

# 760 OCEAN DRIVE 2ND FLOOR ATRIUM REPLACEMENT

760 OCEAN DRIVE  
Miami Beach , Florida

ISSUED FOR:  
HPB22-0522 (FINAL SUBMITTAL)

DATE:  
MAY 9 ,2022

OWNER:  
ALTANINI REALTY CORP.  
760 Ocean Drive  
Miami Beach, Florida

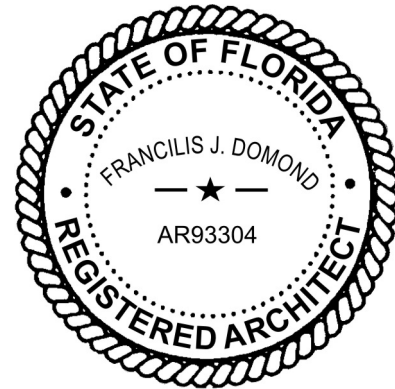
CONSULTANTS:  
**D•N•B**  
Design Group, LLC  
1900 PONCE DE LEON SUITE 1201  
Coral Gables, Florida 33134  
Tel. 305.444.5545  
Fax 305.444.5509  
www.dnbdesigngroup.com



INDEX OF DRAWINGS:

ARCHITECTURAL DRAWINGS:

	COVER
A-0	LOCATION MAP
A-0.1	ZONING DATA
A-0.2	EXISTING F.A.R.
A-0.3	PROPOSED F.A.R.
A-0.4	EXISTING BUILDING PHOTOGRAPHS
A-0.5	EXISTING AREA PHOTOGRAPHS
A-1	EXISTING SITE PLAN
A-2	PROPOSED SITE PLAN
A-3	EXISTING FLOOR PLANS
A-4	PROPOSED FLOOR PLAN
A-5	ENLARGED ATRIUM FLOOR PLAN
A-6	EXISTING AND PROPOSED ROOF PLANS
A-7	EXISTING BUILDING ELEVATIONS
A-8	PROPOSED ATRIUM ELEVATIONS
A-9	PROPOSED ATRIUM SECTION
A-10	PROPOSED ATRIUM SECTION
A-11	MASSING RENDERINGS.





760 OCEAN DRIVE  
2ND FLOOR  
ATRIUM REPLACEMENT

760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA 33129

OWNER

ALTANINI REALTY CORP.  
760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA  
305.331.9478

DNB PROJECT NUMBER

22-118

OWNER'S PROJECT NUMBER

ISSUED FOR:

HPB22-0522  
(FINAL SUBMITTAL)

TYPE OF DOCS:

DESIGN  
DEVELOPMENT

No.	DATE	REVISION	BY

DRAWN BY:

R.B.

APPROVED BY:

F.D.

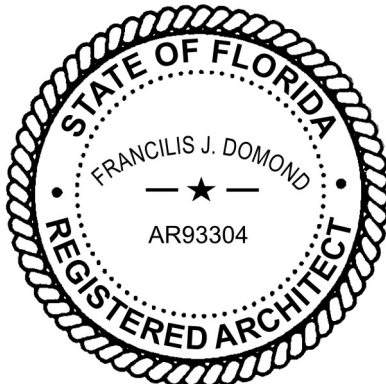
DATE:

05.09.22

SCALE:

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CONSULTANTS:



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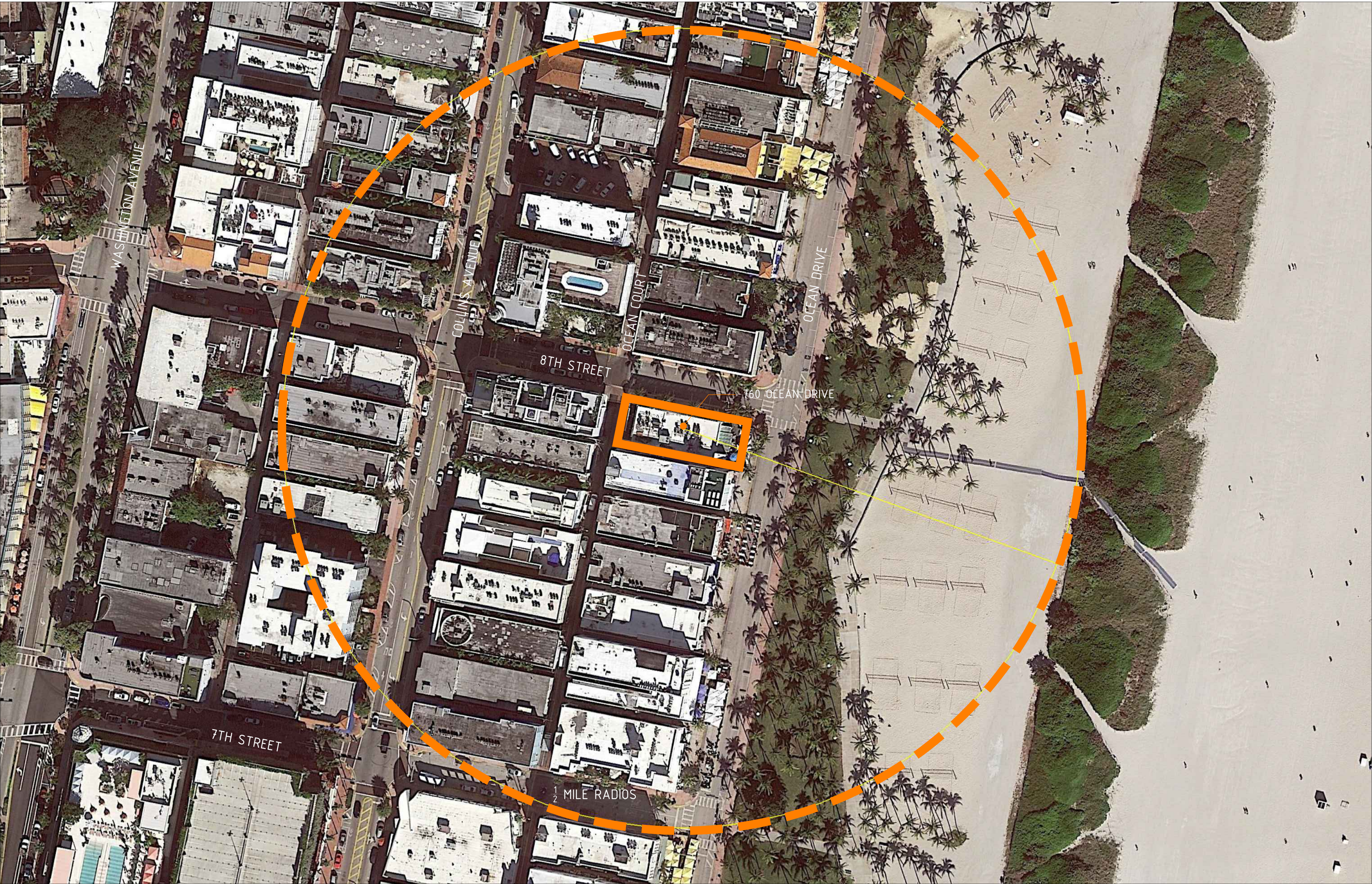
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SHEET TITLE

AERIAL MAP

SHEET NUMBER

A-0.0





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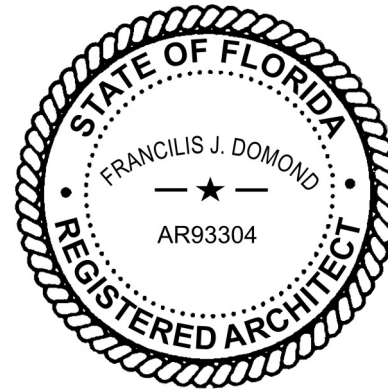
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SHEET TITLE

ZONING  
DATA

SHEET NUMBER

A-0.1

1 of 2



Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	760 OCEAN DRIVE			
2	Board and file numbers :	HP22-0522			
3	Folio number(s):	02-4203-004-0130			
4	Year constructed:	1925	Zoning District:	MXE - MIXED USE ENTERTAINMENT	
5	Based Flood Elevation:	8.0' (NGVD)	Grade value in NGVD:	8'-0" (NGVD)	
6	Adjusted grade (Flood+Grade/2):		Lot Area:	6,500 S.F.	
7	Lot width:	50'-0"	Lot Depth:	130'-0"	
8	Minimum Unit Size	N/A	Average Unit Size	N/A	
9	Existing use:	COMMERCIAL	Proposed use:	COMMERCIAL	
		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	27'-3"	27'-3"	
11	Number of Stories	2-STORIES	2-STORIES	2-STORIES	
12	FAR	2.0 (13,000 s.f.)	1.2 (8,705 s.f.)	1.2 (8,705 s.f.)	
13	Gross square footage				
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
		Setbacks	Required	Existing	Proposed
	Subterranean:	N/A			
19	Front Setback:				
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
	At Grade Parking:				
24	Front Setback:	5'-0"	0'-0"	0'-0"	
25	Side Setback:	0'-0"	5'-0"	5'-0"	
26	Side Setback:				
27	Side Setback facing street:	5'-0"	0'-0"	0'-0"	
28	Rear Setback:	0-0"	0'-1"	0'-1"	
	Pedestal:	N/A			
29	Front Setback:				
30	Side Setback:				
31	Side Setback:				
32	Side Setback facing street:				
33	Rear Setback:				
	Tower:	N/A			
34	Front Setback:				
35	Side Setback:				

2 of 2



Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A			
37	Side Setback facing street:				
38	Rear Setback:				
		Parking	Required	Existing	Proposed
39	Parking district	DISTRICT #1			
40	Total # of parking spaces	NO PARKING RE.	PER SECTION 130-31 (b) (1) OF THE CODE		
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions				
44	Parking Space configuration (45o,50o,90o,Parallel)				
45	ADA Spaces				
46	Tandem Spaces				
47	Drive aisle width				
48	Valet drop off and pick up				
49	Loading zones and Trash collection areas				
50	racks				
		Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed
51	Type of use	N/A			
52	Number of seats located outside on private property	N/A			
53	Number of seats inside	N/A			
54	Total number of seats	N/A			
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
56	Total occupant content	N/A			
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			
58	Proposed hours of operation	N/A			
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	N/A			
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	NO			
61	Is this a contributing building?	NO		Yes or No	
62	Located within a Local Historic District?	YES		Yes or No	

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

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305.331.9478

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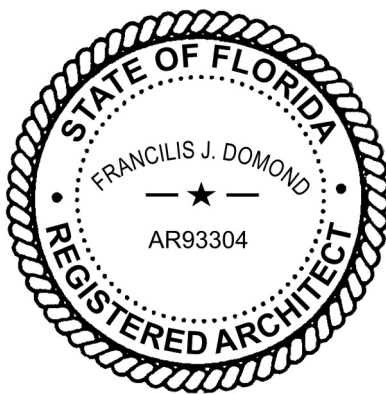
DESIGN  
DEVELOPMENT

No.	DATE	REVISION	BY

DRAWN BY: R.B.      APPROVED BY: F.D.

DATE: 05.09.22      SCALE: AS SHOWN

CONSULTANTS:



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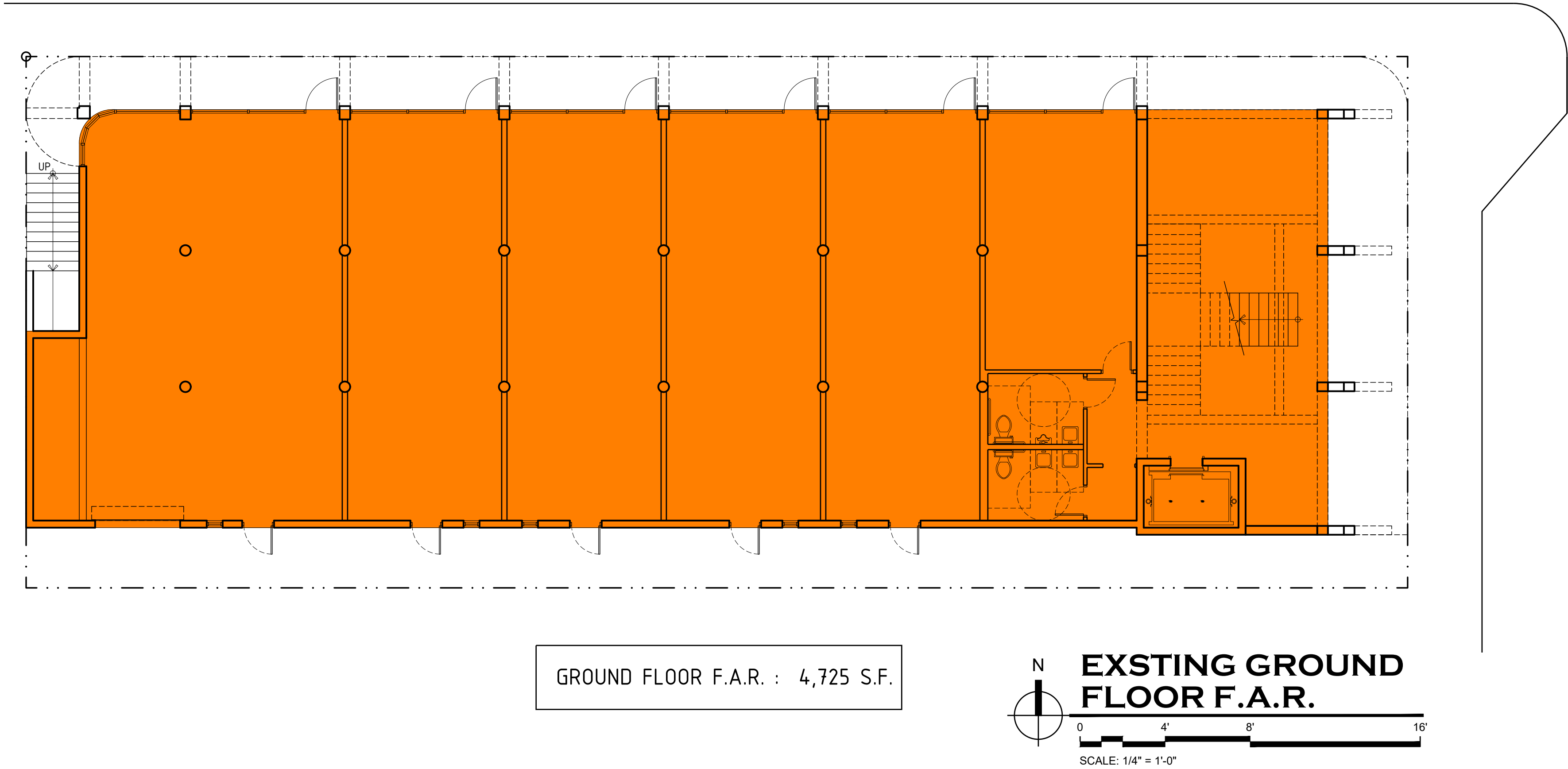
SHEET TITLE

GROUND FLOOR  
F.A.R. DIAGRAMS

SHEET NUMBER

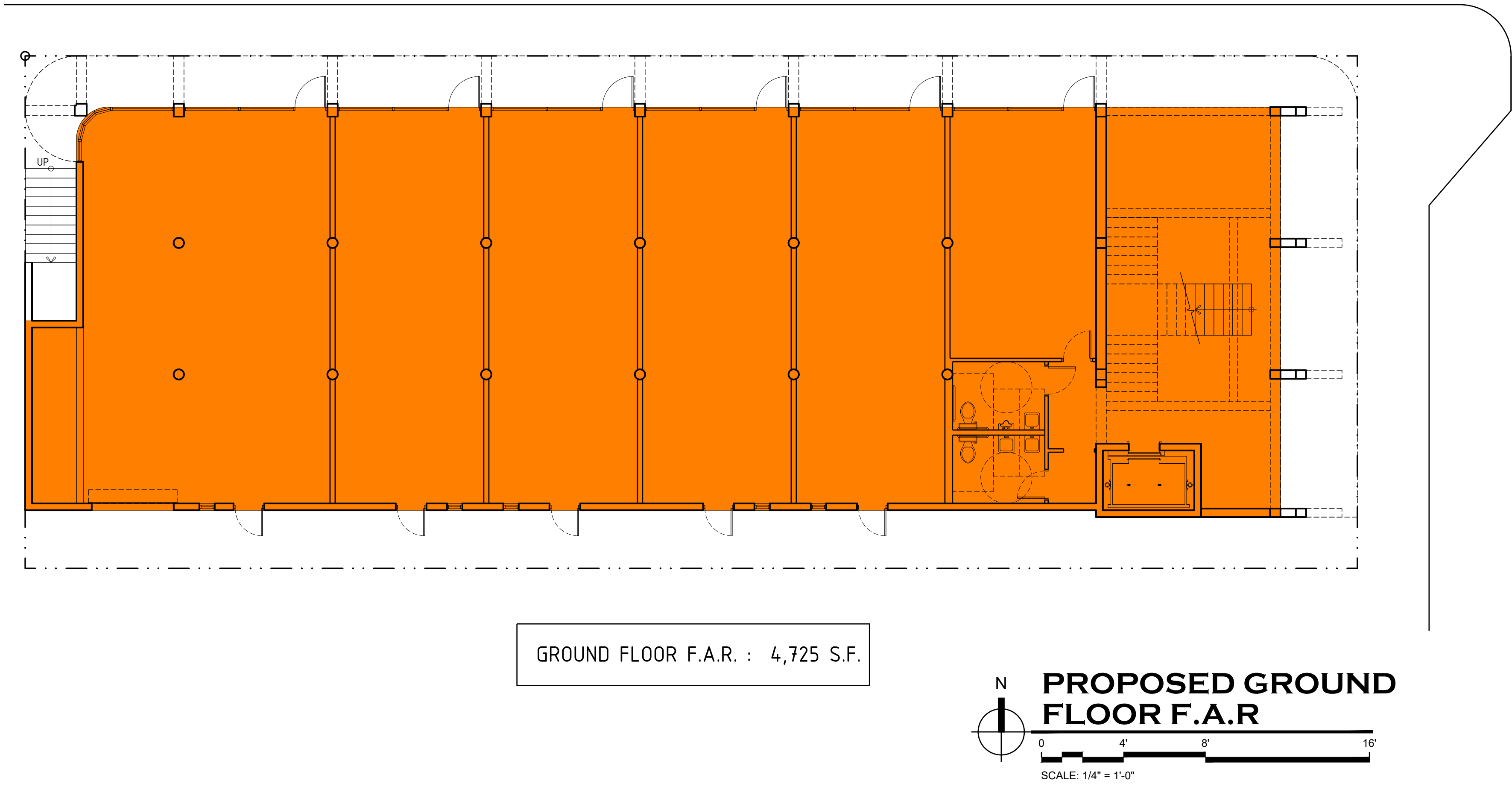
A-0.2

8th STREET



OCEAN DRIVE

8th STREET



OCEAN DRIVE

TOTAL EXISTING F.A.R. : 8,705 S.F.



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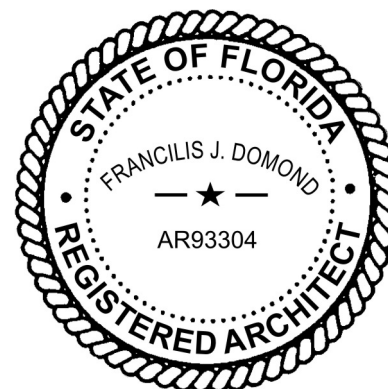
DEVELOPMENT

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APPROVED BY: F.D.

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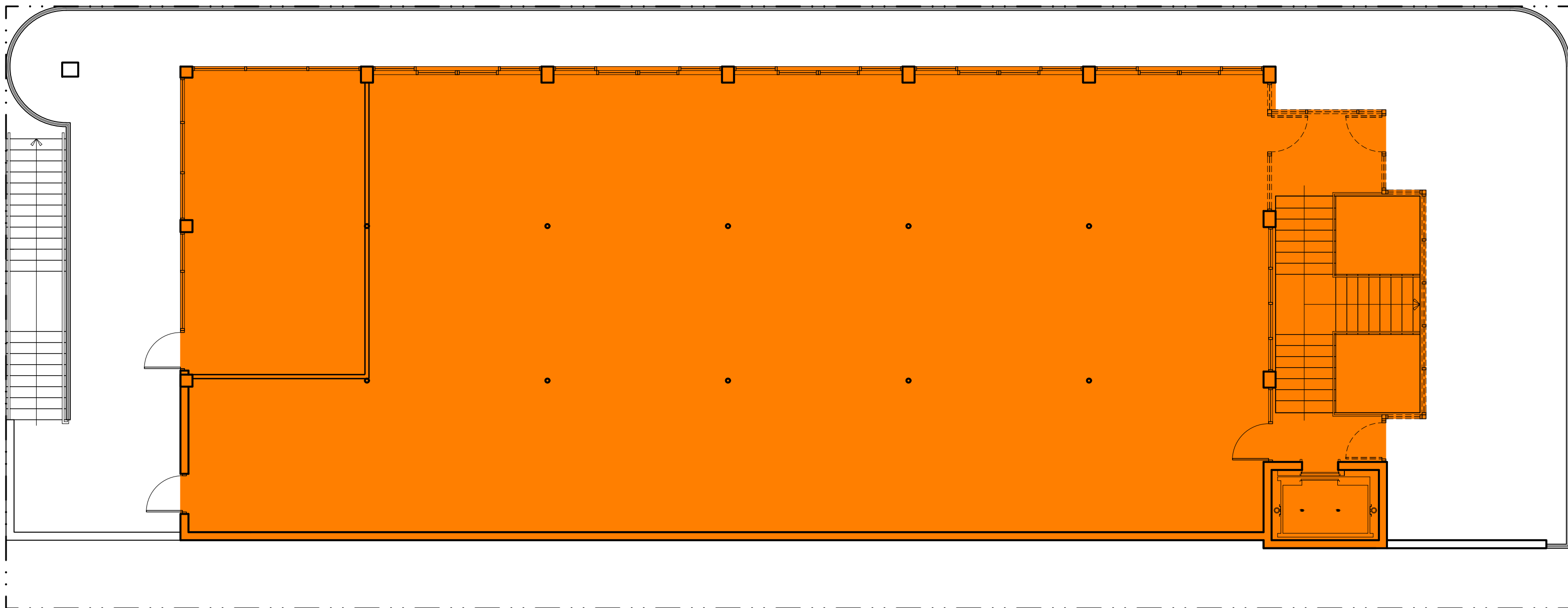
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SHEET TITLE

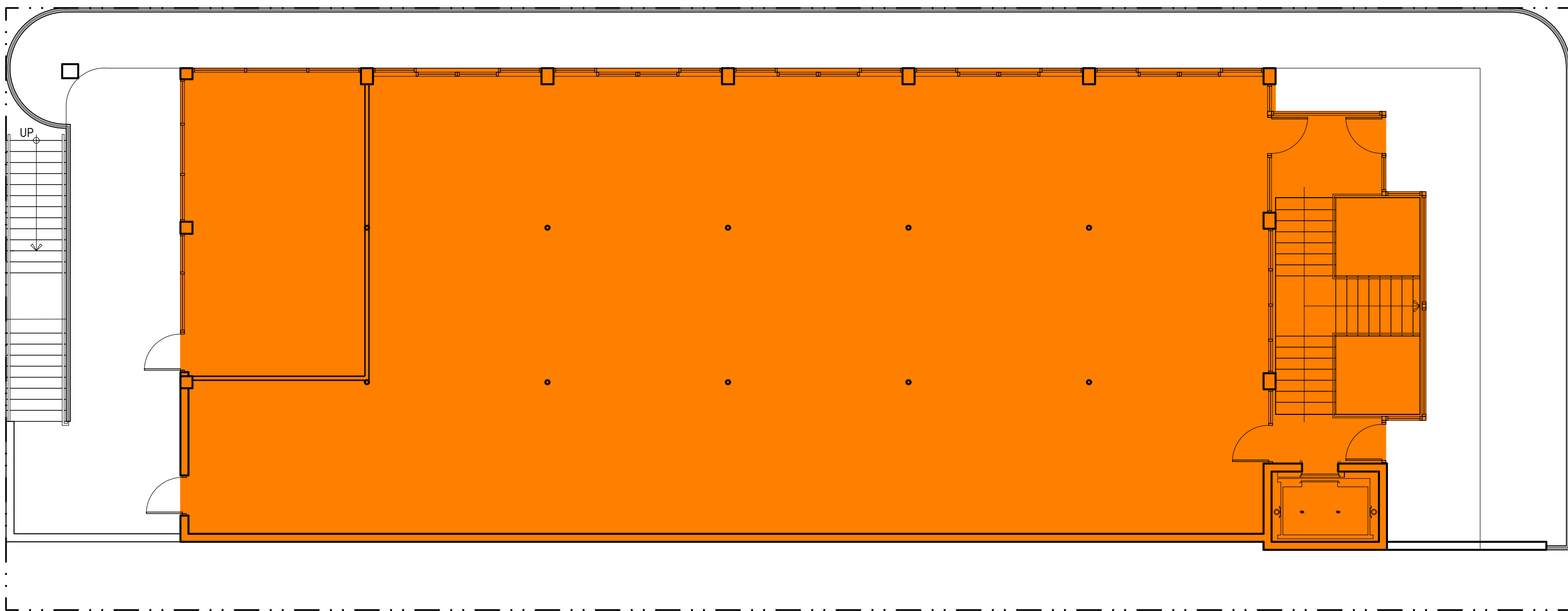
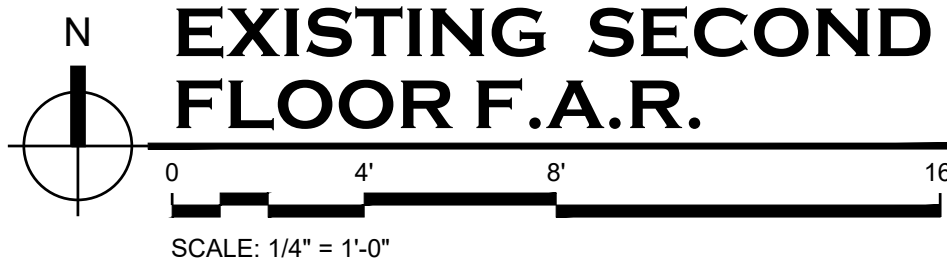
SECOND FLOOR  
F.A.R. DIAGRAMS

SHEET NUMBER

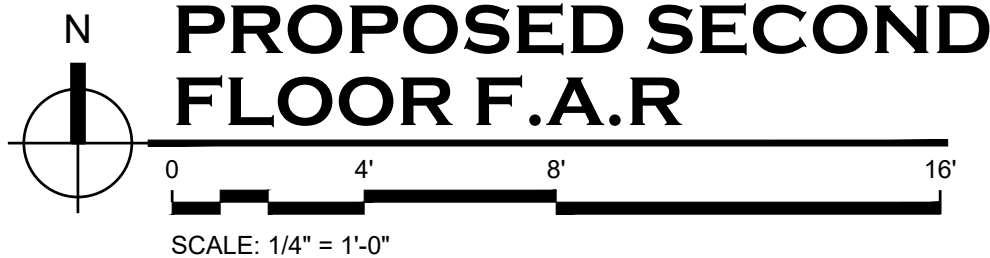
A-0.3



SECOND FLOOR F.A.R. : 3,980 S.F.



SECOND FLOOR F.A.R. : 3,980 S.F.



TOTAL PROPOSED F.A.R. : 8,705 S.F.





1 VIEW FROM OCEAN DRIVE



2 CORNER VIEW OF BUILDING



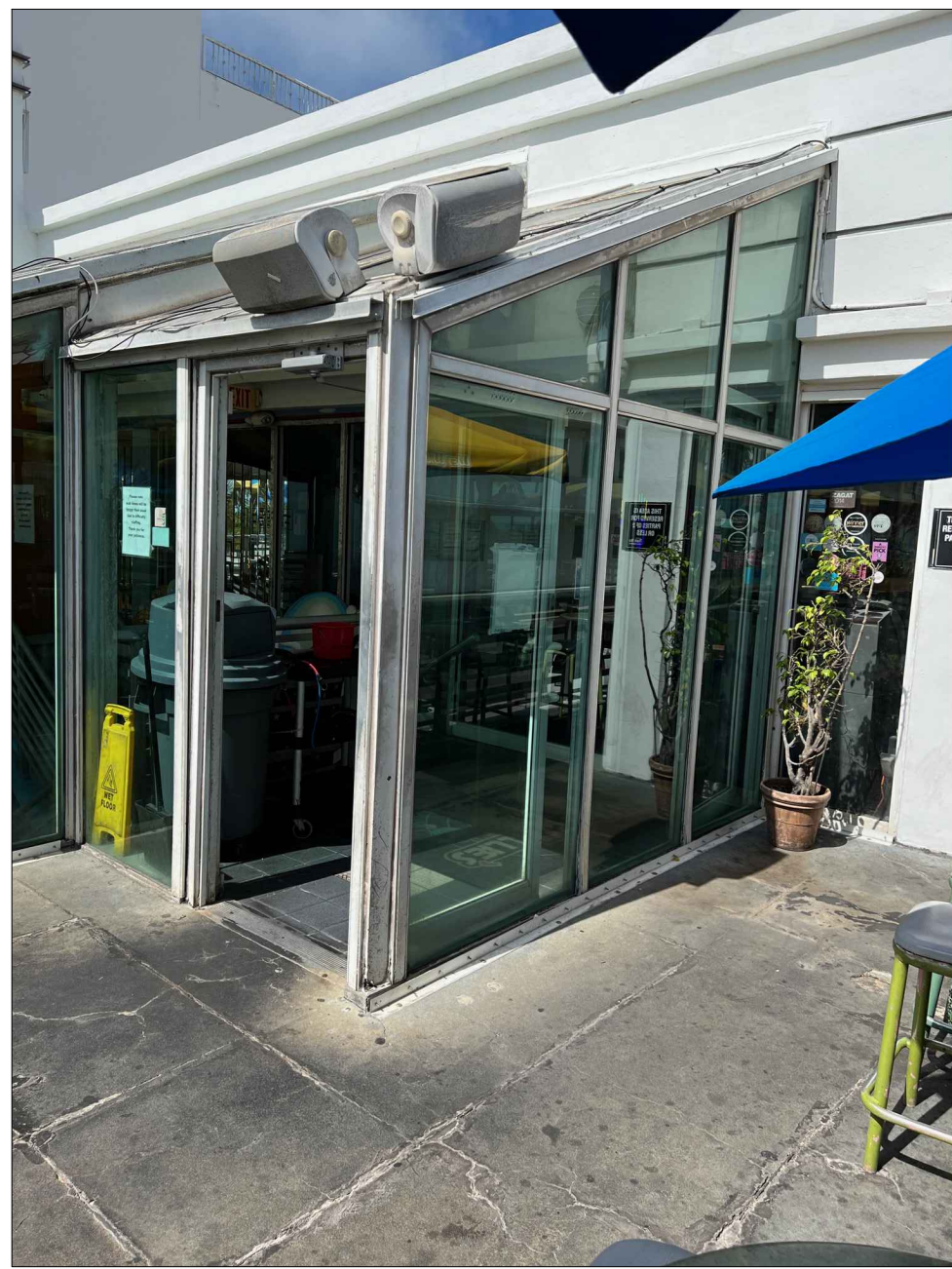
3 VIEW FROM 8th STREET



4 NORTH SIDE OF BUILDING



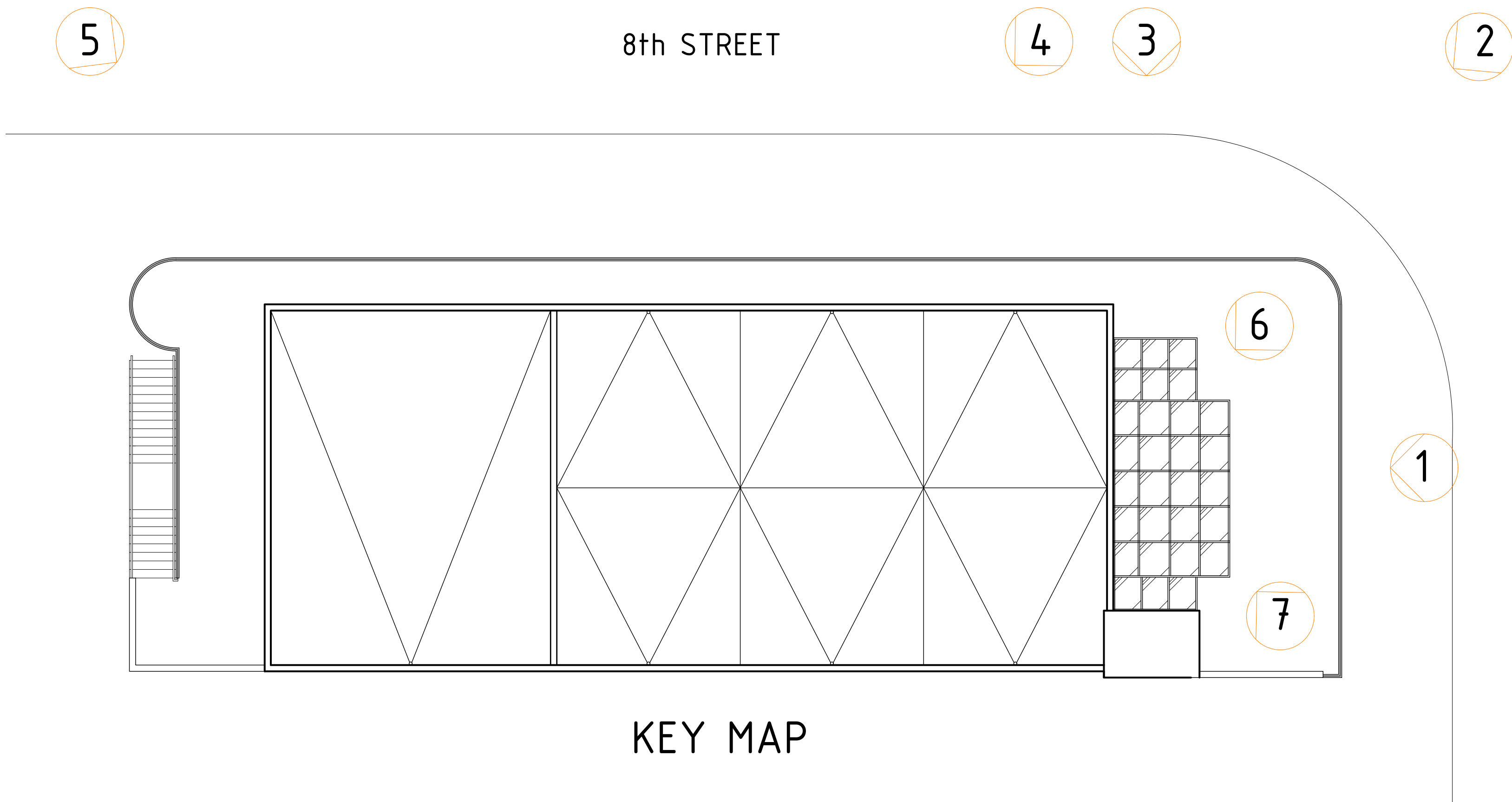
5 BACK SIDE OF BUILDING



6 VIEW OF ATRIUM TO BE REPLACED



7 VIEW OF ATRIUM TO BE REPLACED



760 OCEAN DRIVE  
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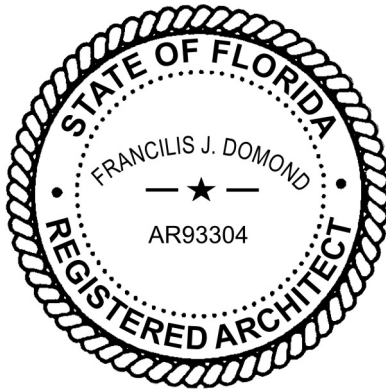
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R.B.	F.D.
DATE:	SCALE:
05.09.22	AS SHOWN
CONSULTANTS:	



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SHEET TITLE

EXISTING  
BUILDING  
PHOTOGRAPHS

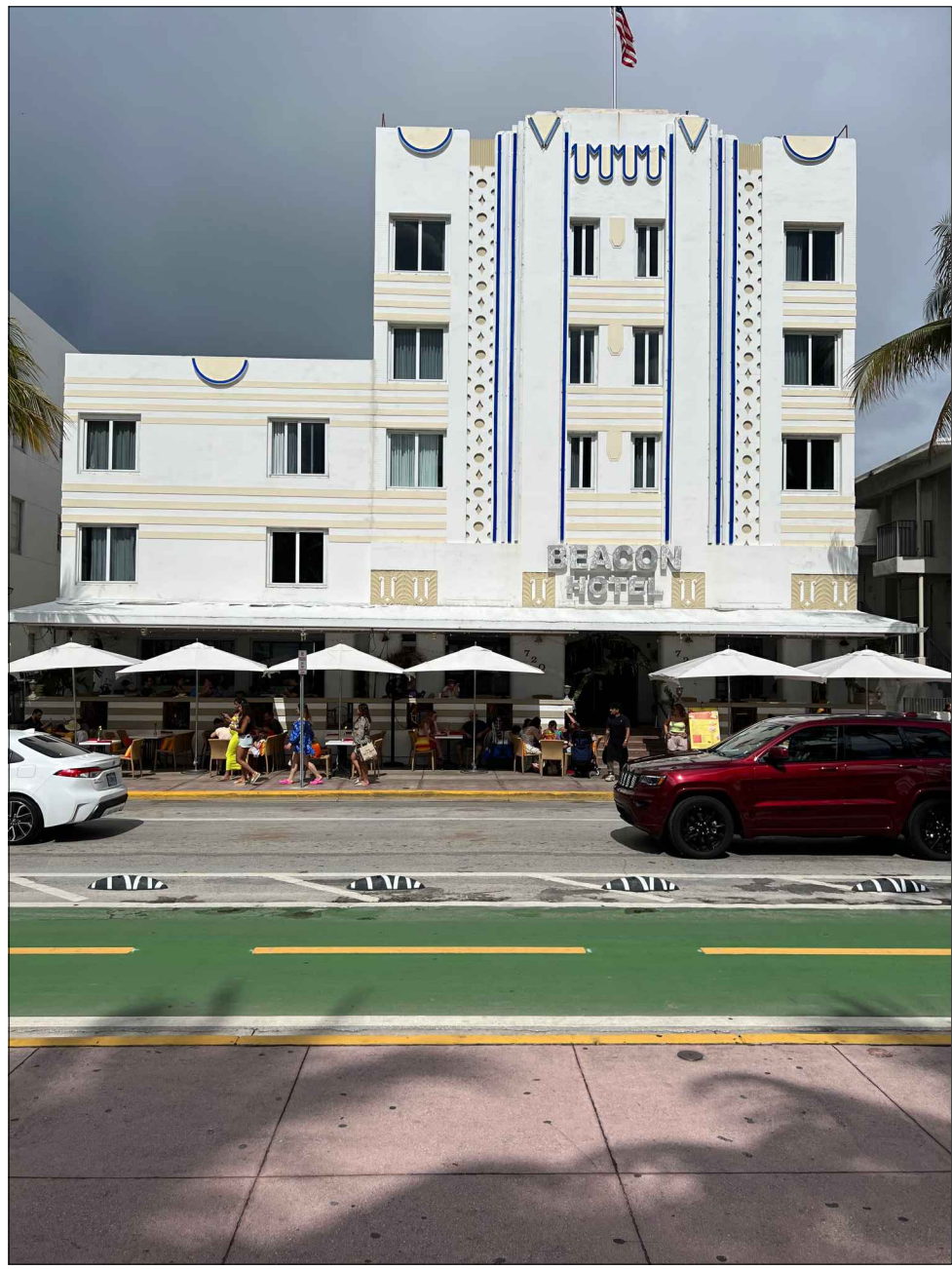
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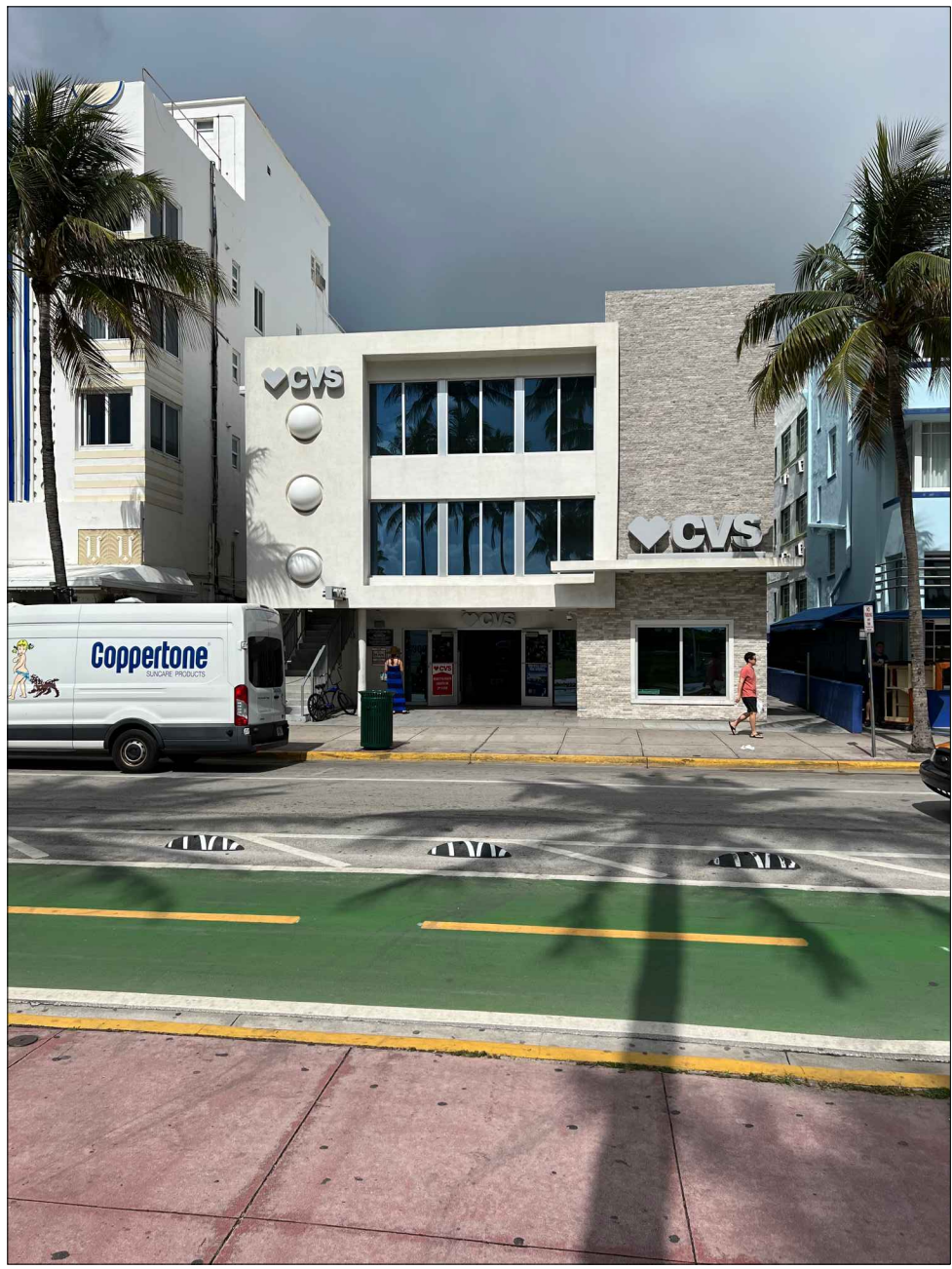




1 700 OCEAN DRIVE



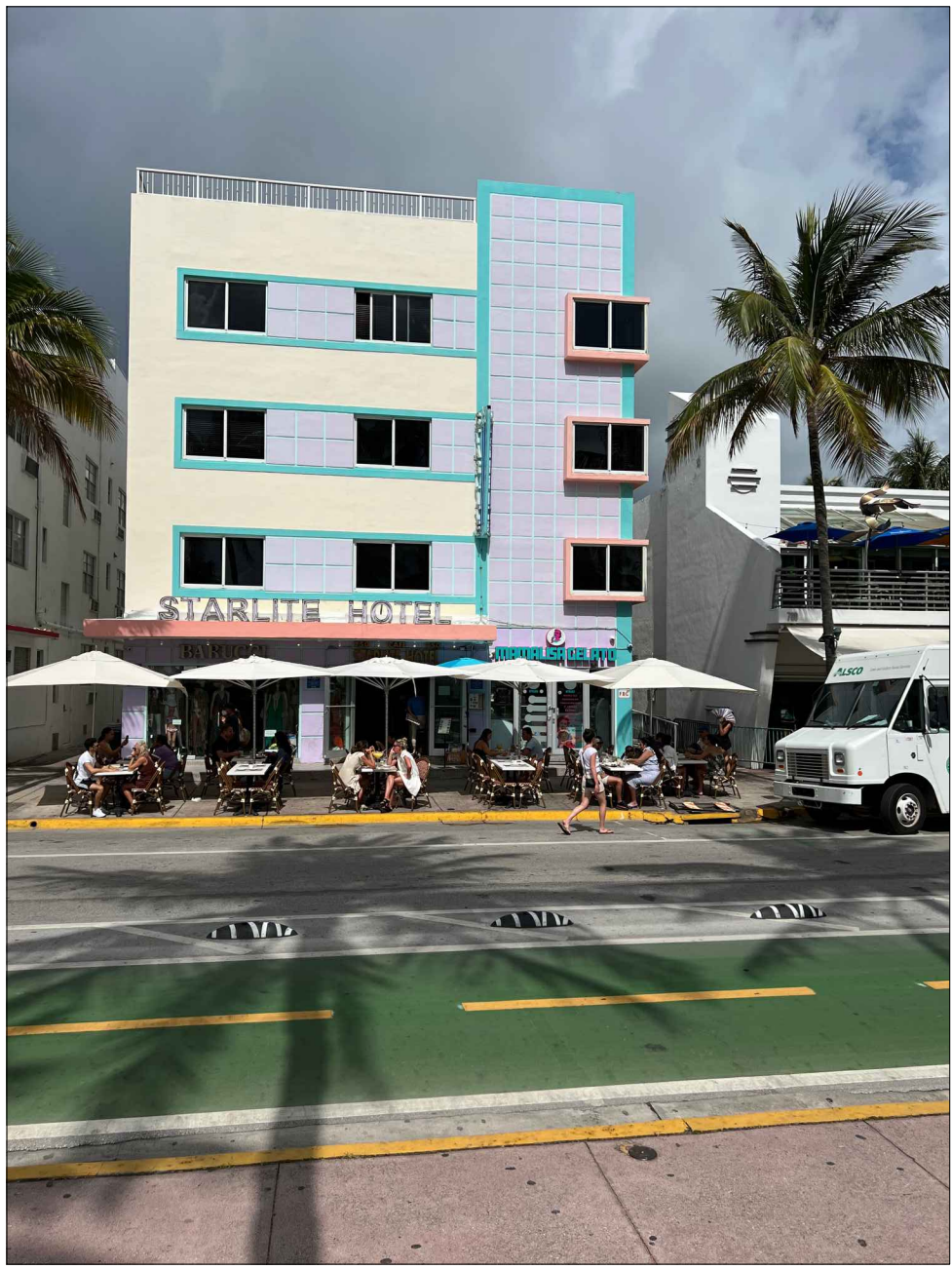
2 720 OCEAN DRIVE



3 728 OCEAN DRIVE



4 736 OCEAN DRIVE



5 750 OCEAN DRIVE



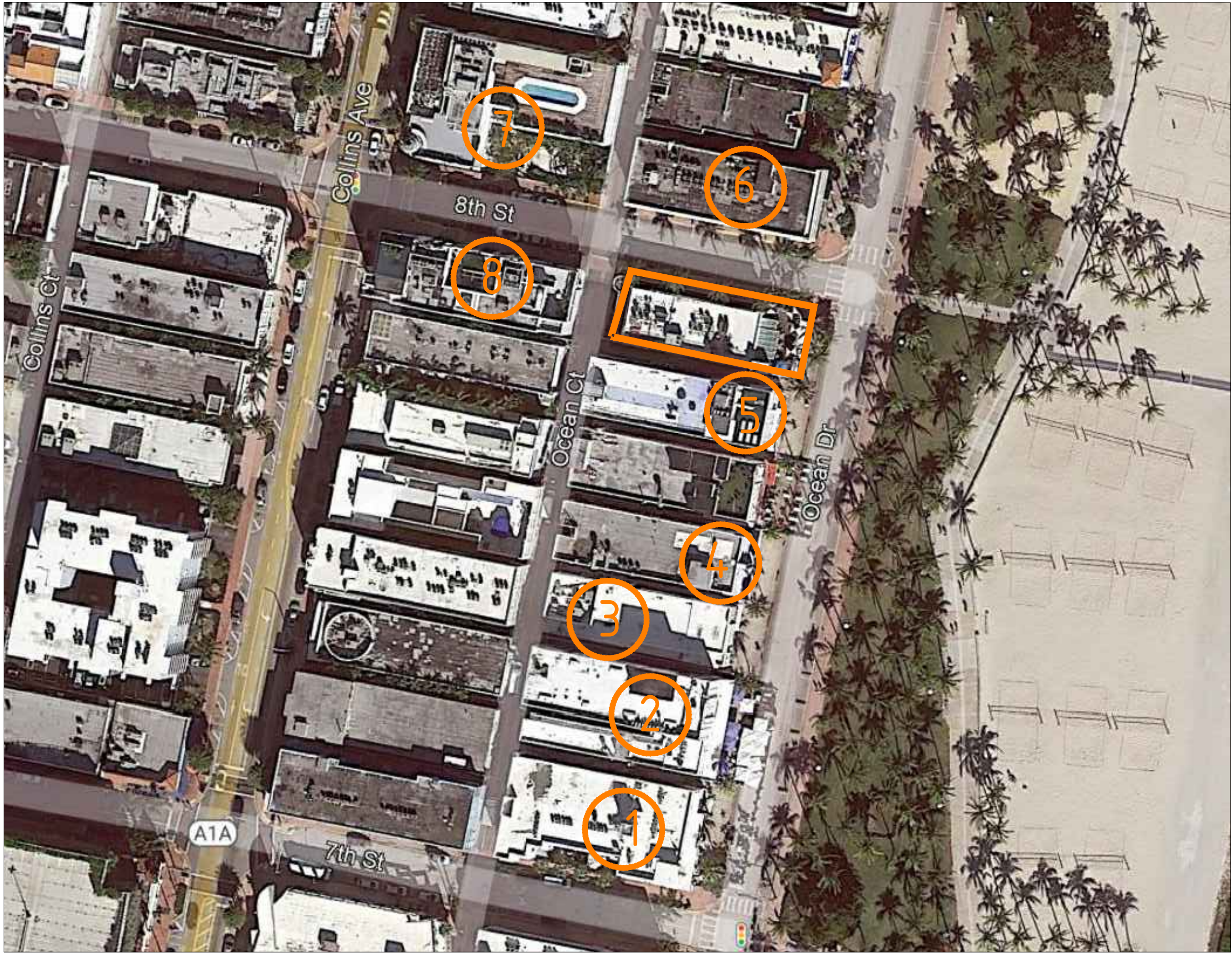
6 800 OCEAN DRIVE



7 801 COLLINS AVE



8 126 8 STREET



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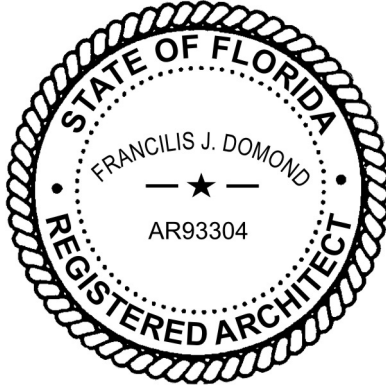
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SHEET TITLE

EXISTING  
SORROUNDING  
BUILDING  
PHOTOGRAPHS

SHEET NUMBER

A-0.5



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AA26001282

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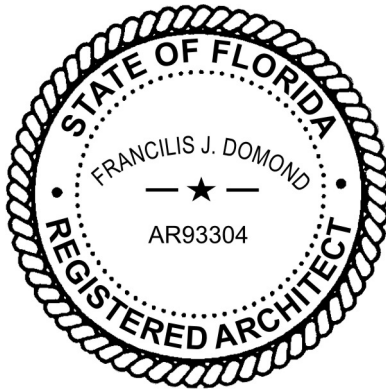
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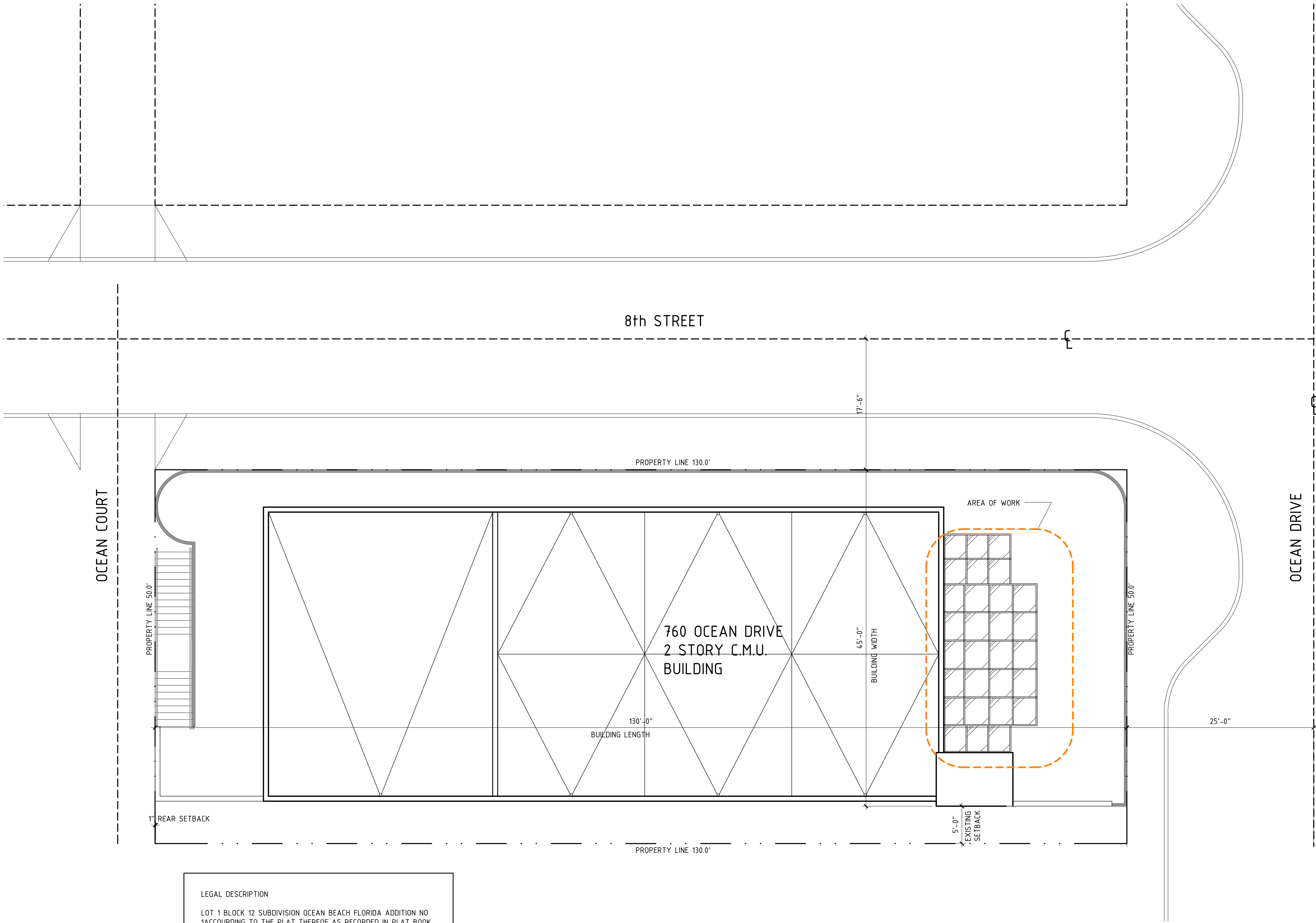
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SHEET TITLE

EXISTING  
SITE PLAN

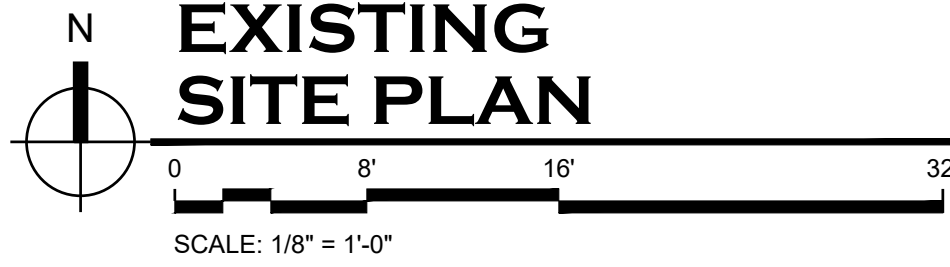
SHEET NUMBER

A-1



LEGAL DESCRIPTION

LOT 1 BLOCK 12 SUBDIVISION OCEAN BEACH FLORIDA ADDITION NO. 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3 OF PAGE 11 OF THE PUBLIC RECORDS OF DADE COUNTY



EXISTING  
SITE PLAN



D•N•B

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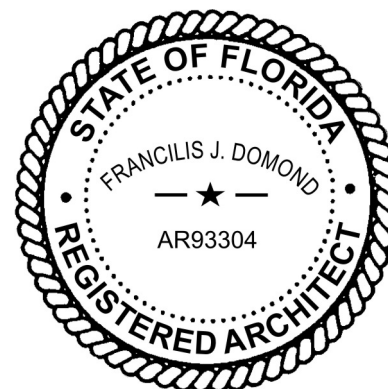
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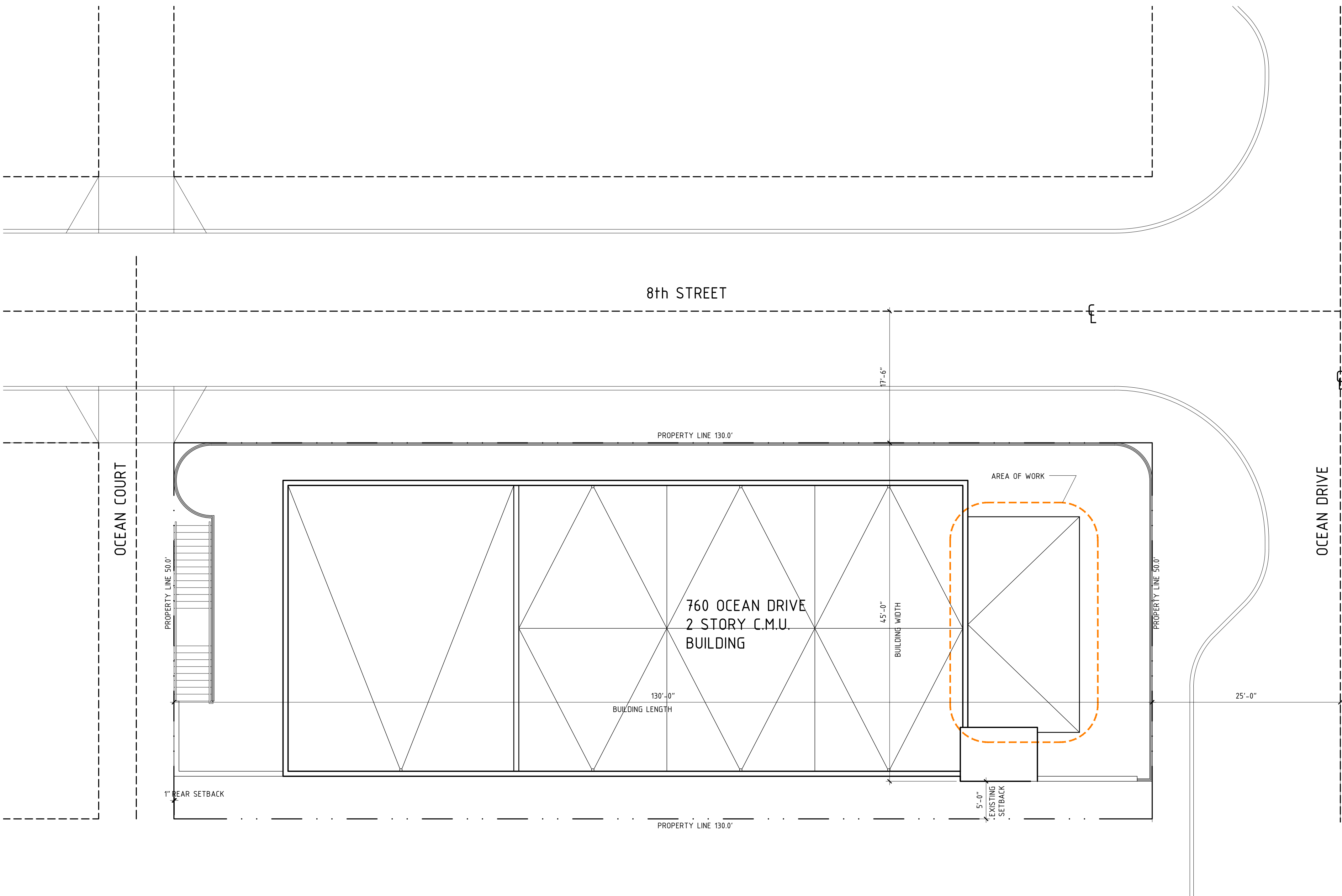
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SHEET TITLE

PROPOSED  
SITE PLAN

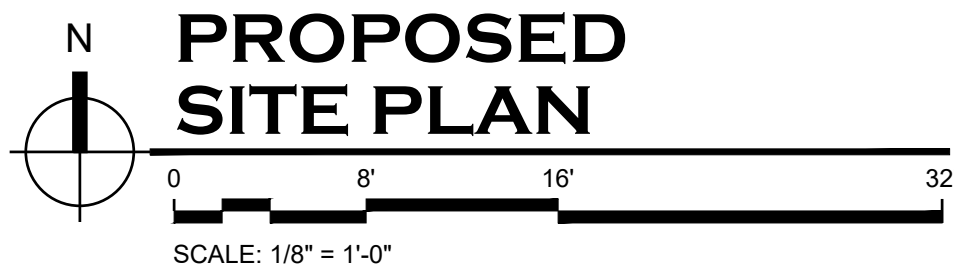
SHEET NUMBER

A-2



LEGAL DESCRIPTION

LOT 1 BLOCK 12 SUBDIVISION OCEAN BEACH FLORIDA ADDITION NO  
1ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK  
3 OF PAGE 11 OF THE PUBLIC RECORDS OF DADE COUNTY





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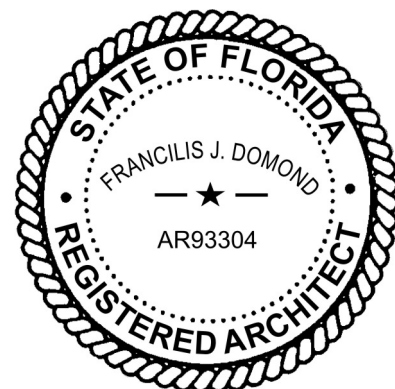
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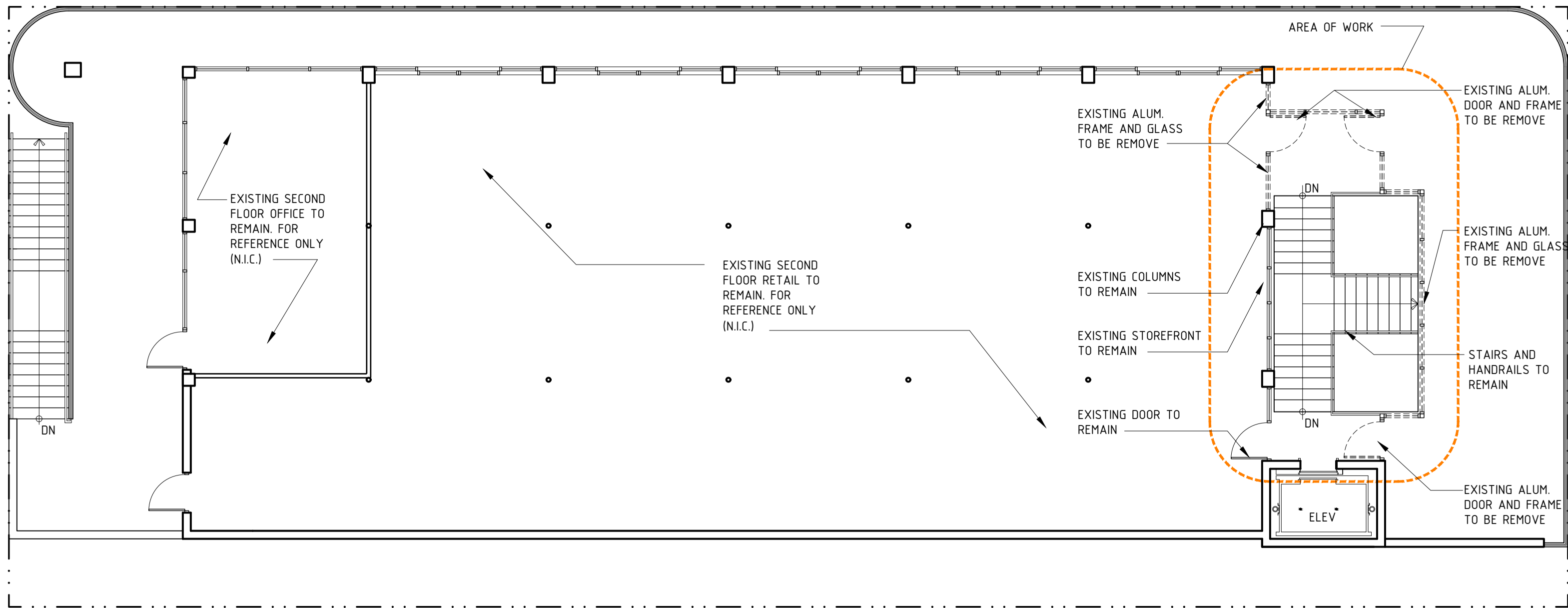
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SHEET TITLE

EXISTING  
FLOOR PLANS

SHEET NUMBER

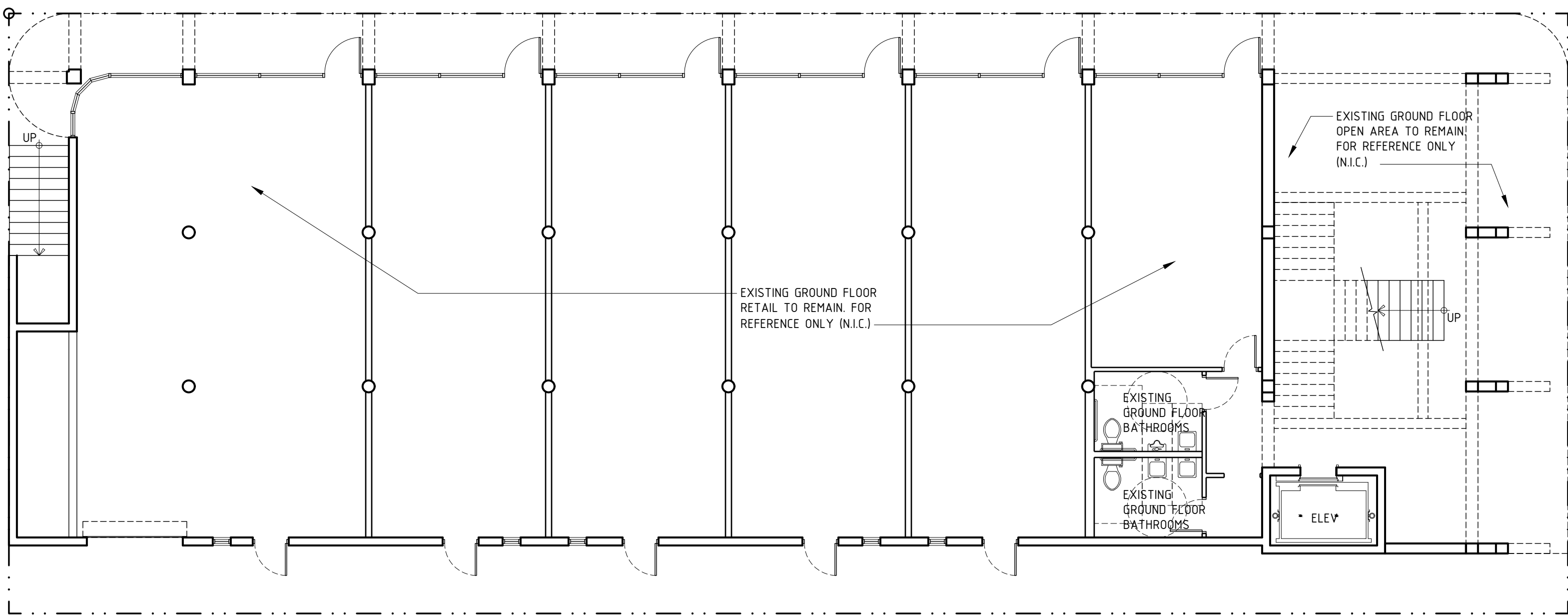
A-3



N  
0 8' 16' 32'  
SCALE: 1/8" = 1'-0"

EXISTING SECOND  
FLOOR PLAN

8th STREET



N  
0 8' 16' 32'  
SCALE: 1/8" = 1'-0"

EXISTING GROUND  
FLOOR PLAN

OCEAN DRIVE



760 OCEAN DRIVE  
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ALTANINI REALTY CORP.  
760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA  
305.531.9478

DNB PROJECT NUMBER

22-118

OWNER'S PROJECT NUMBER

ISSUED FOR:  
HPB22-0522  
(FINAL SUBMITTAL)

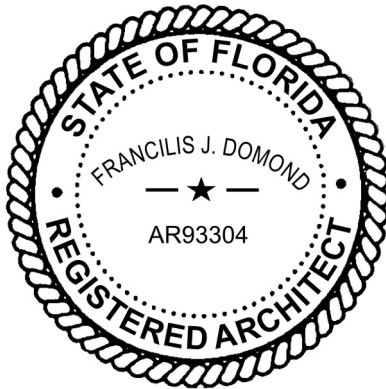
TYPE OF DOCS:  
DESIGN  
DEVELOPMENT

No.	DATE	REVISION	BY

DRAWN BY: R.B. APPROVED BY: F.D.

DATE: 05.09.22 SCALE: AS SHOWN

CONSULTANTS:



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FRANCILIS J. DOMOND, R.A.  
AR - 93304

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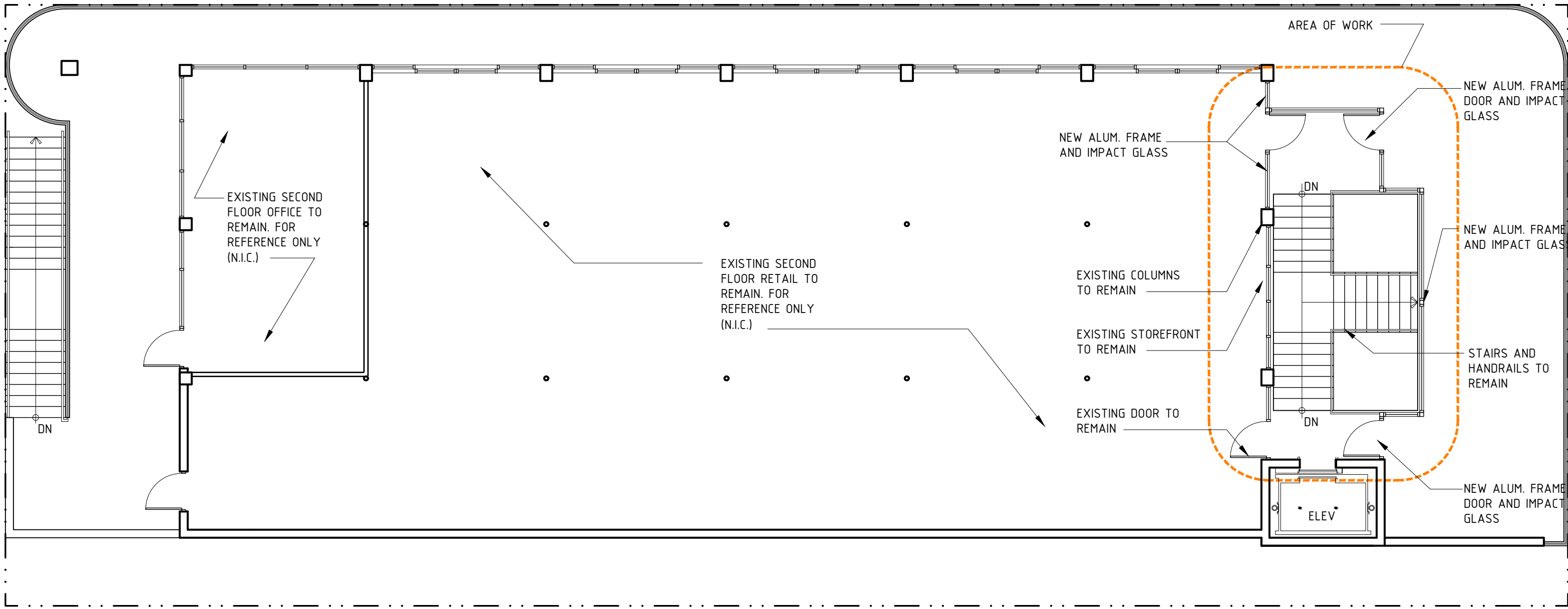
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SHEET TITLE

PROPOSED  
FLOOR PLANS

SHEET NUMBER

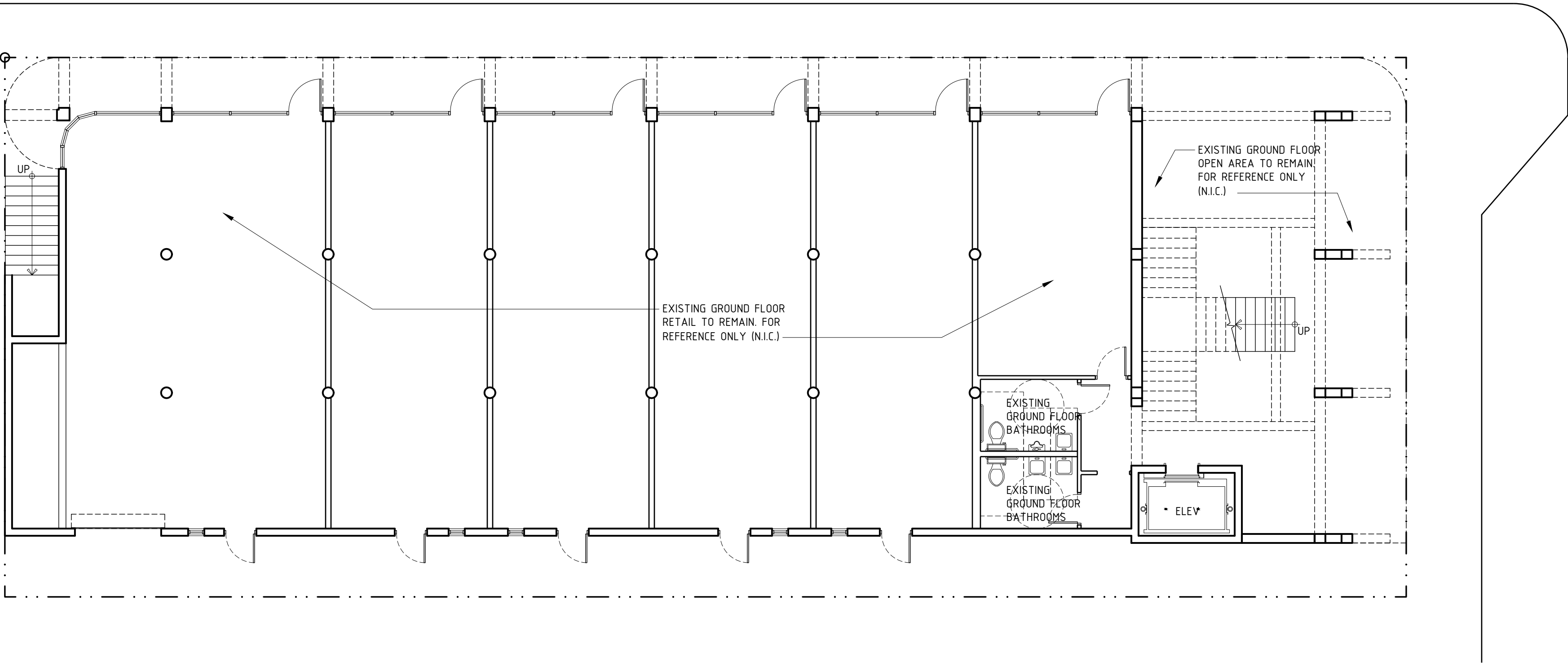
A-4



N  
0 8' 16' 32'  
SCALE: 1/8" = 1'-0"

**PROPOSED SECOND  
FLOOR PLAN**

8th STREET

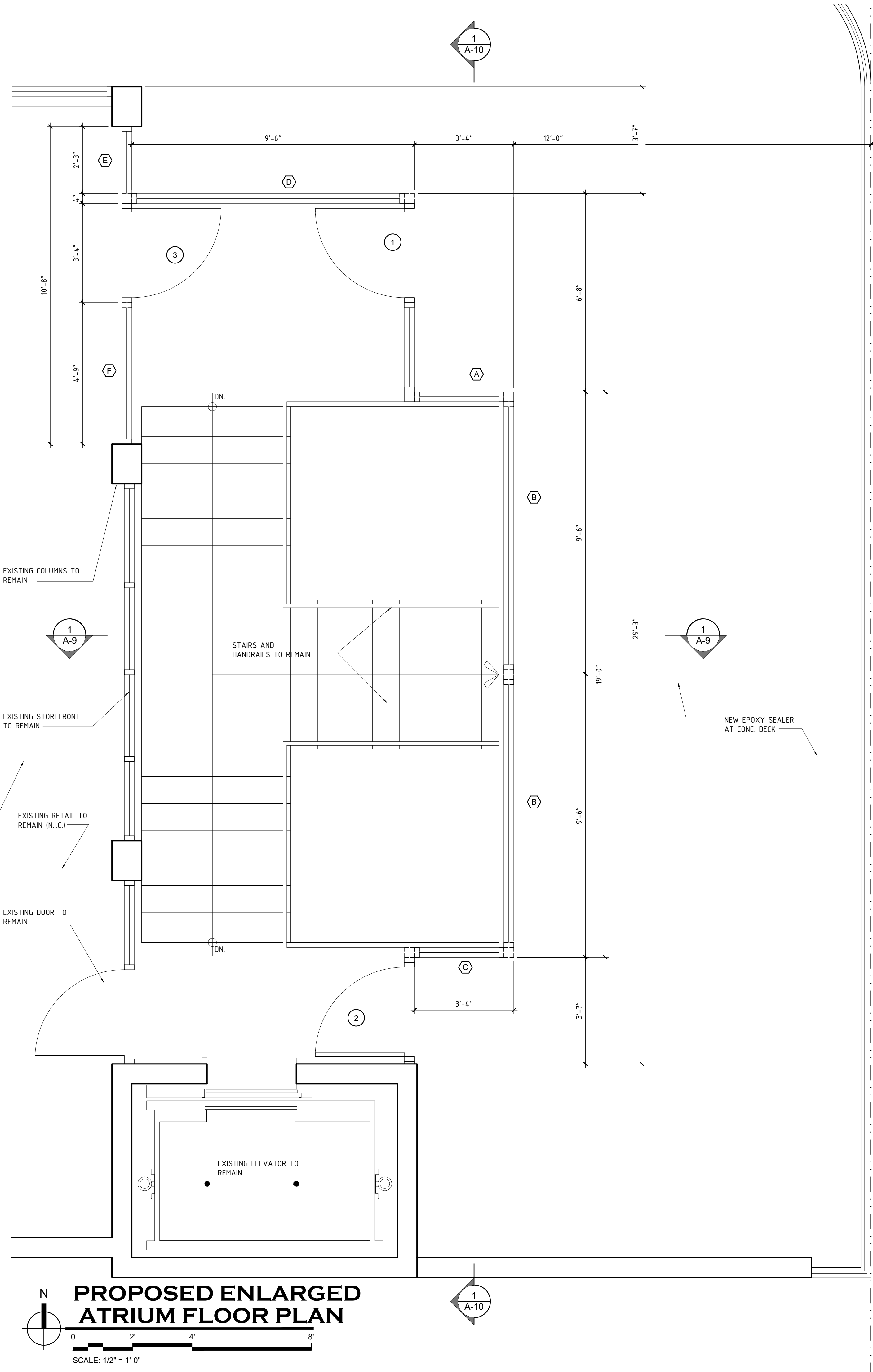
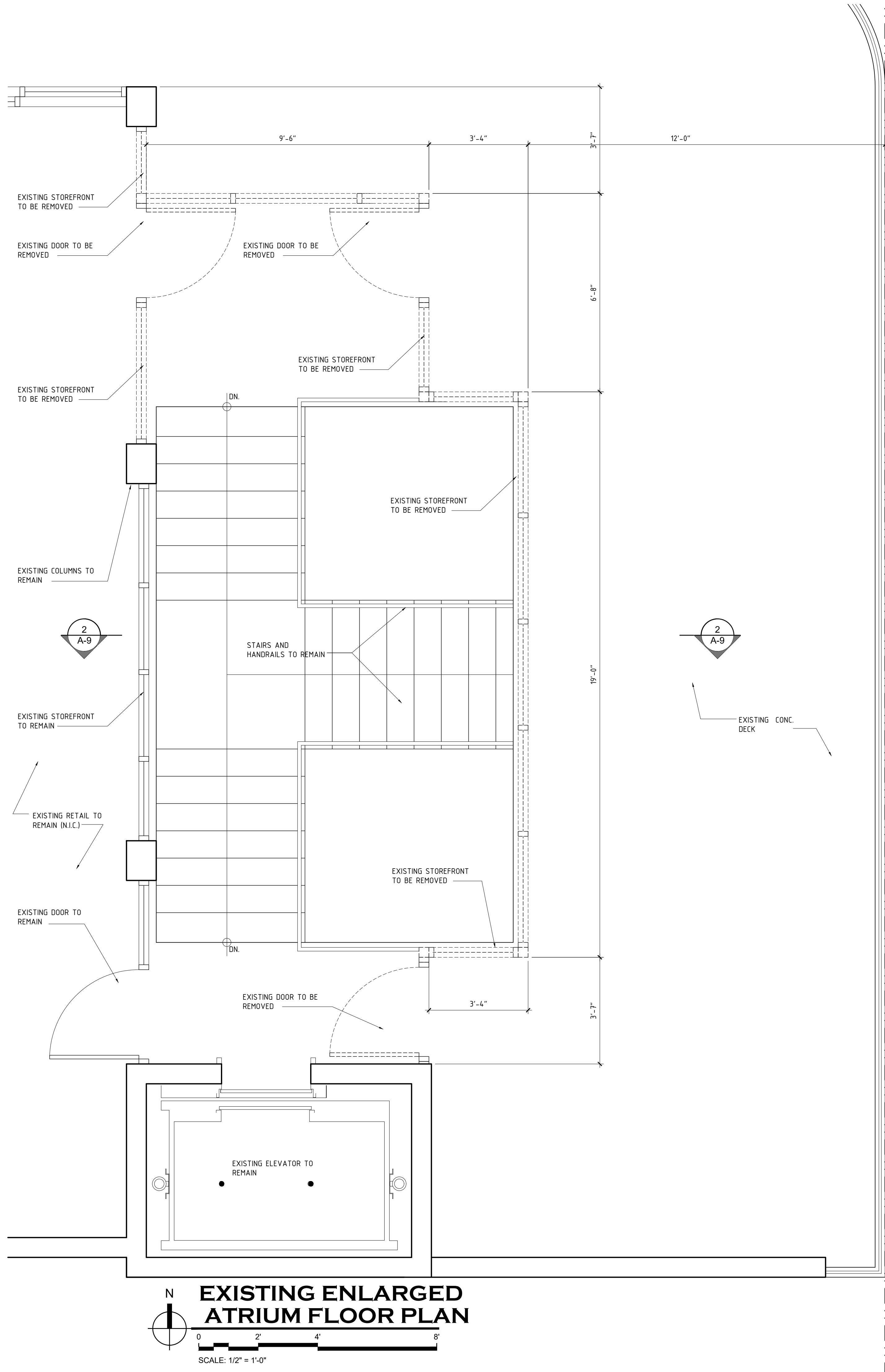


N  
0 8' 16' 32'  
SCALE: 1/8" = 1'-0"

**PROPOSED GROUND  
FLOOR PLAN**

OCEAN DRIVE





D•N•B

Design Group, LLC

AA26001282

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Tel. 305.444.5545

Fax 305.444.5509

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760 OCEAN DRIVE  
2ND FLOOR  
ATRIUM REPLACEMENT

760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA 33129

OWNER

ALTANINI REALTY CORP.

760 OCEAN DRIVE

MIAMI BEACH, FLORIDA

305.331.9478

DNB PROJECT NUMBER

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APPROVED BY:

F.D.

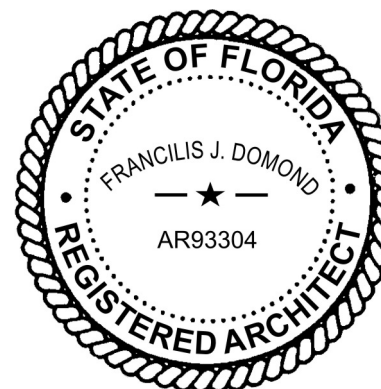
DATE:

05.09.22

SCALE:

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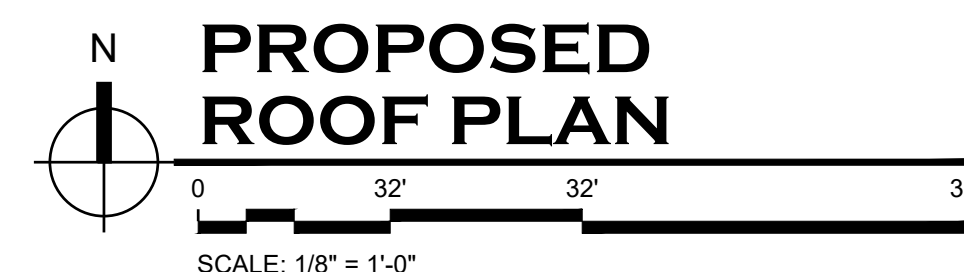
SHEET TITLE

ENLARGED ATRIUM  
FLOOR PLAN

SHEET NUMBER

A-5









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DNB PROJECT NUMBER

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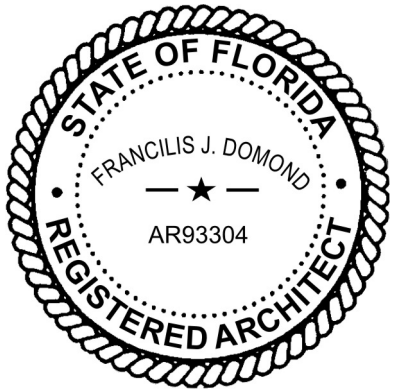
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TYPE OF DOCS:  
DESIGN  
DEVELOPMENT

No.	DATE	REVISION	BY

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APPROVED BY: F.D.  
DATE: 05.09.22  
SCALE: AS SHOWN

CONSULTANTS:



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SHEET TITLE  
EXISTING BUILDING  
ELEVATIONS

SHEET NUMBER

A-7



760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA 33129

OWNE

ALTANINI REALTY CORP.

760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA  
305.531.9478

DNB PROJECT NUMBER

22-118

OWNER'S PROJECT NUMBER

ISSUED FOR:  
HPB22-0522  
(FINAL SUBMITTAL)

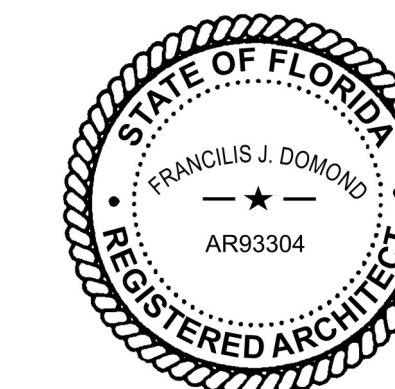
TYPE OF DOCS:  
DESIGN  
DEVELOPMENT

[illegible]

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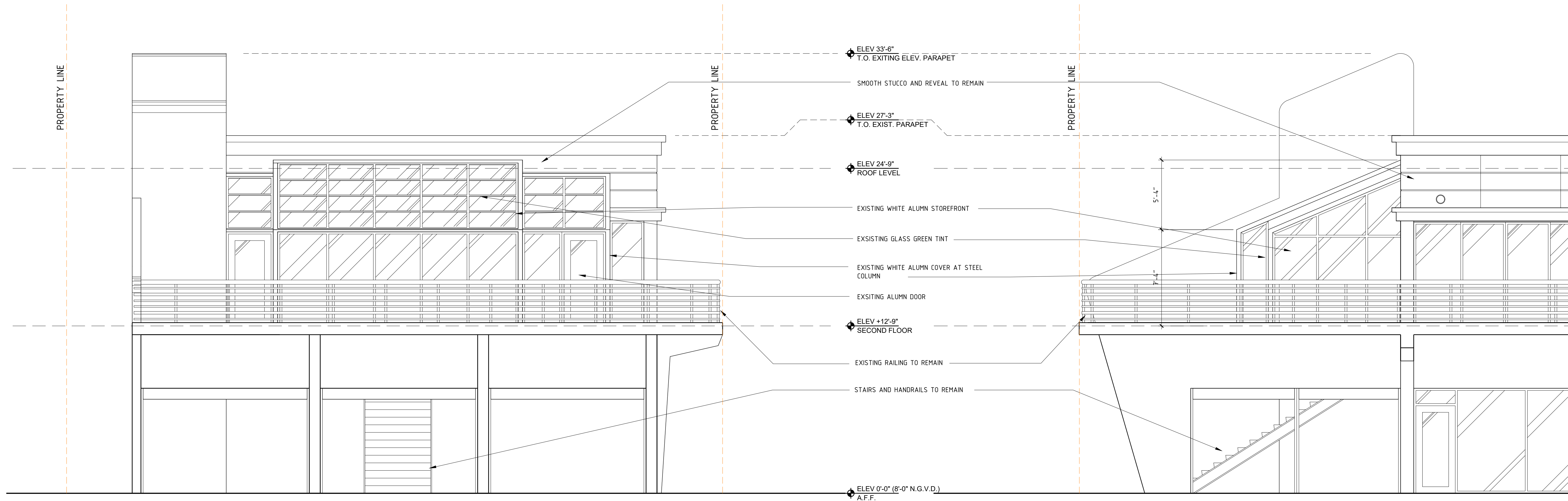
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SHEET TITLE

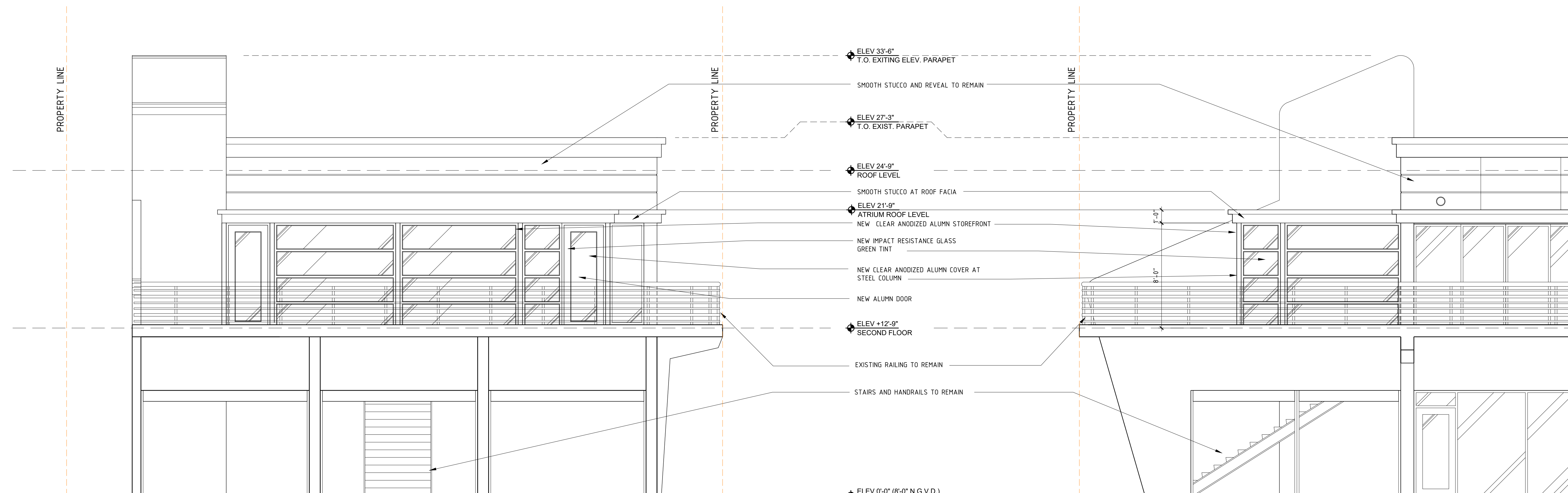
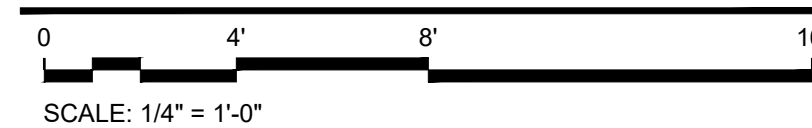
## PROPOSED ATRIUM ELEVATIONS

SHEET NUMBER

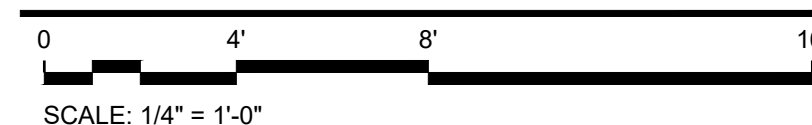
A-8



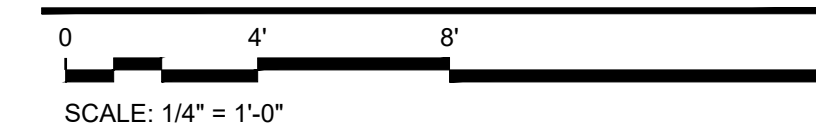
## EXISTING EAST ELEVATION



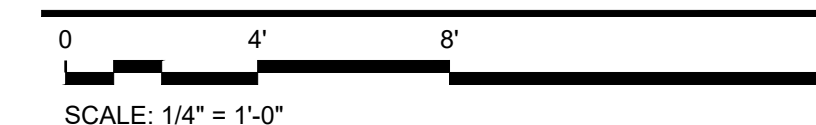
## PROPOSED EAST ELEVATION



## EXISTING NORTH ELEVATION



## PROPOSED NORTH ELEVATION





760 OCEAN DRIVE  
2ND FLOOR  
ATRIUM REPLACEMENT

760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA 33129

OWNER

ALTANINI REALTY CORP.  
760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA  
305.531.9478

DNB PROJECT NUMBER

22-118

OWNER'S PROJECT NUMBER

ISSUED FOR:

HPB22-0522  
(FINAL SUBMITTAL)

TYPE OF DOCS:

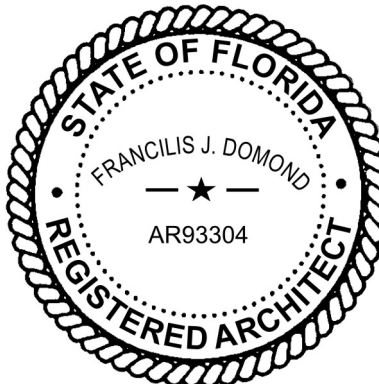
DESIGN  
DEVELOPMENT

No.	DATE	REVISION	BY

DRAWN BY: APPROVED BY:  
R.B. F.D.

DATE: SCALE:  
05.09.22 AS SHOWN

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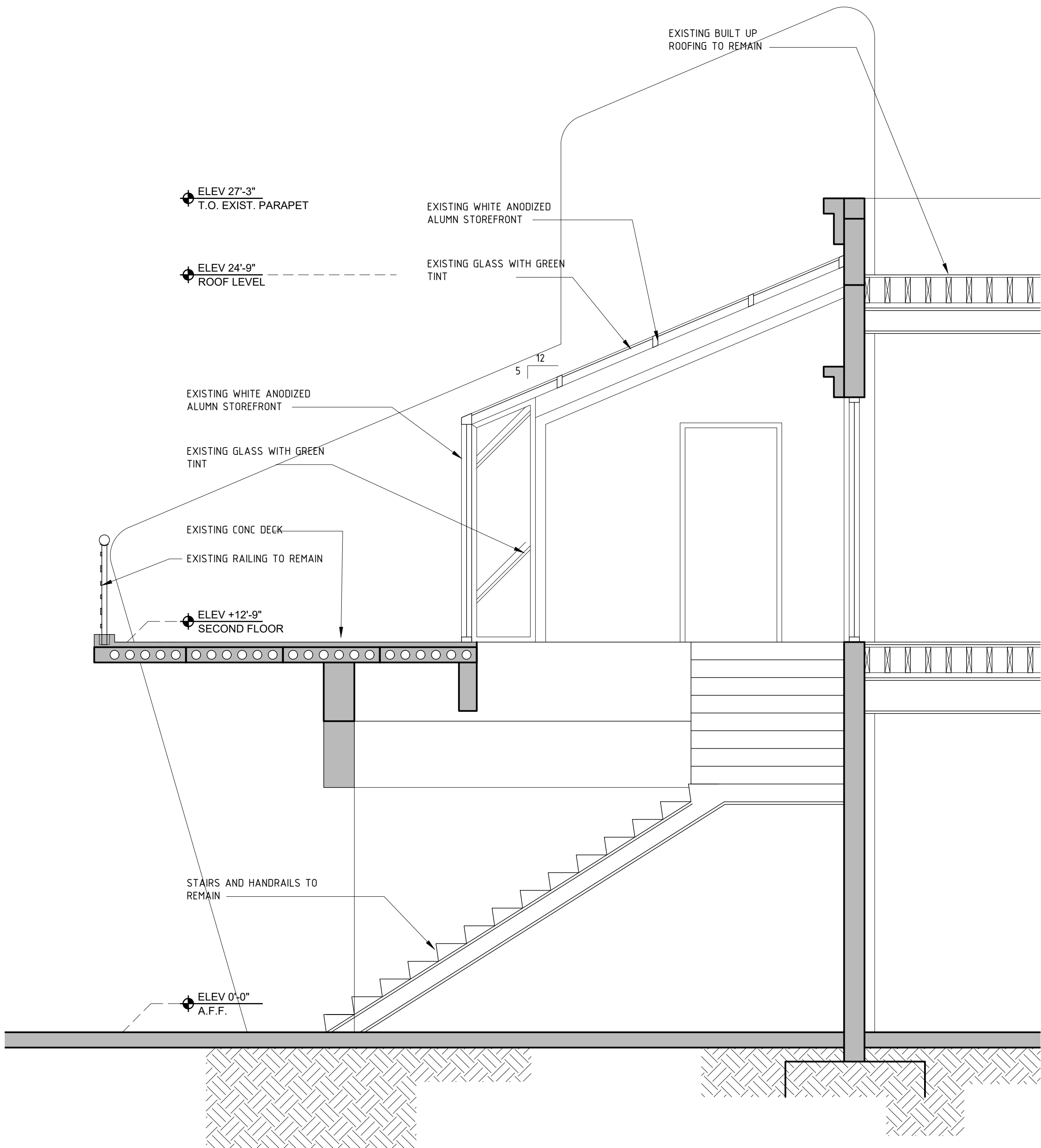
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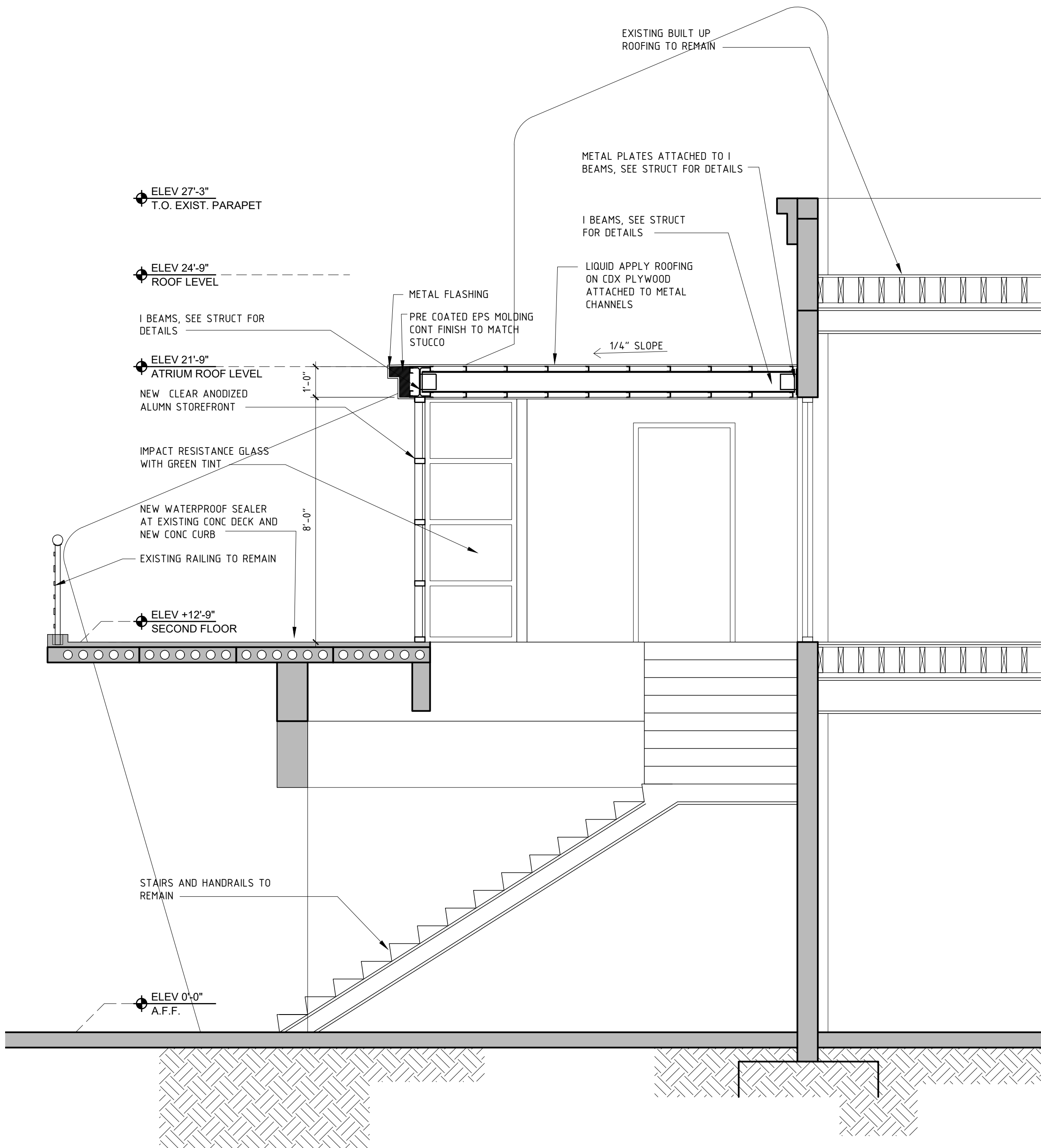
SHEET TITLE  
PROPOSED ATRIUM  
SECTIONS

SHEET NUMBER

A-9



2  
A-9  
SECTION THRU EXISTING  
ATRIUM FACING SOUTH  
SCALE: 3/8" = 1'-0"



1  
A-9  
SECTION THRU PROPOSED  
ATRIUM FACING SOUTH  
SCALE: 3/8" = 1'-0"



760 OCEAN DRIVE  
2ND FLOOR  
ATRIUM REPLACEMENT

760 OCEAN DRIVE  
MIAMI BEACH, FLORIDA 33129

OWNER  
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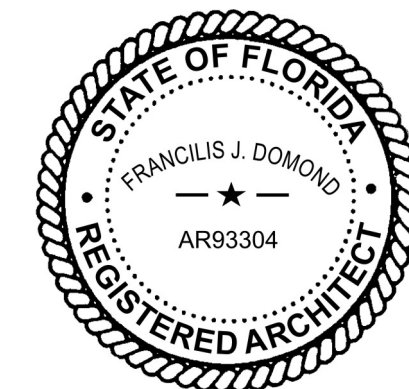
TYPE OF DOCS:  
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No.	DATE	REVISION	BY

DRAWN BY: R.B. APPROVED BY: F.D.

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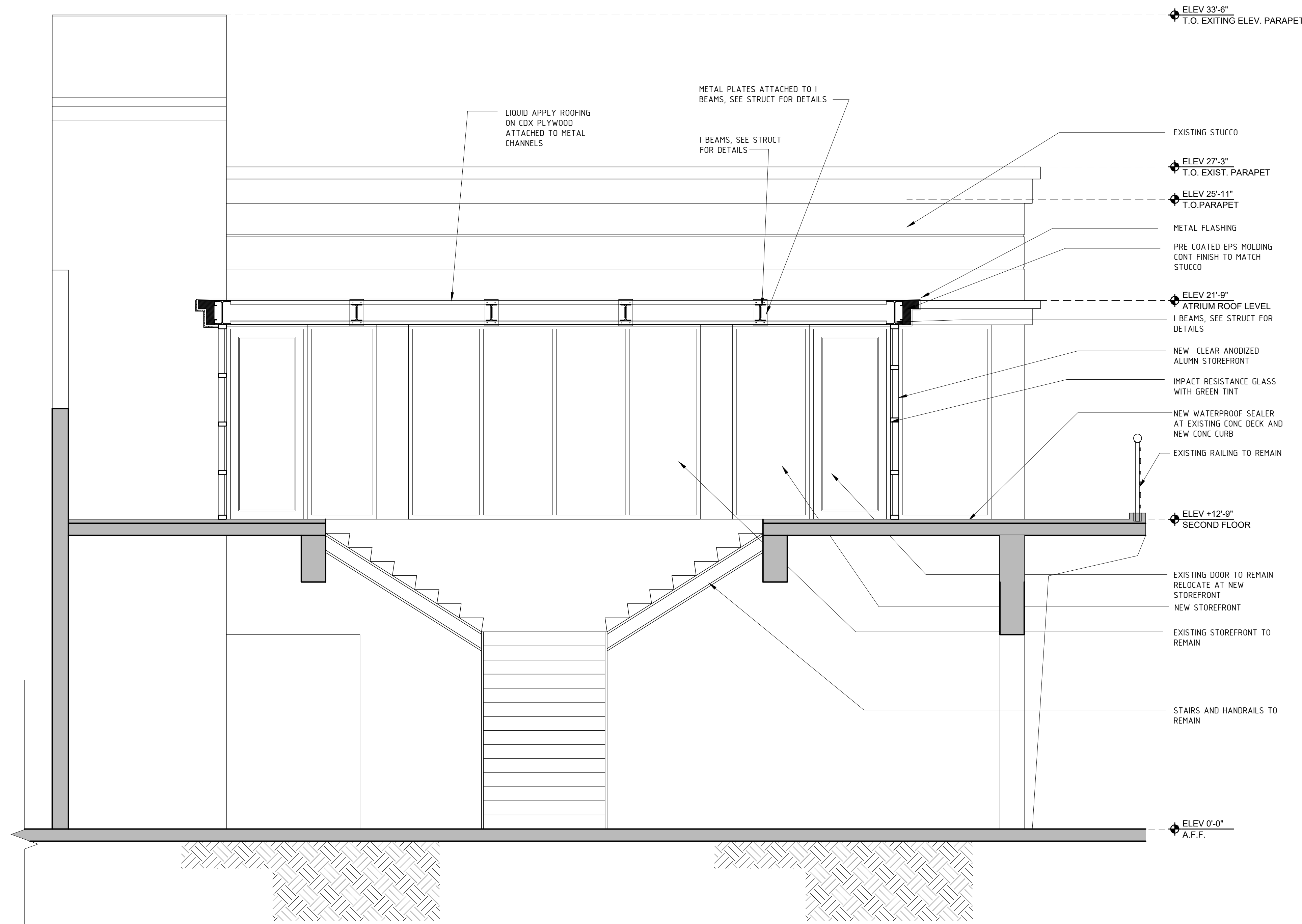
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SHEET TITLE  
PROPOSED ATRIUM  
SECTION

SHEET NUMBER  
A-10

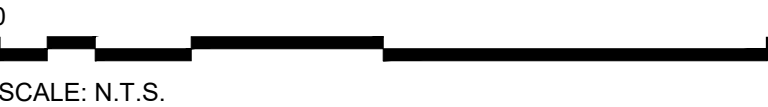


1  
A-10  
SECTION THRU ATRIUM  
FACING WEST  
0 32" 64" 124"  
SCALE: 3/8" = 1'-0"





**NORTH WEST VIEW  
FROM OCEAN DRIVE**



SCALE: N.T.S.



**SOUTH WEST VIEW  
FROM OCEAN DRIVE**



SCALE: N.T.S.

**D•N•B**

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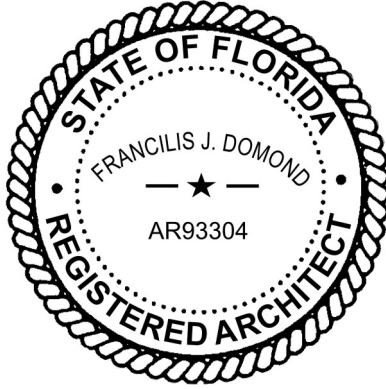
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TYPE OF DOCS:  
**DESIGN  
DEVELOPMENT**

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R.B.              F.D.  
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SHEET TITLE

**MASSING  
RENDERINGS**

SHEET NUMBER

**A-11**