



CITY OF MIAMI BEACH DESIGN REVIEW BOARD FINAL SUBMITTAL

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| 006 | LEVEL 5 |
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| | |
|-----|----------|
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|-----|-----------------------|
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LANDSCAPE

| | |
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72+COLLINS CONDOMINIUM

7118-7140 COLLINS AV. & 7121-7145 HARDING AVENUE
MIAMI BEACH, FL. 33141

PREVIOUS DRB APPROVALS:
DRB16-0054 / DRB18-0236 / DRB20-0617

LIMITED REVISION TO CURRENT
DESIGN REVIEW APPROVAL

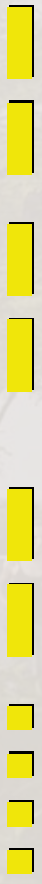
FILE No. DRB 22-0835

DRB22-0835

DRB AND STAFF BOARD:

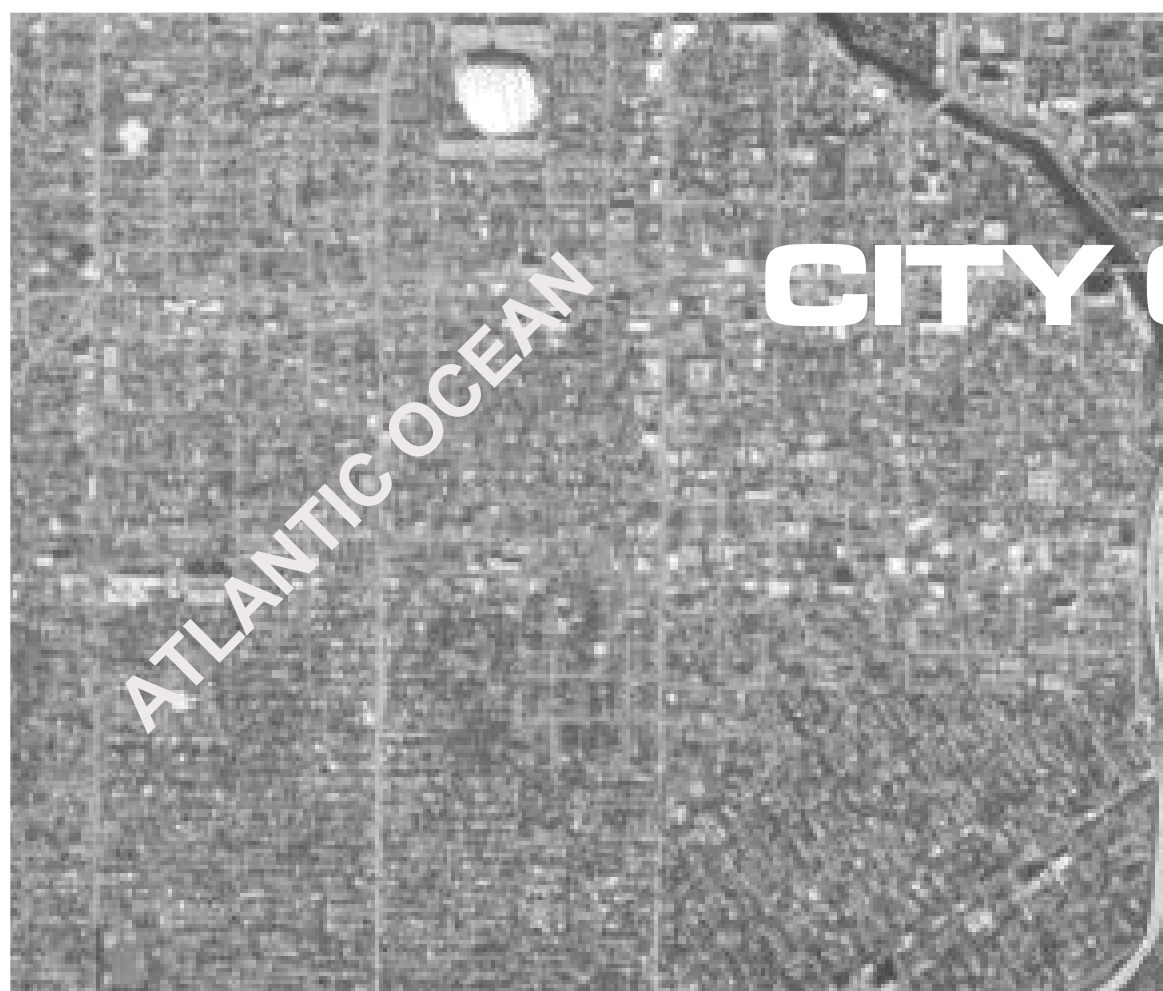
THIS APPLICATION IS ONLY FOR **LIMITED CHANGES TO CURRENTLY-APPROVED** (DRB-20-0617), WHICH ARE TIED TO THE ELIMINATION OF THE HOTEL USE AND STAFF INPUT.
PLEASE LOOK FOR THE FOLLOWING ITEMS WE HAVE CLEARLY KEYED WITHIN THE APPLICATION:

1. IMPROVEMENTS TO THE HARDING FRONTAGE, GROUND FLOOR INCLUDING:
 - a) ENLARGING AND BRINGING THE LOBBY CLOSER TO STREETFOR BETTER ACTIVATION ALONG HARDING AVE.
 - b) REPLACING THE PORTE-COCHERE WITH STREET FRONT RETAIL TO REINFORCE THE STREETScape.
 - c) INTERNALIZING THE DROP-OFF AREA.
 - d) CHANGING OUT OF CAR ELEVATORS FOR A RAMP WHICH SHOULD IMPROVE TRAFFIC FLOW ALONG HARDING AVE.
 - e) ADDING A DISPLAY WINDOW IN FRONT OF THE FPL VAULT TO IMPROVE THE PEDESTRIAN EXPERIENCE.
 - f) ADDING ADDITIONAL LANDSCAPE.
2. CHANGES TO UPPER-LEVEL BALCONIES STARTING ON LEVEL FOUR.
3. MINOR CHANGES TOT HE POOL DECK LEVEL, INCLUDING MOVING THE LINE OF GLAZING OUTBOARD OF THE COLUMNS AND INCREASING THE SEPARATION BETWEEN THE MAIN BUILDING AND THE ANNEX BUILDING
4. ADDITION OF ROOF-TOP AMENITIES.



A DEVELOPMENT OF
COLLINS & 72nd. DEVELOPERS

MAY 9th, 2022



ATLANTIC OCEAN



CITY OF MIAMI

Sheet No.

CURRENTLY APPROVED

ZONING DATA SUMMARY COMPARISON

NEW PROPOSAL

| CURRENTLY APPROVED | |
|--------------------|---------|
| HOTEL ROOMS | 74 |
| CO-LIVING | 168 |
| 174,357 | 124'-8" |
| 4496 | 134 |
| 5 | 7 |
| 6 | 205 |

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Miami
Santiago, Chile

revuelta-architecture.com

2880 SW 87TH AVE
SUITE 110
MIAMI, FL 33155
T: 305.590.5000
F: 305.590.5040

Project

72+ COLLINS CONDOMINIUM

7134 Collins Avenue
Miami Beach, Florida 33141

Revisions

Owner Information

#Client Address2

#Client Phone Number

Consultant

Luis O. Revuelta

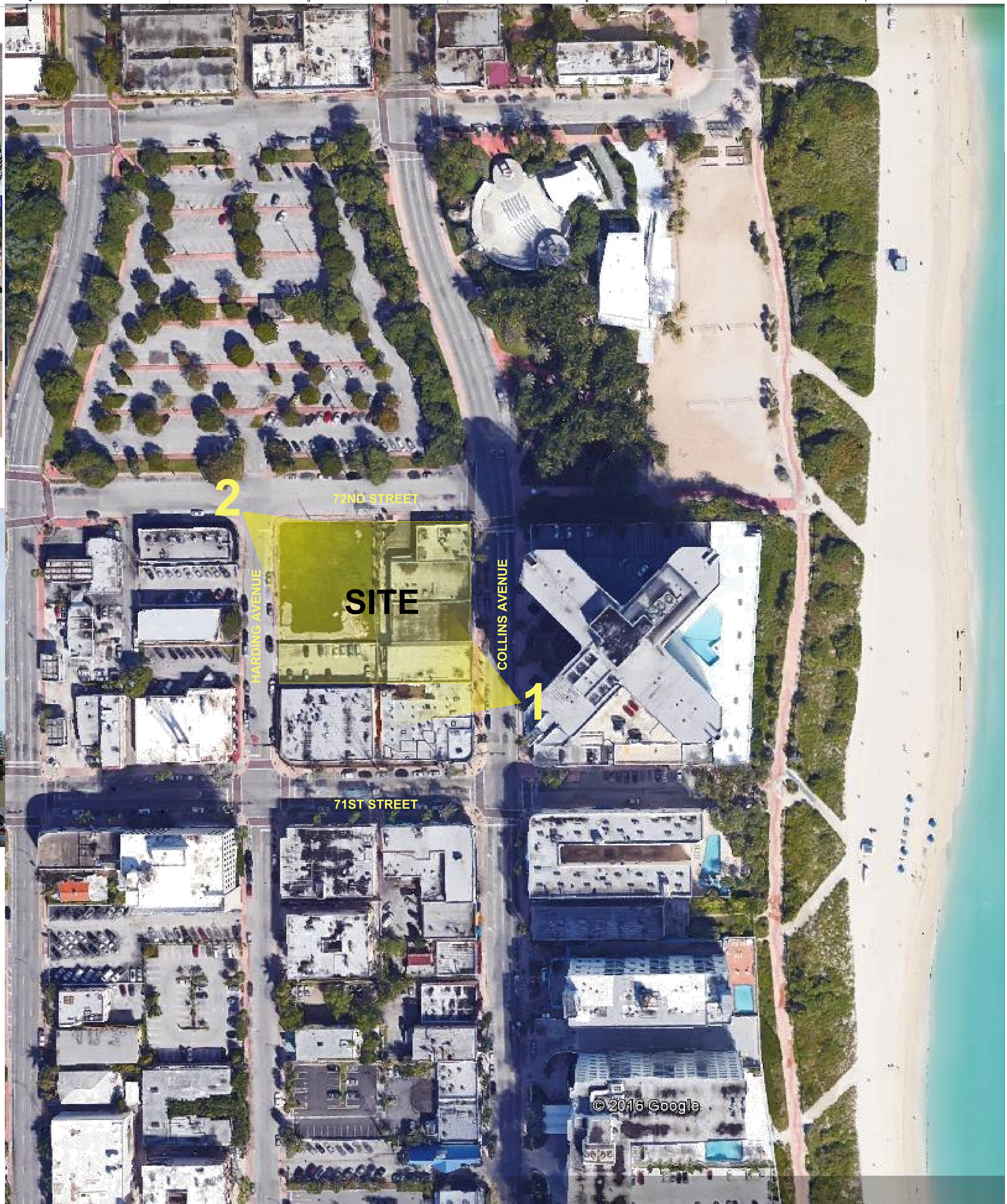
AR-0007972

DESIGN REVIEW
BOARD PRESENTATION

| | |
|-------------|---------------------|
| Date | 12.15.2021 |
| Scale | AS SHOWN |
| Project No. | 2115 |
| Sheet Name | ZONING DATA SUMMARY |
| COMPARISON | |

Sheet No.

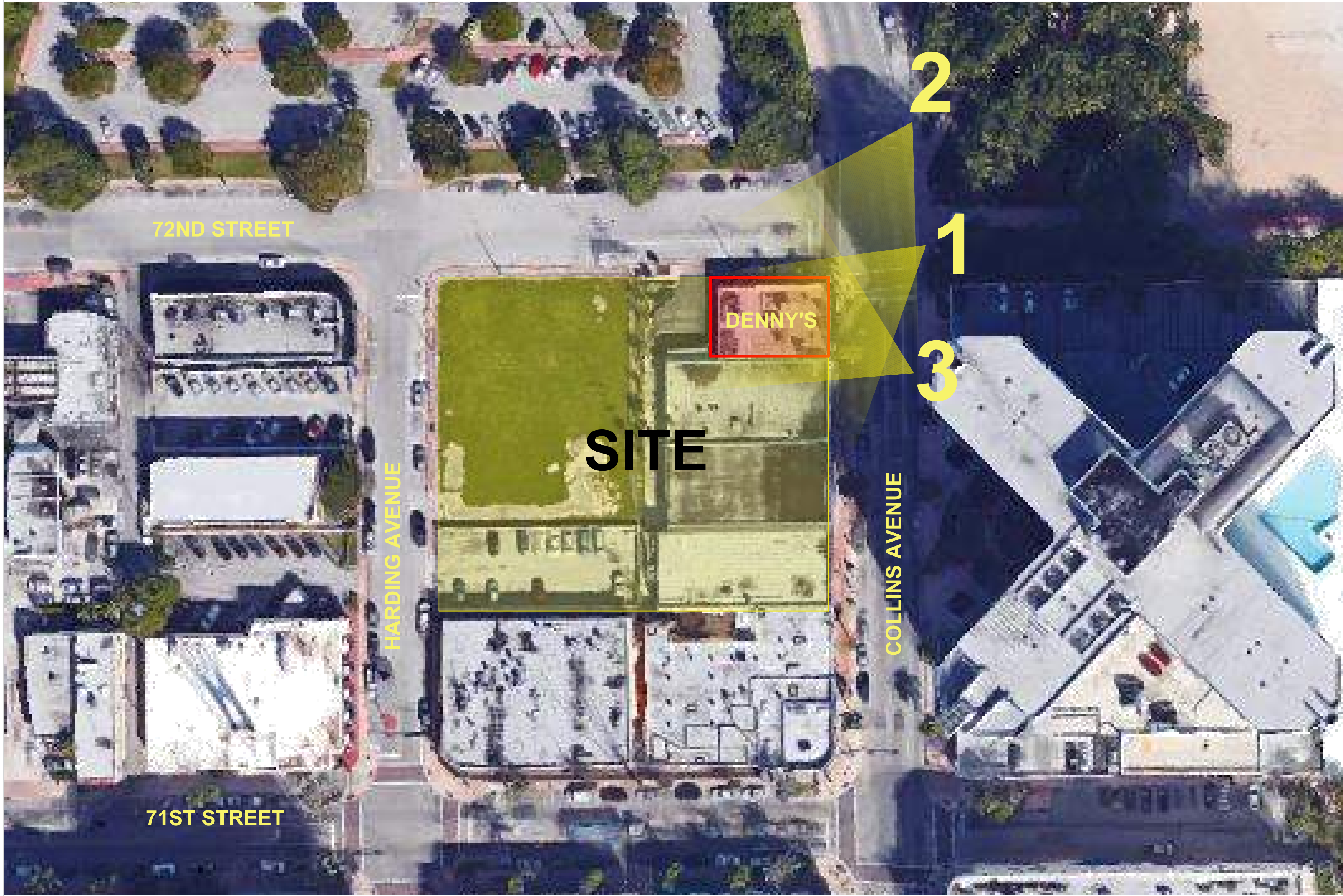
A-003



PROJECT SITE- EXISTING STRUCTURES | 1

N.T.S.

72+ COLLINS CONDOMINIUM



EXISTING DENNY'S CORNER | 1
N.T.S.

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revuelta-architecture.com

2800 SW 27TH AVE
SUITE 110
MIAMI, FL 33135
T. 305.590.5000
F. 305.590.5040

72+ COLLINS CONDOMINIUM

7134 Collins Avenue
Miami Beach, Florida 33141

Revisions

Owner Information

#Client Address2
#Client Phone Number

Consultant

Luis O. Revuelta
AR-0007972

DESIGN REVIEW
BOARD PRESENTATION

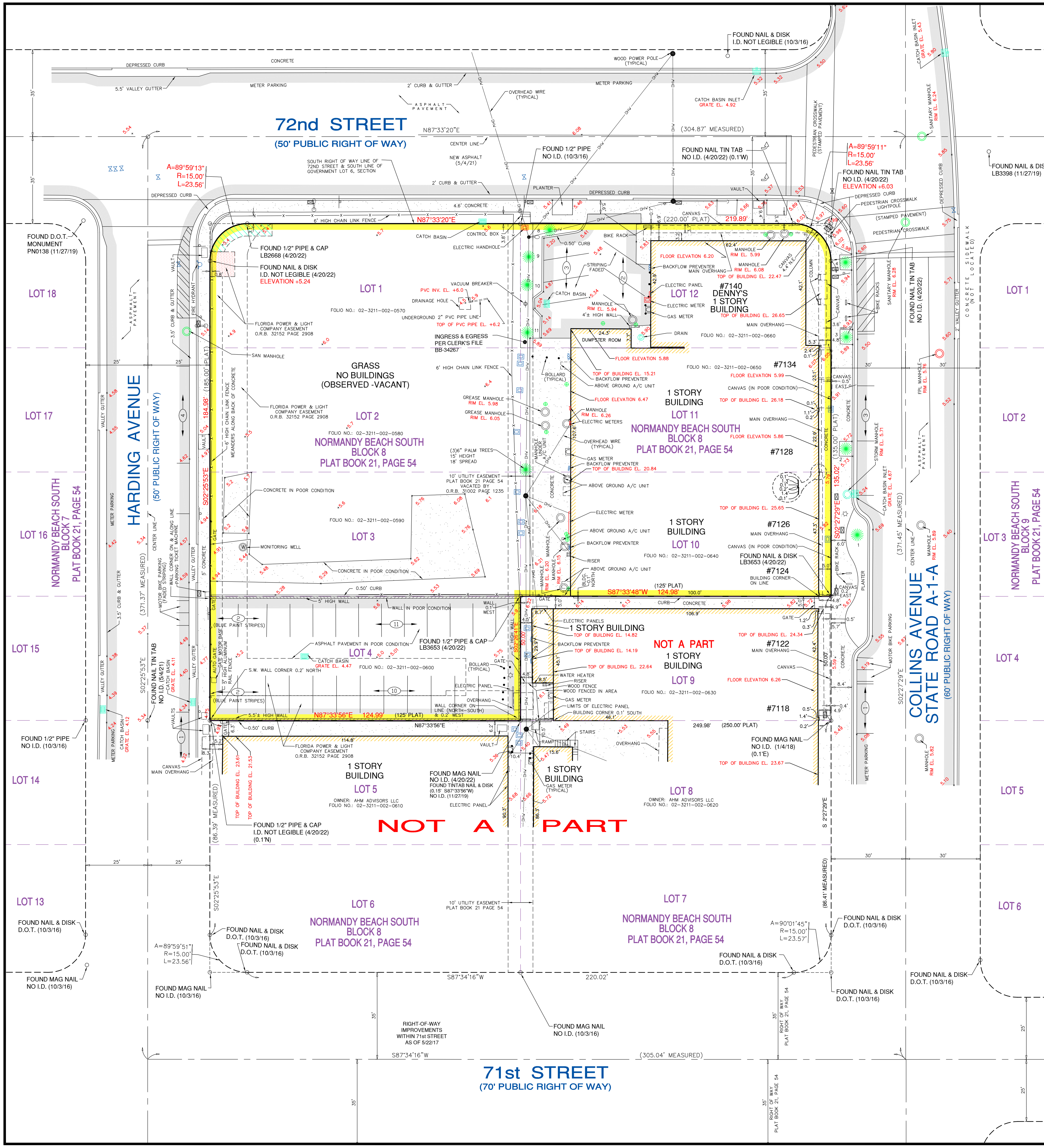
Date
12.15.2021

Scale
AS SHOWN

Project No.
2115

Sheet Name
SITE- EXISTING DENNY'S

Sheet No.
A-005

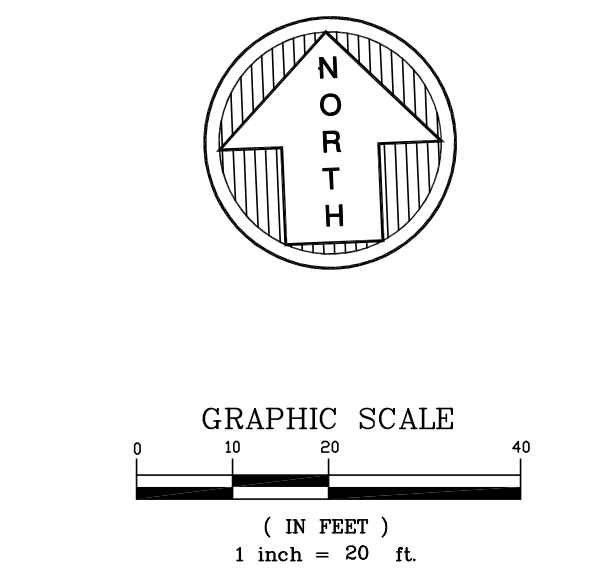


| TREE NUMBER | Botanical Name | COMMON NAME | D.B.H. (INCHES) | HEIGHT (FEET) | SPREAD (FEET) |
|-------------|------------------------|-------------------|-----------------|---------------|---------------|
| 1 | Roystonea regia | Royal Palm | 24 | 30 | 16 |
| 2 | Roystonea regia | Royal Palm | 24 | 30 | 16 |
| 3 | Roystonea regia | Royal Palm | 24 | 30 | 16 |
| 4 | Roystonea regia | Royal Palm | 24 | 30 | 16 |
| 5 | Coccoloba diversifolia | Pigeon Plum | 4 | 12 | 6 |
| 6 | Coccoloba diversifolia | Pigeon Plum | 4 | 12 | 6 |
| 7 | Coccoloba diversifolia | Pigeon Plum | 4 | 12 | 6 |
| 8 | Conocarpus erectus | Silver Buttonwood | 6 | 12 | 6 |
| 9 | Conocarpus erectus | Silver Buttonwood | 6 | 12 | 6 |
| 10 | Conocarpus erectus | Silver Buttonwood | 6 | 12 | 6 |
| 11 | Conocarpus erectus | Silver Buttonwood | 6 | 12 | 6 |



LEGAL DESCRIPTION:
Lots 1, 2, 3, 4, 10, 11 and 12, Block 8, NORMANDY BEACH SOUTH, according to the plat thereof as recorded in Plat Book 21 at Page 54, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:
- This site lies in Section 11, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida, unless otherwise noted.
- Lands shown hereon are abstracted for restrictions, easements and/or rights-of-way of records per Chicago Title Insurance Company Order No. 9267270 with a commitment date of April 07, 2021.
- Revision Number April 25, 2021, Revision 1. All Easements and/or rights of way of record per title commitment that are platable are shown on this "ALTA/NSPS Land Title Survey".
- SCHEDULE B SECTION II
1-4 Standard Exceptions not addressed.
5. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of Normandy Beach South, recorded in Plat Book 21, Page 54, as affected by Release, Termination and Abandonment of Easement recorded in O.R.B. 31002, Page 1235, (as to all Lots) Easements per Plat were Released, Terminated and Abandoned by O.R.B. 31002, Page 1235. No Restrictions, covenants or conditions per Plat.
6. Conditional Use Permit recorded August 14, 2007 in O.R.B. 25854, Page 1821 and also recorded in O.R.B. 26835, Page 4518, (as to Lots 1, 2 and 3)
7. Design Review Board Order recorded in O.R.B. 26048, Page 4743, (as to all Lots)
8. Encumbers Parcel but not subject to location. Blanket in nature. Not a survey matter.
9. Lease Agreement by and between Casa Grande Shopping Center, LLC, a Florida limited liability company (Landlord) and Collins and 72nd Developers, LLC, a Florida limited liability company, as evidenced by that Memorandum of Lease recorded in O.R.B. 30332, Page 1205, (as to Lots 1, 2, and 3)
10. Lease encumbers Lots 1, 2 & 3 in Block 8 but not subject to location. Blanket in nature. Not a survey matter.
11. Agreement for Exchange of Real Property by and between Casa Grande Shopping Center, LLC, a Florida limited liability company and Collins and 72nd Developers, LLC, a Florida limited liability company, as evidenced by that Memorandum of Agreement for Exchange of Real Property recorded in O.R.B. 30332, Page 1210, (as to all Lots)
12. Benefits and encumbers Parcel but not subject to location. Blanket in nature. Not a survey matter.
13. Declaration of Restrictive Covenants in Lieu of Unity of Title recorded in O.R.B. 31047, Page 2653; O.R.B. 31014, Page 2915; O.R.B. 31014, Page 2924; O.R.B. 31014, Page 2933; O.R.B. 31014, Page 2988; June 18, 2018 in O.R.B. 31017, Page 2064; O.R.B. 31017, Page 2185; O.R.B. 31017, Page 2516 and in O.R.B. 31017, Page 4116, (as to all Lots)
14. Encumbers Parcel but not subject to location. Blanket in nature. Not a survey matter.
15. Planning Board Conditional Use Permit PB16-0062, a/k/a PB-0192 recorded in O.R.B. 30390, Page 2843; and Modified Conditional Use Permit recorded in O.R.B. 31014, Page 418; O.R.B. 31014, Page 2639; O.R.B. 31014, Page 2652; O.R.B. 31014, Page 2662; O.R.B. 31014, Page 3021; June 27, 2018 in O.R.B. 31032, Page 1768; O.R.B. 31032, Page 1777 and in O.R.B. 31032, Page 1854, (as to all Lots)
16. Declaration of Restrictive Covenants in Lieu of Unity of Title recorded in O.R.B. 31047, Page 2653; O.R.B. 31047, Page 2681; O.R.B. 31047, Page 2691; O.R.B. 31047, Page 2703; O.R.B. 31047, Page 2713; O.R.B. 31047, Page 2732; O.R.B. 31047, Page 2742 and in O.R.B. 31047, Page 2763, (as to all Lots)
17. Encumbers Parcel but not subject to location. Blanket in nature. Not a survey matter.
18. Easements benefits and encumbers Lots 1, 2, 3 & 4 and are shown on this survey. (as to Lots 1, 2, 3 and 4)
19. Design Review Board Order 22938 recorded in O.R.B. 28473, Page 222 (as to Lots 10, 11 and 12) Benefits and encumbers Lots 10, 11 & 12 but not subject to location. Blanket in nature. Not a survey matter.
20. Lease Agreement by and between Richards Capital Ltd., a Florida limited partnership (Landlord) and Den North Beach, Inc. Florida corporation (Tenant), dated July 31, 2012; said Lease was later assigned to Collins and 72nd Developers, LLC, a Florida limited liability company (as Landlord), as evidenced by Affidavit of Memorandum of Lease recorded in O.R.B. 31187, Page 1932, (affects Lots 9, 10, 11 and 12)
21. Benefits and encumbers Lots 10, 11 & 12 but not subject to location. Blanket in nature. Not a survey matter.
22. Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements.
Standard exception. Document not provided. End of Schedule B Section II.
Note: All of the recording information contained herein refers to the Public Records of Miami-Dade County, Florida, unless otherwise indicated. Any reference herein to a Book and Page or Instrument Number is a reference to the Official Record Books of said county, unless indicated to the contrary.
- Bearings hereon are referred to an assumed value of S 02°25'33.7" E for the East right of way line of Harding Avenue, and evidenced by Found mag nail & found nail & disk, (as Landlord), as evidenced by Affidavit of Memorandum of Lease recorded in O.R.B. 31187, Page 1932, (affects Lots 9, 10, 11 and 12)
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Benchmark G-313, Elevation +8.26, Located by US C&G brass disk in the N.E. corner of a sewer pumping station at the center of a parking lot at 72nd Street (North of) and State Road A-1A (165' West of West curb).
- Lands shown hereon are located within an area having a Zone Designation AE (E 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12080C0266L for Community No. 120851, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Trees shown are surveyed for their horizontal location and/or size. Tree identification was provided by Tyler Nielson of Nielsen Landscape Architects, on March 23, 2018.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon containing 43,641 square feet, or 1,002 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.
- Total striped parking spaces within legal description: 30 Regular and 0 Handicap. Parking spaces were not verified for any applicable requirements.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Location of utilities existing on or serving the surveyed property as determined by observed evidence collected pursuant to Section 5.E.v. PER ALTA/NSPS.
- The locations of overhead utility lines are graphically shown to indicate the approximate connection points and do not reflect the actual location, number or type of wires.
- Legal description shown hereon based on title commitment furnished by client and no claims as to ownership are made or implied.



| LEGEND | |
|--------|------------------------------|
| — | OVERHEAD WIRES |
| — | 0.5" CURB |
| — | 2.00' CURB & GUTTER |
| — | CHAIN LINK FENCE |
| — | GRADE ELEVATION |
| EL | ELEVATION |
| ID | IDENTIFICATION |
| SAN | SANITARY |
| P.R.M. | PERMANENT REFERENCE MONUMENT |
| B.O.S. | BOTTOM OF STRUCTURE |
| D.O.T. | DEPARTMENT OF TRANSPORTATION |
| T.O.B. | TOP OF BATTLE |
| T.B.M. | TEMPORARY BENCH MARK |
| O.R.B. | OFFICIAL RECORDS BOOK |
| — | CONCRETE |
| — | ASPHALT PAVEMENT |
| — | CATCH BASIN |
| — | MANHOLE |
| — | LIGHT POLE |
| — | WATER METER |
| — | WATER VALVE |
| — | CATCH BASIN INLET |
| — | UTILITY POLE |
| — | RISER |
| — | FIRE HYDRANT |
| — | HANDHOLE |
| — | SIGN |
| — | CONCRETE POWER POLE |
| — | WOOD POWER POLE |
| — | CLEAN OUT |

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CERTIFICATION TO:
Chicago Title Insurance Company

SURVEYOR'S CERTIFICATION:
This is to certify that this "Boundary and Topographic Survey" was made under my responsible charge on November 27, 2019 and last updated on April 20, 2022, in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
The fieldwork was completed on April 20, 2022.

FORTIN, LEAVY, SKILES, INC., LB3653
Digitally signed by Daniel C Fortin
DN: c=US, o=Florida, dnQualifier=A01410D0000017F51B2
04DE01BDE6A, cn=Daniel C Fortin
Date: 2022.05.04 16:47:58 -0400

This Drawing is the Property of Fortin, Leavy, Skiles, Inc. and is an Instrument of Service not to be Reproduced in Whole or in Part without the Express Written Permission of Some.

FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 0000653
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone 305-653-4492 / Fax 305-651-7132 / Email fls@flsurvey.com

Original Date
11/27/19

Scale
1"=20'

Drawn By
GEM

CAD No.
151246

Plotted
5/5/21 6:44a

Ref. Dwg.
2016-100-NGVD

Field Book
63062 & FLD. SHT. S.H

Job No.
191176

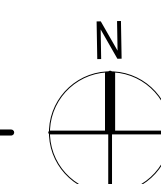
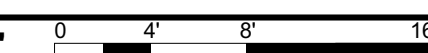
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2016-100-1-NGVD

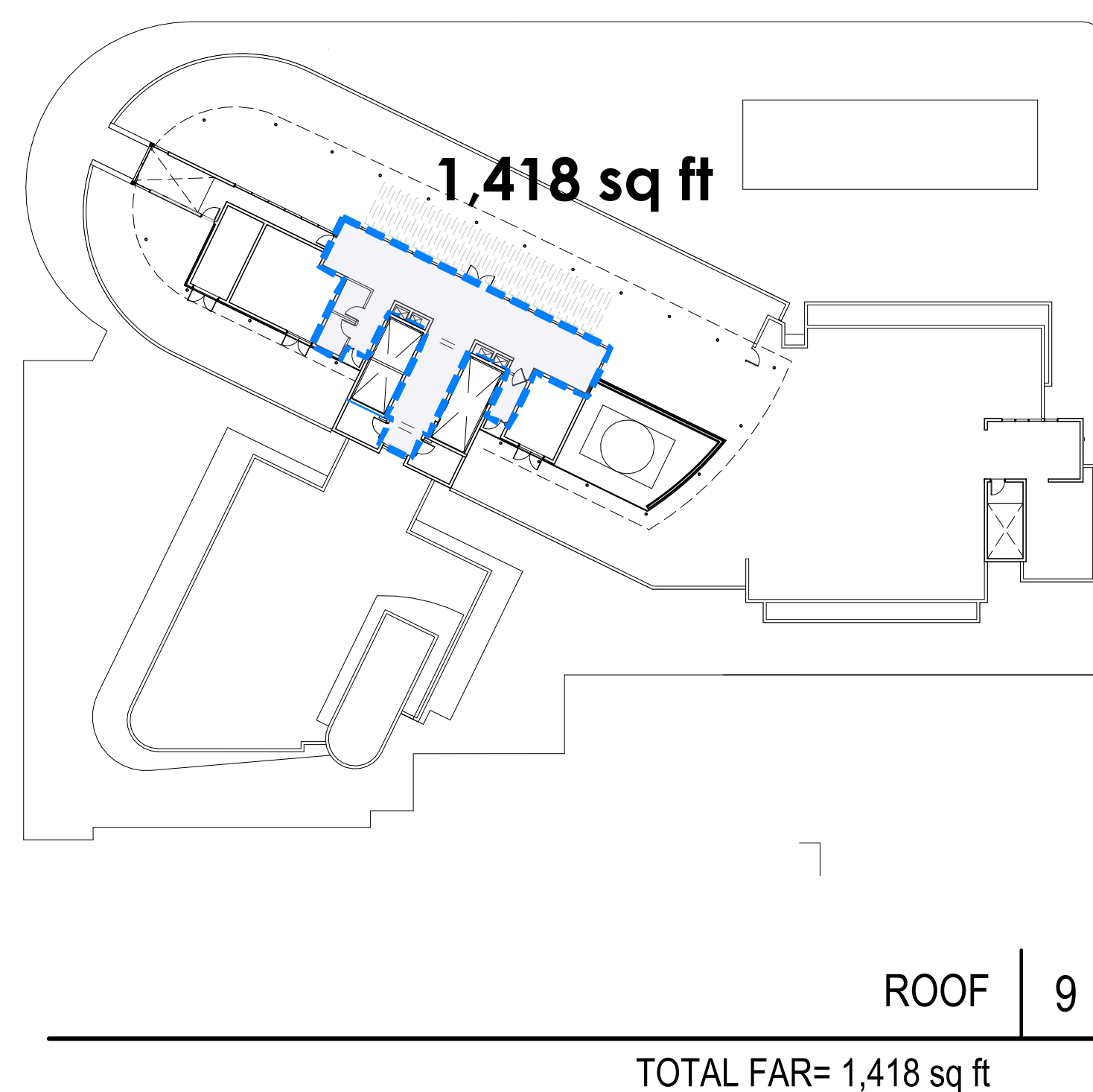
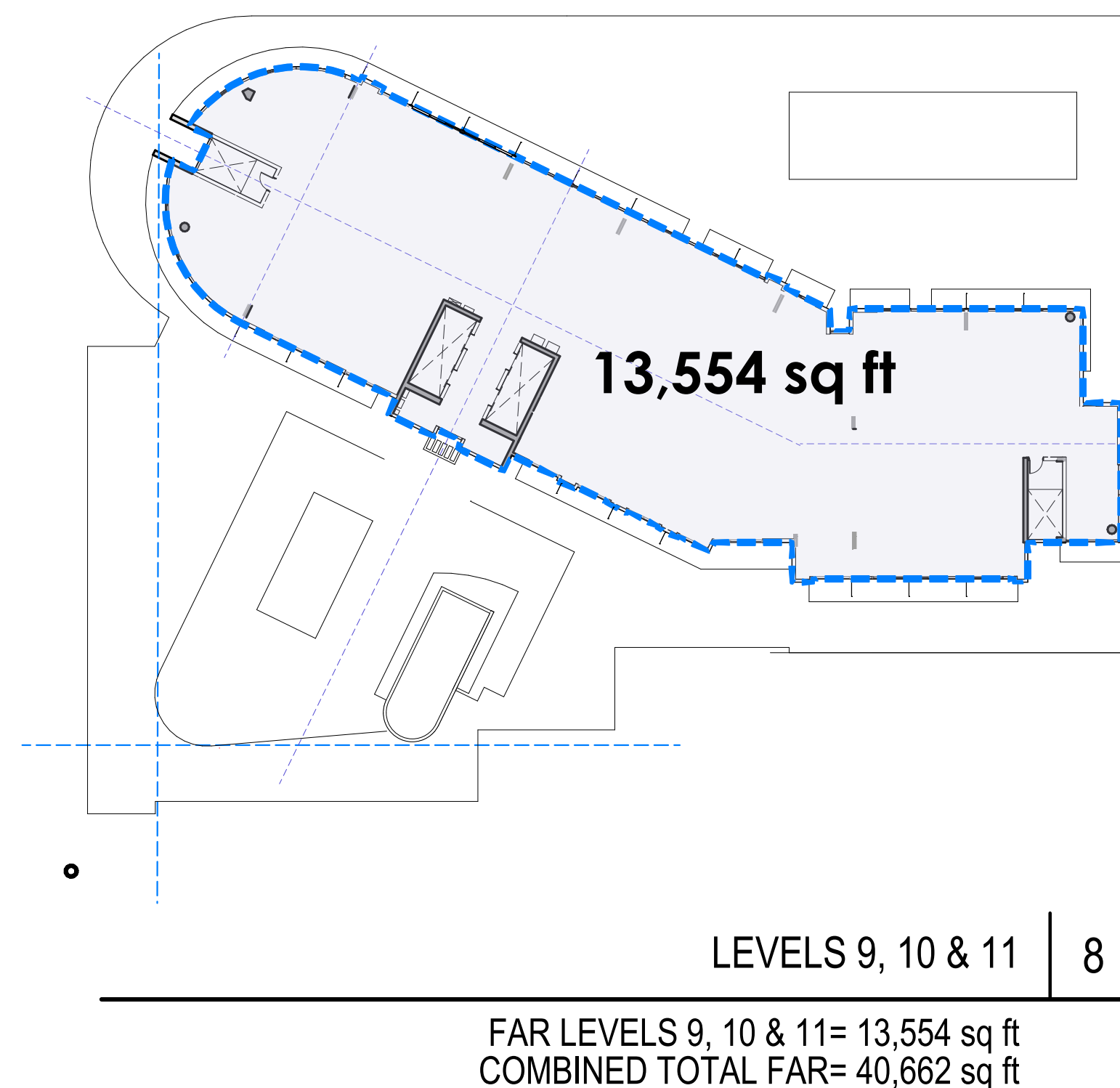
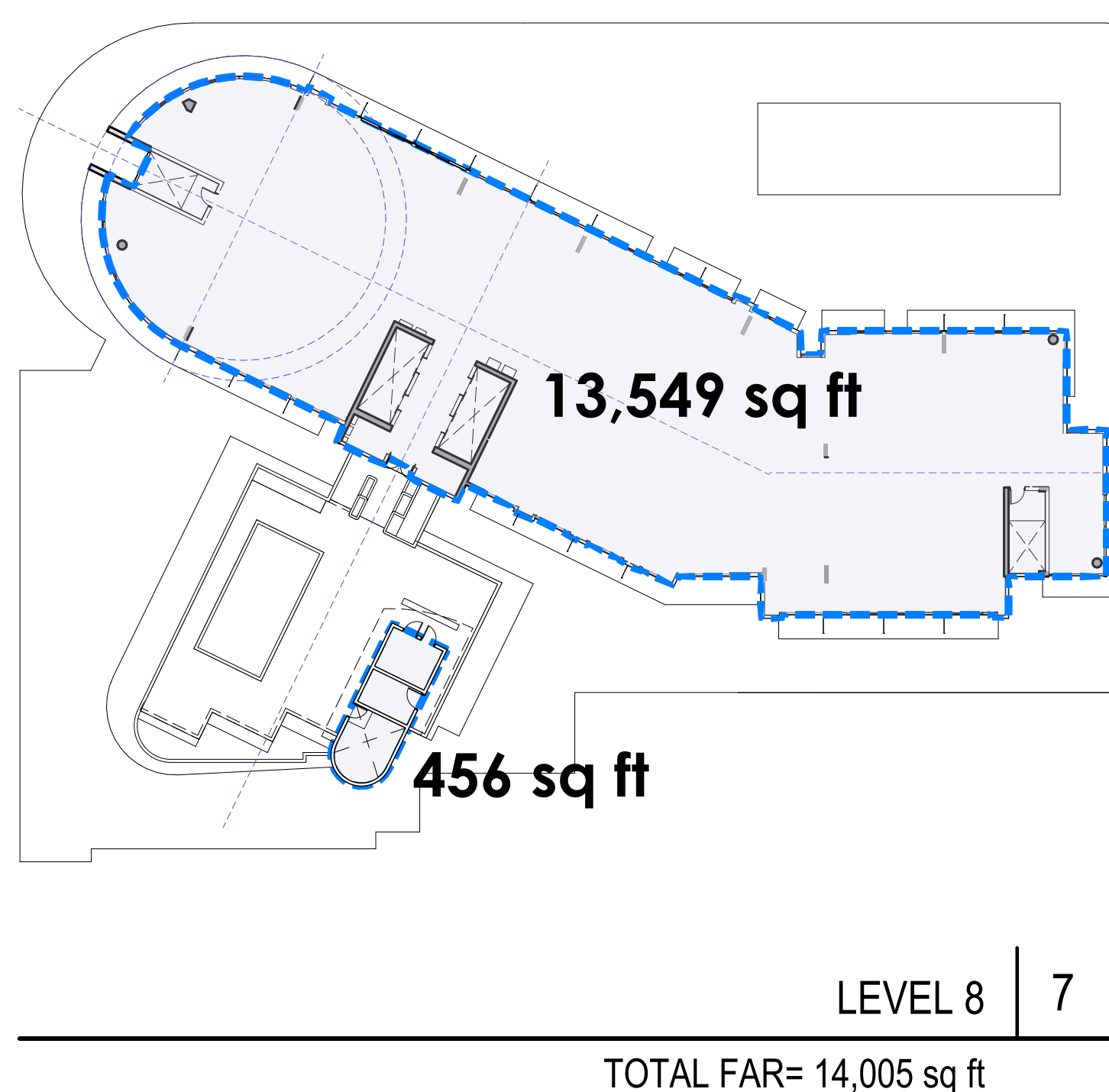
Sheet
1 of 1

| | |
|----------------------------|---|
| 7122 / 7118 COLLINS AV. | EXISTING 1 STORY COMMERCIAL BUILDING TO REMAIN |
|----------------------------|---|

1. CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANY PRIOR OF REMOVAL AND DISCONNECTED ANY SERVICE FOUND HEREIN.
2. ELECTRICAL CONTRACTOR IS TO FIELD VERIFY ELECTRICAL UTILITIES AND ROUTING PRIOR TO DISCONNECT THEM. CONTRACTOR IS TO COORDINATE WITH FPL AND REQUEST A WORK-WITH AND/OR REQUEST TO THE OWNER TO DISCONTINUE ELECTRICAL SERVICE FOR THE BUILDING IN THE SCOPE OF WORK.
3. PLUMBING CONTRACTOR IS TO FIELD VERIFY UTILITIES AND ROUTING PRIOR TO DISCONNECTING. CONTRACTOR IS TO COORDINATE WITH SERVICE PROVIDED AND SERVICE. SHUT-DOWN OR REQUEST OWNER TO DISCONTINUE SAID SERVICE FOR THE BUILDING IN THE SCOPE OF WORK.
4. SANITARY DISCONNECTION, CONTRACTOR IT TO FIND EXACT LOCATION AND COORDINATE WITH WATER & SEWER CO. TO PROVIDE A FEASIBLE POINT TO CAP THE LINE.
5. COORDINATE WITH GAS COMPANY TO DISCONTINUE SERVICE. SUCH SERVICE REMOVAL SHALL BE REMOVE BY THE GAS CO. OR AS DIRECTED BY THEM THEREAFTER.
6. FIRE ALARM SYSTEM, FIRE ALARM SYSTEM SHALL BE REMOVED AND STORED AS DIRECTED BY OWNER.
7. REMOVAL AND STORAGE OF REMOVED EQUIPMENT AND DEVICES ARE TO BE COORDINATED WITH OWNER ~ ALL MATERIALS SCHEDULE TO BE DISPOSED-OFF SHALL BE COORDINATE ACCORDINGLY AS PER CITY ORDINANCE(S)
8. CONTRACTOR IS TO MAINTAIN ALL AREAS CLEAN AND CLEAR OF DEBRIS TO PREVENT INJURIES TO BYSTANDERS AS WELL AS PROVIDE BARRICADES/FENCES, ETC. TO PREVENT SITE ACCESS DURING OFF HOURS.
9. CONTRACTOR SHALL COORDINATE RETAIN AND PROCESS ALL PERMITS WITH THE CITY PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK.
10. DEMOLITION CONTRACTOR SHALL COORDINATE ALL ROAD ACCESS AND BLOCKAGE WITH CITY OFFICIALS PRIOR TO COMMENCEMENT AND PROVIDE TRAFFIC ASSISTANCE TO ALL TRAVELING THROUGH THE PROJECT AREA.

ELEVATION = +6.00 NGVD SCALE 1/64"=1'-0"





SCALE 1/32"=1'-0" 0 16' 32' 64'

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