

# 1685 COLLINS HOTEL

1685 Collins Avenue, Miami Beach, Florida 33139

# HISTORIC PRESERVATION BOARD

MAY 9TH, 2022 FINAL SUBMISSION

### **SCOPE OF WORK:**

• MODIFICATIONS TO REAR YARD INCLUDING NEW LANDSCAPING, (I) EXTERIOR BAR STRUCTURE, AND (I) COVERED SEATING AREA



7500 NE 4th Court Studio 102 Miami, FL 33138

2127

PROJECT:

### 1685 COLLINS HOTEL

1685 Collins Avenue Miami Beach Florida 33139

INTERIOR DESIGNER
SHAMSHIRI
LANDSCAPE ARCHITECT
JUNGIES

DRAWING:

**COVER** 



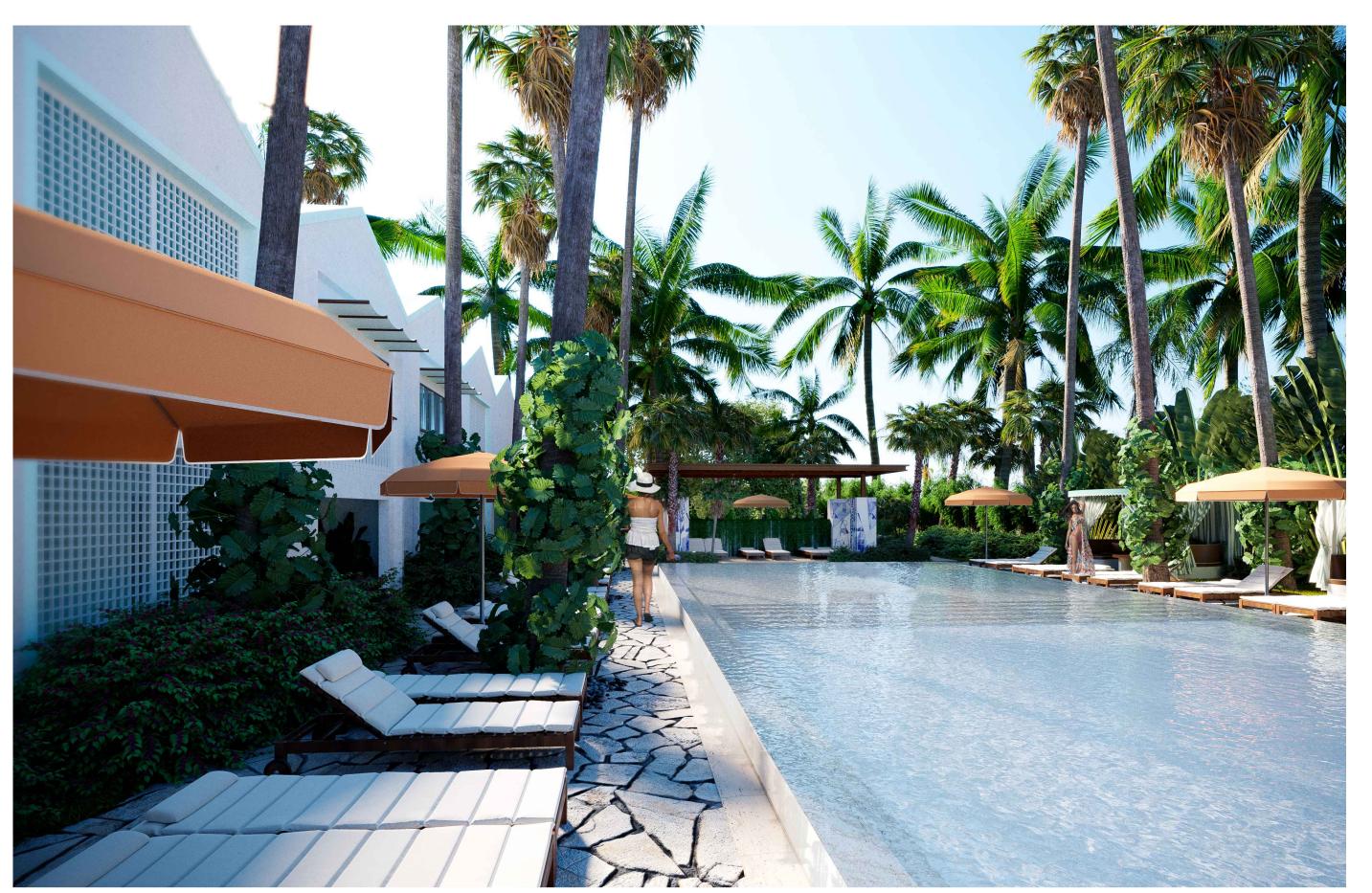
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PROJECT:

### 1685 COLLINS HOTEL

1685 Collins Avenue Miami Beach Florida 33139

INTERIOR DESIGNER
SHAMSHIRI
LANDSCAPE ARCHITECT
JUNGIES

DRAWING:

RENDERING



JENNIFER McCONNEY FLORIDA LIC# AR93

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SHAMSHIRI
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JUNGIES

DRAWING:

RENDERING



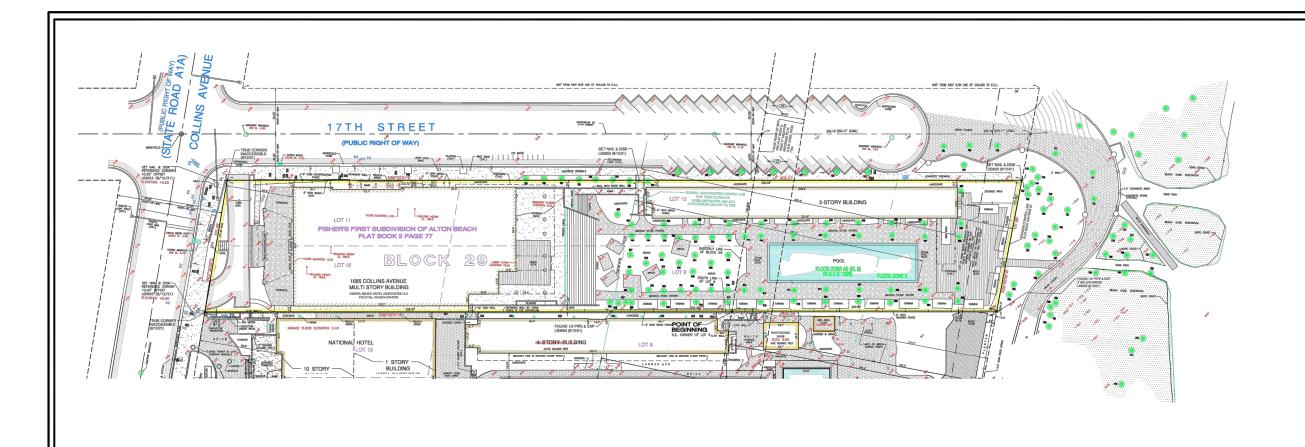
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OCEAN

SITE

ROAD

LEGEND

= 0.5' CURB = 2.00' CURB & GUTTER

= CONCRETE
= ASPHALT PAVEMENT

SLINCOLN

LOCATION MAP

= CATCH BASIN

= MANHOLE

= LIGHT POLE

= WATER METER

= WATER VALVE

■ WATER VALVE

= CATCH BASIN INLET

= UTILITY POLE

= RISER

= FIRE HYDRANT

= HANDHOLE

= SIGN

### LEGAL DESCRIPTION:

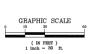
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MIAMI-DADE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS 9, 10, 11 AND 12, IN BLOCK 29, OF FISHER'S FIRST SUBDIMISION OF ALTON BEACH, A SUBDIMISION OF DADE COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF DULY RECORDS OF DADE COUNTY, FLORIDA IN PLAT BOOK 2, PAGE 77 THEREOF,

OF DADE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORREX OF LOT 9 IN BLOCK 29 AS SHOWN ON PLAT OF FISHER'S
FIRST SUBDIVISION OF ALTON BEACH, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK
2, PAGE 77, PUBLIC RECORDS OF MAMINI-DADE COUNTY, FLORIDA, THENCE RUN IN A NORTHERLY
DIRECTION ALONG THE EASTERLY LINE OF SAID BLOCK 29 OF THE AFORESAID PLAT AND THE
NORTHERLY EXTENSION THEREOF A DISTANCE OF 136.896 FEEL, MORE OR LESS, TO THE POINT
OF INTERSECTION OF THE CENTER LINE OF 17TH STREET, INBECK RUN EASTELY ALONG THE
POINT OF INTERSECTION OF SAID CENTER LINE OF 17TH STREET, INBECK RUN EASTELY ALONG THE
EROSION CONTROL LINE OF THE ATLANTIC OCEAN, SAID LINE RECORDED IN PLAT BOOK 105, PAGE
2, PUBLIC RECORDS OF MAMI-DADE COUNTY, FLORIDA, THENCE RUN SOUTHERN ALONG THE
SAID EROSION CONTROL LINE, A DISTANCE OF 137-465 TEET TO THE INTERSECTION OF THE
SAID EROSION CONTROL LINE, A DISTANCE OF 137-465 TEET TO THE INTERSECTION OF THE
SAID EROSION CONTROL LINE, A DISTANCE OF 137-465 TEET TO THE INTERSECTION OF THE
ALONG THE EASTERLY EXTENSION OF LOT 9. A DISTANCE OF 200-98 FEET, MORE OR LESS, TO
THE POINT OF BEGINNING THE ALLOWS THE ALONG THE EASTERLY POSTERIOR.

LESS AND EXCEPT, HOMERER, THAT CERTAIN FORTION OF SUCH LAND AS WAS APPROPHARED AND TAKEN BY THE CHTY OF MAM BESCH, FLORIDA, IN THAT CERTAIN BENEAT DOMAIN OR CONDENATION PROCEEDING A FINAL JUDGMENT FOR WHICH WAS RECORDED IN DEED BOOK 3106, PAGE 96, WHICH COVERS THAT PORTION OF THE PREMISES LYING NORTHERLY OF THE NORTHERLY LINE OF SAID BLOCK 29 EXTENDED EASTERLY TO THE EROSION CONTROL LINE RECORDED IN PLAT BOOK 105, PAGE 26 OF THE PUBLIC RECORDS OF MAMINI-DADE COUNTY, FLORIDA.



### SURVEYOR'S NOTES:

- This site lies in Section 34, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.

- Lands shown hereon are located within an area having a Zone Designation X & AE (EL. 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 120860317L, for Community No. 120861, dated September 11, 2009, and index map revised September 11, 2009, relative to the National Geodetic Vertical Datum of 1928.
- All horizontal cantrol measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smalle
- Roof overhang not located unless otherwise shown.

- Trees shown are surveyed for their horizontal location and/or size.
   Identification and/or name verification of all trees should be confirmed by the Division of Forestry County Forester or a professional in that field.
- Legal description shown hereon furnished by client and no claims as to ownership are made or implied.

### SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary & Topographic Survey" was made under my responsible charge on August 12, 2021, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was comp on August 12, 2021.

"Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below"

FORTIN, LEAVY, SKILES, INC., LB3659 gitally signed by Daniel C Fortin
DN: c=US, o=Unaffiliated, ou=A01410D0000017402A2BF42 0004295B, cn=Daniel C Fortin Date: 2021.10.19 07:55:40 -04'00'

TREE LEGEND

PROPERTY OWNER: BEACH HOTEL ASSOCIATES L

**BOUNDARY** CITY iginal Date 8/12/21 1"=30' rawn By CAD No. 970020 lotted 8/17/21 1:30p Ref. Dwg. 295D-303
Field Book SJD
FLD.SHTS. & 524/64-65
Job No. 210501 Dwg. No. 2021-094-NGVD Sheet

This Drawing is the Property of Fortin, Leavy, Skiles, Inc. and is an Instrument of Service not to be Reproduced in Whole or in Part without the Express WRITTEN Permission of Same.

I, LEAVY, SKILES, INC. GENGINEERS, SURVEYORS & MAPPERS TRICATE OF AUTHORIZATION VOLUBER: 0000563
THICATE OF AUTHORIZATION TO THE OFFICE AS 1102

FORTIN, CONSULTING EN FLORIDA CERTIFICA 180 Northeast 168th Phone 305-653-4493

SURVEY

TOPOGRAPHIC (COLLINS AVENUE SACH, MIAMI-DADE COUNTY, F

% 1685

MIAMI

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PROJECT:

1685 COLLINS HOTEL

> 1685 Collins Avenue Miami Beach Florida 33139

INTERIOR DESIGNER
SHAMSHIRI
LANDSCAPE ARCHITECT

jungles

DRAWING:

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Raymond Jungles - Landscape Architect

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Bar Elevation

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FULL LEGAL DESCRIPTION: ALTON BEACH 1ST SUB PB 2-77 LOTS 9 TO 12 INC & TR OF LAND AS DESCR IN DB 2746-335 BLK 29 & PORT LYING EAST & ADJACENT WEST OF EROSION LINE PER PB 105-62 LOT SIZE 100.000 X 575

Existing FAR & Unit Count			Proposed FAR & Unit Count		
BASEMENT(1/2 area)	0 units	9,966 SF	BASEMENT(1/2 area)	0 units	9,966 SF
LEVEL I	8 units	20,355 SF	LEVEL I	8 units	20,355 SF
LEVEL MEZZANINE	0 units	11,032 SF	LEVEL MEZZANINE	0 units	11,727 SF
LEVEL 4	19 units	8,946 SF	LEVEL 4	0 units	8,946 SF
LEVEL 5	19 units	8,946 SF	LEVEL 5	18 units	8,946 SF
LEVEL 6	19 units	8,946 SF	LEVEL 6	18 units	8,946 SF
LEVEL 7	19 units	8,946 SF	LEVEL 7	18 units	8,946 SF
LEVEL 8	19 units	8,946 SF	LEVEL 8	18 units	8,946 SF
LEVEL 9	19 units	8,946 SF	LEVEL 9	18 units	8,946 SF
LEVEL 10	19 units	8,946 SF	LEVEL 10	18 units	8,946 SF
LEVEL I I	19 units	8,946 SF	LEVEL I I	18 units	8,946 SF
LEVEL 12	19 units	8,946 SF	LEVEL 12	18 units	8,946 SF
LEVEL 14	I4 units	8,946 SF	LEVEL 14	I4 units	8,946 SF
LEVEL 15 PH	I units	6,698 SF	LEVEL 15 PH	3 units	6,698 SF
TOTAL	194 units	137,511 SF	TOTAL	169 units	138,206 SF
TOTAL ALLOWED FAR		120,488 sf	TOTAL ALLOWED FAR		120,488 sf

EXISTING OCCUPANCY						
EXISTING						
LEVEL	ROOM	STRUCTURE	OCCUPANTS			
BASEMENT	LOUNGE & FITNESS	YES	210			
POOL	POOL & BAR	YES	678			
	BLUE SEA	YES	35			
	LOBBY LOUNGE	YES	335			
LEVEL I	ROSE BAR	YES	23			
LEVELI	BRASSIERE	YES	107			
	BLUE DOOR RESTAURANT	YES	98			
	PATIO DINING	YES	212			
	TOTAL		1,698			

PROPOSED OCCUPANCY						
EXISTING						
LEVEL	ROOM	STRUCTURE	OCCUPANTS			
BASEMENT	SPA & FITNESS	YES	58			
POOL LEVEL I	POOL & BAR	YES	678			
	CAFÉ	YES	4			
	LOBBY LOUNGE	YES	293			
LEVEL I	FLORIDA ROOM & BAR	YES	66			
	RESTAURANT INDOOR	YES	98			
	PATIO DINING	YES	170			
	INTERIOR BAR/LOUNGE	YES	79			
LEVEL 4	BUSINESS LOUNGE	YES	65			
	OUTDOOR POOL DECK	YES	187			
	TOTAL	•	1,698			

Planning Department, 1700 Convention Center Drive Miami Beach, Florida 33139, www.miamibeachfl.gov

# 7500 NE 4th Court

Studio 102 Miami, FL 33138

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PROJECT:

1685 COLLINS **HOTEL** 

1685 Collins Avenue
Miami Beach

Florida 33139

INTERIOR DESIGNER SHAMSHIRI LANDSCAPE ARCHITECT

jungles

DRAWING:

PROJECT DATA

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<b>MULTIFAMILY</b>	- COMMERCIAL	- ZONING	DATA	SHEET

Ocean Drive / Collins Historic District; Miami Beach Architectural District

ITEM#	EM# Zoning Information							
I	Address:	Address: 1685 Collins Avenue, Miami Beach FL 33139						
2	Board and File numbers:							
3	Folio number(s):	02-3234-019-0550						
4	Year constructed:	1947 / 1996	Zoning District: RM-3 Residential Multifamily High Density District					
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	5.40 'NGVD				
6	Adjusted grade (Flood+Grade/2)	6.70 'NGVD	Lot Area:	±60,244 SF	±1.38 acres			
7	Lot Width	101'-5"	Lot Depth	603'-4"				
8	Minimum Unit Size	New Construction 15%:300-335 SF; 85%:335+SF. Rehabilitated Historic Structures: 200 SF						
9	Existing User	Hotel/Mixed Use Proposed Use: Hotel/Mixed Use						

		Maximum	Existing	Proposed	Deficiencies
10	Height	200'-0"	168'-5"	168'-5"	
H	Number of Stories	N/A	14	14	-
12	FAR	2.0	2.29	2.29	-
13	FLOOR AREA Square Footage	120,488 SF	138,206 SF	137,511 SF	-
14	Square Footage by use	N/A	N/A	N/A	-
15	Number of Units Residential	N/A	N/A	N/A	-
16	Number of Units Hotel	N/A	169	194	-
17	Number of Seats	N/A	N/A	N/A	-
18	Occupancy Load	N/A	1,698 persons	1,698 persons	-

	Setbacks	Required	Existing	Proposed	Deficiencies
	At Grade Parking:				
19	Front Setback facing Collins (West):	20'-0"	N/A	N/A	-
20	Rear Setback (East):	50'-0" from bulkhead	N/A	N/A	-
21	Side Setback (North):	5'-1" (5% of lot width)	N/A	N/A	-
22	Side Setback (South):	5'-1" (5% of lot width)	N/A	N/A	-
	Pedestal and Subterraean				
23	Front Setback facing Collins (West):	20'-0"	30'-3"	30'-3"	-
24	Rear Setback (East):	120'-8" (20% of lot depth)	42'-3"	42'-3"	Existing non-conforming setback
25	Side Setback (North):	8'-1" (8% of lot width)	5'-4"	5'-4"	Existing non-conforming setback
26	Side Setback (South):	8'-1" (8% of lot width)	4'-4"	4'-4"	Existing non-conforming setback
	Tower				
27	Front Setback facing Collins (West):	50'-0"	51'-2"	51'-2"	-
28	Rear Setback (East):	150'-10" (25% of lot depth)	416'-9"	416'-9"	-
29	Side Setback (North):	8'-1" (8% of lot width)	3'-0"	3'-0"	Existing non-conforming setback
30	Side Setback (South):	7'-1" (8% of lot width+10% of height	3'-8"	3'-8"	Existing non-conforming setback

	Parking	Required	Existing	Proposed	Deficiencies
31	Parking District	I	I	I	-
32	*Total # of parking spaces	0	0	0	-
33	# of parking spaces required	0	0	0	-
34	Parking Space Dimensions	8.5' X 18'	N/A	N/A	-
35	Parking Space Configurations	90 DEGREE			
33	(45°,60°,90°,Parallel)		N/A	N/A	-
36	ADA Spaces	0	N/A	N/A	-
37	Tandem Spaces	N/A	N/A	N/A	-
38	Drive Aisle Width	22'	N/A	N/A	-
39	Valet Drop off and pick up	11'	H*	H.	-
10	Loading zones and Trash collection areas	6	ON STREET	ON STREET	-
41	Bike Racks (15% of required parking)	N/A	N/A		-

	Restaurants, Cafes, Bars, Lounges,				
	Nightclubs	Required	Existing	Proposed	Deficiencies
42	Type of use	N/A	HOTEL/COMMERCIAL	HOTEL/COMMERCIAL	-
43	Total # of Seats	N/A	N/A	N/A	-
44	Total # of Seats per venue	N/A	N/A	N/A	-
45	Total Occupant Content	N/A	N/A	Please see occupancy chart	-
	Occupant content per venue (Provide a				
46	separate chart for a breakdown				
	calculation)	N/A	N/A	Please see occupancy chart	-
47	Is this a contributing building?	YES			

Ocean Dr/Collins Historic District; Miami Beach Architectural District

Located within a Local Historic District?

YES \*ALL USES ARE LOCATED INSIDE EXISTING HISTORIC STRUCTURE, THEREFORE NO PARKING IS REQUIRED

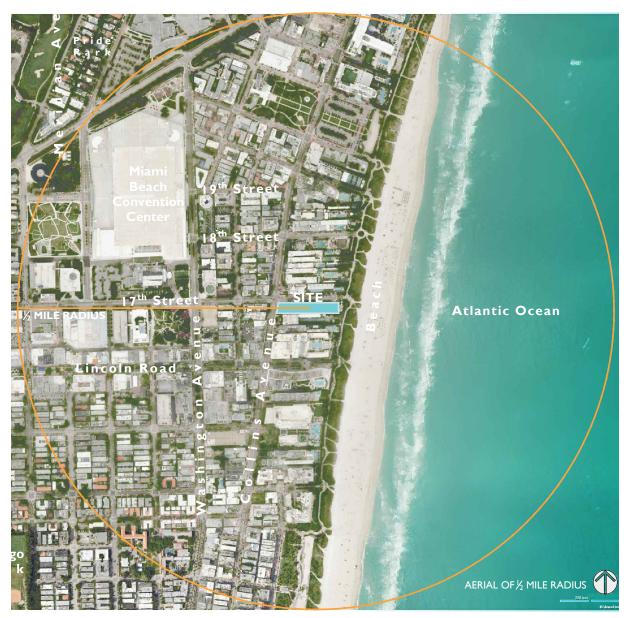




SATELLITE IMAGE









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## 1685 COLLINS HOTEL

1685 Collins Avenue Miami Beach Florida 33139

INTERIOR DESIGNER
SHAMSHIRI
LANDSCAPE ARCHITECT
JUNGIES

DRAWING:

AERIAL VIEWS



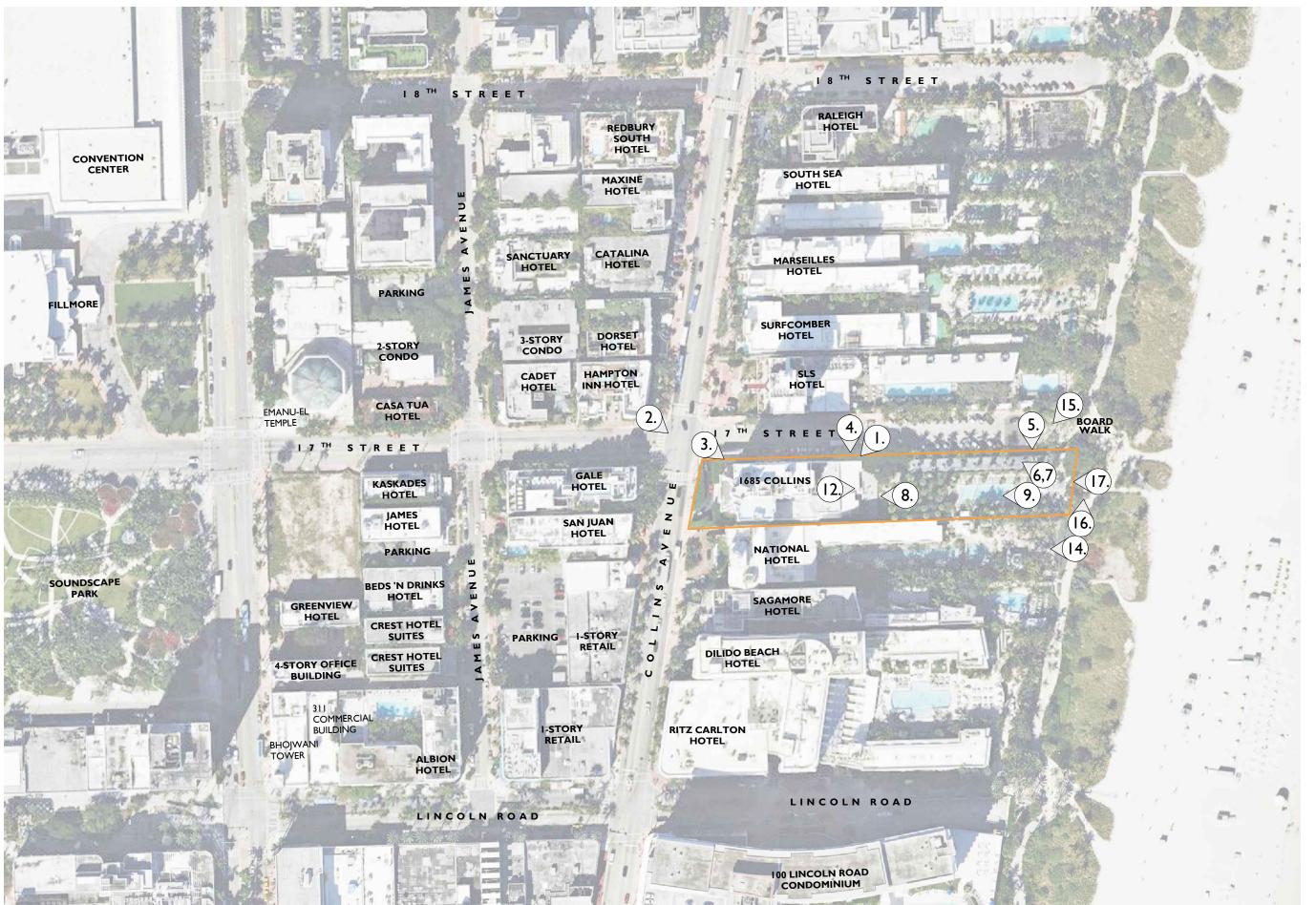
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### 1685 COLLINS HOTEL

1685 Collins Avenue Miami Beach Florida 33139

INTERIOR DESIGNER
SHAMSHIRI
LANDSCAPE ARCHITECT
JUNGIES

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SITE PHOTO LOCATIONS



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DATE: 05/09

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SITE AERIAL - NORTH







2. EXISTING FACADE FACING COLLINS AVENUE





5. EXISTING BUNGALOW FACADE ALONG 17<sup>TH</sup> STREET PARKING



4. EXISTING FACADE ALONG 17<sup>TH</sup> STREET



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### 1685 COLLINS HOTEL

1685 Collins Avenue Miami Beach Florida 33139

INTERIOR DESIGNER
SHAMSHIRI
LANDSCAPE ARCHITECT
JUNGIES

DRAWING:

### SITE PHOTOS



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### 1685 COLLINS HOTEL

1685 Collins Avenue Miami Beach Florida 33139

INTERIOR DESIGNER SHAMSHIRI LANDSCAPE ARCHITECT jungles

DRAWING:

SITE **PHOTOGRAPHY POOL DECK** 



05/09/2022 DATE:



7. POOL BAR





6. POOL AND CABANA SUITES





10. REAR YARD TERRACE



II. REAR YARD TERRACE



13. VIEW FROM BUNGALOW TOWARDS REAR YARD



12. VIEW FROM THE HOTEL TOWARDS THE REAR YARD



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SITE PHOTOS



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