



OPENINGS  
IMPROPERLY  
FILLED



EXTENSIVE SPALLING  
AT UPPER AND LOWER  
REBAR OF TIE BEAM.  
REBAR FULLY EXPOSED  
AND DETERIORATED

OPENINGS  
IMPROPERLY  
FILLED

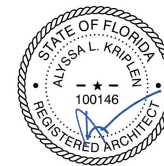


EVIDENCE OF  
SPALLING



EXTENSIVE SPALLING  
AT UPPER AND LOWER  
REBAR OF TIE BEAM.  
REBAR FULLY EXPOSED  
AND DETERIORATED

## A-012 Exploratory Photos



5757 La Gorce, Miami Beach FL  
Design Review Board Final Submittal

File # DRB22-0824

architecture / landscape architecture

1251 SW 20th Street, Miami, FL 33145

305.310.2602

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DOORS IMPROPERLY  
INSTALLED, NO TIE  
COLUMNS, NO BLOCK



OPENINGS  
IMPROPERLY FILLED

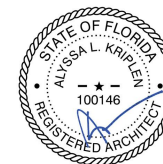


EXTENSIVE SPALLING  
AT UPPER AND LOWER  
REBAR OF TIE BEAM



EVIDENCE OF  
SPALLING

## A-013 Exploratory Photos



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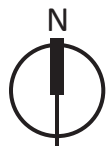
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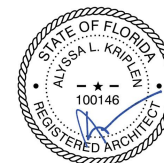
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SITE AERIAL

## A-014 Existing Property Plan



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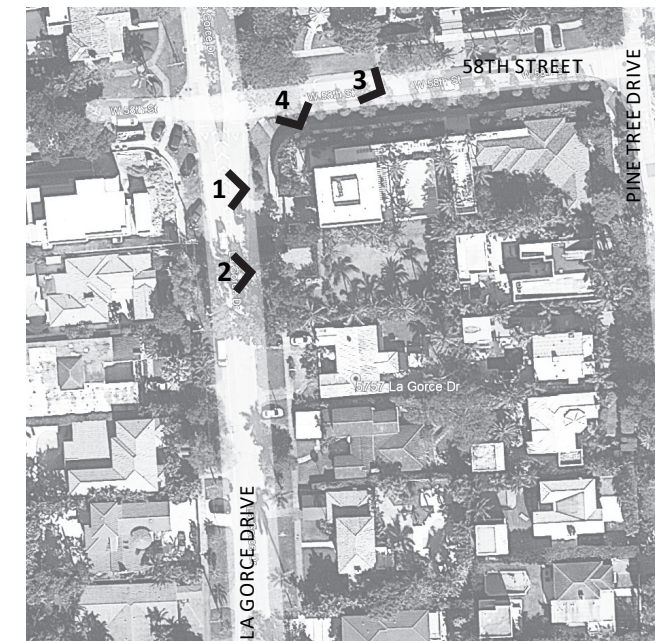
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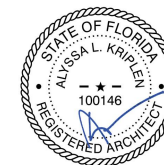
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## A-015 Existing Property Photos



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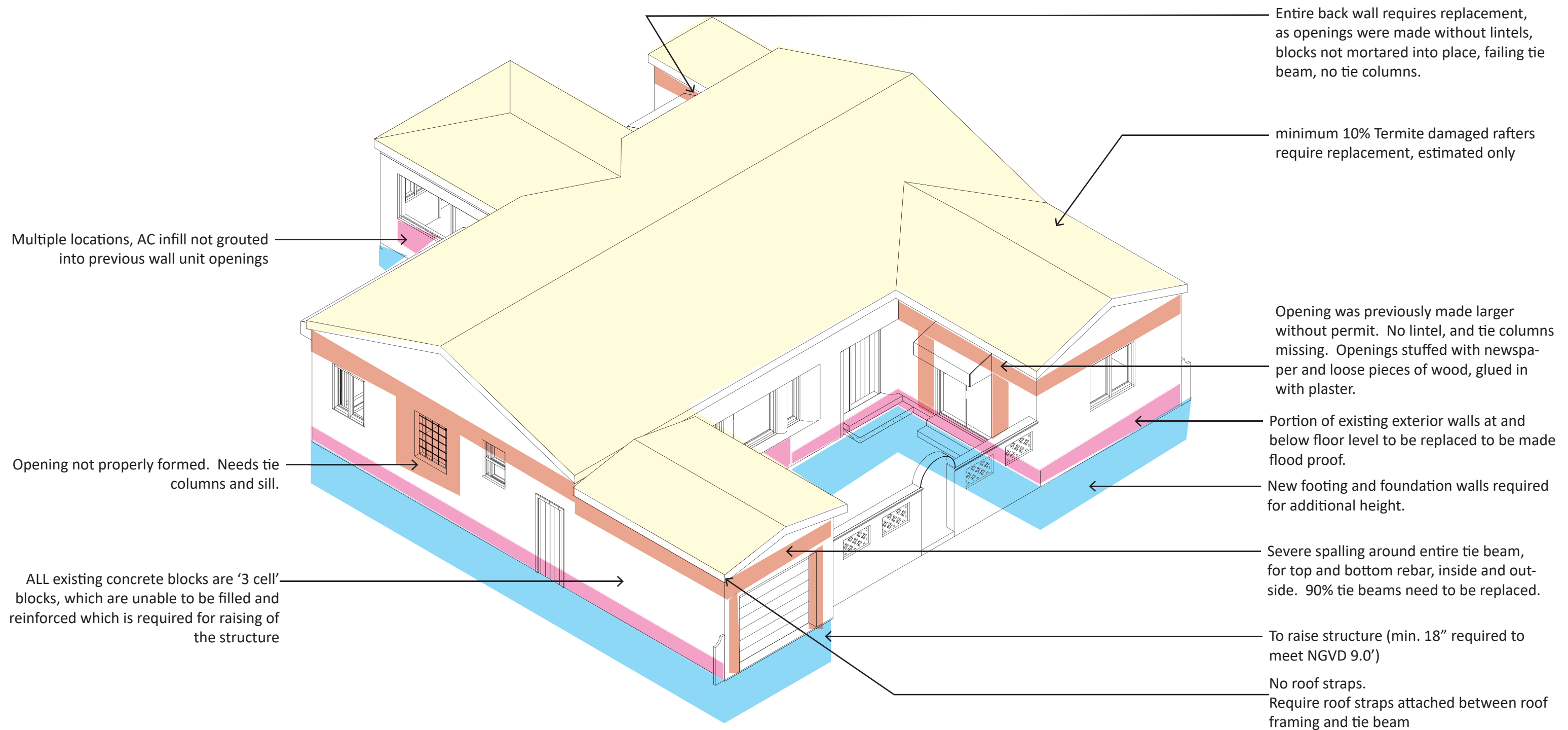
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# A-016 Remediation diagram

