

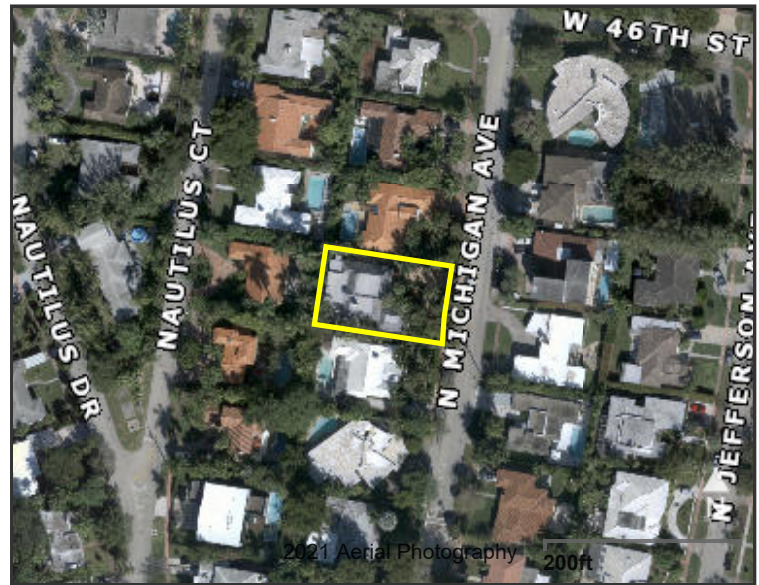


OFFICE OF THE PROPERTY APPRAISER

Detailed Report

Generated On : 2/14/2022

Property Information	
Folio:	02-3222-008-0160
Property Address:	4564 N MICHIGAN AVE Miami Beach, FL 33140-2919
Owner	BARRY EISLER STEPHANIE J KLEIN
Mailing Address	4564 N MICHIGAN AVE MIAMI BEACH, FL 33140 USA
PA Primary Zone	0100 SINGLE FAMILY - GENERAL
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	4 / 2 / 0
Floors	1
Living Units	1
Actual Area	3,681 Sq.Ft
Living Area	3,389 Sq.Ft
Adjusted Area	3,345 Sq.Ft
Lot Size	9,841.23 Sq.Ft
Year Built	Multiple (See Building Info.)



Assessment Information			
Year	2021	2020	2019
Land Value	\$738,133	\$738,133	\$738,133
Building Value	\$474,656	\$480,175	\$485,694
XF Value	\$757	\$768	\$779
Market Value	\$1,213,546	\$1,219,076	\$1,224,606
Assessed Value	\$1,213,546	\$1,202,155	\$1,175,128

Benefits Information				
Benefit	Type	2021	2020	2019
Save Our Homes Cap	Assessment Reduction		\$16,921	\$49,478
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Taxable Value Information			
	2021	2020	2019
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,163,546	\$1,152,155	\$1,125,128
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$1,188,546	\$1,177,155	\$1,150,128
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,163,546	\$1,152,155	\$1,125,128
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,163,546	\$1,152,155	\$1,125,128

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



OFFICE OF THE PROPERTY APPRAISER

Generated On : 2/14/2022

Property Information

Folio: 02-3222-008-0160

Property Address: 4564 N MICHIGAN AVE

Roll Year **2021** Land, Building and Extra-Feature Details

Land Information					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	RS-R	0100	Front Ft.	80.01	\$738,133

Building Information						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1939	2,530	2,238	2,365	\$335,594
1	2	1963	1,151	1,151	980	\$139,062

Extra Features			
Description	Year Built	Units	Calc Value
Wood Fence	1989	66.67	\$757

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



OFFICE OF THE PROPERTY APPRAISER

Generated On : 2/14/2022

Property Information

Folio: 02-3222-008-0160

Property Address: 4564 N MICHIGAN AVE

Roll Year **2020** Land, Building and Extra-Feature Details

Land Information					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	RS-R	0100	Front Ft.	80.01	\$738,133

Building Information						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1939	2,530	2,238	2,365	\$339,496
1	2	1963	1,151	1,151	980	\$140,679

Extra Features			
Description	Year Built	Units	Calc Value
Wood Fence	1989	66.67	\$768

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



OFFICE OF THE PROPERTY APPRAISER

Generated On : 2/14/2022

Property Information

Folio: 02-3222-008-0160

Property Address: 4564 N MICHIGAN AVE Miami Beach, FL 33140-2919

Roll Year **2019** Land, Building and Extra-Feature Details

Land Information					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	RS-R	0100	Front Ft.	80.01	\$738,133

Building Information						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1939	2,530	2,238	2,365	\$343,398
1	2	1963	1,151	1,151	980	\$142,296

Extra Features			
Description	Year Built	Units	Calc Value
Wood Fence	1989	66.67	\$779

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



OFFICE OF THE PROPERTY APPRAISER

Generated On : 2/14/2022

Property Information

Folio: 02-3222-008-0160

Property Address: 4564 N MICHIGAN AVE

Full Legal Description

NAUTILUS EXT 3RD PB 34-98

LOT 12 BLK 21

LOT SIZE 80.010 X 123

OR 17896-1549 1197 1

COC 26054-2318 09 2007 4

Sales Information

Previous Sale	Price	OR Book-Page	Qualification Description
11/25/2014	\$1,442,500	29423-2243	Qual by exam of deed
03/18/2011	\$737,500	27633-2716	Qual by exam of deed
09/01/2007	\$0	26054-2318	Sales which are disqualified as a result of examination of the deed
11/01/1997	\$370,000	17896-1549	Sales which are qualified
08/01/1990	\$255,000	14665-3394	Sales which are qualified
01/01/1987	\$160,000	13206-814	Sales which are qualified

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version: