

FINAL SUBMITTAL  
APRIL 25, 2022

SCOPE OF WORK:  
A portion of the ground floor retail space is being changed to indicate a medical use. Therefore the following pages have been updated.  
ALT-00-0 ALTERNATE LOCATION SITE PLAN: Zoning information and sheet list has been updated  
ALT-A00-1 ALTERNATE LEVEL 01 PLAN: Areas have been updated and 1832 sf of retail has been changed to "Medical Office Tenant"  
A00-16 SITE PHOTOS (NEW PAGE)





SYMBOL LEGEND:

- LIGHT POLE
- TYPICAL STATION
- UTILITY POLE
- MAIL BOX
- ELECTRIC BOX
- TRAFFIC SIGNAL BOX
- FIRE HYDRANT
- STORM SEWER/CATCH BASIN
- WATER METER
- SIGN
- TELEPHONE BOX
- WATER VALVE

XEL 1.05' ELEVATIONS

TRAFFIC LANE FLOW

CENTER LINE

MONUMENT LINE

DIAMETER

ABBREVIATIONS:

- A

ARC
- A/C

AIR CONDITIONER
- BLDG

BUILDING
- CH

CHORD LENGTH
- C & G

CURB AND GUTTER
- CH BR

CHORD BEARING
- CBS

CONCRETE BLOCK STUCCO
- CLR

CHAIN LINK FENCE
- CLF

CONCRETE
- CONC

CONCRETE
- D

DELTA
- EB

EAST
- ENG

ENGINEERING BUSINESS LICENSE NUMBER
- ELEV

ELEVATION
- ENC

ENCROACHMENT
- EP

EDGE OF PAVEMENT
- FEMA

FEDERAL EMERGENCY MANAGEMENT AGENCY
- FIP

FOUND IRON PIPE
- FR

FOUND IRON ROD
- FIRM

FLOOD INSURANCE RATE MAP
- FND

FOUND
- FL

FLORIDA POWER AND LIGHT CO.
- GNSS

GLOBAL NAVIGATION SATELLITE SYSTEM
- GPS

GLOBAL POSITIONING SYSTEM
- IP

IRON PIPE
- L

LENGTH
- LB

LAND SURVEYOR
- M & R

MEASURED AND RECORD
- MEAS

MEASURED
- MH

MAN HOLE
- N

NORTH
- N/A

NOT APPLICABLE
- N & DISC

RAIL & DISC
- NAD27

NORTH AMERICAN DATUM OF 1927
- NAD83

NORTH AMERICAN DATUM OF 1983
- NAD83 ADJ

NORTH AMERICAN DATUM OF 1983 ADJUSTMENT
- NFIP

NATIONAL FLOOD INSURANCE PROGRAM
- NS

NATIONAL GEODETIC SURVEY
- NO

NUMBER
- NO ID

NO IDENTIFICATION
- NOAA

NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION
- NSRS 2007

NATIONAL SPATIAL REFERENCE SYSTEM OF 2007
- NTS

NOT TO SCALE
- O'

DEGREES
- O'

MINUTES OR FEET
- O'

SECONDS OR INCHES
- ORV

OBSERVED ANGLE
- ORE

OVERHEAD ELECTRIC
- ORB

OFFICIAL RECORD BOOK
- PAV

PAVEMENT
- PL

PLAT BOOK
- PC

POINT OF CURVATURE
- PCC

POINT OF COMPOUND CURVATURE
- PO

POLE
- PL

PROPERTY LINE
- PLS

PROFESSIONAL LAND SURVEYOR
- PI

POINT OF INTERSECTION
- POB

POINT OF BEGINNING
- POC

POINT OF COMMENCEMENT
- PT

POINT OF TANGENCY
- PRC

POINT OF REVERSE CURVATURE
- PSA

PROFESSIONAL SURVEYOR AND MAPPER
- R

RADIUS OR RECORD
- REC

RECORD
- RES

RESIDENCE
- RNG

RANGE
- RLS

REGISTERED LAND SURVEYOR
- S

SOUTH
- S/W

SIDE OF WAY LINE
- SEC

SECTION
- STA

STATION
- SWK

SIDEWALK
- T

TANGENT
- TWP

TOWNSHIP
- TYP

TYPICAL
- W

WEST OR WITH
- WF

WOOD FENCE
- WM

WATER METER
- WV

WATER VALVE
- ZW

ZURWELLE-WHITTAKER, INC.



LOCATION MAP (N.T.S.)

LEGAL DESCRIPTION:

LOT 9,10,11,12,13 AND 14, BLOCK 106 OF "OCEAN BEACH, FLA., ADDITON No 3", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2 AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

PROPERTY CONTAINS 45,000 SQUARE FEET, MORE OR LESS OR 1.033 ACRES MORE OR LESS.

FLOOD INFORMATION:  
COMMUNITY NUMBER : 120651  
PANEL NUMBER : 12086C0319L  
SUFFIX : L  
DATE OF FIRM : 09-11-2009  
FIRM ZONE : AE  
BASE FLOOD ELEVATION : 8.00'  
DATE FIELD WORK : 09-27-2013  
DATE DRAFTING : 10-02-2013  
DATE SIGNED AND SEALED : 10-03-2013  
REVISED FIELD SURVEY : N/A

- SURVEYOR'S NOTES:
- EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORD INSTRUMENTS IF ANY, AFFECTING THE PROPERTY.
  - LOCATION AND IDENTIFICATION OF UNDERGROUND ENCROACHMENTS OR UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED
  - NO SEARCH OF PUBLIC RECORDS HAS BEEN MADE (BY THIS OFFICE) FOR ACCURACY AND OR OMISSIONS.
  - THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM FROM ENCUMBRANCES, "TITLE" ABSTRACT NOT REVIEWED.
  - THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
  - THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ENTITIES NAMED HEREON AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.
  - DIMENSIONS, BEARINGS OR ANGLES INDICATED HEREIN ARE MEASURED AND ARE THE SAME AS PLAT VALUES UNLESS OTHERWISE INDICATED
  - BEARINGS ARE BASED ON SHOWN PLAT VALUES (IF ANY) OR AN ASSUMED VALUE.
  - ALL RIGHTS OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED
  - UTILITY FACILITIES WITHIN UTILITY EASEMENTS NOT NOTED AS VIOLATIONS, DRIVEWAYS OR PORTIONS THEREOF WITHIN ROADWAYS NOT NOTED AS VIOLATIONS OR ENCROACHMENTS.
  - R/W LINES DEPICTED HEREON ARE REFERENCED TO THE PLATS OF PUBLIC RECORD (LISTED BELOW) NO ADDITIONAL INFORMATION WAS PROVIDED TO THIS OFFICE REGARDING CHANGES IN RIGHTS OF WAY, DEDICATIONS, LOT LINES, PROPERTY LINES, ZONING ETC.
  - THIS DRAWING IS PROPERTY OF ZURWELLE-WHITTAKER, INC AND CANNOT BE REPRODUCED WITHOUT WRITTEN CONSENT
  - THE ELEVATION INFORMATION SHOWN HEREON (IF ANY) IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM, (N.G.V.D.), OF 1929, UNLESS OTHERWISE NOTED
  - BENCHMARK USED: NO ELEVATION REQUESTED
  - COORDINATES SHOWN ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983/90/ 2007 NSRS ADJUSTMENT.
  - COORDINATE CONVERSIONS (IF ANY) HAVE BEEN CONVERTED USING CORPSCON VERSION 6.6.1, FROM U.S. ARMY CORPS OF ENGINEERS ALEXANDRIA, VIRGINIA.
  - UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
  - ACCURACY OF HORIZONTAL CONTROL: (FOR EXPECTED USE OF LAND AS DEFINED BY (51-17)) THE FIELD MEASUREMENTS VERIFIED BY CALCULATIONS OF A CLOSED GEOMETRIC FIGURE BASED UPON FIELD INFORMATION TAKEN IN THE FIELD BY TOTAL STATION AND OR GPS/GNSS.

RELATIVE DISTANCE ACCURACY FOR THIS SURVEY IS MORE OR LESS.  
X COMMERCIAL/HIGH RISK LINEAR: 1 FOOT IN 10,000 FEET  
SUBURBAN LINEAR: 1 FOOT IN 7,500 FEET  
RURAL LINEAR: 1 FOOT IN 5,000 FEET

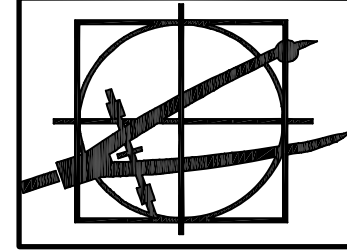
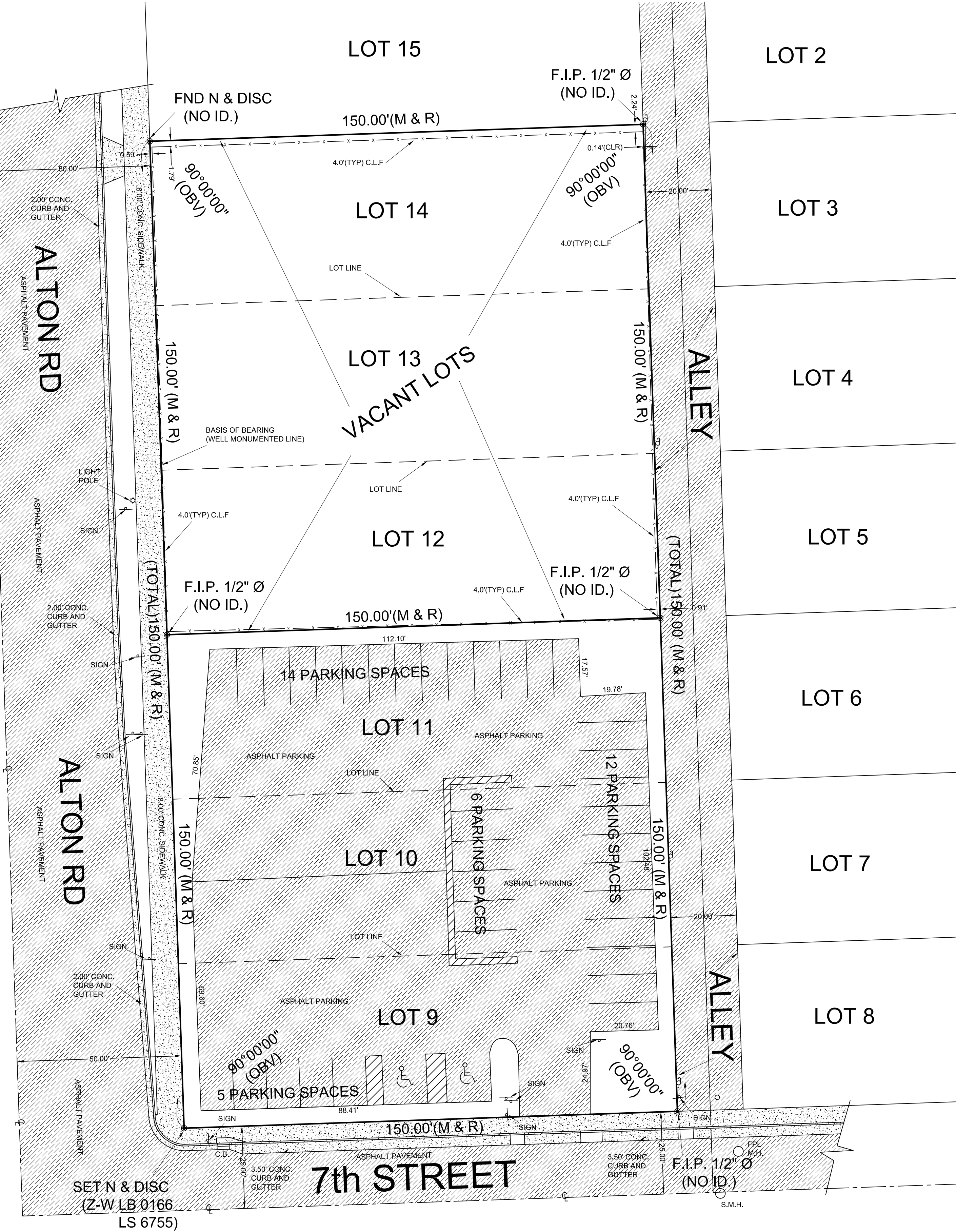
SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED "BOUNDARY SURVEY" WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE SURVEY MEETS MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027.



LOCATION MAP

709-745 ALTON RD  
MIAMI BEACH, FL 33139



ZURWELLE-WHITTAKER, INC. ESTAB. 1926  
CONSULTING ENGINEERS AND SURVEYORS  
1140 WEST 50th ST., SUITE 307, HIALEAH, FL 33012  
PH: (305) 534-4688 FAX (305) 531-4689  
WWW.ZURWELLE-WHITTAKER.COM  
CERTIFICATE OF AUTHORIZATION NO. LB0000166 EB 0028651  
MEMBER: FLORIDA LAND SURVEYORS COUNCIL FLORIDA SURVEYING AND MAPPING SOCIETY

EDDIE A. MARTINEZ  
PROFESSIONAL SURVEYOR AND  
MAPPER REG. 150755  
STATE OF FLORIDA

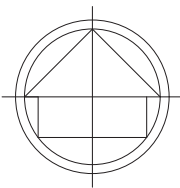
PROJECT:  
709-745 ALTON RD  
MIAMI BEACH, FL 33139

JOB No. N/A  
FIELD BOOK: J.C. CAREAGA  
SCALE: 1"=20'  
DRAWN: JMR  
REVISED: EAM  
REVISIONS:  
03-02-1994  
08-31-1998  
03-24-2001  
05-31-2001  
07-17-2003  
SHEET No. 1 OF 1

CAD FILE:  
X:\PLANS\LAND PROJECTS\3725-745 ALTON RD\DWG\725-745 ALTON RD.dwg



# ALTA/NSPS LAND TITLE SURVEY



## LOCATION MAP (NTS)

709 ALTON ROAD  
MIAMI BEACH, FLORIDA

### LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
FND	FOUND NAIL & DISC
P.B.	PLAT BOOK
M/D.C.R.	MIAMI/DADE COUNTY RECORDS
-X-	CHAIN LINK/ WOOD FENCE
-E-	OVERHEAD UTILITY LINE
MLP	METAL LIGHT POLE
WM	WATER METER
TSB	TRAFFIC SIGNAL BOX
WPP	WOOD POWER POLE
FDH	FOUND DRILL HOLE
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
ORB	OFFICIAL RECORDS BOOK
CO	CLEAN OUT
EB	ELECTRIC BOX
FDC	FIRE DEPARTMENT CONNECTION
DDCV	DOUBLE DETECTOR CHECK VALVE
WV	WATER VALVE
PIV	POST INDICATOR VALVE
(H)	HANDICAP PARKING SPACE

### NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON THE COMMITMENT FOR TITLE INSURANCE, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY. EFFECTIVE DATE: MARCH 20, 2019, (FILE NO: FL-15651-19/FL252014)
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- BENCHMARK REFERENCE: MIAMI/DADE COUNTY BENCHMARK W-310 ELEVATION=5.47'
- BEARINGS SHOWN HEREON ARE ASSUMED.
- THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NO: FL-15651-19/FL252014, WITH AN EFFECTIVE DATE OF 03/20/2019. AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "AE/8" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 0319 L, WITH A DATE OF IDENTIFICATION OF 09/11/09, FOR COMMUNITY NO. 1206561, IN MIAMI/DADE COUNTY, STATE OF FLORIDA WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO ALTON ROAD, LENOX COURT AND 7TH STREET, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 2, PAGE 81, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF MIAMI BEACH, MIAMI/DADE COUNTY, FLORIDA.
- THERE ARE 166 STRIPED PARKING SPACES INCLUDING 6 DISABLED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

ZONING TABLE		
CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT		
	ZONING REGULATIONS	ACTUAL
MINIMUM FRONT SETBACK	5 FEET	4 FEET
MINIMUM SIDE INTERIOR SETBACK	5 FEET	2.5 FEET
MINIMUM STREET SIDE SETBACK	5 FEET	5.3 FEET
REAR SETBACK	5 FEET	10 FEET
MAXIMUM HEIGHT	5 STORIES	N/A
REGULAR PARKING SPACES	N/A	160 SPACES
HANDICAP SPACES	N/A	6 HANDICAP SPACES

SCHEDULE B-II REVIEW OF:  
THE COMMITMENT FOR TITLE INSURANCE, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY. EFFECTIVE DATE: MARCH 20, 2019. (FILE NUMBER: FL-15651-19/FL252014)

ITEM# 16. UNDERGROUND EASEMENT (BUSINESS) TO FLORIDA POWER & LIGHT COMPANY RECORDED AUGUST 11, 2016 IN O.R. BOOK 30189, PAGE 152 (AFFECTS/PLOTTED)

ALL OTHER ITEMS (AFFECTS/NOT PLOTTABLE)

CERTIFIED TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON MARCH 31, 2022.

*Richard E. Cousins*

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954) 689-7766

CLIENT :

BAPTIST

R E V I S I O N S				
	DATE	FB/P/G	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY/TOPO SURVEY	03/11/14	DATA/COLL	AM	REC
UPDATE TO ALTA / ACSM LAND TITLE SURVEY STANDARDS	07/19/14	DATA/COLL	AM	REC
REVISED CERTIFICATION	08/26/14	-----	REC	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/04/14	-----	JD	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/10/14	-----	JD	REC
UPDATE SURVEY	10/23/14	SKETCH	REC	REC

REVISIONS				
REVISE THE TREE NAMES FOR TREES 38 - 59	12/02/14	-----	REC	REC
UPDATE RIGHT-OF-WAY SURVEY	04/30/15	SKETCH	AM	REC
UPDATE SURVEY/ REVISED SITE GRADES	02/23/18	SKETCH	JD	REC
REVISED PER NEW TITLE COMMITMENT	04/28/16	-----	AM	REC
REVISED PER NEW TITLE COMMITMENT	4/28/16	-----	AM	REC
UPDATE ALTA/NSPS LAND TITLE SURVEY	12/10/18	-----	AM	REC

REVISIONS				
REVISED PER NEW TITLE COMMITMENT	04/12/19	-----	AM	REC
FINAL SURVEY	07/08/20	SKETCH	JD	REC
UPDATE SURVEY	03/31/22	-----	AM	REC

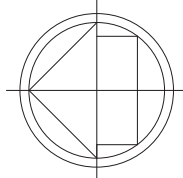
PROJECT NUMBER : 7247-14

SCALE : 1" = 20'

SHEET  
1  
OF  
2  
SHEETS

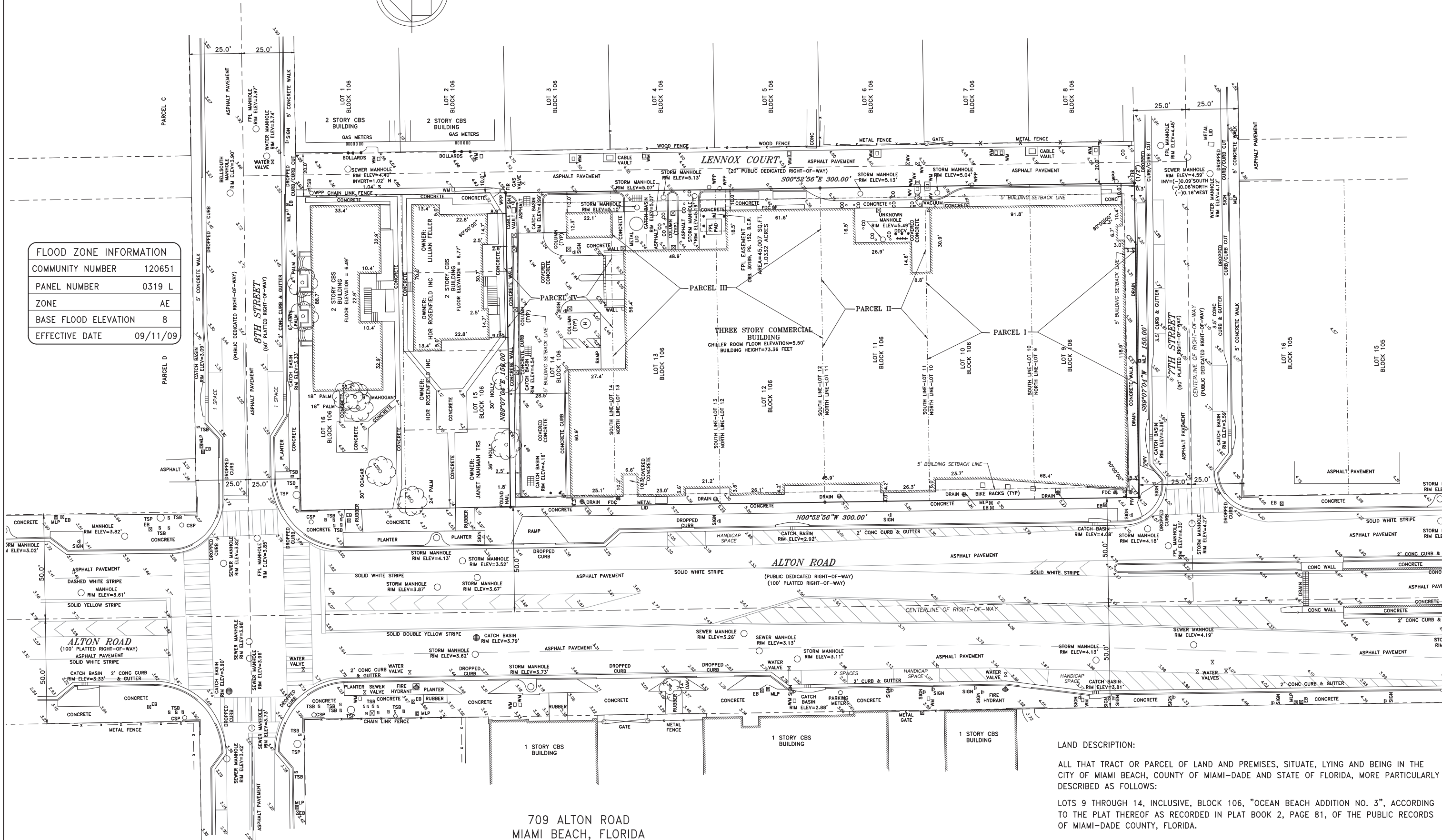
# ALTA/NSPS LAND TITLE SURVEY

20 0 20 40  
GRAPHIC SCALE IN FEET



## FLOOD ZONE INFORMATION

COMMUNITY NUMBER	120651
PANEL NUMBER	0319 L
ZONE	AE
BASE FLOOD ELEVATION	8
EFFECTIVE DATE	09/11/09



709 ALTON ROAD  
MIAMI BEACH, FLORIDA

## LAND DESCRIPTION:

ALL THAT TRACT OR PARCEL OF LAND AND PREMISES, SITUATE, LYING AND BEING IN THE CITY OF MIAMI BEACH, COUNTY OF MIAMI-DADE AND STATE OF FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 9 THROUGH 14, INCLUSIVE, BLOCK 106, "OCEAN BEACH ADDITION NO. 3", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954) 689-7766

CLIENT :

BAPTIST

## REVISIONS

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY/TOPO SURVEY	03/11/14	DATA/COLL	AM	REC
UPDATE TO ALTA / ACSM LAND TITLE SURVEY STANDARDS	07/19/14	DATA/COLL	AM	REC
REVISED CERTIFICATION	08/26/14		REC	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/04/14		JD	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/10/14		JD	REC
UPDATE SURVEY	10/23/14	SKETCH	REC	REC

## REVISIONS

REVISIONS	DATE	FB/PG	DWN	CKD
REVISE THE TREE NAMES FOR TREES 36 - 59	12/02/14		REC	REC
UPDATE RIGHT-OF-WAY SURVEY	04/30/15	SKETCH	AM	REC
UPDATE SURVEY/ REVISED SITE GRADES	02/23/16	SKETCH	JD	REC
REVISED PER NEW TITLE COMMITMENT	04/26/16		AM	REC
REVISED PER NEW TITLE COMMITMENT	4/28/16		AM	REC
UPDATE ALTA/NSPS LAND TITLE SURVEY	12/10/18		AM	REC

## REVISIONS

REVISIONS	DATE	FB/PG	DWN	CKD
REVISED PER NEW TITLE COMMITMENT	04/12/18		AM	REC
FINAL SURVEY	07/08/20	SKETCH	JD	REC
UPDATE SURVEY	03/31/22		AM	REC

PROJECT NUMBER : 7247-14

SCALE : 1" = 20'

SHEET

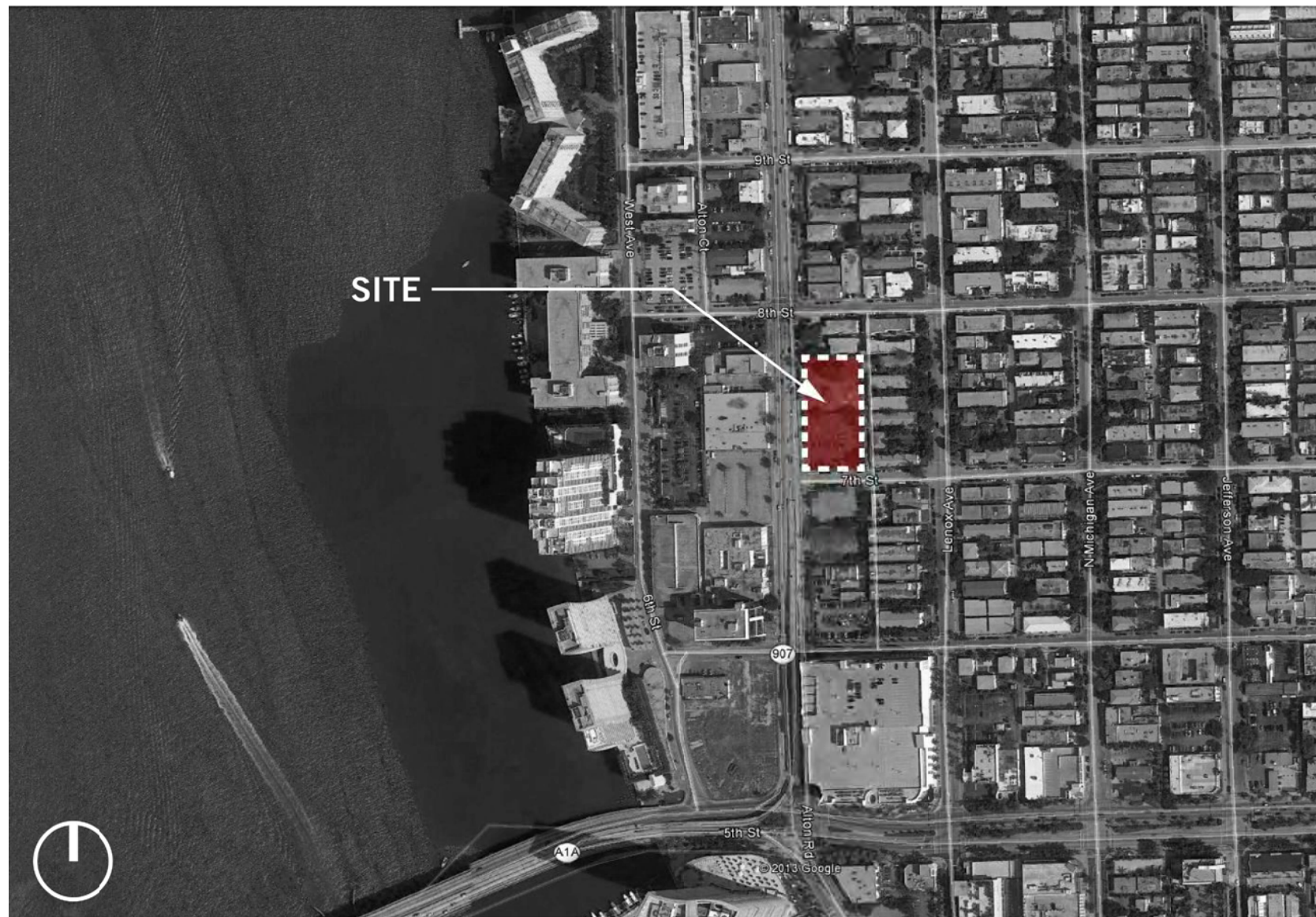
2

OF

2

SHEETS





ZONING DATA SUMMARY				
SITE AREA = 45,000 sf				
ZONING DESIGNATION     CD-2 COMMERCIAL MEDIUM DENSITY				
142-306 DEVELOPMENT REGULATIONS				
REGULATION	REQUIREMENT		PROPOSED	
MAXIMUM FAR	1.5	1.5 X 45,000sf = 67,500 sf	63,500 sf FAR / 122,000 GSF TOTAL AREA	
MINIMUM LOT AREA	7,000 SF		45,000 SF	
MINIMUM LOT WIDTH	50 FEET		300 FEET	
MAXIMUM BUILDING HEIGHT	50 FEET		50 FEET	
142-307 SETBACK REGULATIONS				
REGULATION	REQUIREMENT		PROPOSED	
PEDESTAL AND TOWER				
FRONT	0 FEET		0 FEET	
SIDE- INTERIOR	10 FEET IF ABUTTING RES DISTRICT		0 FEET	
	NONE		NONE PROVIDED, CD-2 AT NORTH	
SIDE- FACING STREET	10 FEET IF ABUTTING RES DISTRICT		0 FEET	
	NONE		NONE PROVIDED, CD-2 AT NORTH	
REAR	10 FEET IF ABUTTING RES DISTRICT		10 FEET	
	5 FEET			
PARKING                    AS PER ORDINANCE 2013-3812 / SEC. 130-33				
USE	AREA	RATIO	REQUIREMENT	PROPOSED
RETAIL	30,000 SQ. FT.	1 CAR : 300 SQ. FT.	100 SPACES	100 SPACES
OFFICE	32,762 SQ. FT.	1 CAR : 400 SQ. FT.	81 SPACES	78 SPACES
			181 SPACES	*178 SPACES (INCL. 6 HC SPACES)
				58,500 GSF PARKING
*NOTE: AS PER SEC. 130-33.7.C.				
VEHICULAR PARKING SHALL BE REDUCED BY 1 SPACE FOR EVERY 10 SHORT-TERM BICYCLE PARKING SPACES.				
30 SHORT-TERM BICYCLE PARKING SPACES = 3 VEHICULAR PARKING SPACES REDUCED				

DRAWING LIST

- A00-0

LOCATION SITE PLAN
- A00-1

LEVEL 01 PLAN
- A00-2

LEVEL 02 PLAN
- A00-3

LEVEL 03 PLAN
- A00-4

LEVEL 04 PLAN
- A00-5

ROOF PLAN
- A00-5a

RENDERED ROOF PLAN
- A00-6

ELEVATIONS
- A00-7

COLORED SECTION / ELEVATION
- A00-8

SECTIONS
- A00-9

RENDERING
- A00-9a

RENDERING REVISED
- A00-10

RENDERING
- A00-10a

RENDERING REVISED
- A00-11

CONTEXT ELEVATION
- A00-12

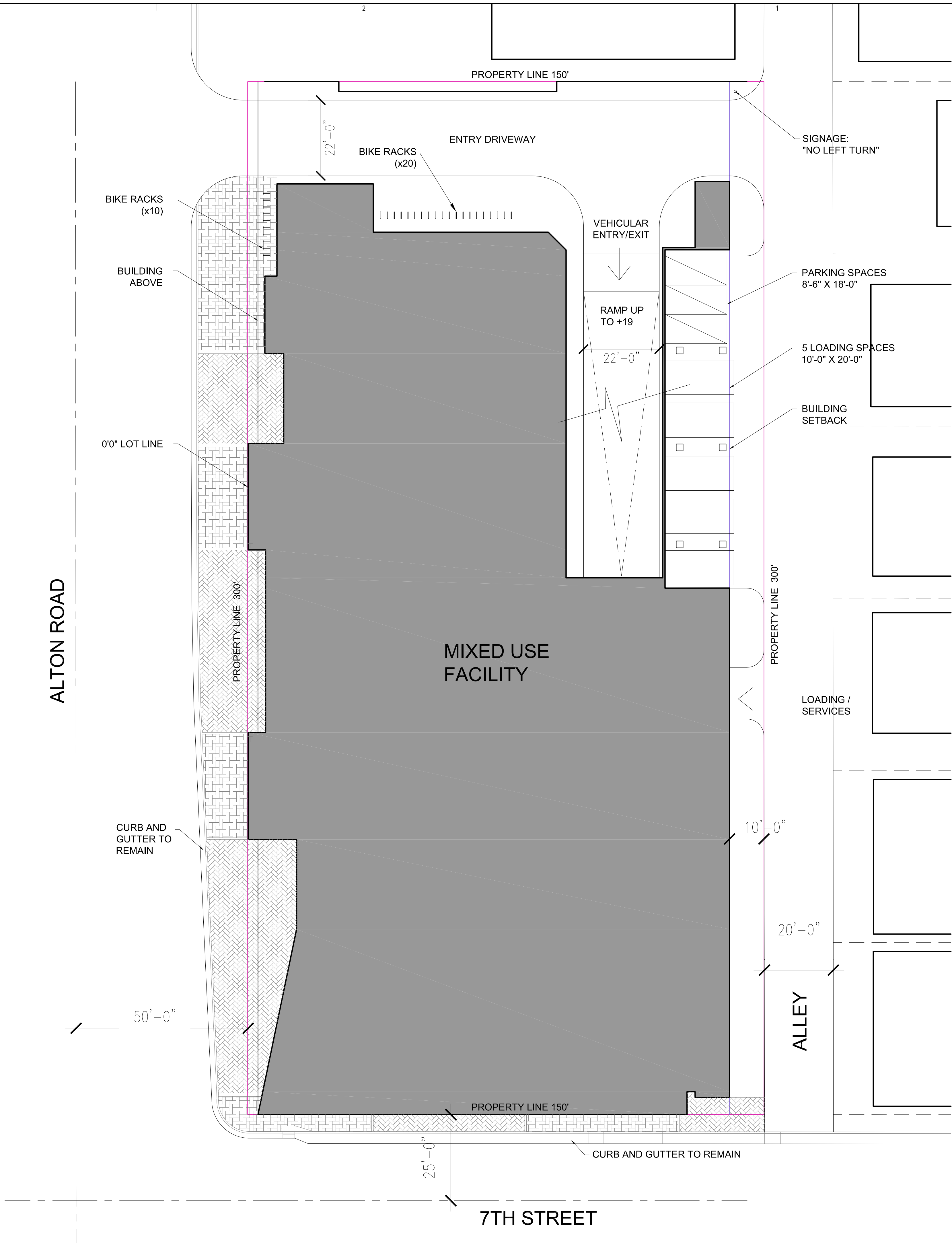
AS-OF-RIGHT
- A00-13

SITE ELEVATION
- A00-14

WEST LENOX AVENUE ELEVATION
- A00-15

AERIAL VIEW
- LP-1

PLANTING PLAN



PERKINS  
+ WILL

806 Douglas Rd.  
Suite 300  
Coral Gables, FL 33134  
t 305.569.1333  
f 305.569.1334  
www.perkinswill.com

709 ALTON  
ROAD

Crescent  
Heights

2200 BISCAYNE BLVD.  
MIAMI, FL 33137

February 10, 2014      Revisions

NO	ISSUE	DATE
Sheet Information		
Date	October 11, 2013	
Job Number	816000.137	
Drawn	GJS	
Checked	CAC	
Approved	CAC	
Title		

LOCATION  
SITE PLAN

Sheet  
A00-0





LAND DESCRIPTION	
LOTS 9 THROUGH 14, INCLUSIVE, BLOCK 106 OF "OCEAN BEACH ADDITION NO. 3", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2 AT PAGE 81 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.	

ZONING DATA SUMMARY				
SITE AREA: 45,000 SF				
ZONING DESIGNATION : CD-2 COMMERCIAL MEDIUM INTENSITY DISTRICT				
142-306 DEVELOPMENT REGULATIONS				
REGULATION	REQUIREMENT		PROPOSED	
Maximum Area	1.5	1.5x45,000= 67,500 sf	63,500 sf	FAR / 122,000 GSF Total Area
Minimum Lot Area	7,000 sf		45,000 sf	
Minimum Lot Width	50 Feet		300 Feet	
Maximum Building Height	50 Feet		50'-0" Main Roof Line, 50'-8" Top of Roof Deck	
142-307 DEVELOPMENT REGULATIONS				
REGULATION	REQUIREMENT		PROPOSED	
Front Setback	0 Feet		4 Feet at pedestal, 0 Feet proposed above	
Side-Interior setback	10 Feet if abutting Residential District		CD-2 District to the North, 0 Feet proposed	
	0 Feet at All Other Districts		CD-2 District to the South, 5'-3" setback at pedestal, 0 Feet proposed above	
Side Facing Street Setback	10 Feet if abutting Residential District			
	0 Feet at All Other Districts			
Rear	5 Feet		Residential District to the rear, 10 Feet roposed	
	10 Feet if abutting Residential District			
PARKING AS PER ORDINANCE 2013-3812				
USE	FLOOR AREA	RATIO	REQUIREMENT	PROPOSED
Medical Office	61,532 SQ. FT.	1 Car : 300 SQ. FT.	206 X.80=165	175 (including 6 HC spaces) * and 1 parking spaces per 12 short term bike spaces
Retail	2,268 SQ. FT.	1 Car: 300 SQ. FT.	8	
			0	
Note: As per Sec. 130-33.7.C.				
*Vehicular parking shall be reduced by one space for every 10 short term bicycle parking spaces				
12 short term bicycle parking spaces = 1 vehicular parking spaces reduced				
Note: As per Sec. * 130-32 (5)				
*The minimum parking requirements for office uses may be reduced by up to 20 percent in cases where the developer voluntarily proffers a restrictive covenant running with the land, form approved by the City Attorney, ensuring that the required office parking spaces shall be shared by all users in the building and shall not be reserved for individual persons or tenants.				

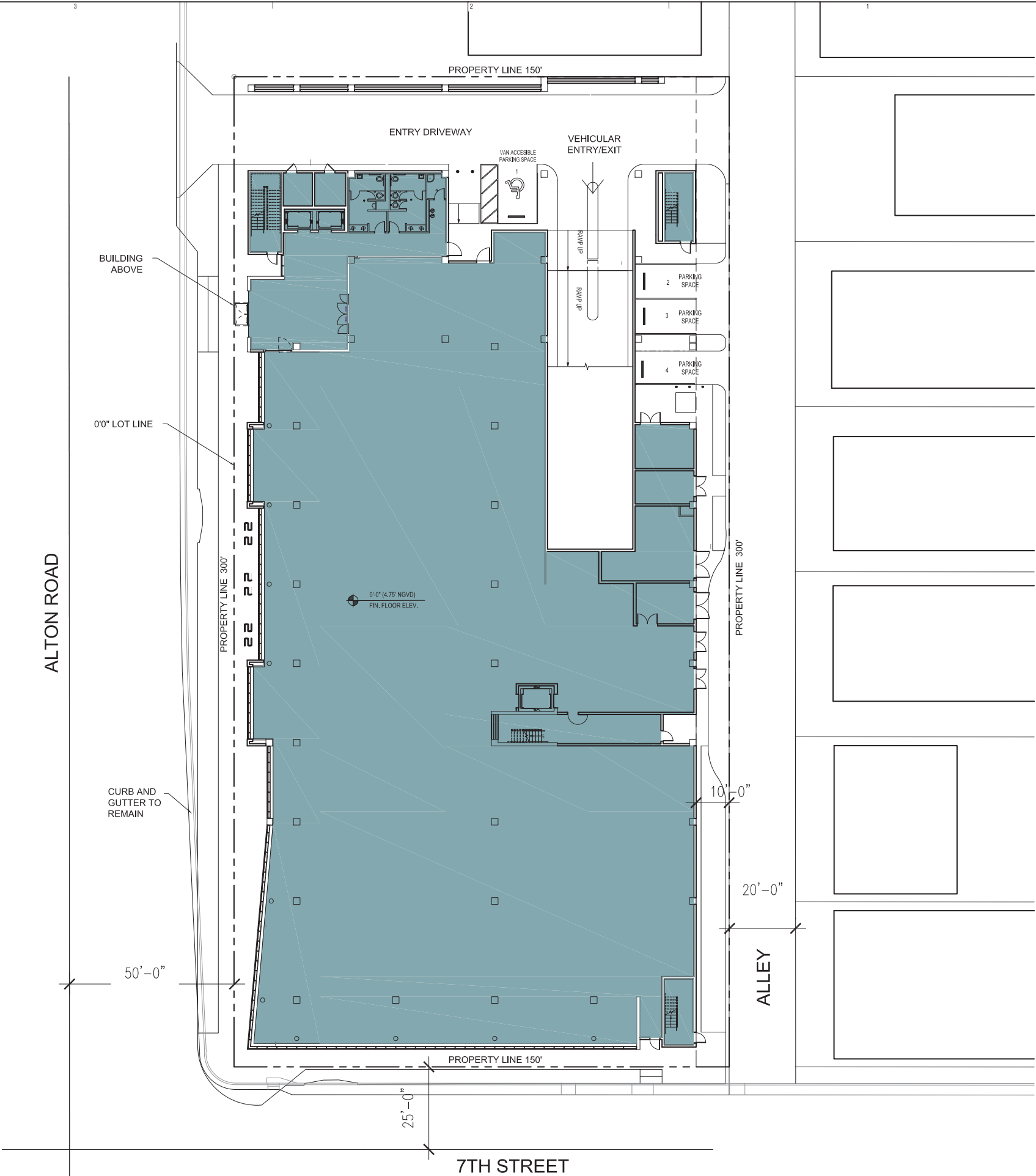
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COVER SHEET

BOUNDARY SURVEY  
UPDATED SURVEY SHEET-1  
UPDATED SURVEY SHEET-2  
A00-0 LOCATION SITE PLAN  
ALT - A00-0 ALTERNATE LOCATION SITE PLAN  
A00-1 LEVEL 01 PLAN  
ALT - A00-1 ALTERNATE LEVEL 01 PLAN  
A00-2 LEVEL 02 PLAN  
ALT - A00-2 ALTERNATE LEVEL 02 PLAN  
A00-3 LEVEL 03 PLAN  
ALT - A00-3 ALTERNATE LEVEL 03 PLAN  
A00-4 LEVEL 04 PLAN  
ALT - A00-4 ALTERNATE LEVEL 04 PLAN  
A00-5 ROOF PLAN  
A00-5a RENDERED ROOF PLAN  
ALT - A00-5 ALTERNATE ROOF PLAN  
A00-6 ELEVATIONS

A00-7  
A00-8  
A00-9  
A00-9a  
ALT - A00- 9  
A00-10  
A00-10a  
ALT - A00- 10  
A00-11  
A00-12  
A00-13  
A00-14  
A00-15  
A00-16  
LP-1

COLORLED SECTION / ELEVATION  
SECTIONS  
RENDERING  
RENDERING REVISED  
ALTERNATIVE RENDERING  
RENDERING  
RENDERING REVISED  
ALTERNATIVE RENDERING  
CONTEXT ELEVATION  
AS-OF-RIGHT  
SITE ELEVATION  
WEST LENOX AVENUE ELEVATION  
AERIAL VIEW  
SITE PHOTOS  
PLANTING PLAN



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Crescent  
Heights

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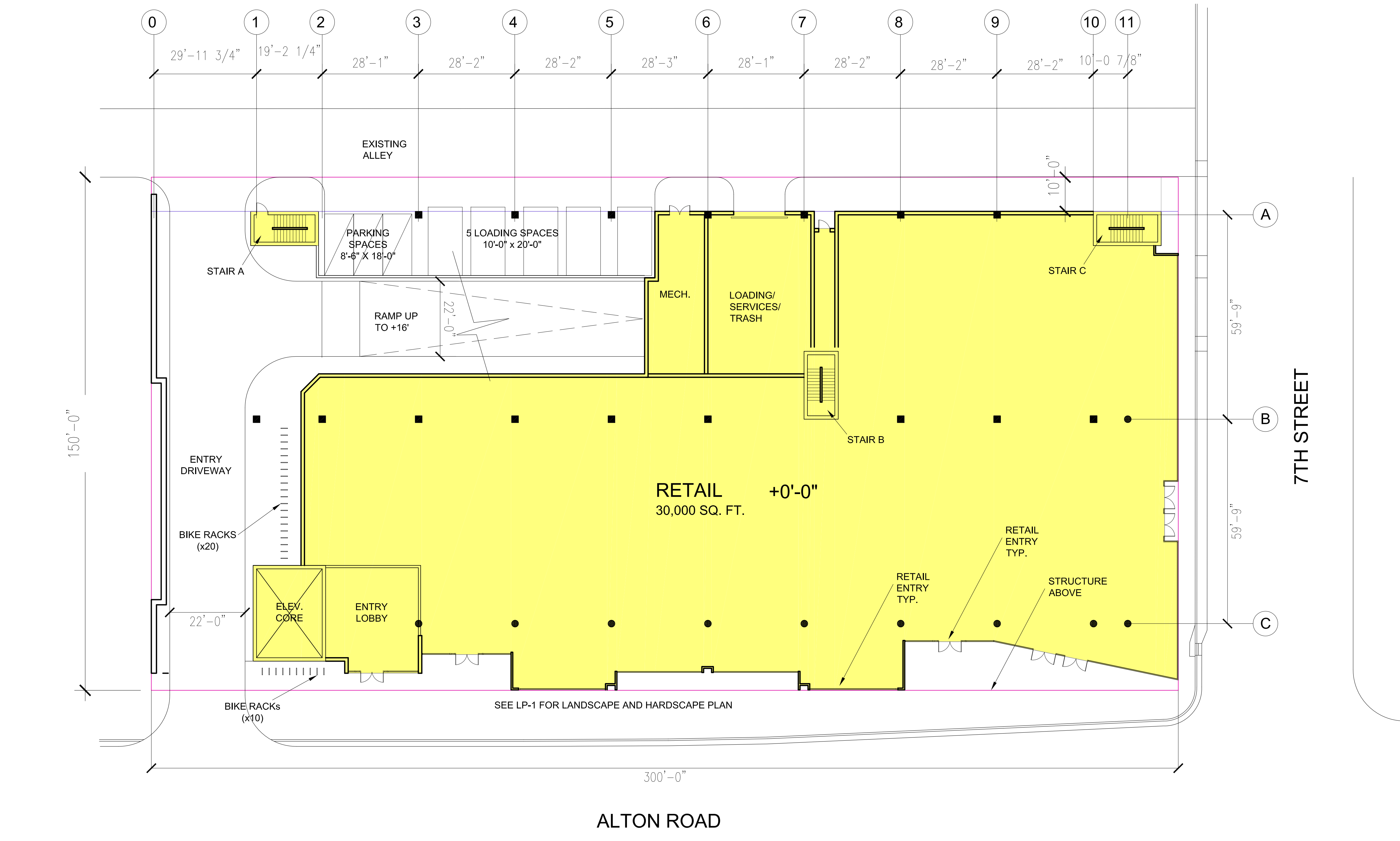
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Job Number	816000.137	
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Approved	KS	
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ALTERNATE  
LOCATION  
SITE PLAN

Sheet

ALT - A00-0





1 LEVEL 1 FLOOR PLAN  
SCALE: 1/16" = 1'0" N

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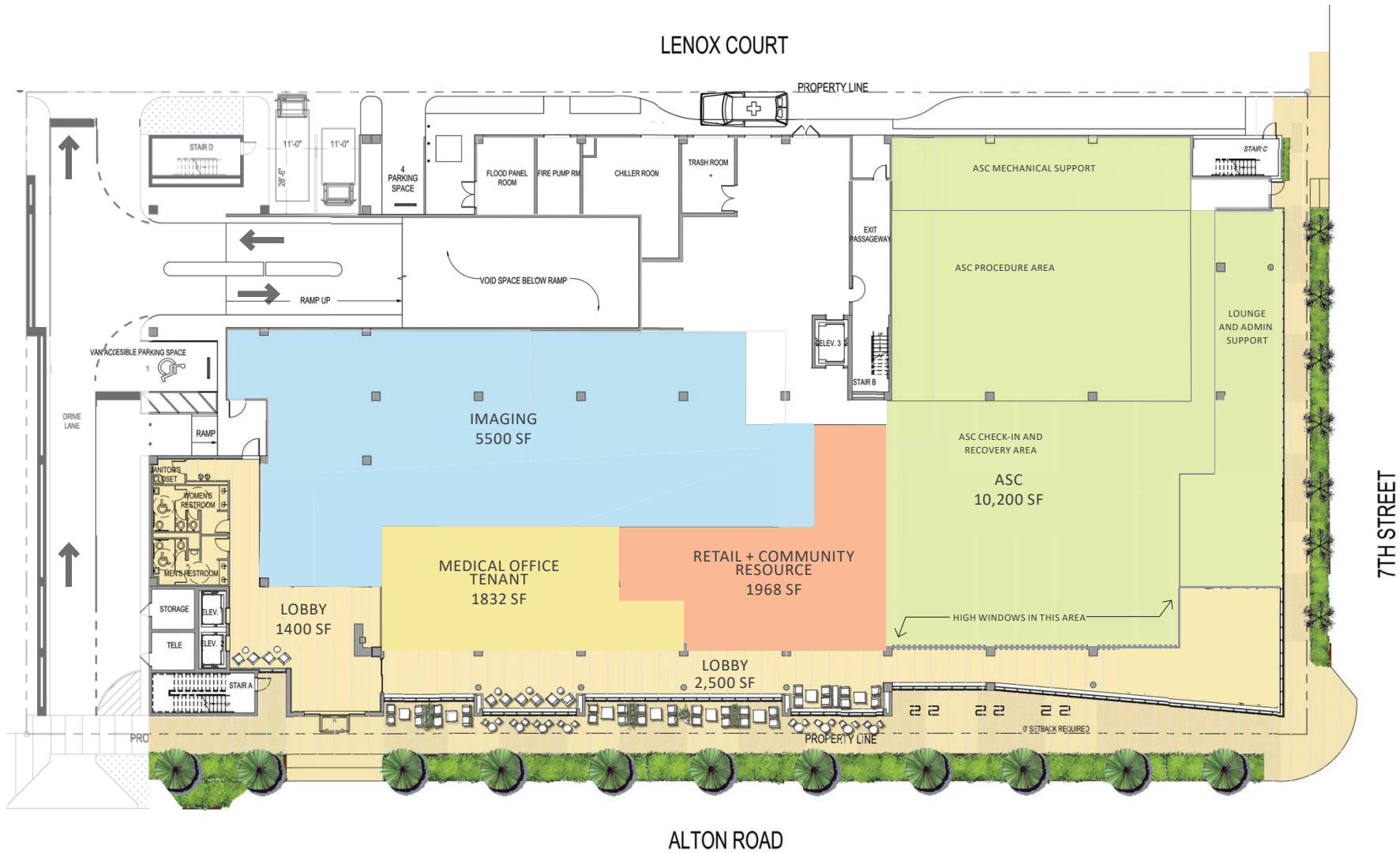
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Date	October 11, 2013	
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LEVEL 01  
PLAN

Sheet  
A00-1





1

ALTERNATIVE LEVEL 1 FLOOR PLAN

SCALE: 1/16" = 1'0"



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ALTERNATIVE  
LEVEL 01 PLAN

Sheet

ALT-A00-1





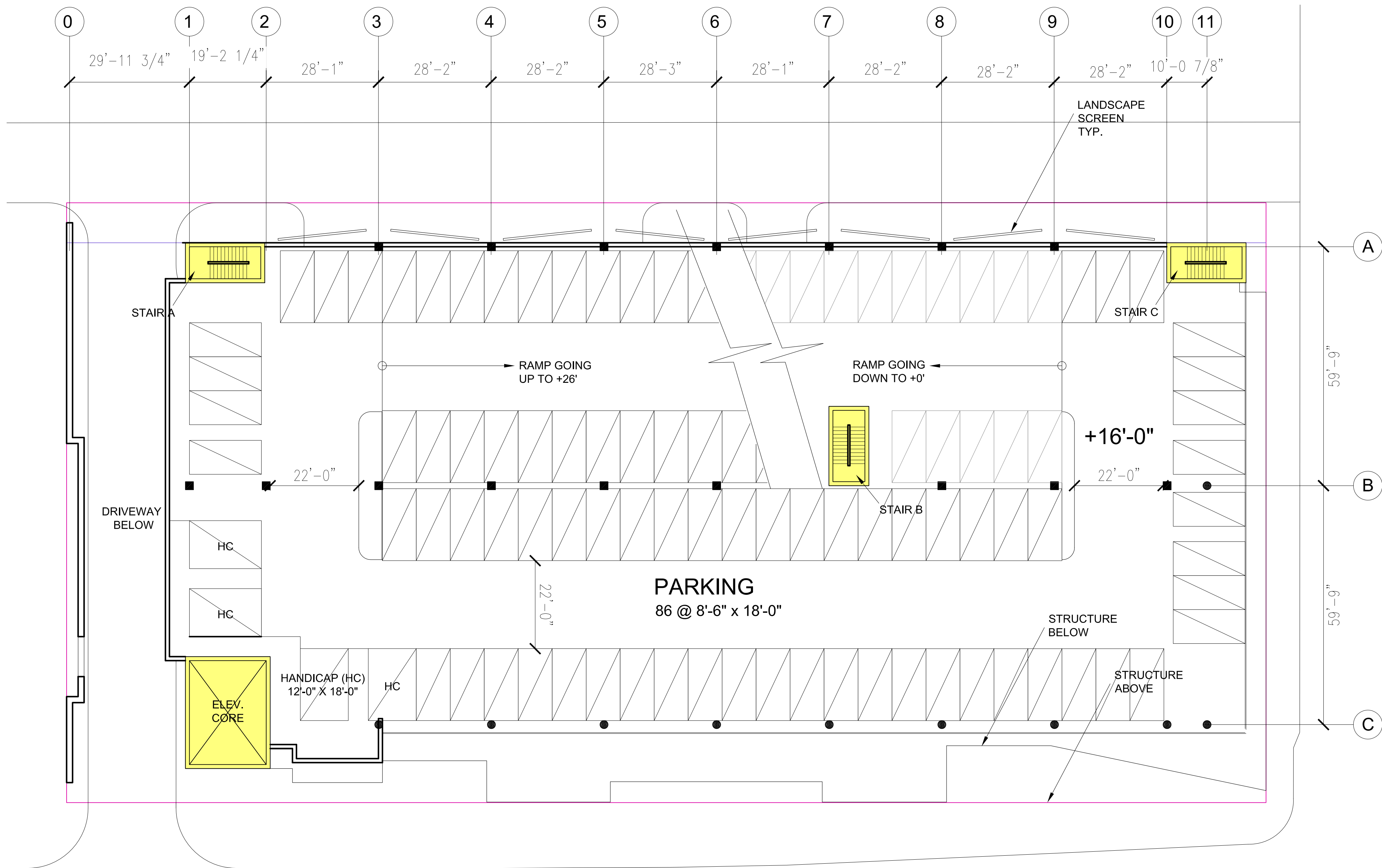
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LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'0"

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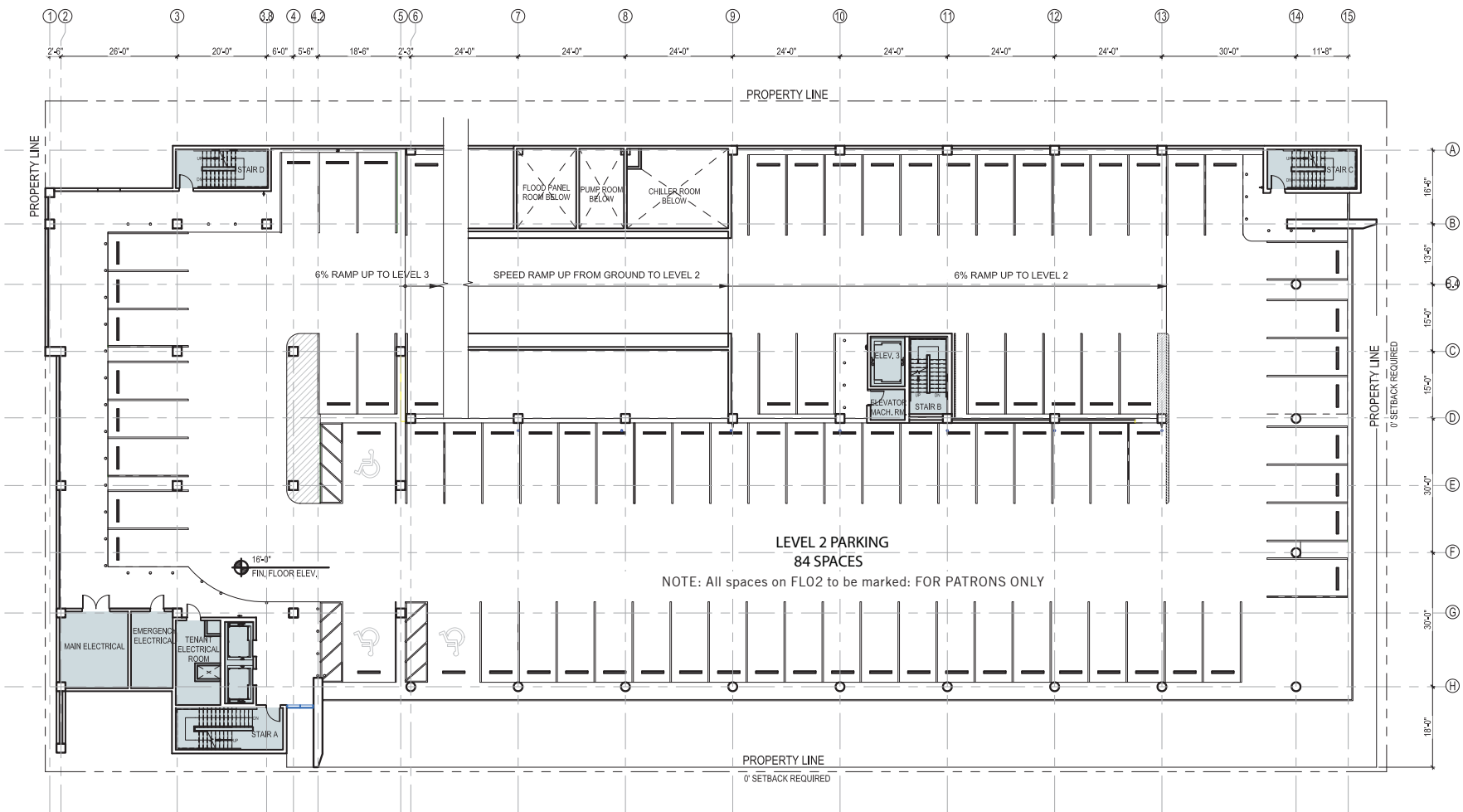
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Approved	CAC	
Title		

LEVEL 2  
PLAN

Sheet  
A00-2





1 ALTERNATIVE LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'0"



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Approved	KS	
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ALTERNATIVE  
LEVEL 02 PLAN

Sheet

ALT-A00-2





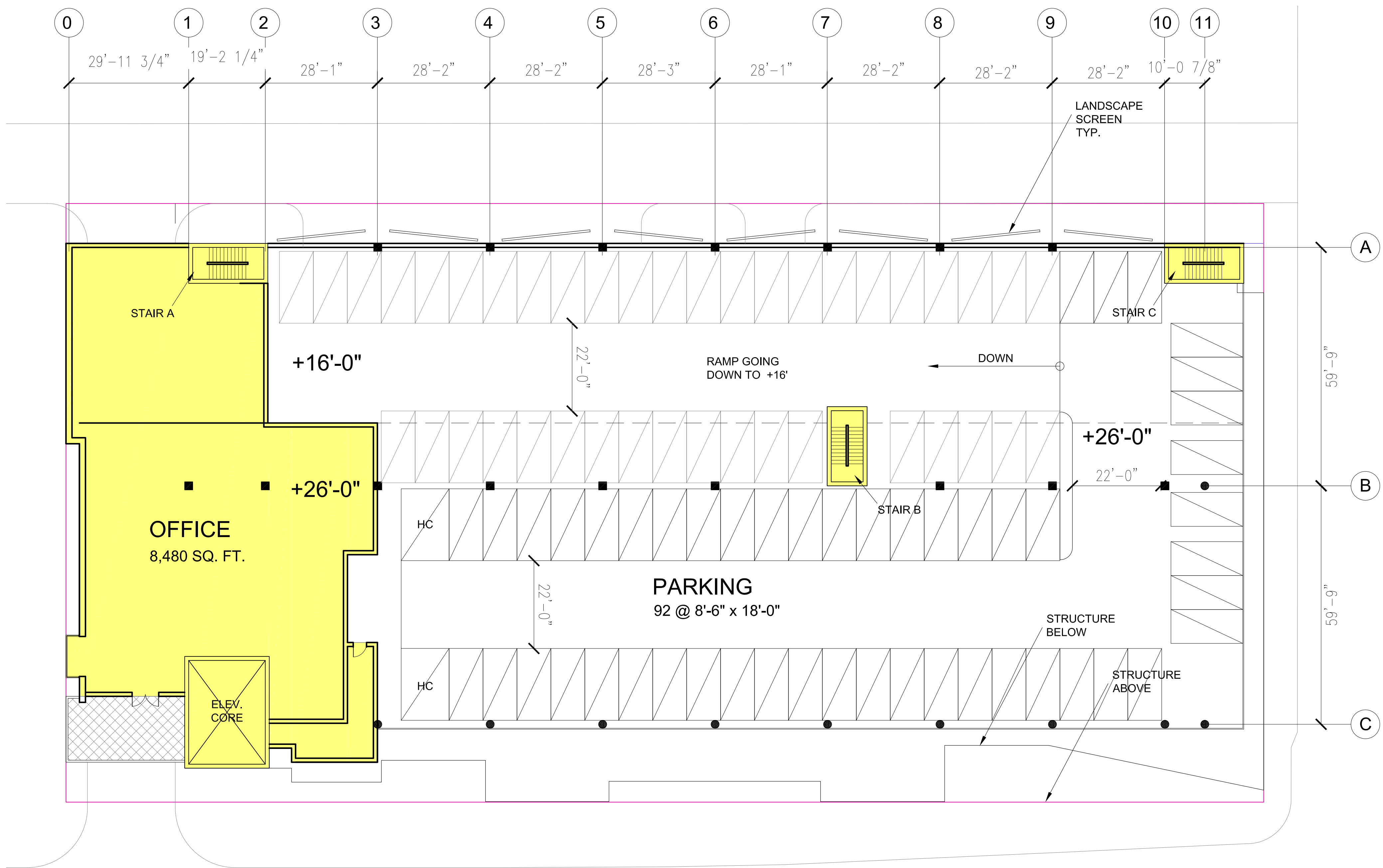
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LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'0"

N

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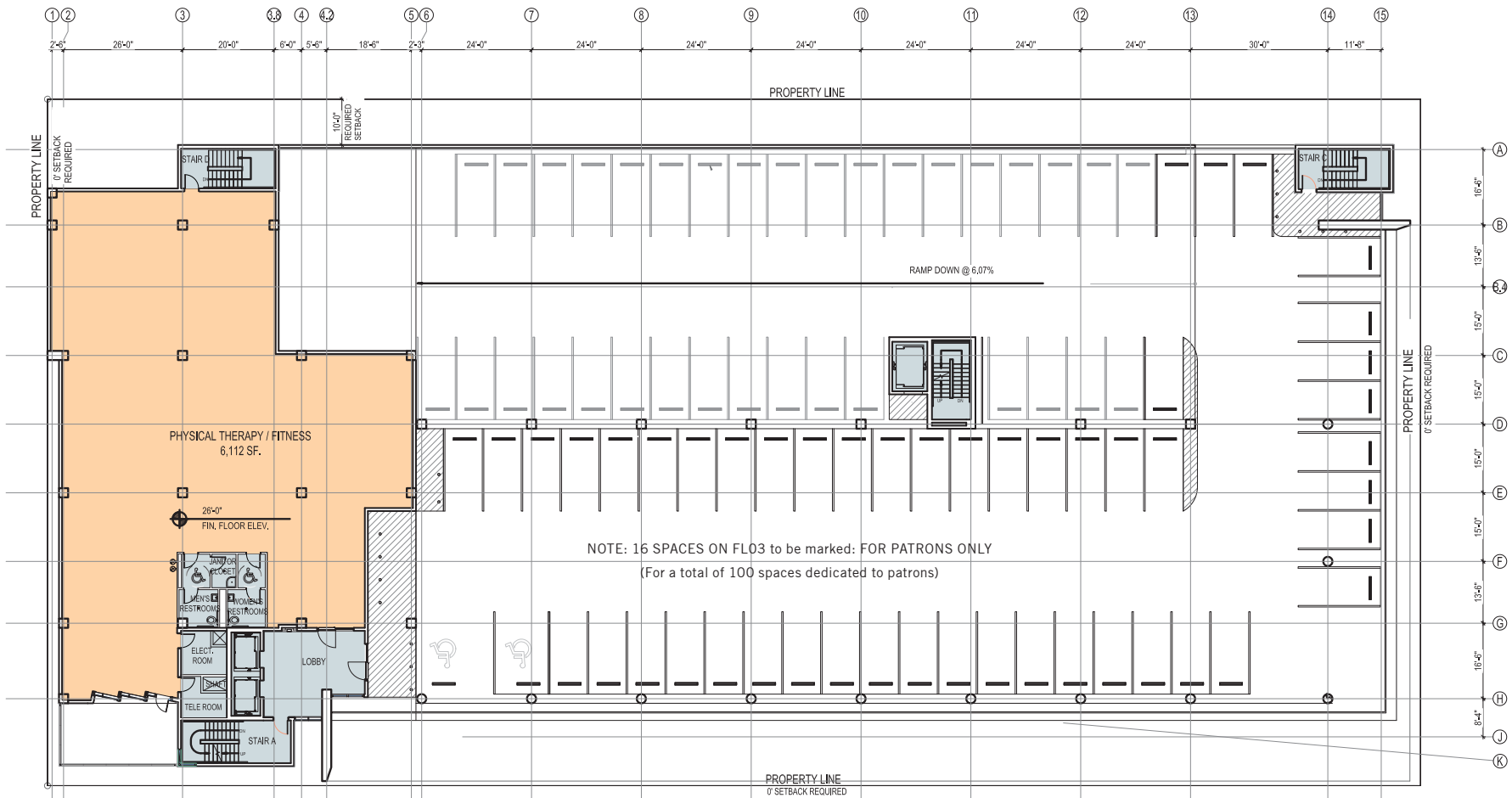
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Approved	CAC	
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LEVEL 3  
PLAN

Sheet  
A00-3

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1 ALTERNATIVE LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'0"



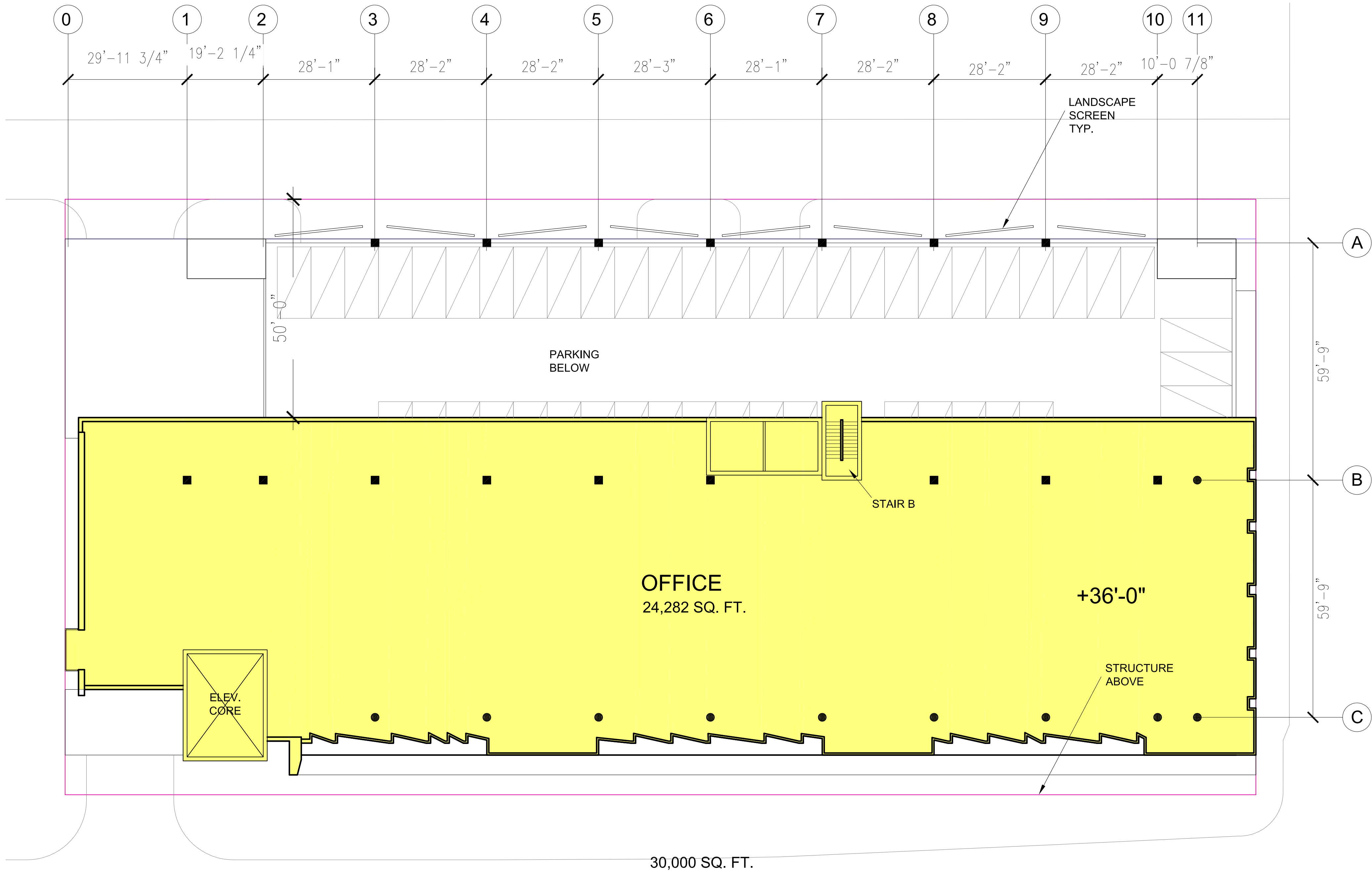
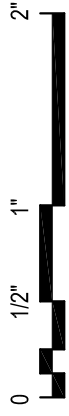
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ALTERNATIVE  
LEVEL 03 PLAN

Sheet  
ALT-A00-3

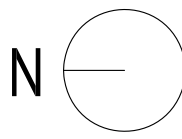




4

LEVEL 4 FLOOR PLAN

SCALE: 1/16" = 1'0"



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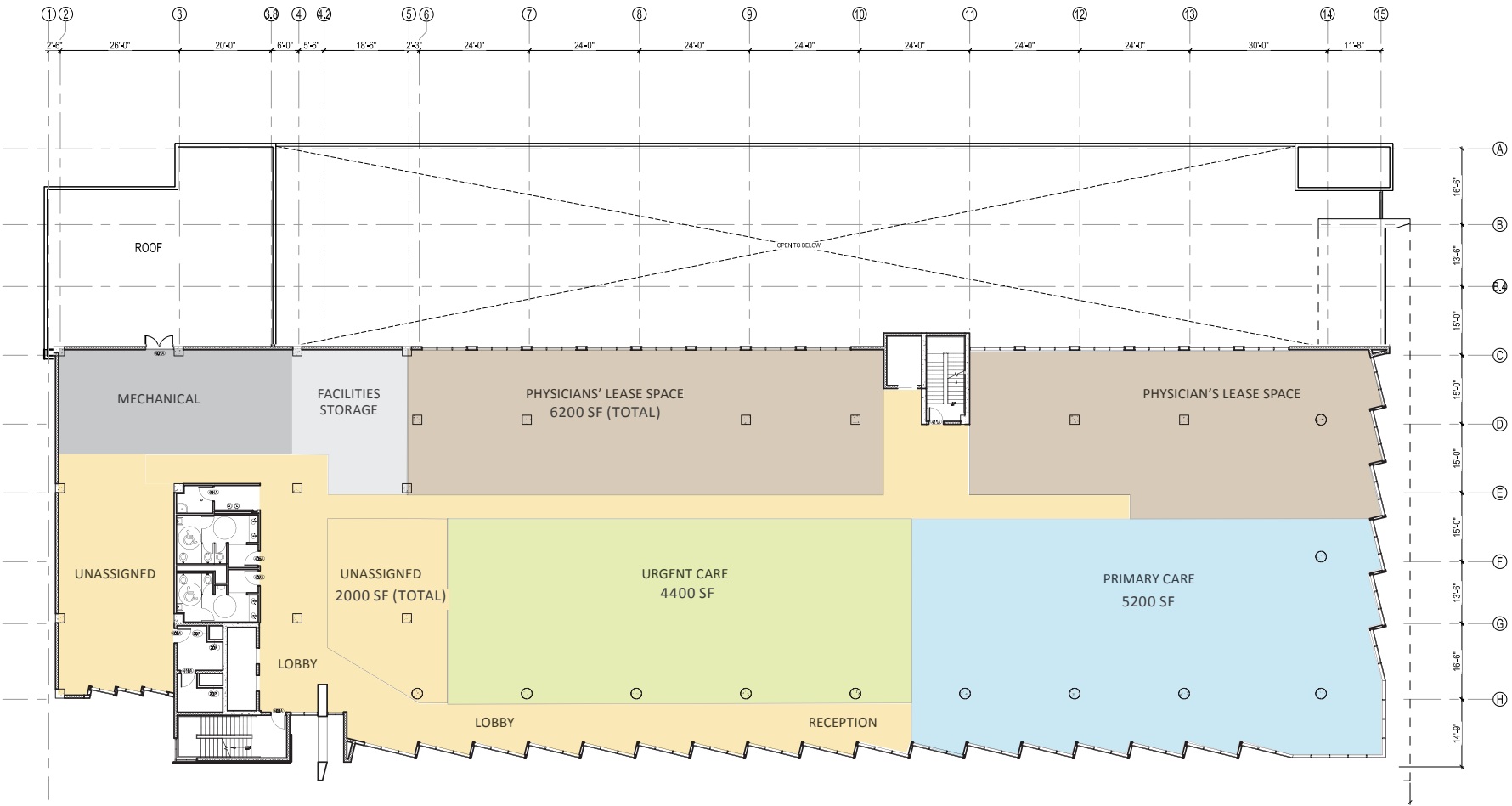
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LEVEL 4  
PLAN

Sheet  
A00-4





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ALTERNATIVE  
LEVEL 04 PLAN

Sheet

ALT-A00-4

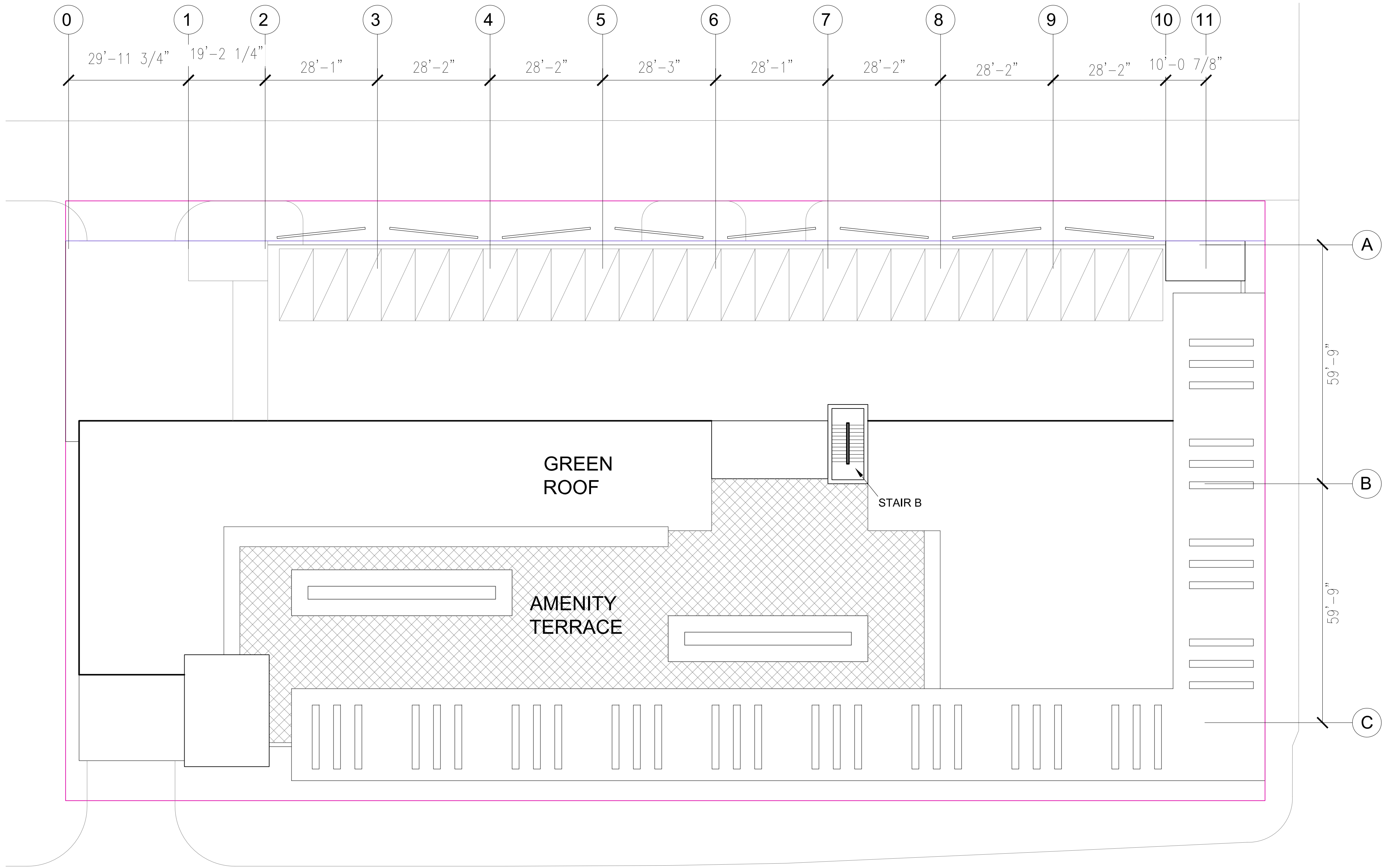
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ALTERNATIVE LEVEL 4 FLOOR PLAN

SCALE: 1/16" = 1'0"

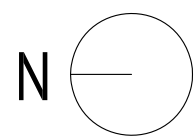






ROOF PLAN

SCALE: 1/16" = 1'0"



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ROOF PLAN

Sheet

A00-5