

OPENINGS IMPROPERLY FILLED

• EVIDENCE OF SPALLING





A-012 Exploratory Photos



5757 La Gorce, Miami Beach FL Design Review Board Final Submittal File # DRB22-0824 architecture / landscape architecture 1251 SW 20th Street, Miami, FL 33145 305.310.2602

EXTENSIVE SPALLING AT UPPER AND LOWER REBAR OF TIE BEAM. REBAR FULLY EXPOSED AND DETERIORATED

• OPENINGS IMPROPERLY FILLED

EXTENSIVE SPALLING AT UPPER AND LOWER REBAR OF TIE BEAM. REBAR FULLY EXPOSED AND DETERIORATED

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DOORS IMPROPERLY INSTALLED, NO TIE COLUMNS, NO BLOCK





EXTENSIVE SPALLING AT UPPER AND LOWER REBAR OF TIE BEAM







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OPENINGS **IMPROPERLY FILLED**

EVIDENCE OF SPALLING





SITE AERIAL

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A-014 Existing Property Plan



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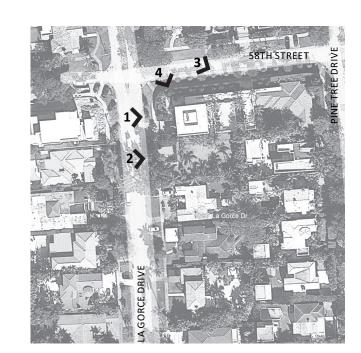


A-015 Existing Property Photos



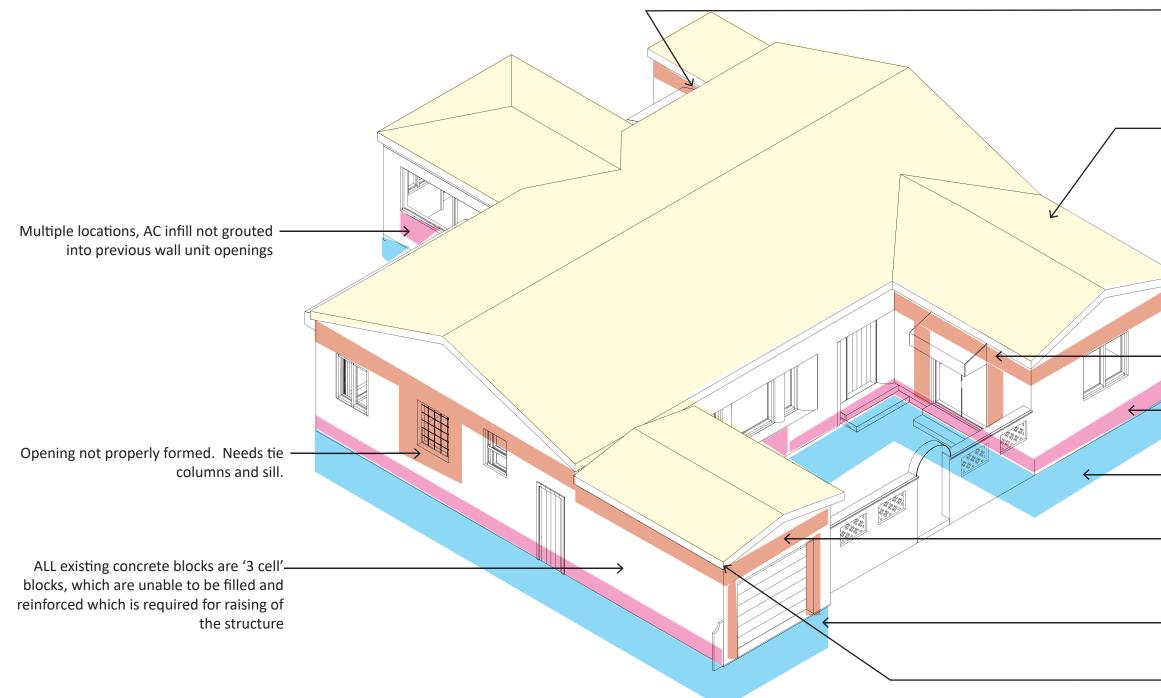
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 Entire back wall requires replacement, as openings were made without lintels, blocks not mortared into place, failing tie beam, no tie columns.
 minimum 10% Termite damaged rafters require replacement, estimated only
Opening was previously made larger without permit. No lintel, and tie columns missing. Openings stuffed with newspa- per and loose pieces of wood, glued in
with plaster. Portion of existing exterior walls at and below floor level to be replaced to be made flood proof.
 New footing and foundation walls required for additional height.
 Severe spalling around entire tie beam, for top and bottom rebar, inside and out- side. 90% tie beams need to be replaced.
To raise structure (min. 18" required to meet NGVD 9.0')
No roof straps. Require roof straps attached between roof framing and tie beam

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