

1685 COLLINS
HOTEL

1685 Collins Avenue
Miami Beach
Florida 33139

INTERIOR DESIGNER
SHAMSHIRI

LANDSCAPE ARCHITECT
jungles



1685 COLLINS HOTEL

1685 Collins Avenue, Miami Beach, Florida 33139

HISTORIC PRESERVATION BOARD

MAY 9TH, 2022
FINAL SUBMISSION

SCOPE OF WORK:

- MODIFICATIONS TO REAR YARD INCLUDING NEW LANDSCAPING, (1) EXTERIOR BAR STRUCTURE, AND (1) COVERED SEATING AREA

COVER



JENNIFER McCONNEY FLORIDA LIC# AR93044

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Raymond Jungles - Landscape Architect

GI.000	Cover Sheet
LR.103	Tree Disposition Plan - East
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LH.103	HARDSCAPE PLAN - EAST
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LH.106-A	HARDSCAPE DIAGRAM - REQUIRED REAR YARD (EXISTING)
LH.106-B	HARDSCAPE DIAGRAM - REQUIRED REAR YARD (PROPOSED)
LH.500	HARDSCAPE DETAILS

LG.103	GRADING PLAN - EAST
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LP.103	CANOPY PLANTING PLAN - EAST
LP.203	UNDERSTORY PLANTING PLAN - EAST
LP.300	PROPOSED PLANT LIST
LP.301	LANDSCAPE MITIGATION AND LEGEND
LP.400	PLANTING DETAILS
LP.401	PLANTING NOTES

FULL LEGAL DESCRIPTION:
ALTON BEACH 1ST SUB PB 2-77
LOTS 9 TO 12 INC & TR OF LAND AS
DESCR IN DB 2746-335 BLK 29
& PORT LYING EAST & ADJACENT WEST
OF EROSION LINE PER PB 105-62
LOT SIZE 100.000 X 575

Existing FAR & Unit Count				Proposed FAR & Unit Count		
BASEMENT(1/2 area)	0 units	9,966 SF		BASEMENT(1/2 area)	0 units	9,966 SF
LEVEL 1	8 units	20,355 SF		LEVEL 1	8 units	20,355 SF
LEVEL MEZZANINE	0 units	11,032 SF		LEVEL MEZZANINE	0 units	11,727 SF
LEVEL 4	19 units	8,946 SF		LEVEL 4	0 units	8,946 SF
LEVEL 5	19 units	8,946 SF		LEVEL 5	18 units	8,946 SF
LEVEL 6	19 units	8,946 SF		LEVEL 6	18 units	8,946 SF
LEVEL 7	19 units	8,946 SF		LEVEL 7	18 units	8,946 SF
LEVEL 8	19 units	8,946 SF		LEVEL 8	18 units	8,946 SF
LEVEL 9	19 units	8,946 SF		LEVEL 9	18 units	8,946 SF
LEVEL 10	19 units	8,946 SF		LEVEL 10	18 units	8,946 SF
LEVEL 11	19 units	8,946 SF		LEVEL 11	18 units	8,946 SF
LEVEL 12	19 units	8,946 SF		LEVEL 12	18 units	8,946 SF
LEVEL 14	14 units	8,946 SF		LEVEL 14	14 units	8,946 SF
LEVEL 15 PH	1 units	6,698 SF		LEVEL 15 PH	3 units	6,698 SF
TOTAL	194 units	137,511 SF		TOTAL	169 units	138,206 SF
TOTAL ALLOWED FAR		120,488 sf		TOTAL ALLOWED FAR		120,488 sf

EXISTING OCCUPANCY			
LEVEL	ROOM	EXISTING STRUCTURE	OCCUPANTS
BASEMENT	LOUNGE & FITNESS	YES	210
POOL	POOL & BAR	YES	678
LEVEL 1	BLUE SEA	YES	35
	LOBBY LOUNGE	YES	335
	ROSE BAR	YES	23
	BRASSIERE	YES	107
	BLUE DOOR RESTAURANT	YES	98
	PATIO DINING	YES	212
	TOTAL		1,698

PROPOSED OCCUPANCY			
LEVEL	ROOM	EXISTING STRUCTURE	OCCUPANTS
BASEMENT	SPA & FITNESS	YES	58
POOL LEVEL 1	POOL & BAR	YES	678
LEVEL 1	CAFÉ	YES	4
	LOBBY LOUNGE	YES	293
	FLORIDA ROOM & BAR	YES	66
	RESTAURANT INDOOR	YES	98
	PATIO DINING	YES	170
LEVEL 4	INTERIOR BAR/LOUNGE	YES	79
	BUSINESS LOUNGE	YES	65
	OUTDOOR POOL DECK	YES	187
	TOTAL		1,698

7500 NE 4th Court
Studio 102
Miami, FL 33138

2127

PROJECT NUMBER

PROJECT:

1685 COLLINS
HOTEL

1685 Collins Avenue
Miami Beach
Florida 33139

INTERIOR DESIGNER
SHAMSHIRI

LANDSCAPE ARCHITECT

jungles

DRAWING:

PROJECT DATA



JENNIFER McCONNERY FLORIDA LIC# AR93044
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MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET				
Ocean Drive / Collins Historic District; Miami Beach Architectural District				
ITEM #	Zoning Information			
1	Address:	1685 Collins Avenue, Miami Beach FL 33139		
2	Board and File numbers:			
3	Folio number(s):	02-3234-019-0550		
4	Year constructed:	1947 / 1996	Zoning District:	RM-3 Residential Multifamily High Density District
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	5.40 'NGVD
6	Adjusted grade (Flood+Grade/2)	6.70 'NGVD	Lot Area:	±60,244 SF ± 1.38 acres
7	Lot Width	101'-5"	Lot Depth	603'-4"
8	Minimum Unit Size	New Construction 15%:300-335 SF; 85%:335+SF. Rehabilitated Historic Structures: 200 SF		
9	Existing User	Hotel/Mixed Use	Proposed Use:	Hotel/Mixed Use

		Maximum	Existing	Proposed	Deficiencies
10	Height	200'-0"	168'-5"	168'-5"	
11	Number of Stories	N/A	14	14	-
12	FAR	2.0	2.29	2.29	-
13	FLOOR AREA Square Footage	120,488 SF	138,206 SF	137,511 SF	-
14	Square Footage by use	N/A	N/A	N/A	-
15	Number of Units Residential	N/A	N/A	N/A	-
16	Number of Units Hotel	N/A	169	194	-
17	Number of Seats	N/A	N/A	N/A	-
18	Occupancy Load	N/A	1,698 persons	1,698 persons	-

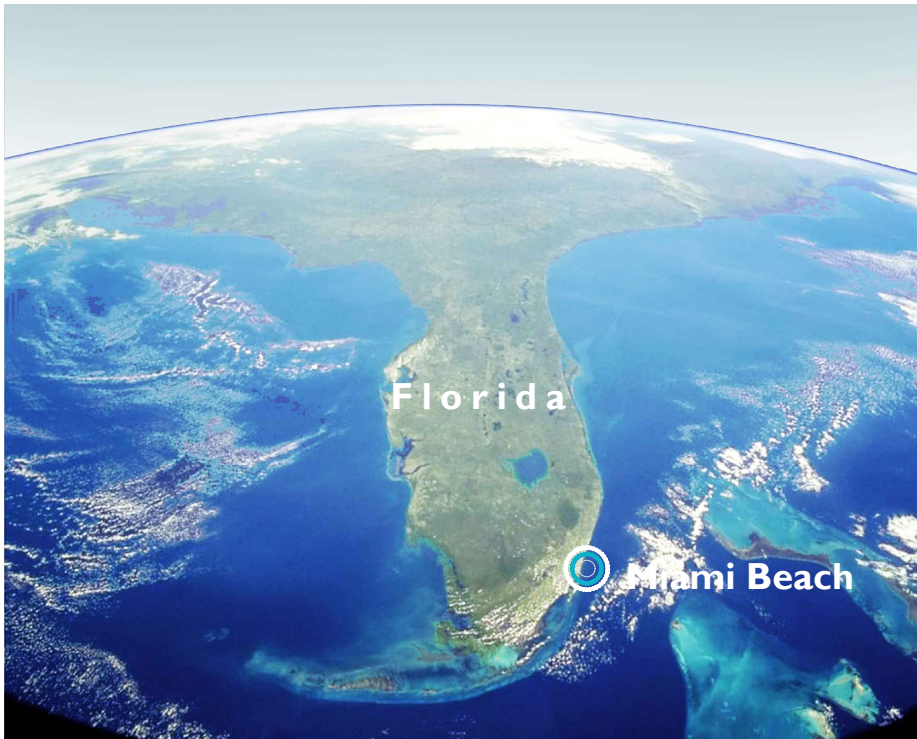
	Setbacks	Required	Existing	Proposed	Deficiencies
	At Grade Parking:				
19	Front Setback facing Collins (West):	20'-0"	N/A	N/A	-
20	Rear Setback (East):	50'-0" from bulkhead	N/A	N/A	-
21	Side Setback (North):	5'-1" (5% of lot width)	N/A	N/A	-
22	Side Setback (South):	5'-1" (5% of lot width)	N/A	N/A	-
	Pedestal and Subterraean				
23	Front Setback facing Collins (West):	20'-0"	30'-3"	30'-3"	-
24	Rear Setback (East):	120'-8" (20% of lot depth)	42'-3"	42'-3"	Existing non-conforming setback
25	Side Setback (North):	8'-1" (8% of lot width)	5'-4"	5'-4"	Existing non-conforming setback
26	Side Setback (South):	8'-1" (8% of lot width)	4'-4"	4'-4"	Existing non-conforming setback
	Tower				
27	Front Setback facing Collins (West):	50'-0"	51'-2"	51'-2"	-
28	Rear Setback (East):	150'-10" (25% of lot depth)	416'-9"	416'-9"	-
29	Side Setback (North):	8'-1" (8% of lot width)	3'-0"	3'-0"	Existing non-conforming setback
30	Side Setback (South):	7'-1" (8% of lot width+10% of height)	3'-8"	3'-8"	Existing non-conforming setback

	Parking	Required	Existing	Proposed	Deficiencies
31	Parking District	1	1	1	-
32	*Total # of parking spaces	0	0	0	-
33	# of parking spaces required	0	0	0	-
34	Parking Space Dimensions	8.5' X 18'	N/A	N/A	-
35	Parking Space Configurations (45°,60°,90°,Parallel)	90 DEGREE	N/A	N/A	-
36	ADA Spaces	0	N/A	N/A	-
37	Tandem Spaces	N/A	N/A	N/A	-
38	Drive Aisle Width	22'	N/A	N/A	-
39	Valet Drop off and pick up	11'	11'	11'	-
40	Loading zones and Trash collection areas	6	ON STREET	ON STREET	-
41	Bike Racks (15% of required parking)	N/A	N/A		-

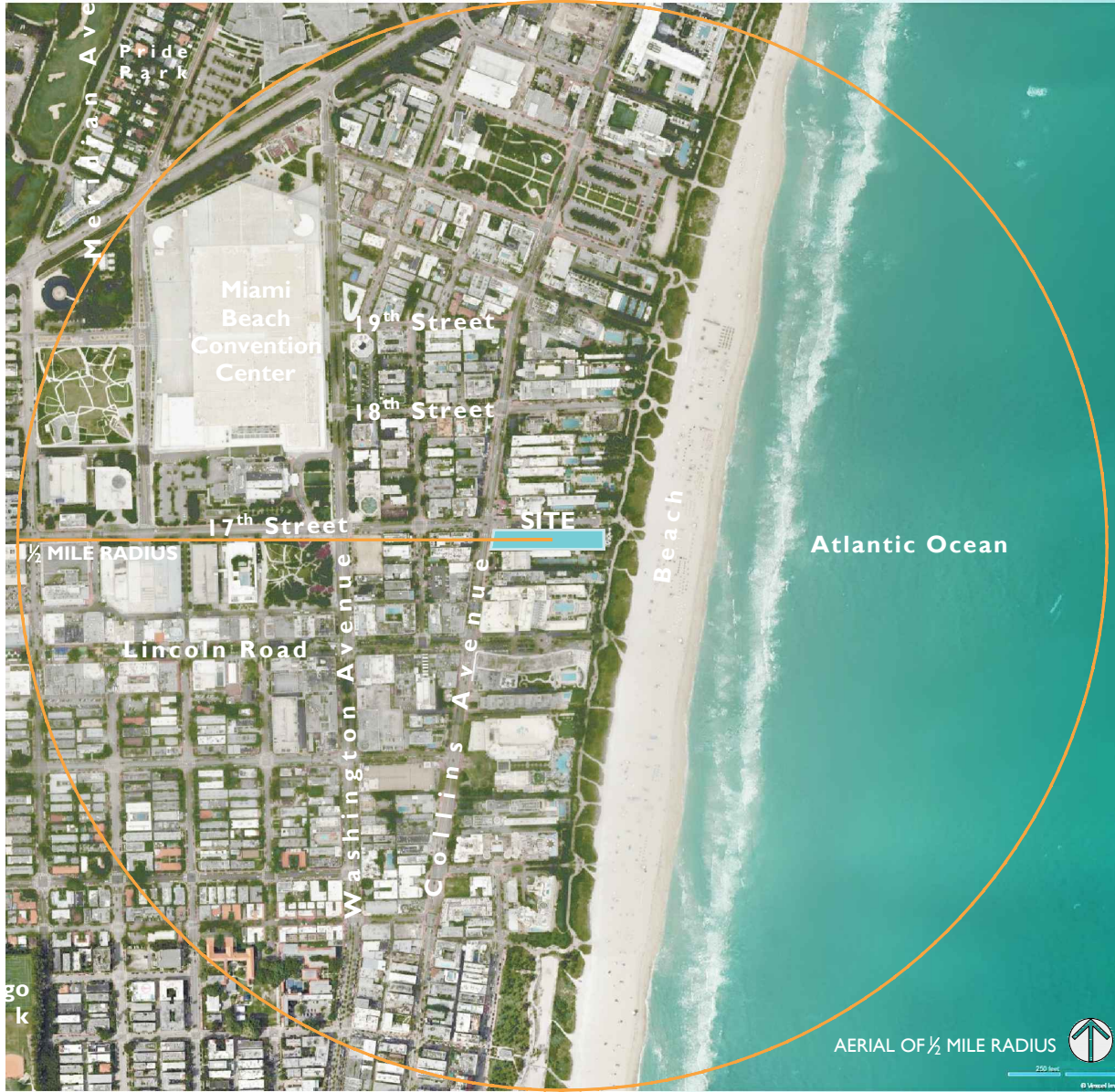
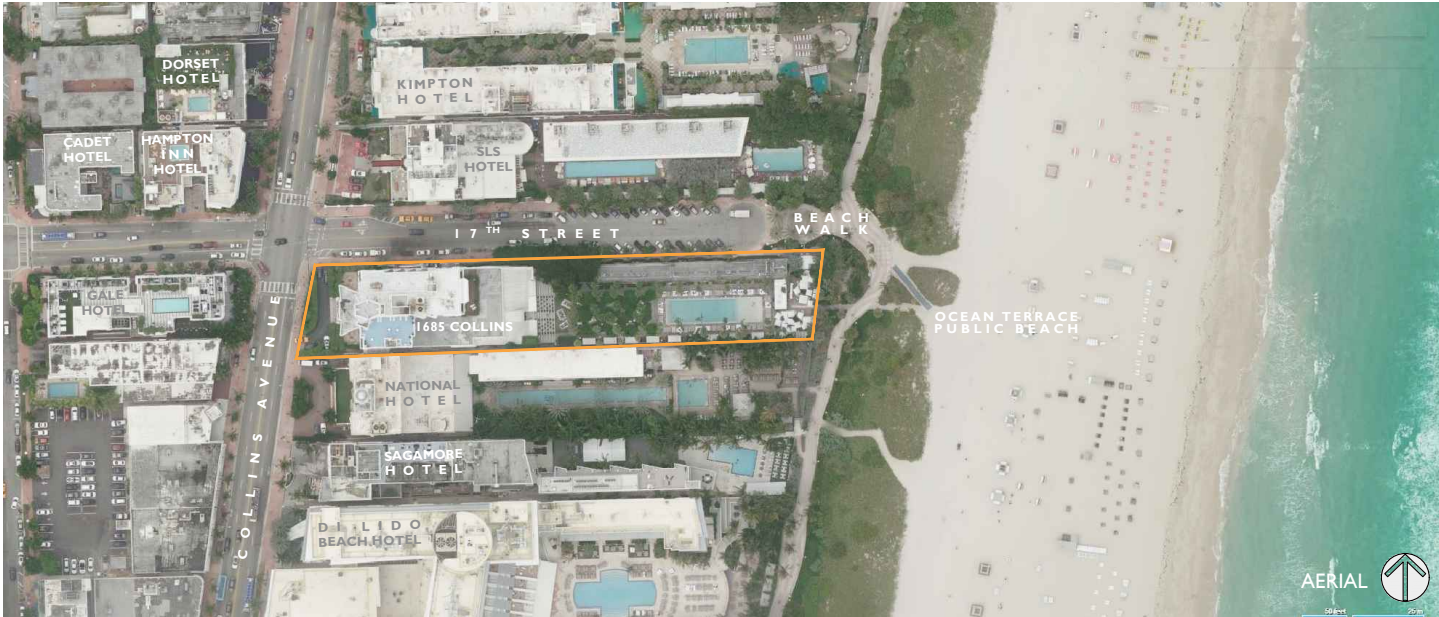
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
42	Type of use	N/A	HOTEL/COMMERCIAL	HOTEL/COMMERCIAL	-
43	Total # of Seats	N/A	N/A	N/A	-
44	Total # of Seats per venue	N/A	N/A	N/A	-
45	Total Occupant Content	N/A	N/A	Please see occupancy chart	-
46	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	Please see occupancy chart	-

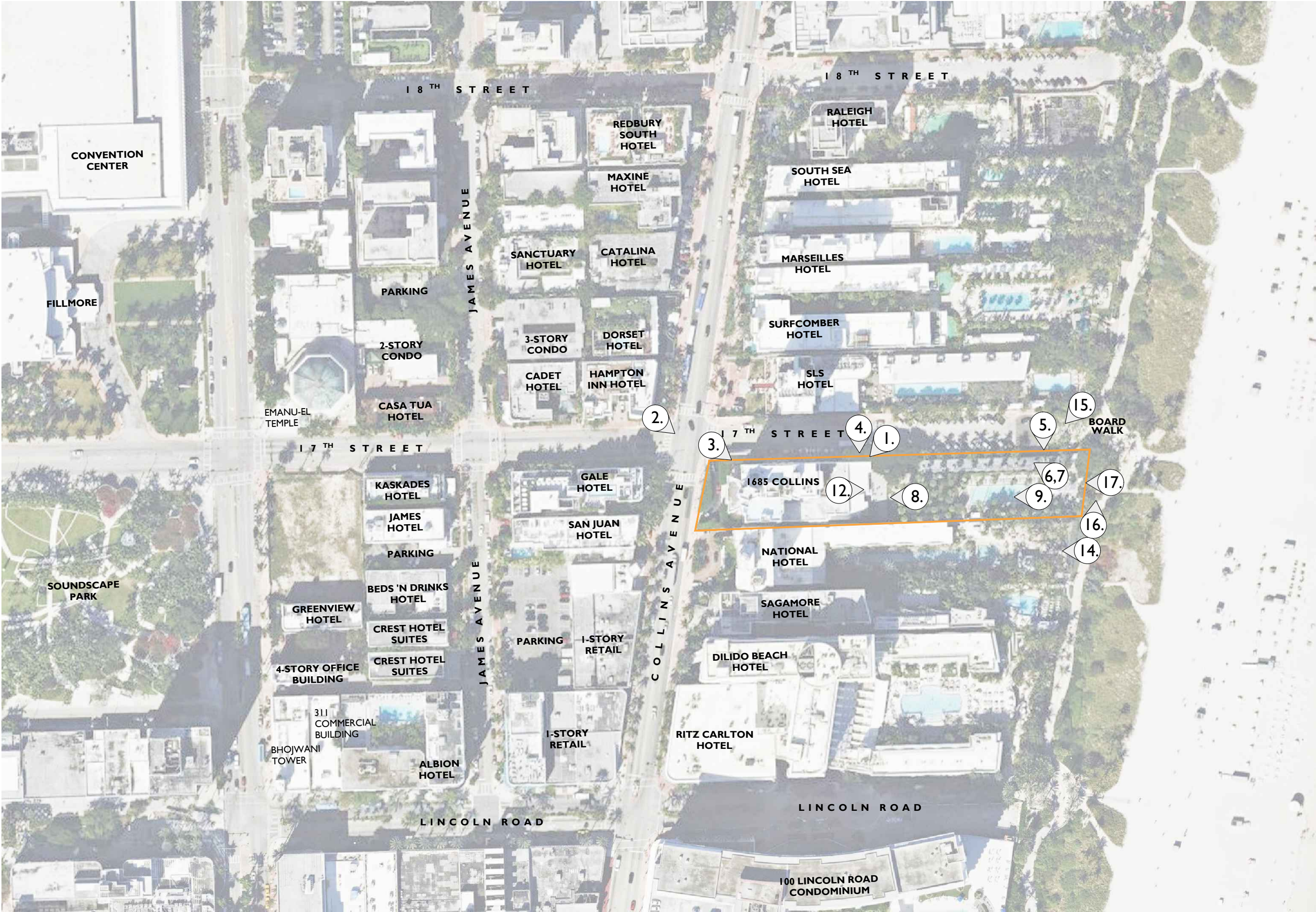
47	Is this a contributing building?	YES			
48	Located within a Local Historic District?	YES	Ocean Dr/Collins Historic District; Miami Beach Architectural District		

*ALL USES ARE LOCATED INSIDE EXISTING HISTORIC STRUCTURE, THEREFORE NO PARKING IS REQUIRED



SATELLITE IMAGE





SITE AERIAL - NORTH





1. EXISTING TOWER FACADE FACING NORTHEAST



2. EXISTING FACADE FACING COLLINS AVENUE



3. EXISTING TOWER FACADE FACING NORTHWEST



5. EXISTING BUNGALOW FACADE ALONG 17TH STREET PARKING



4. EXISTING FACADE ALONG 17TH STREET

SITE PHOTOS



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6. POOL AND CABANA SUITES



2021-08-05

7. POOL BAR



2021-08-05

9. POOL



2021-08-05

8. STEPS FROM THE PATIO



10. REAR YARD TERRACE



11. REAR YARD TERRACE



13. VIEW FROM BUNGALOW TOWARDS REAR YARD



12. VIEW FROM THE HOTEL TOWARDS THE REAR YARD