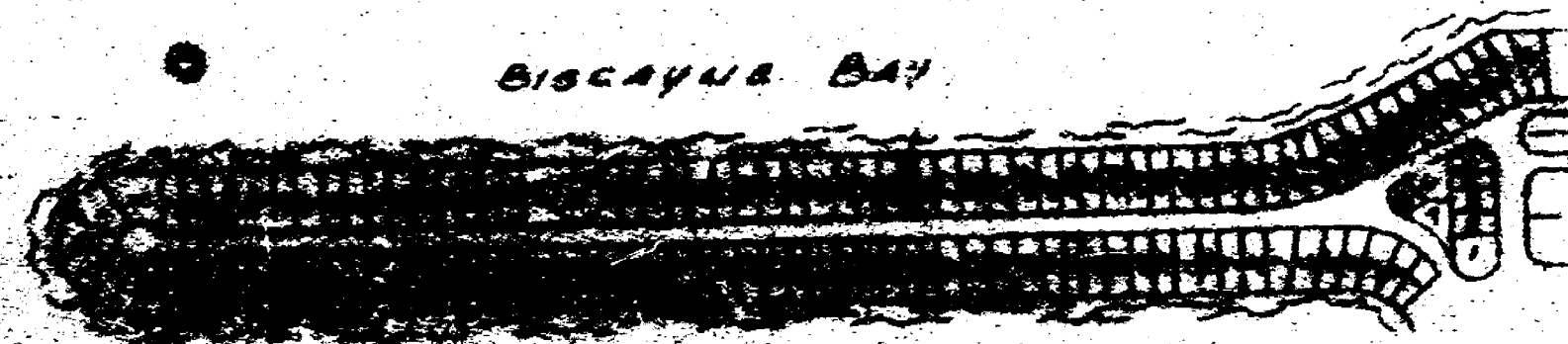


16d Nails

16d Nails														Fasteners		Design Loads (lbs)							
Product Code	Joist Size	Qty/ Box	Wgt/ Box	Dimensions					Girder/ Header	Truss/ Joist	Normal 100%	Snow 115%	Roof 125%	Wind 133%	Wind 160%	Uplift 133%	Uplift 160%						
				A	B	H	W	V															
UH 24	2X4	100	33	3"	1"	3-1/4"	1-5/8"	3-3/4"	4-16d	2-16d	580	670	725	770	770	360	360						
UH 26	2X6	50	33	3"	1"	5-1/4"	1-5/8"	3-3/4"	8-16d	3-16d	1160	1335	1450	1540	1540	720	720						
UH 28	2X8	50	32	3"	1"	7-1/4"	1-5/8"	3-3/4"	12-16d	4-16d	1740	1865	1865	1865	1865	735	735						
UH 210/212	2X10/12	50	28	3"	1"	9-1/4"	1-5/8"	3-3/4"	16-16d	5-16d	2320	2475	2475	2475	2475	900	900						
UH 2-26	(2 Ea) 2X6	50	23	3"	1"	4-1/2"	3-1/8"	5-1/4"	8-16d	3-16d	1140	1310	1425	1520	1540	930	930						
UH 2-28	(2 Ea) 2X8	50	31	3"	1"	6-1/2"	3-1/8"	5-1/4"	12-16d	4-16d	1740	1865	1865	1865	1865	1160	1160						
UH 2-210	(2 Ea) 2X10	50	33	3"	1"	8-1/2"	3-1/8"	5-1/4"	16-16d	5-16d	2320	2475	2475	2475	2475	700	700						
UH 36	3X6	50	23	3"	1"	4-3/4"	2-5/8"	4-3/4"	8-16d	3-16d	1160	1335	1450	1540	1540	930	930						
UH 38	3X8	50	28	3"	1"	6-3/4"	2-5/8"	4-3/4"	12-16d	4-16d	1740	1865	1865	1865	1865	1160	1160						
UH 310/312	3X10/12	50	33	3"	1"	8-3/4"	2-5/8"	4-3/4"	16-16d	5-16d	2320	2475	2475	2475	2475	700	700						
UH 46	4X6	50	23	3"	1"	5-1/4"	3-5/8"	5-3/4"	10-16d	3-16d	1450	1670	1815	1925	1925	930	930						
UH 48	4X8	50	33	3"	1"	7-1/4"	3-5/8"	5-3/4"	14-16d	4-16d	2030	2175	2175	2175	2175	1395	1395						
UH 3-210	(3Ea) 2X10	1	1	3"	1"	8-7/16"	4-5/8"	6-5/8"	18-16d	6-16d	2610	2785	2785	2785	2785	1395	1395						

20d Nails

20d Nails				Dimensions					Fasteners		Design Loads (lbs)							
Product Code	Joist Size	Qty/ Box	Wgt/ Box	A	B	H	W	V	Girder/ Header	Truss/ Joist	Normal 100%	Snow 115%	Roof 125%	Wind 133%	Wind 160%	Uplift 133%	Uplift 160%	
UH 24	2X4	100	33	3"	1"	3-1/4"	1-5/8"	3-3/4"	4-20d	2-20d	700	805	875	930	990	525	525	
UH 26	2X6	50	33	3"	1"	5-1/4"	1-5/8"	3-3/4"	8-20d	3-20d	1400	1610	1750	1860	1980	785	785	
UH 28	2X8	50	32	3"	1"	7-1/4"	1-5/8"	3-3/4"	12-20d	4-20d	2100	2415	2625	2650	2650	1110	1110	
UH 210/212	2X10/12	50	28	3"	1"	9-1/4"	1-5/8"	3-3/4"	16-20d	5-20d	2800	3220	3270	3270	3270	1440	1440	
UH 2-26	(2 Ea) 2X6	50	23	3"	1"	4-1/2"	3-1/8"	5-1/4"	8-20d	3-20d	1140	1310	1425	1520	1825	1200	1200	
UH 2-28	(2 Ea) 2X8	50	31	3"	1"	6-1/2"	3-1/8"	5-1/4"	12-20d	4-20d	2100	2415	2625	2650	2650	1600	1600	
UH 2-210	(2 Ea) 2X10	50	33	3"	1"	8-1/2"	3-1/8"	5-1/4"	16-20d	5-20d	2800	3220	3270	3270	3270	2000	2000	
UH 36	3X6	50	23	3"	1"	4-3/4"	2-5/8"	4-3/4"	8-20d	3-20d	1400	1610	1750	1860	1980	1200	1200	
UH 38	3X8	50	28	3"	1"	6-3/4"	2-5/8"	4-3/4"	12-20d	4-20d	2100	2415	2625	2650	2650	1600	1600	
UH 310/312	3X10/12	50	33	3"	1"	8-3/4"	2-5/8"	4-3/4"	16-20d	5-20d	2800	3220	3270	3270	3270	2000	2000	
UH 46	4X6	50	23	3"	1"	5-1/4"	3-5/8"	5-3/4"	10-20d	3-20d	1750	2015	2190	2330	2475	1200	1200	
UH 48	4X8	50	33	3"	1"	7-1/4"	3-5/8"	5-3/4"	14-20d	4-20d	2450	2820	3065	3095	3095	1600	1600	
UH 3-210	(3Ea) 2X10	1	1	3"	1"	8-7/16"	4-5/8"	6-5/8"	18-20d	6-20d	3150	3625	3940	4190	5040	2400	2400	



BISCAYNE BAY

BISCAYNE BAY

SECTION

BOUNDARY SURVEY

SECTION OF SURVEY

LOT 35 - BLOCK 15

BISCAYNE BEACH

AND ADDITION

MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

AS RECORDED IN PLAT BOOK 14 AT PAGE 39 OF
THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

I hereby certify: That the attached
sketch of survey represented herein
is true and correct to the best of my
knowledge and belief, and meets
the Minimum Technical Standards
or set forth by the Florida Board of
Professional Land Surveyors, promul-
gated pursuant to section 472.027, Florida Statutes.

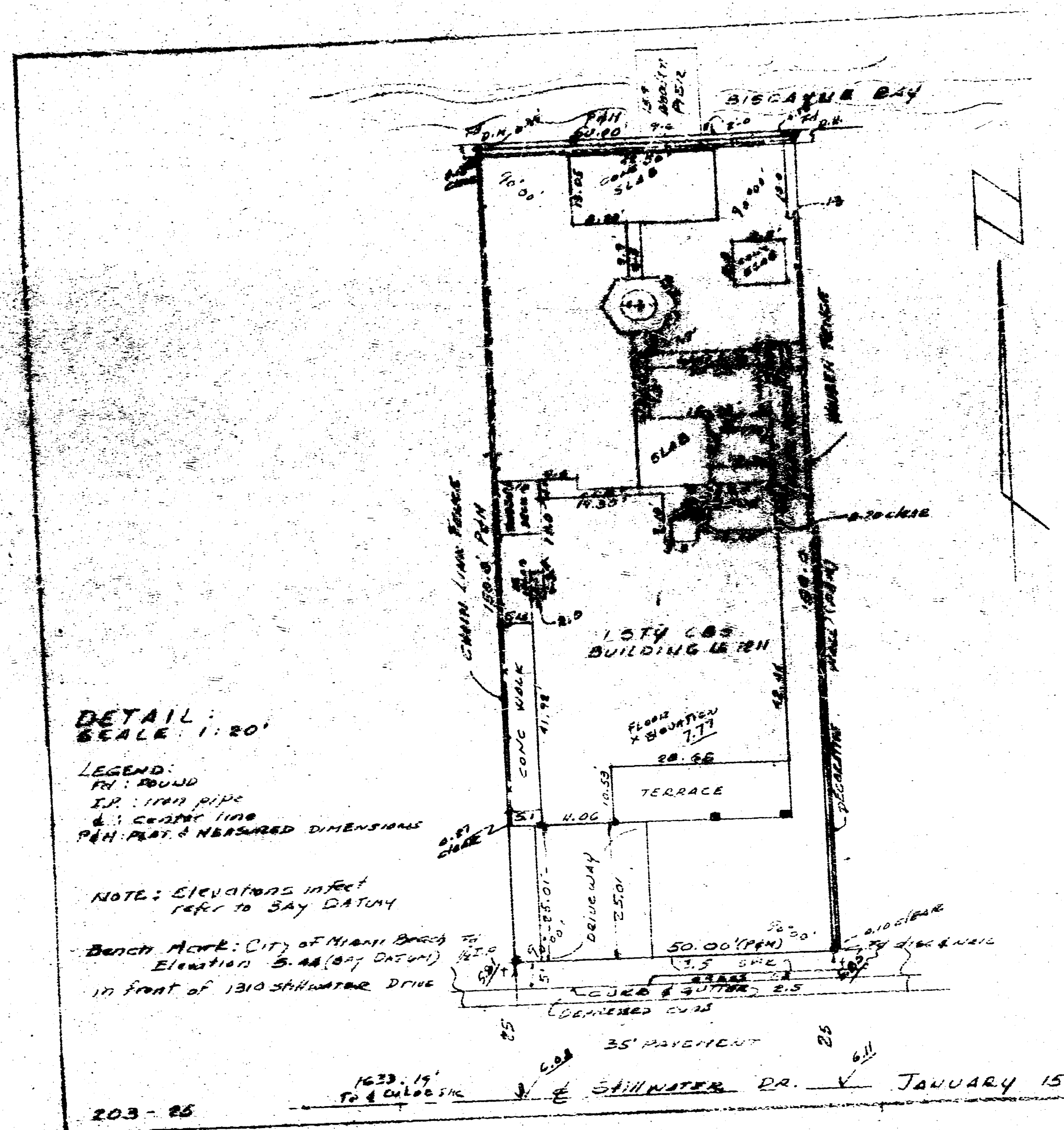
Wenceslao Ortega
WENCESLAO ORTEGA
PROFESSIONAL SURVEYOR AND MAPPER, No. 2091
STATE OF FLORIDA
8500 SW 8TH ST, SUITE 230
MIAMI, FLORIDA 33144

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL
RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

1798

2-78

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B9801480

A hand-drawn cross-section diagram of a retaining wall. The wall is L-shaped, with a vertical stem and a horizontal base. The vertical stem has a total height of 7' 10" and a thickness of 6' 0". The horizontal base has a width of 3' 0" and a height of 2' 0". The wall is shown retaining a soil mass on its right side, indicated by horizontal arrows pointing left. The soil surface is at the top of the wall, and the ground level is indicated by a hatched line. A point 'A' is marked at the bottom left corner of the wall. A point 'F' is marked at the top right corner of the wall. The diagram is labeled 'Fig. 10-10' and 'Fig. 10-11'.

Tie beam: $0.67 \times 1 \times 150 \frac{\#}{CF} = 100 \frac{\#}{LF}$
 Block parapet: $6.83 \times 40 \times 1 = 273 \frac{\#}{LF}$
 Footing: $2.5 \times 1 \times 150 \frac{\#}{CF} = 375 \frac{\#}{LF}$
 Earth: $1.83 \times 1 \times 100 \frac{\#}{CF} = 183 \frac{\#}{LF}$
 TOTAL: $931 \frac{\#}{LF}$

$K_1 = 0.80$ (Table 6) $V = 110$ MPa
 $T = 1.05$ (Table 5) Exposure: "C"

$$\dot{Q}_2 = 0.00256 \times 0.80 \times (110 \times 1.05)^2 = 27.32 \text{ #/SF}$$

Design wind pressure: A_s (Table 8) $C_f = 1.3$ (Table 12)

$$F = q_3 G h \underline{C_f A_f}$$
$$G_m = 1.32 \text{ (table)}, \quad C_0 = 1.00 \text{ SF} \quad Q_0 = 27.32 \text{ / SF}$$

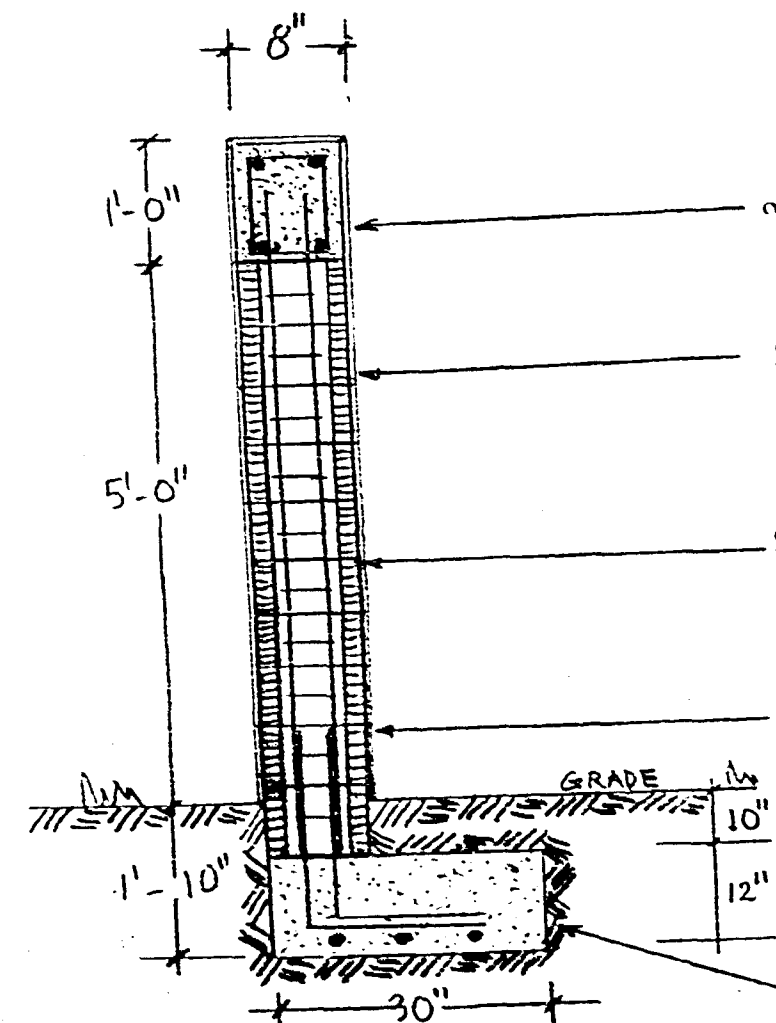
Then:

$$F = 27.32 \times 1.32 \times 1.3 \times 1 = 46.6 \text{ kN} \quad \text{--- (A)}$$

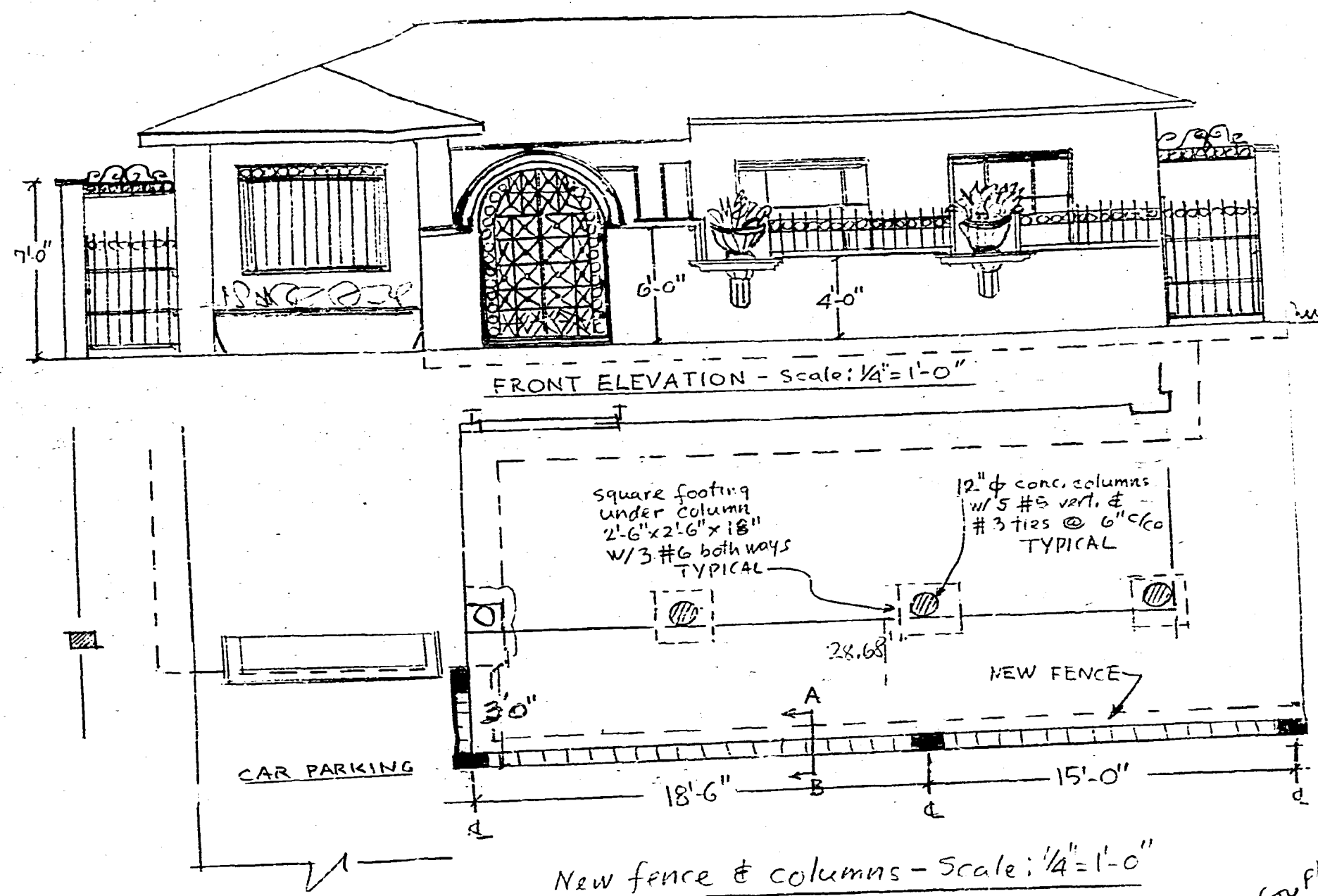
Taking moments respect to $\odot$ #

$$E \times 7.833 = 47 \times 7.833 = 368$$
$$(100 \times 0.33) + (273 \times 0.33) + (375 \times 1.25) + (18 \times 1.78) =$$

$368 \times 150\% = 552$ # < 580# - OVERTURNING - OK
(2309.4 SFBC)

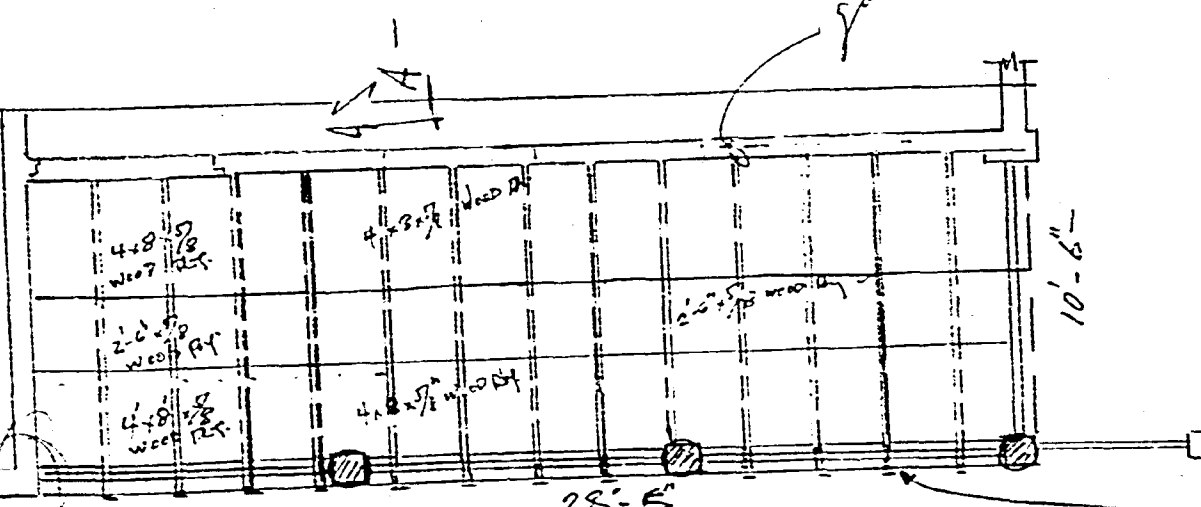


A-B FENCE SECTION- NTS -



New fence & columns - Scale: $\frac{1}{4}'' = 1'-0''$

OFFICE PERM
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:



Front Plant View - Existing house - scale: $\frac{1}{4}" = 1' - 0"$

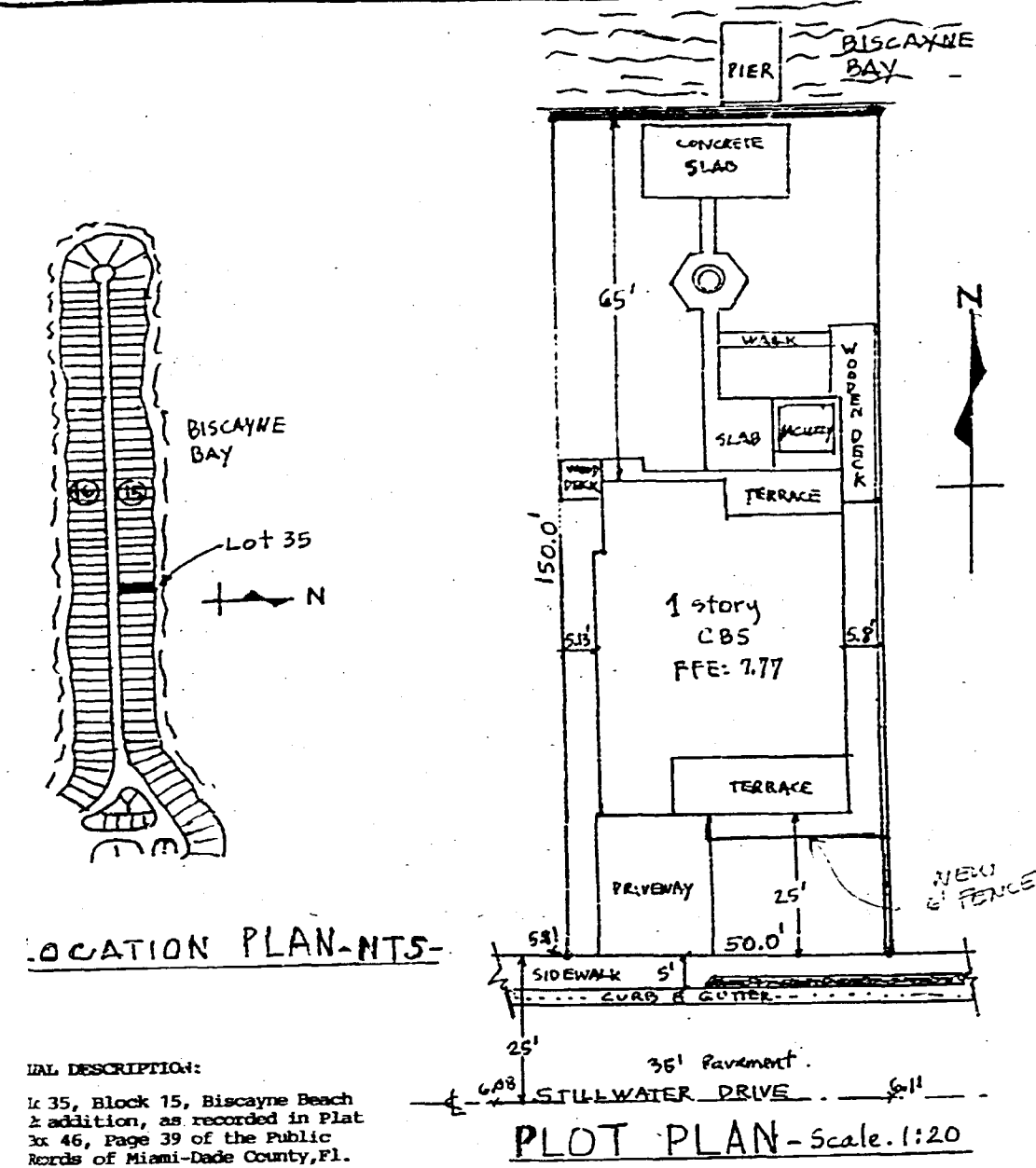
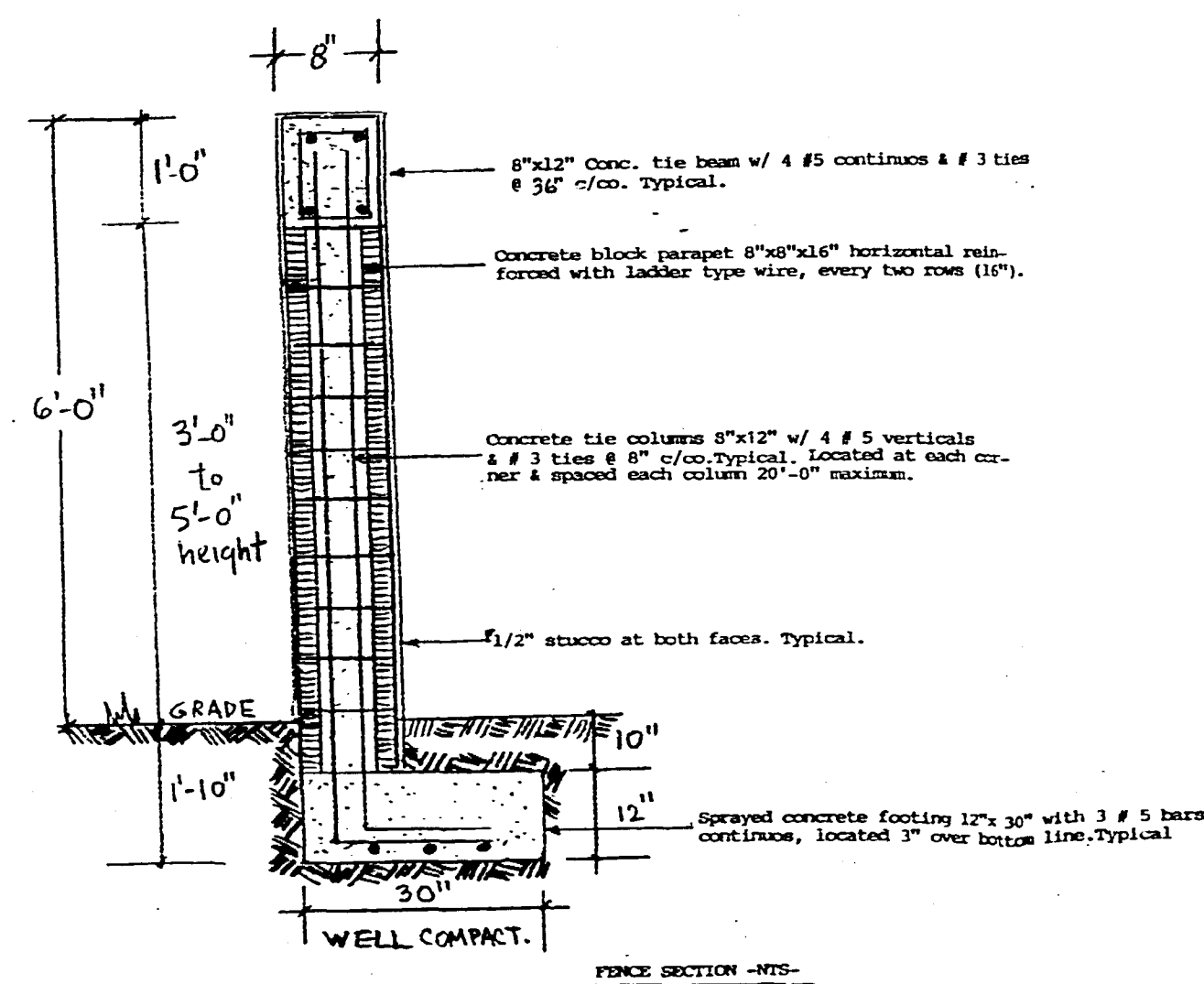
NOTES:

ALL Rotten or broken
rafters to be replaced.
Existing square columns
to be change to rounds
12" diam.

[illegible][illegible]

Manuel Valdes Linares
Professional Engineer
Civil-Structural
State of Florida
Lic. 14393
11980 S.W. 43 St.
Miami, FL. 33175
Phone: (305) 553-0022

Porch Rafter Repair - & New conc. fence --		
SCALE: As shown	APPROVED BY: M. VALDES-LINARES, P.E.	DRAWN BY
DATE: 2-6-88		REVISED: MV
1211 Stillwater Drive		OWNER: Arturo Diaz
		DRAWING NUMBER



JOB COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY:
THE FOLLOWING:

BUILDING: 3-9-98
ZONING: 12/24/98
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PROTECTION: 12/24/98
ENGINEERING:
PUBLIC WORKS: (EP) 3/6/98
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

Porch Rafter repair & NEW conc. fence		
SCALE: AS SHOWN	APPROVED BY: M. Valdes-Linares, PE	DRAWN BY: MV
DATE: 1-30-98		REVISED: MV
1211 Stillwater Drive		M.E.
OWNER: Arturo Diaz Artiles.		DRAWING NUMBER: 2

21

B9801480

PERMIT NUMBER

B 98-01480
BMS-99069

ADDRESS

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Bm599069

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BMS99069

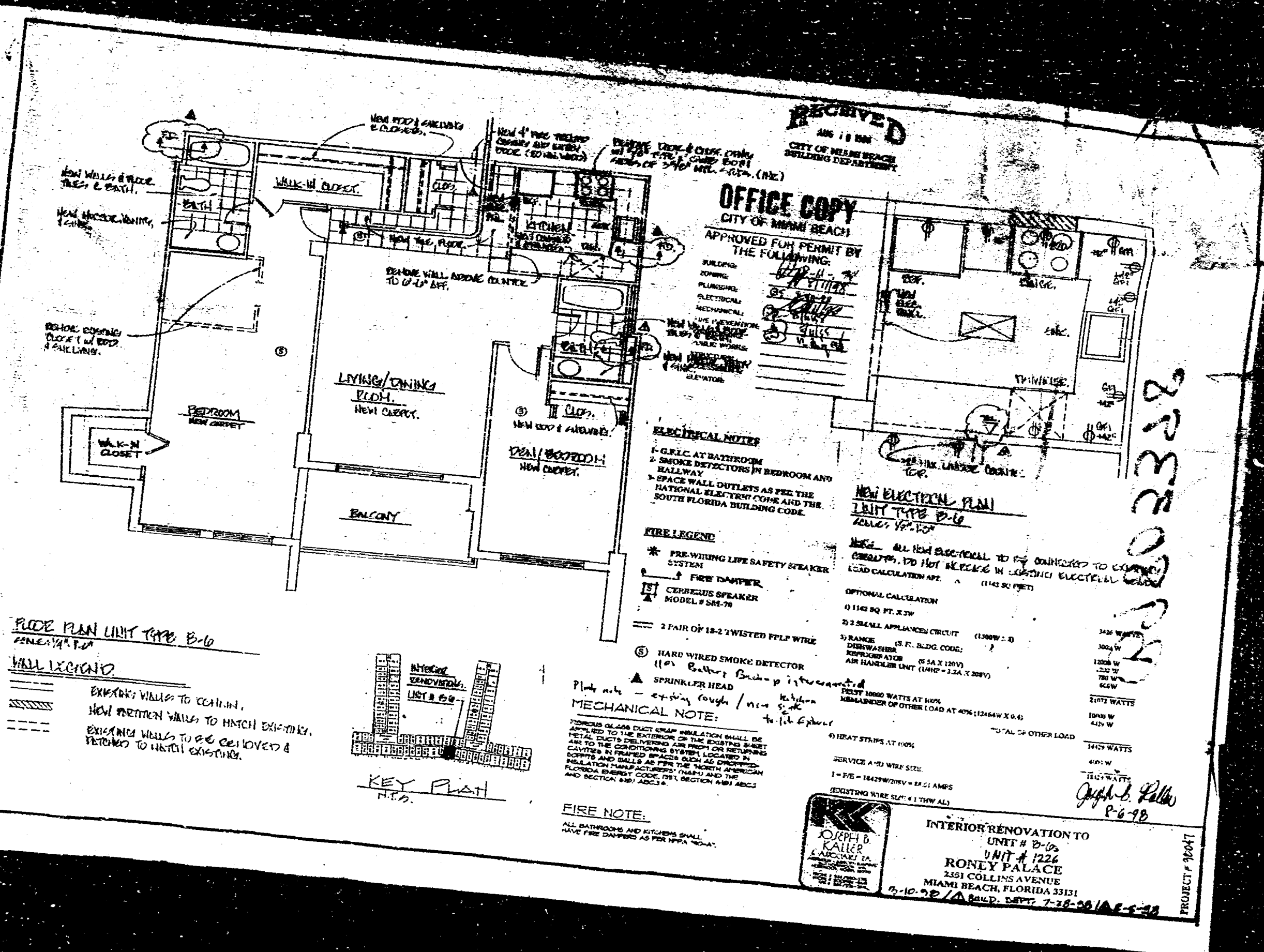
PERMIT #

6970 3398

ADDRESS

2301 Collins Ave

6970 3398



ALTERATIONS & ADDITIONS

Building Permits: #64042 Owner: Enclose attached garage to create a play room - \$200. - Jan.11,1961
OK Saperstein 3/29/63
#06337-Pierce Pest Control-Fumigation-\$395-10-16-74
#101124-Dock and Marine-Replace mooring piling-\$600-10-28-76
#23474 2/24/83 Acebo Roofing - reroof 22 sqs \$4,600.

Plumbing Permits: #30572 Peoples Water & Gas Co: 1 gas range & 1 gas refrigerator - Oct.9, 1950
#40776 Central Plbg: 1 4" Sewer - July 16, 1958- OK Rothman 7-18-58

Electrical Permits: #50059 Astor Elec: 1 service equipment, 4 motors(1HP) - June 7, 1957