

OPENINGS IMPROPERLY FILLED

• EVIDENCE OF SPALLING





## A-012 Exploratory Photos



5757 La Gorce, Miami Beach FL Design Review Board Final Submittal File # DRB22-0824 architecture / landscape architecture 1251 SW 20th Street, Miami, FL 33145 305.310.2602

EXTENSIVE SPALLING AT UPPER AND LOWER REBAR OF TIE BEAM. REBAR FULLY EXPOSED AND DETERIORATED

• OPENINGS IMPROPERLY FILLED

EXTENSIVE SPALLING AT UPPER AND LOWER REBAR OF TIE BEAM. REBAR FULLY EXPOSED AND DETERIORATED

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DOORS IMPROPERLY INSTALLED, NO TIE COLUMNS, NO BLOCK





EXTENSIVE SPALLING AT UPPER AND LOWER REBAR OF TIE BEAM







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Design Review Board Final Submittal 1251 SW 20th Street, Miami, FL 33145

## OPENINGS **IMPROPERLY FILLED**

EVIDENCE OF SPALLING





SITE AERIAL

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A-014 Existing Property Plan



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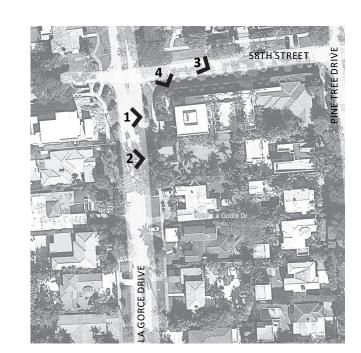


A-015 Existing Property Photos



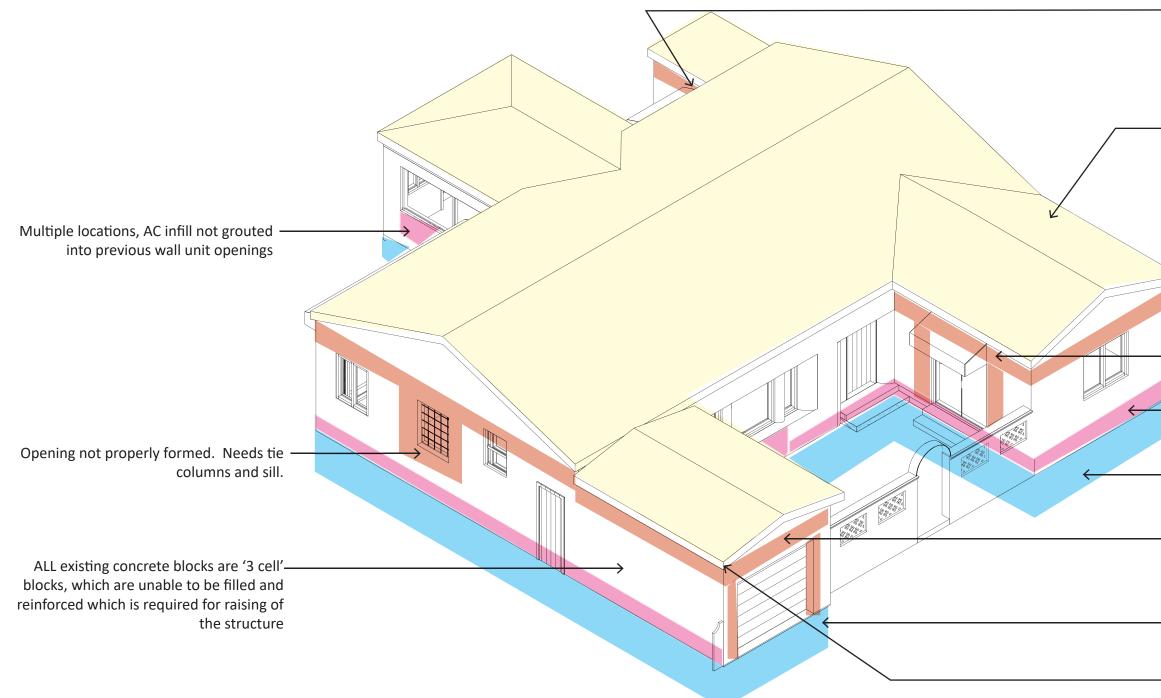
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| <ul> <li>Entire back wall requires replacement,<br/>as openings were made without lintels,<br/>blocks not mortared into place, failing tie<br/>beam, no tie columns.</li> </ul> |
|---|
| <ul> <li>minimum 10% Termite damaged rafters<br/>require replacement, estimated only</li> </ul>   |
| Opening was previously made larger<br>without permit. No lintel, and tie columns<br>missing. Openings stuffed with newspa-<br>per and loose pieces of wood, glued in            |
| with plaster.<br>Portion of existing exterior walls at and<br>below floor level to be replaced to be made<br>flood proof.   |
| <br>New footing and foundation walls required for additional height.  |
| <br>Severe spalling around entire tie beam,<br>for top and bottom rebar, inside and out-<br>side. 90% tie beams need to be replaced.  |
| To raise structure (min. 18" required to meet NGVD 9.0')  |
| No roof straps.<br>Require roof straps attached between roof<br>framing and tie beam  |

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