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SUBMITTALS :

[illegible]

Revision Schedule		
Revision #	Revision Description	Revision Date

18 SUNSET

PROJECT NAME:
18 Sunset

PROJECT ADDRESS:
1770 Purdy Ave

AHCA CODE / FILE NO. :
#

PRICING SET
NOT FOR
CONSTRUCTION

SHEET NAME

LANDSCAPE COVER
SHEET INDEX +
LANDSCAPE LEGEND

SHEET NO



CITY OF MIAMI BEACH LANDSCAPE DRB SUBMITTAL
SUNSET PARK | 1770 PURDY AVENUE | MIAMI BEACH, FLORIDA

SCOPE OF WORK

- New streetscape designs to be provided for multi-use Sunset Park building + condominiums along Bay Road and Purdy Avenue.
- Upper level gardens will be provided with raised planters.

EXISTING VEGETATION SUMMARY

The existing vegetation located on the property is composed primarily of invasive alexander palms , small trees and palms. No specimen trees are proposed to be removed as part of this development project. Please see sheets L101 for additional information

INDEX OF SHEETS

- L000** Landscape Cover Page + Sheet Index + Landscape Legend
- L001** General Notes + Landscape Notes
- L101** Existing Tree Survey + Disposition Plan
- L102** Existing Tree Chart + Mitigation Summary
- L201** Ground Level Landscape Plan
- L202** Second Level Landscape Plan
- L203** Roof Deck Landscape Plan
- L204** Plant Lists + Landscape Details
- L205** Plant Material Images

MIAMI BEACH LANDSCAPE LEGEND

NOTING THAT THERE IS PERMANENTLY AVAILABLE TO PLANT:

Information District CD-2 Lot Area 30,000 SF Acres .69

	REQUIRED/ ALLOWED	PROVIDED
OPEN SPACE		
A. Square feet of required Open Space as indicated on site plan: Lot Area = <u>30,000</u> s.f. <u>10</u> % = <u>3,000</u> s.f.	<u>N/A</u>	<u>N/A</u>
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces = _____ x 15' x 15' parking space = _____	<u>N/A</u>	<u>N/A</u>
C. Total square feet of landscaped open space required: A-B=	<u>N/A</u>	<u>N/A</u>
LAWN AREA CALCULATION		
A. Square feet of landscaped open space required	<u>N/A</u>	<u>N/A</u>
B. Maximum lawn area (sod) permitted: _____ % x _____ s.f.	<u>N/A</u>	<u>N/A</u>
TREES		
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements: <u>22</u> _____ trees x <u>.69</u> _____ net lot acres - number of existing trees =	<u>16 TREES</u>	<u>12 TREES</u>
B. % Native required: Number of trees provided x 30% =	<u>5 TREES</u>	<u>12 TREES</u>
C. % low maintenance / drought and salt tolerant required: Number of trees provided x 50% =	<u>7 TREES</u>	<u>12 TREES</u>
D. Street Trees (minimum average spacing of 20' o.c.): <u>400 LF</u> _____ linear feet along street divided by 20' =	<u>20 STREET TREES</u>	<u>20 STREET TREES</u>
E. Street tree species allowed direct beneath power lines: _____ (minimum average spacing of 20' o.c.): _____ linear feet along street divided by 20' =	<u>N/A</u>	<u>_____</u>
SHRUBS		
A. Number of shrubs required: Sum of lot and street trees required x 12% =	<u>420</u>	<u>420</u>
B. % Native shrubs required: Number of shrubs provided x 50% =	<u>210</u>	<u>210</u>
LARGE SHRUBS OR SMALL TREES		
A. Number of large shrubs or small trees required: Number of required shrubs x 10% =	<u>42</u>	<u>50</u>
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =	<u>21</u>	<u>50</u>

{ 4 TREES PROVIDED ON 1ST LEVEL / GROUND
 9 TREES PROVIDED ON ROOF DECK / PLANTER

 { 17 STREET TREES PROVIDED ON PURDY AVE
 3 STREET TREES PROVIDED ON BAY ROAD

APPROVED



CITY OF MIAMI BEACH LANDSCAPE DRB FINAL SUBMITTAL - 04.11.22
SUNSET PARK | 1759 PURDY AVENUE | MIAMI BEACH, FLORIDA

SCOPE OF WORK

- New streetscape designs to be provided for multi-use Sunset Park building along Bay Road and Purdy Avenue.
- Roof level sunset deck pool + garden

EXISTING VEGETATION SUMMARY

The existing vegetation located on the property is composed primarily of invasive alexander palms , small trees and palms. No specimen trees are proposed to be removed as part of this development project. Please see sheets L101 for additional information

INDEX OF SHEETS

- L000 Cover, Sheet Index + Landscape Legend
L001 General, Irrigation + Landscape Notes
L101 Existing Tree Survey + Disposition Plan
L102 Existing Tree Chart + Mitigation Summary
L201 Ground Floor Landscape Plan - APPROVED
L201.1 Ground Floor Landscape Plan - PROPOSED
L202 Second Floor Landscape Plan - APPROVED
L202.1 Second Floor Landscape Plan - PROPOSED
L203 Third Floor Landscape Plan - APPROVED
L203.1 Third Floor Landscape Plan - PROPOSED
L204 Roof Deck Landscape Plan
L205 Plant Lists + Landscape Details

MIAMI BEACH LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY ATTACHED TO PLANS				Zoning District CD-2		Lot Area 30,000 SF		Acres .69	
				REQUIRED/ ALLOWED		PROVIDED			
OPEN SPACE									
A. Square feet of required Open Space as indicated on site plan: Lot Area = 30,000 s.f. x .10 % = 3,000 s.f.				N/A		N/A			
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces _____ x 10 s.f. parking space =				N/A		N/A			
C. Total square feet of landscaped open space required: A+B=				N/A		N/A			
LAWN AREA CALCULATION									
A. Square feet of landscaped open space required				N/A		N/A			
B. Maximum lawn area (soil permitted): _____ % x _____ s.f.				N/A		N/A			
TREES									
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements: .22 _____ trees x .69 _____ net lot acres = number of existing trees=				15 TREES		16 TREES		{ 4 TREES PROVIDED ON 1ST LEVEL / GROUND 12 TREES PROVIDED ON ROOF DECK / PLANTER	
B. % Natives required: Number of trees provided x 30% =				5 TREES		16 TREES			
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =				7 TREES		16 TREES			
D. Street Trees (maximum average spacing of 20' o.c.): .400 LF _____ linear feet along street divided by 20' =				20 STREET TREES		21 STREET TREES		{ 17 STREET TREES PROVIDED ON PURDY AVE 4 STREET TREES PROVIDED ON BAY ROAD	
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): _____ linear feet along street divided by 20' =				N/A					
SHRUBS									
A. Number of shrubs required: Sum of lot and street trees required x 12=				420		1,160			
B. % Native shrubs required: Number of shrubs provided x 50% =				210		210			
LARGE SHRUBS OR SMALL TREES									
A. Number of large shrubs or small trees required: Number of required shrubs x 10% =				42		50			
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =				21		50			

EIGHTEEN SUNSET
1759 PURDY AVENUE
MIAMI BEACH, FL 33139

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Christopher Cawley

CHRISTOPHER CAWLEY, P.L.A.
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DRB SET - 03/21/22

REVISIONS

NO.:	DESCRIPTION:	DATE:

PROJECT NUMBER

15072

DRAWN BY

LM, MN

CHECKED BY

CC

TITLE

COVER, SHEET INDEX
+ LANDSCAPE
LEGEND

NUMBER

L000

PROPOSED

IRRIGATION NOTES

1. IRRIGATION CONTRACTOR SHALL PROVIDE, FURNISH, AND INSTALL A FULLY AUTOMATIC IRRIGATION SYSTEM WHICH WILL COMPLY WITH ALL LOCAL, CODE, STATE CODE, & WATER MANAGEMENT DISTRICT (SWMD) REQUIREMENTS
2. THE IRRIGATION CONTRACTOR SHALL SCHEDULE AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE OWNER AND THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION OF THE IRRIGATION SYSTEM.
3. CONTRACTOR SHALL INSTALL POP-UP TYPE HEADS. SPRAY TYPE SHALL BE ROTOR, IMPACT, SPRAY, OR BUBBLER AND SHALL BE INSTALLED SO AS NOT TO CAUSE ANY OVERSPRAY ONTO ANY PAVED SURFACES, I.E. ROADS, SIDEWALKS, ETC. ALL FIXTURES SHALL BE "TORO", "RAINBIRD" OR AN APPROVED EQUAL. ALL WORK SHALL BE DONE IN A PROFESSIONAL MANNER AS PER MANUFACTURER'S SPECIFICATIONS.
4. ALL MAIN SUPPLY LINE SHALL BE PVC SCHEDULE 40 PIPE. ALL PVC FITTINGS SHALL BE SCHEDULE 40. THE MAIN LINE IS SHOWN SCHEMATICALLY. LOCATE MAIN LINES IN LANDSCAPE AREAS WHERE POSSIBLE AND SLEEVE UNDER PAVEMENT WHERE NECESSARY. MAINLINES SHALL BE IN THE SAME TRENCH WITH THE LATERAL LINES WHERE POSSIBLE.
5. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID & PROTECT ALL UTILITY LINES, DUCTS, BURIED CABLES AND OTHER UTILITIES IN THE AREA. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR, LIABILITY, AND COSTS INCURRED IN THE DAMAGE OR DESTRUCTION OF SAID UTILITIES. CALL SUNSHINE STATE ONE CALLS 811, 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK FOR PROPER UTILITY LOCATION AND CLEARANCES.
6. THE CONTRACTOR SHALL SECURE ALL WORK WITH THE PROJECT MANAGER, LANDSCAPE CONTRACTOR AND ALL OTHER CONTRACTORS TO INSURE PROPER INSTALLATION, SCHEDULING, AND PROCEDURE.
7. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT MANAGER TO PROVIDE ELECTRICAL SUPPLY TO THE CONTROLLER, PUMP, ETC. AS NEEDED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AS MAY BE DEEMED NECESSARY TO PERFORM THE WORK. ENTIRE SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL AND STATE CODES.
9. ALL SLEEVES UNDER PAVEMENT SHALL BE BURIED PER FLORIDA BUILDING CODE, APPENDIX "F". ALL LATERAL SLEEVES UNDER SIDEWALKS SHALL BE BURIED BELOW WALKWAYS AND SHALL BE SCHEDULE 40 PVC. ALL SLEEVING SHALL BE SCHEDULE 40 PVC PIPE AND SHALL BE 2 TIMES THE MAIN OR LATERAL PIPE SIZE.
10. THE CONTRACTOR SHALL CONNECT THE MASTER VALVE (WHEN APPLICABLE) AND ALL ELECTRIC VALVES TO THE CONTROLLER AND PROVIDE PROPER SYNCHRONIZATION.
11. ALL LOW VOLTAGE ELECTRIC VALVES SHALL BE #14 DIRECT BURIAL. ALL WIRES UNDER ROADS TO BE PLACED IN A SPERARATE 1" SLEEVE. CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO EXTRA WIRES FOR EMERGENCY POST INSTALLATION WIRING.
12. ALL LINE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST TRENCHING AND LOCATION OF SPRAY HEADS IN THE FIELD FOR EXISTING CONDITIONS, WALKS, UTILITIES, STRUCTURES, AND PLANTINGS TO PROVIDE AND INSURE 100% COVERAGE AND 100% OVERLAP.
13. CONTRACTOR SHALL PROVIDE A ONE-YEAR GUARANTEE ON ALL PARTS AND A 90 DAY GUARANTEE ON LABOR FROM THE DATE OF FINAL ACCEPTANCE. .
14. THE IRRIGATION CONTRACTOR SHALL RECORD ALL CHANGES MADE TO THE IRRIGATION SYSTEM DURING INSTALLATION, AND PROVIDE AN AS-BUILT DRAWING O THE OWNER'S REPRESENTATIVE UPON COMPLETION AND ACCEPTANCE OF THE WORK.
15. THE IRRIGATION CONTRACTOR SHALL INSTRUCT THE OWNER OR THE OWNER'S REPRESENTATIVE IN THE COMPLETE OPERATION AND MAINTENANCE OF THE SYSTEM. THE CONTRACTOR SHALL FURNISH TWO COPIES OF AN IRRIGATION SYSTEM MANAGEMENT MANUAL PREPARED BY THE MANUFACTURER AND THE SYSTEM INSTALLER.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING IN ANY AREA. THE CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES, IRRIGATION AND ALL OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INITIATING OPERATIONS. DRAWINGS ARE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARING DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO ENSURE PROPER WATERING AND MAINTENANCE OF NEW AND RELOCATED PLANT MATERIALS DURING THE ONE YEAR WARRANTY PERIOD.
3. CONTRACTOR IS TO REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNERS REPRESENTATIVE IMMEDIATELY.
4. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
5. ALL IMPROVEMENTS ARE TO BE CONSTRUCTED AND/OR INSTALLED WITHIN THE EXISTING STATE AND/OR LOCAL RIGHT OF WAY.
6. ALL SITE IMPROVEMENTS INCLUDING GRADING AND DRAINAGE TO BE BY OTHERS. REFER TO ARCHITECTURE AND ENGINEERING PLANS FOR ALL ADDITIONAL INFORMATION.
7. THE LOCATION OF THE LANDSCAPE HOLDING AREA WILL BE IDENTIFIED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ADHERE TO THE ACCESS ROUTES TO AND FROM THE HOLDING AREA WITHOUT DISRUPTING OR IMPEDING ACCESS TO THE SITE BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS, INCLUDING TEMPORARY IRRIGATION AND FERTILIZATION IF NECESSARY DURING CONSTRUCTION, WHILE BEING HELD IN LANDSCAPE HOLDING AREAS.
8. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS. PRIOR TO COMMENCEMENT OF THE LANDSCAPE PLANTING WORK THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS WITH RECOMMENDATIONS FOR SOIL TREATMENT IN THE CONSTRUCTION AREA.
9. LANDSCAPE CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL OR FIELD STAKE THE PLANTS PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. NOTE: NO PLANTING SHALL COMMENCE UNTIL THERE IS A FUNCTIONAL IRRIGATION SYSTEM IN THE AREA TO BE PLANTED. NO TREES SHALL BE PLANTED ON TOP OF IRRIGATION LINES.
10. LANDSCAPE CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
11. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO MODIFICATION OF THE CONTRACT, PURCHASING AND DELIVERY OF PLANTS. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN. ALL PLANT MATERIALS WILL NOT INCLUDE ANY PLANTS CONSIDERED TO BE INVASIVE BY THE CITY OF MIAMI BEACH.
12. A CITY OF MIAMI BEACH ROW PERMIT SHALL BE OBTAINED FROM PUBLIC WORKS FOR ALL LANDSCAPE + IRRIGATION IMPROVEMENTS WITHIN THE ROW. ALL REQUIRED STREET TREES + ROW LANDSCAPE + IRRIGATION SHALL BE REVIEWED AND APPROVED BY CMB PUBLIC WORKS + URBAN FORESTRY
13. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, GENERAL NOTES AND THE PROJECT MANUAL AND/OR SPECIFICATIONS FOR FURTHER AND COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.
14. CONTRACTOR + LANDSCAPE ARCHITECT TO MEET ON SITE PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATIONS. CONTRACTOR TO PROVIDE IMAGES OF ALL PROPOSED TREES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR PURCHASING AND INSTALLATION.
15. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH PERMANENT OR TEMPORARY IRRIGATION WORK. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED BY OWNER'S REPRESENTATIVE TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
16. LANDSCAPE CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DEPOSITED OFF-SITE OR IN AN APPROVED DISPOSAL AREA DAILY. ALL MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
17. SITE DISTANCE CONCERNS MUST BE MAINTAINED FOR CLEAR SITE VISIBILITY FROM THIRTY (30) INCHES TO SEVENTY-TWO (72) INCHES. TREE TRUNKS ARE EXCLUDED AS SPECIFIED IN APPROPRIATE MUNICIPAL CODES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GUARANTEE OF ALL PLANT MATERIAL FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION. SUBSTANTIAL COMPLETION CONSTITUTES THE BEGINNING OF GUARANTEE PERIOD.
19. THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS TO COMPLY WITH SAFETY CRITERIA, TO AVOID CREATING UNSAFE SIGHT CONDITIONS, OR AS OTHERWISE DIRECTED BY OR APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
- CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.
- GROUNDCOVER PLANTING BEDS:
6" DEPTH PLANTING SOIL, SPREAD IN PLACE, THROUGHOUT.
SHRUB AND HEDGE PLANTING AREAS:
12" DEPTH PLANTING SOIL, SPREAD IN PLACE, THROUGHOUT.
- TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS:
REMOVE ALL LIMEROCK PRESENT TO A DEPTH OF AT LEAST 30" BEFORE PLACING NEW PLANTING SOIL. APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SOODED.
6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
7. ALL EXISTING TREE + PALM INFORMATION THAT HAS BEEN PROVIDED ON THIS PLAN FOLLOWS THE CITY OF MIAMI BEACH TREE PERMITTING GUIDELINES. ANY TREES OR PALMS CONSIDERED INVASIVE OR THAT FALLS UNDER THE TREE PERMIT EXEMPTION/ PROHIBITED SPECIES LIST 24-94 (4) MAY NOT BE SHOWN FOR CLARITY PURPOSES. ANY DISCREPANCIES IF NOTED UPON FURTHER FIELD INSPECTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODES APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING, ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW.
9. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" w/ APPROVED NATURAL SHREDDED COCO BROWN MULCH. MULCH FREE FROM WEEDS AND PESTS. NO "GUMMETS", "CYPRRESS" MULCH OR RED DYED MULCH TO BE ACCEPTED. KEEP MULCH 6" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.
10. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
11. NURSERY SUPPORT POLES SHALL BE REMOVED AT THE NURSERY, PRIOR TO DELIVERY, AND TREES DELIVERED WITH NURSERY POLES WILL NOT BE ACCEPTED; AND THEREFORE REJECTED, w/ THE EXCEPTION TREE SPECIES: CLUSIA ROSEA + SILVER BUTTONWOOD TREES
12. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGA) AND ANSI-A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND OR BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.
13. THE PLAN LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
14. IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING-IN DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.
15. FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. FERTILIZER SHALL BE SCOTTS AGRIFORM 20-10-5 PLANTING TABS OR APPROVED EQUAL AS RECOMMENDED BY LANDSCAPE CONTRACTOR
16. SHOULD ANY TREES OR PALMS BE DAMAGED THEY SHALL BE EVALUATED BY THE CITY URBAN FORESTER TO DETERMINE CORRECTIVE ACTIONS THAT MAY INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTION REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH A CITY OF MIAMI BEACH CODE, ANSI-A-300 PRUNING STANDARDS AND OR AN ISSUED ERM TREE PERMIT OR ENVIRONMENTAL PERMIT. ANY CORRECTIVE PRUNING REQUIRED SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST OR ASCA CONSULTING ARBORIST AND THE CITY URBAN FORESTER SHALL BE CONSULTED.
17. ALL TREES + PALMS TO REMAIN OR BE RELOCATED ON SITE IN THE VICINITY OF CONSTRUCTION ACTIVITIES, SHALL BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRICADES INSTALLED AT THE TREE OR PALM DRIP LINE. A TREE PROTECTION FENCE SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING AND SHALL REMAIN IN PLACE UNTIL ON SITE CONSTRUCTION HAS BEEN COMPLETED.
18. MULCH SHALL NOT BE APPLIED WITHIN 6" OF ANY TREE OR PALM TRUNK THAT IS INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES + PALMS, ALL MULCH SHALL BE AMERIGROW PREMIUM PINEBARK BROWN SHREDDDED MULCH OR A CITY APPROVED ALTERNATIVE.
19. PLANTING SOIL SPECIFICATION FOR UPPER LEVEL PLANTERS - ATLAS PEAT AND SOIL INC. - 3000 MIX OF COARSE SAND, FLORIDA PEAT AND PINE BARK. THE APPROXIMATE RATIO SHALL BE
COARSE SAND 70%
FLORIDA PEAT 20%
PINE BARK 10%
FINAL TESTED ORGANIC MATTER BETWEEN 1.5 AND 2.0% (BY DRY WEIGHT).
THE FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE 115 POUNDS PER CUBIC FOOT WHEN COMPACTED TO 85% STANDARDS PROCTOR PLANTING SOIL SHALL BE THOROUGHLY MIXED PRIOR TO DELIVERY AND INSTALLATION ADD NUTRICOTE FERTILIZER TO THE PLANTING MIX AT THE TIME MIXING AND BLENDING AT A RATE OF 3 POUNDS PER CUBIC YARD. PLANTING SOIL SHALL BE SUPPLIED BY ATLAS PEAT AND SOIL INC. BOYTON BEACH FLORIDA 961-734-7300 PROVIDE A TWO GALLON SAMPLE WITH TESTING DATA THAT INDICATES THE MATERIAL MEETS REQUIREMENTS OF THIS SPECIFICATION INCLUDING RECOMMENDATIONS FOR CHEMICAL ADDITIVES FOR THE TYPES OF PLANTS TO BE GROWN. SOIL ANALYSIS, SAMPLES AND TESTING DATA SHALL BE SUBMITTED AT THE SAME TIME OF INSTALLATION.

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DRB SET - 03/21/22

REVISIONS		
NO.:	DESCRIPTION:	DATE:

PROJECT NUMBER	15072
DRAWN BY	LM, MN
CHECKED BY	CC

TITLE	GENERAL, IRRIGATION + LANDSCAPE NOTES
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NUMBER	L001
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APPROVED

C.M.B. PUBLIC WORKS / GREENSPACE MANAGEMENT CONDITIONS

1. SHOULD ANY EXISTING TREES OR PALMS BE DAMAGED THEY SHALL BE EVALUATED BY THE CITY URBAN FORESTER TO DETERMINE CORRECTIVE ACTIONS THAT MAY INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTIONS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH MIAMI BEACH CODE, THE MOST CURRENT ANSI A-300 PRUNING STANDARDS AND OR AN ISSUED CITY OF MIAMI BEACH TREE WORK PERMIT. ANY CORRECTIVE PRUNING REQUIRED SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST AND THE CITY URBAN FORESTER SHALL BE CONSULTED.
2. CARE SHALL BE TAKEN TO AVOID UTILITY OR CONSTRUCTION TRENCHING THROUGH EXISTING TREE OR PALM DRIPLINES OF TREES SLATED TO REMAIN IN PLACE OR BE RELOCATED. IF CONSTRUCTION REQUIRES THE CUTTING OF ANY ROOTS WITH A DIAMETER OF 2" OR GREATER, ROOTS SHALL BE CLEANLY CUT WITH A SHARP TOOL AS DIRECTED BY AN ISA CERTIFIED ARBORIST, AND IN ACCORDANCE WITH THE ANSI A-300 STANDARDS. CUT ROOTS SHOULD BE IMMEDIATELY COVERED WITH SOIL TO PREVENT DRYING. ROOTS SHOULD NOT BE TORN OR BROKEN BY HEAVY EQUIPMENT, AND NO SHREDDED, RAGGED OR BROKEN ROOT ENDS SHOULD BE LEFT. THE CITY URBAN FORESTER SHALL BE NOTIFIED IN WRITING AND OR CONSULTED PRIOR TO ANY ROOT PRUNING TAKING PLACE.
3. SHOULD ANY CORRECTIVE STRUCTURAL PRUNING BE NECESSARY FOR TREES PROPOSED TO REMAIN ONSITE, DUE TO CLEARANCE, SAFETY OR FOR CONSTRUCTION RELATED REASONS THE PRUNING SHALL BE PERFORMED BY AN ISA OR ASCA CERTIFIED ARBORIST IN ACCORDANCE WITH THE LATEST VERSION OF THE ANSI A-300 PRUNING STANDARDS AND GOOD HORTICULTURAL PRACTICES. THE CITY URBAN FORESTER SHALL BE PROVIDED WITH A WRITTEN COPY OF THE PROPOSED PRUNING PLAN INCLUDING THE REASONS WHY PRUNING IS NECESSARY, PRIOR TO THE PRUNING ACTIVITIES TAKING PLACE.
4. **ANY ROOT PRUNING, IF REQUIRED DURING THE PROJECT, SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST OR ACSA CONSULTING ARBORIST. ANY ROOT PRUNING, IF REQUIRED, WILL BE LIMITED TO WHAT IS ABSOLUTELY NECESSARY FOR CONSTRUCTION. ADDITIONALLY, AND ROOT PRUNING WORK WILL BE DOCUMENTED WITH COLOR PICTURES AND PROVIDED TO MR. MARK WILLIAMS AT C.M.B. PUBLIC WORKS / GREENSPACE MANAGEMENT + MR. RICARDO GUZMAN AT C.M.B. PLANNING + ZONING DEPARTMENTS ON A REGULAR BASIS.**

C.M.B. PUBLIC WORKS / EROSION + SEDIMENT CONTROL NOTES

1. PROPER EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED BEFORE ANY SOIL DISTURBING ACTIVITIES CAN BEGIN.
2. THE STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
3. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.

C.M.B. EXISTING TREE INVENTORY + DISPOSITION CHART - SUNSET HARBOUR

NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	MITIGATION	COMMENTS
#402	GUMBO LIMBO TREE	Bursera simaruba	YES	+/- 10"	+/- 18'	+/- 16'	GOOD	REMAIN	N/A	NOT LOCATED ON SITE. SHOWN FOR REFERENCE
#403	GUMBO LIMBO TREE	Bursera simaruba	YES	+/- 10"	+/- 18'	+/- 16'	GOOD	REMAIN	N/A	NOT LOCATED ON SITE. SHOWN FOR REFERENCE
#404	GUMBO LIMBO TREE	Bursera simaruba	YES	+/- 16"	+/- 25'	+/- 10'	GOOD	REMAIN	N/A	NOT LOCATED ON SITE. SHOWN FOR REFERENCE
#405	GUMBO LIMBO TREE	Bursera simaruba	NO	+/- 5"	+/- 16'	+/- 18'	GOOD	REMAIN	N/A	NOT LOCATED ON SITE. SHOWN FOR REFERENCE
#406	GUMBO LIMBO TREE	Bursera simaruba	YES	+/- 16"	+/- 16'	+/- 16'	GOOD	REMAIN	N/A	NOT LOCATED ON SITE. SHOWN FOR REFERENCE
#407	GREEN BUTTONWOOD	Conocarpus erectus	NO	+/- 6"	+/- 20'	+/- 30'	FAIR	REMOVE	6"	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#409	WASHINGTON PALM	Washingtonia filifera	NO	+/- 22"	+/- 25'	+/- 15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#410	SOLITAIRE PALM (DBL)	Ptychosperma elegans	NO	+/- 47' 6"	+/- 18'	+/- 10'	GOOD	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#411	SOLITAIRE PALM	Ptychosperma elegans	NO	+/- 16"	+/- 25'	+/- 16'	GOOD	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#412	SOLITAIRE PALM (DBL)	Ptychosperma elegans	NO	+/- 57' 5"	+/- 23'	+/- 16'	GOOD	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#413	SOLITAIRE PALM	Ptychosperma elegans	NO	+/- 4"	+/- 23'	+/- 8'	GOOD	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#414	SOLITAIRE PALM	Ptychosperma elegans	NO	+/- 5"	+/- 28'	+/- 16'	GOOD	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#419	BANYAN TREE	Ficus benghalensis	YES	+/- 14"	+/- 25'	+/- 23'	FAIR	REMOVE	14"	IN CONFLICT WITH SITE, MITIGATION PROVIDED. SEE ARBORIST REPORT.
#422	GREEN BUTTONWOOD	Conocarpus erectus	NO	+/- 6"	+/- 20'	+/- 16'	FAIR	REMOVE	6"	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#423	GREEN BUTTONWOOD	Conocarpus erectus	NO	+/- 3"	+/- 20'	+/- 20'	POOR	REMOVE	3"	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#424	GREEN BUTTONWOOD	Conocarpus erectus	NO	+/- 4"	+/- 20'	+/- 18'	FAIR	REMOVE	4"	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#425	BANYAN TREE	Ficus benghalensis	NO	+/- 10"	+/- 14'	+/- 12'	FAIR	REMOVE	10"	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED.
#426	GUMBO LIMBO TREE	Bursera simaruba	NO	+/- 7"	+/- 14'	+/- 12'	GOOD	REMAIN	N/A	NOT LOCATED ON SITE. SHOWN FOR REFERENCE
#427	GUMBO LIMBO TREE	Bursera simaruba	NO	+/- 6"	+/- 14'	+/- 12'	GOOD	REMAIN	N/A	NOT LOCATED ON SITE. SHOWN FOR REFERENCE
#428	GREEN BUTTONWOOD	Conocarpus erectus	NO	+/- 3"	+/- 12'	+/- 6'	FAIR	DEAD	3"	FALLEN DUE TO STORM DAMAGE. MITIGATION PROVIDED.

TOTAL TREE DBH LOSS: 46" + THE REMOVAL OF (6) PALMS *
TREE MITIGATION REQUIRED: (16) REPLACEMENT TREES @ 12'HT X 2" DBH X 6" SPREAD
PALM MITIGATION REQUIRED: (6) REPLACEMENT TREES @ 12'HT X 2" DBH X 6" SPREAD

CH 46 TREE PRESERVATION + PROTECTION / TREE + PALM MITIGATION SUMMARY

MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 46 ENVIRONMENT

TREES		
REMOVED (TOTAL DBH OF TREES)	REPLACEMENT TREES REQUIRED	REPLACEMENT TREES PROVIDED
46" OF DBH	16 @ 12' HEIGHT + 2" DBH + 6' SPREAD OR 8 @ 16' HEIGHT + 4" DBH + 8' SPREAD	21 REPLACEMENT TREES PROVIDED @ 12' HEIGHT + 2" DBH + 6' SPREAD BREAKDOWN: (2) BRIDAL VEIL TREES @ 16' HEIGHT + 4" DBH + 10' SPREAD = 4 REPLACEMENT TREES (3) NATIVE WILD CINNAMON TREES @ 12' HEIGHT + 2" DBH + 8' SPREAD = 3 REPLACEMENT TREES (7) BAY RUM TREES @ 16' HEIGHT + 4" DBH + 8' SPREAD = 14 REPLACEMENT TREES
PALMS		
REMOVED (TOTAL PALMS)	REPLACEMENT TREES REQUIRED	REPLACEMENT TREES PROVIDED
6	6 @ 12' HEIGHT + 2" DBH + 6' SPREAD OR 3 @ 16' HEIGHT + 4" DBH + 8' SPREAD	9 REPLACEMENT TREES PROVIDED @ 12' HEIGHT + 2" DBH + 6' SPREAD BREAKDOWN: (4) BRIDAL VEIL TREES @ 14' HEIGHT + 3" DBH + 8' SPREAD = 4 REPLACEMENT TREES (5) NATIVE SPANISH STOPPER TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 5 REPLACEMENT TREES

TREE DISPOSITION SUMMARY

	TOTAL	REMAIN	REMOVE	RELOCATE
TREES	7	0	7	0
PALMS	6	0	6	0

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DRB SET - 03/21/22

REVISIONS
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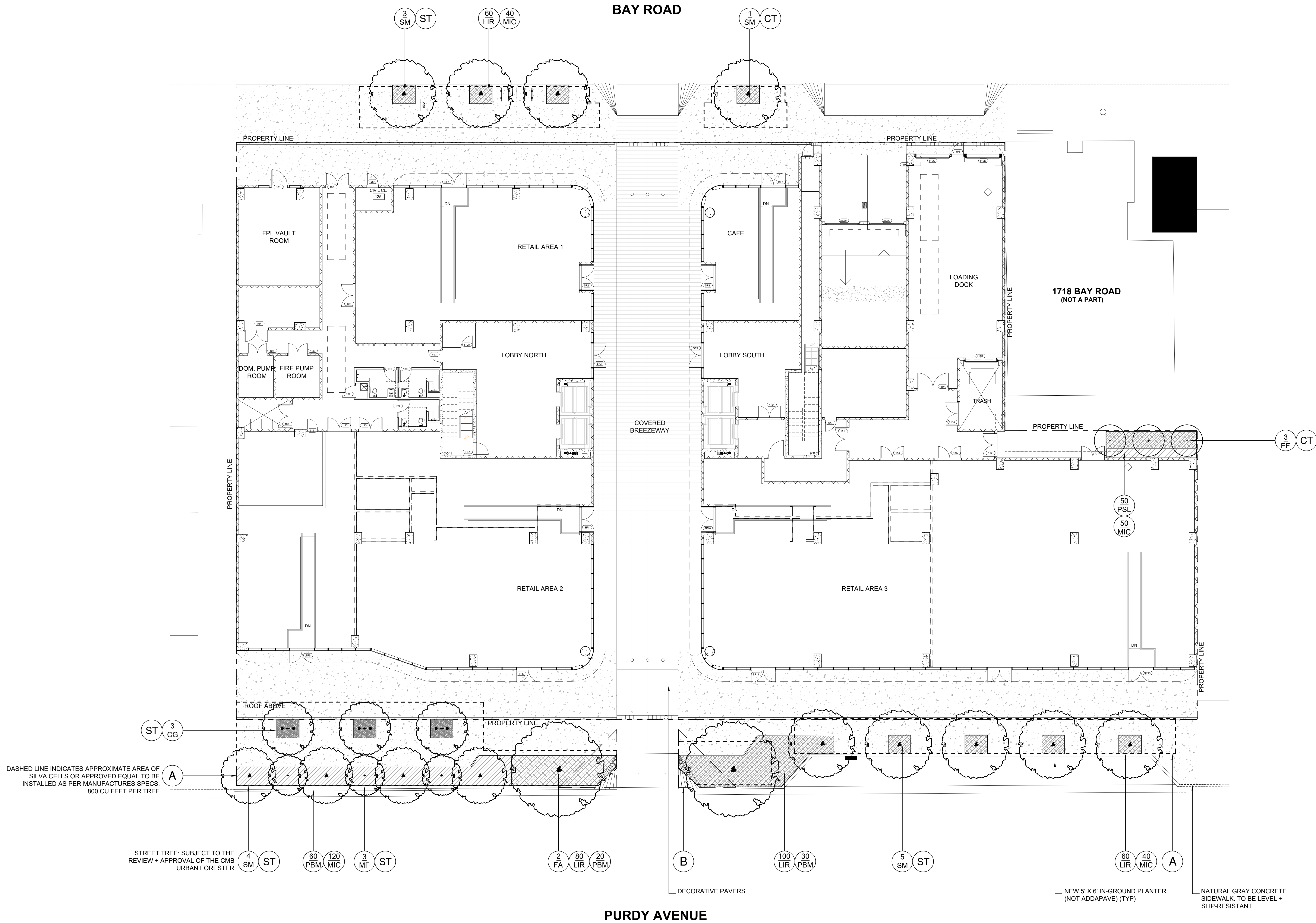
PROJECT NUMBER 15072
DRAWN BY LM, MN
CHECKED BY CC

TITLE EXISTING TREE
CHART + MITIGATION
SUMMARY

NUMBER L102

APPROVED

APPROVED



PURDY AVENUE

LANDSCAPE PLAN LEGEND

- A SILVA CELL OR APPROVED EQUAL TO BE INSTALLED UNDER THE HARDSCAPE AREAS ADJACENT TO ALL PROPOSED CANOPY SHADE TREES
- B CMB 15' VISIBILITY SIGHT TRIANGLES
- ST STREET TREE: SUBJECT TO THE REVIEW + APPROVAL OF THE CMB URBAN FORESTER
- CT CODE TREE



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REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 15072
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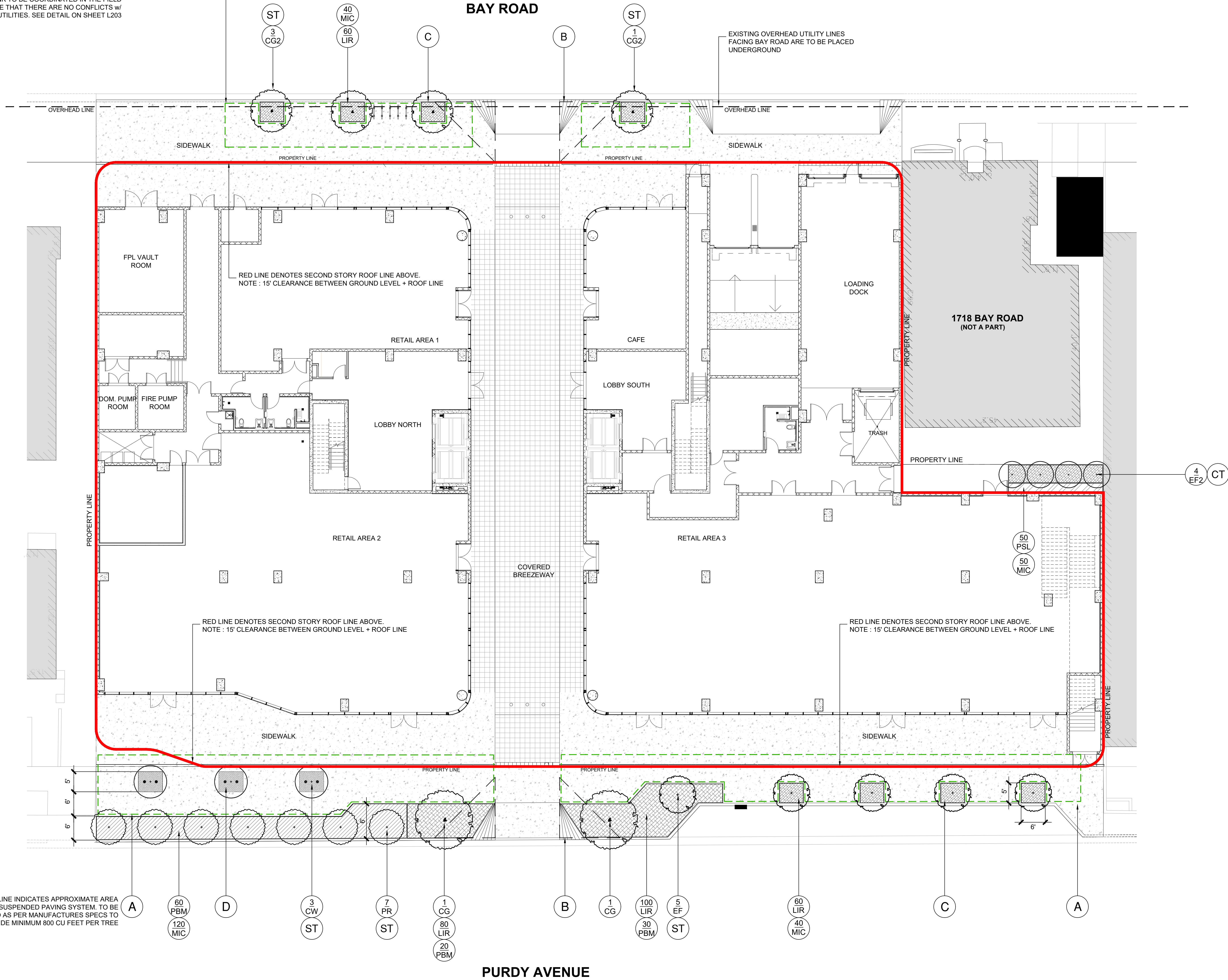
TITLE
GROUND FLOOR
LANDSCAPE PLAN

NUMBER
L201

PROPOSED

GREEN DASHED LINE INDICATES APPROXIMATE AREA OF SILVA CELL SUSPENDED PAVING SYSTEM. TO BE INSTALLED AS PER MANUFACTURES SPECS TO PROVIDE MINIMUM 800 CU FEET PER TREE. EXACT LAYOUT FOR SILVA CELL SYSTEM + DUCT BANK TO BE COORDINATED IN THE FIELD PRIOR TO CONSTRUCTION TO ENSURE THAT THERE ARE NO CONFLICTS W/ FPL DUCT BANK + OTHER UTILITIES. SEE DETAIL ON SHEET L203

GREEN DASHED LINE INDICATES APPROXIMATE AREA OF SILVA CELL SUSPENDED PAVING SYSTEM. TO BE INSTALLED AS PER MANUFACTURES SPECS TO PROVIDE MINIMUM 800 CU FEET PER TREE

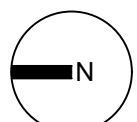


PURDY AVENUE

LANDSCAPE PLAN LEGEND

- A SILVA CELL TO BE INSTALLED UNDER THE HARDSCAPE AREAS ADJACENT TO ALL PROPOSED CANOPY SHADE TREES. SEE DETAIL ON SHEET L203
- B CMB 15' VISIBILITY SIGHT TRIANGLES
- C NEW 5' X 6' IN-GROUND PLANTER (NOT ADDAPAVE) +/- 230 SF
- D NEW 5' X 6' ADDAPAVE PLANTERS
- CT CODE TREE
- ST STREET TREE: SUBJECT TO THE REVIEW + APPROVAL OF THE CMB URBAN FORESTER

3/32" = 1'-0"



EIGHTEEN SUNSET
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DRB SET - 03/21/22

REVISIONS

NO. DESCRIPTION DATE

PROJECT NUMBER 15072

DRAWN BY LM, MN

CHECKED BY CC

TITLE GROUND FLOOR

LANDSCAPE PLAN

NUMBER L201.1

APPROVED

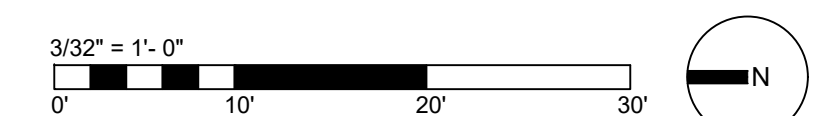
BAY ROAD



PURDY AVENUE

LANDSCAPE PLAN LEGEND

- (A) LANDSCAPE AREA, TYP. +/- 800 SF



EIGHTEEN SUNSET
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CHRISTOPHER CAWLEY, FLA

RB SET - 03/21/22

REVISIONS[illegible]

PROJECT NUMBER	15072
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SECOND FLOOR
LANDSCAPE PLAN

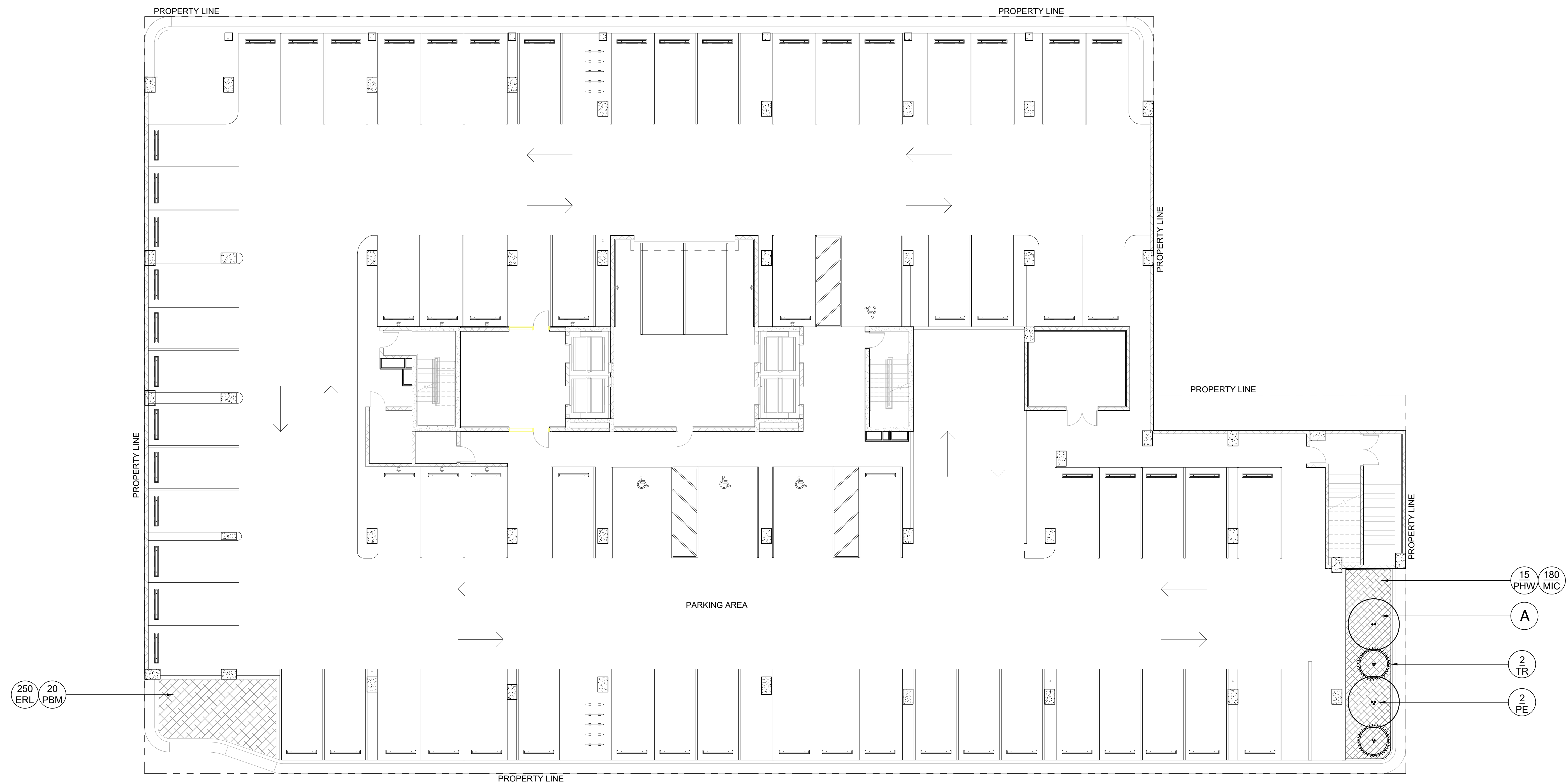
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L202

PROPOSED

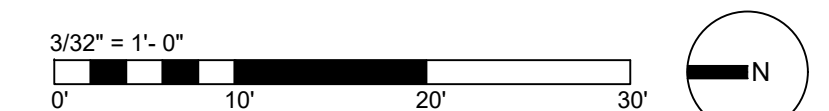
BAY ROAD



PURDY AVENUE

LANDSCAPE PLAN LEGEND

A LANDSCAPE AREA, TYP. +/- 800 SF



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 100 BAYSHORE DR
 SUITE 1000
 MIAMI, FL 33133
 PHONE: (212) 334-2050
 (212) 334-0453

CHRISTOPHER
CAWLEY
LANDSCAPE
ARCHITECTURE

OSCAPE ARCHITECT:
STOPHER CAWLEY
OSCAPE ARCHITECTURE (CCLA)
1000 E 69TH ST. SUITE 1106
MIAMI, FL 33138
PHONE: (786) 534-5327


ENGINEER:
S ASSOCIATES
SW 74 COURT
II, FL 33155
NE: (305) 270-9935
(305) 665-5891

STRUCTURAL
ENGINEER:
ENGINEERS
BLUE LAGOON DR
E 400
MI, FL 33126

ENGINEER:
ENGINEERING INC
W FLAGLER ST # 113,
II, FL 33144
NE: (786) 253-5252

PRIOR DESIGNER:
 ER DAVIS
 ARICK STREET,
 E 404
 YORK, NY 10014
 NE: (212) 627-5574

VOLTAGE:
SYSTEMS INTEGRATED
SOLUTIONS, INC.
1000 SW 41ST ST
MIAMI, FL 33314
PHONE: (954) 583-1853



sis
SYSTEMS INTEGRATED SOLUTIONS

LIGHTING: KNL
ER NING
TING
WEST 37TH ST
YORK, NY 10018
NE: (212) 382-2100

CHRISTOPHER CAWLEY, RLA

B SET - 03/21/22

[illegible]

PROJECT NUMBER	15072
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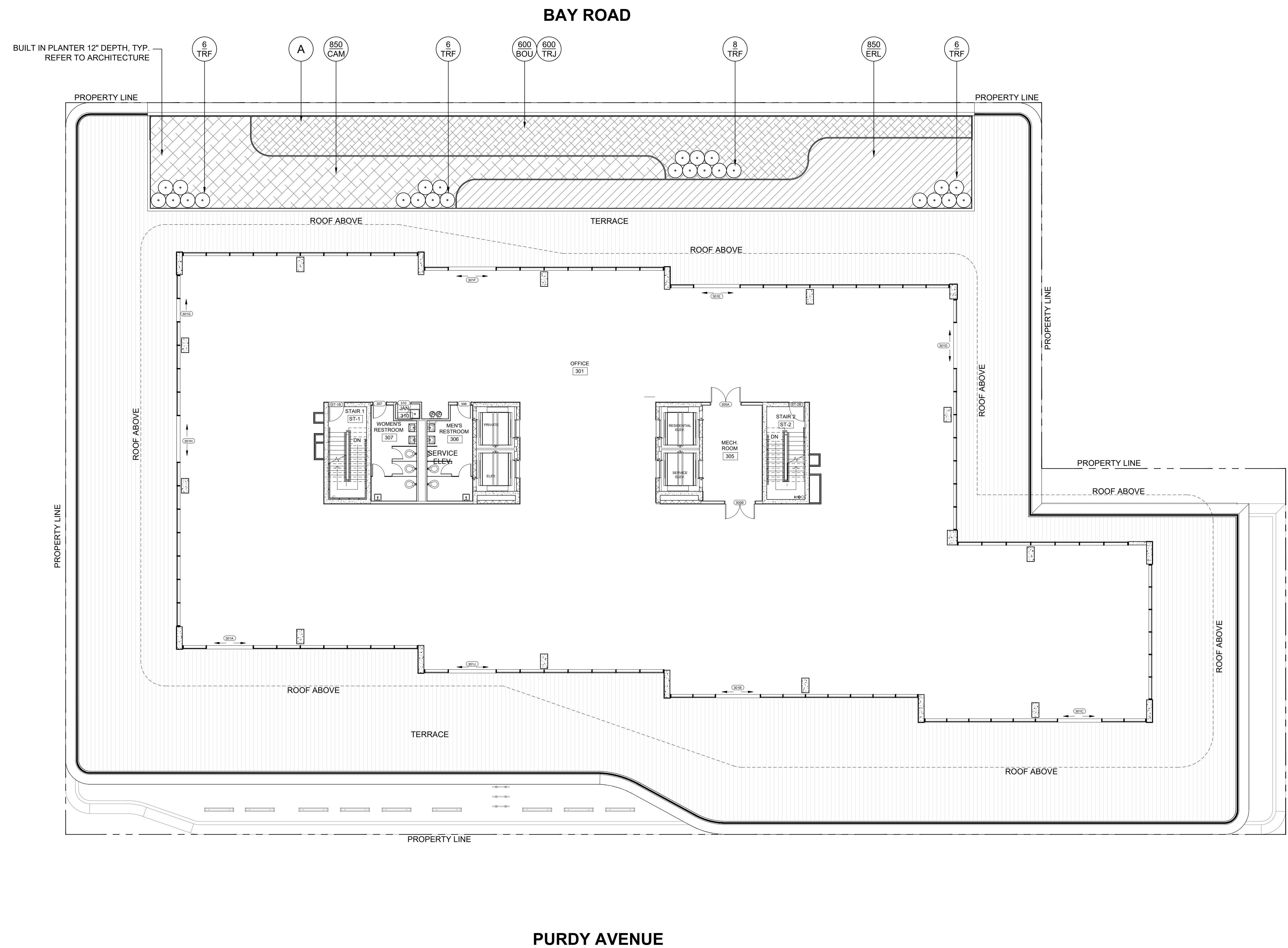
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SECOND FLOOR
LANDSCAPE PLAN

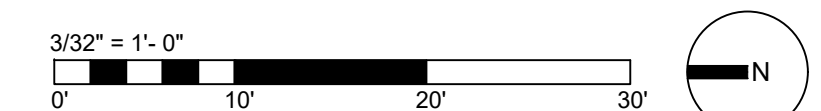
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APPROVED



LANDSCAPE PLAN LEGEND

- (A) LANDSCAPE AREA, TYP. +/- 3,200 SF



EIGHTEEN SUNSET
1759 PURDY AVENUE
MIAMI BEACH, FL 33139

DEVELOPER:
DODD CAPITAL
GROUP, LLC
52ND TERRACE
MIAMI, FL 33137
PHONE: (305) 799-2465

ARCHITECT OF RECORD:
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ASSOCIATES
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CAWLEY
LANDSCAPE
ARCHITECTURE

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 ER NING
 TING
 WEST 37TH ST
 YORK, NY 10018
 NE: (212) 382-2100

CHRISTOPHER CAWLEY, FLA

B SET - 03/21/22

[illegible]

PROJECT NUMBER	15072
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OWN BY	LM, MN
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CKED BY	CC
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TABLE 1

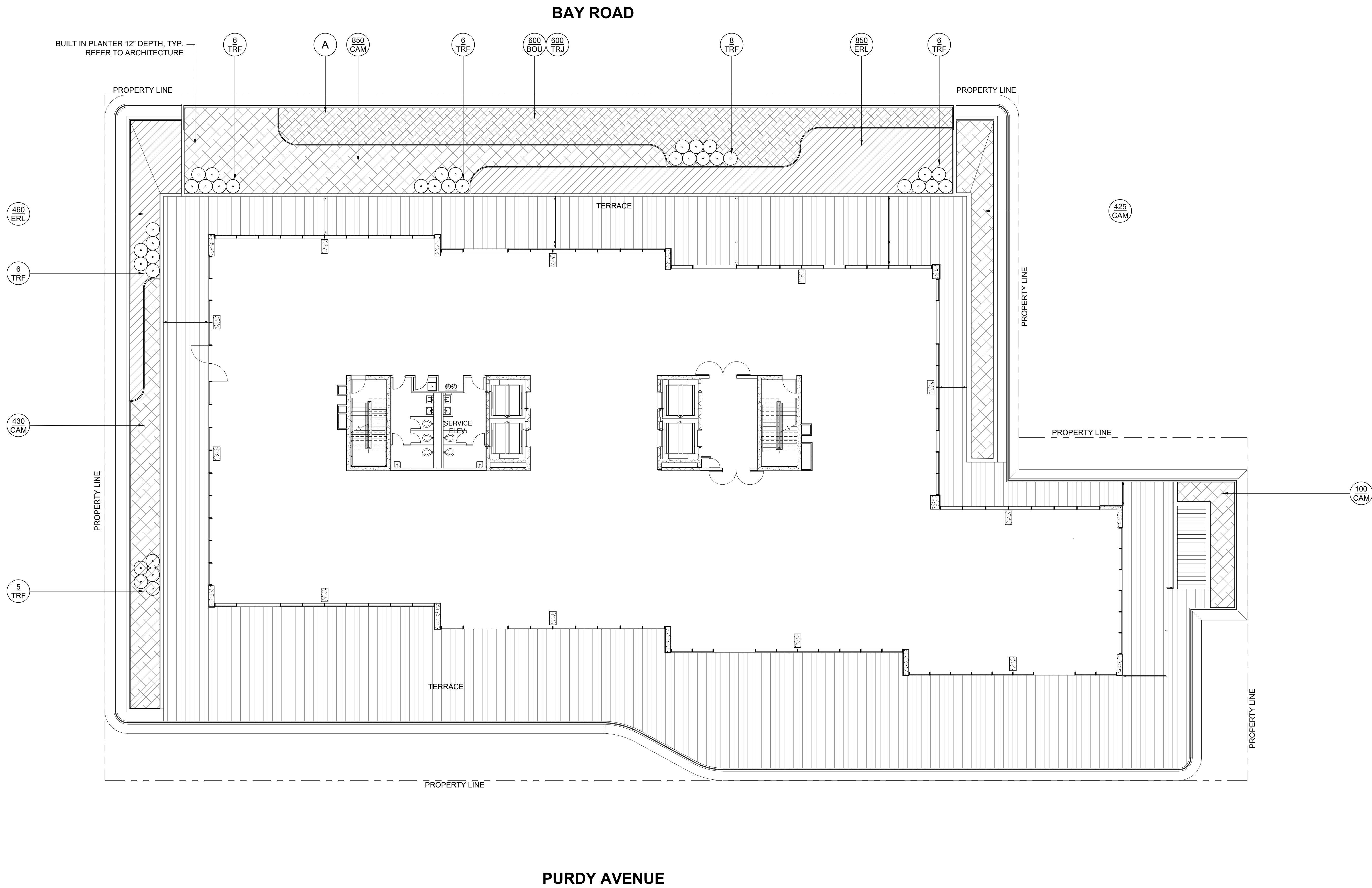
THIRD FLOOR
LANDSCAPE PLAN

LEADS SAFE PLAN

1203

L203

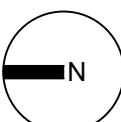
PROPOSED



LANDSCAPE PLAN LEGEND

A LANDSCAPE AREA, TYP. +/- 3,200 SF

3/32" = 1'-0"



EIGHTEEN SUNSET
1759 PURDY AVENUE
MIAMI BEACH, FL 33139

DEVELOPER:
DECO CAPITAL
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CHRISTOPHER
CAWLEY
LANDSCAPE
ARCHITECTURE

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LIGHTING
247 WEST 37TH ST
NEW YORK, NY 10018
PHONE: (212) 362-2100

DRB SET - 03/21/22

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER 15072

DRAWN BY LM, MN

CHECKED BY CC

TITLE THIRD FLOOR LANDSCAPE PLAN

NUMBER L203.1

BAY ROAD

PURDY AVENUE

GREEN DASHED LINE DENOTES GEOMEMBRANE ROOT BARRIER SYSTEM, PROVIDED FOR THE PROPOSED SEA GRAPE TREES BY DEEPROOT or ALTERNATE TO BE SELECTED AS PART OF APPROVED BUILDING WATER PROOFING SYSTEM. INSTALL AS PER MANUFACTURES SPECIFICATIONS (TYP). SEE DETAIL ON SHEET L305

GREEN DASHED LINE DENOTES GEOMEMBRANE ROOT BARRIER SYSTEM, PROVIDED FOR THE PROPOSED SPANISH STOPPER TREES BY DEEPROOT or ALTERNATE TO BE SELECTED AS PART OF APPROVED BUILDING WATER PROOFING SYSTEM. INSTALL AS PER MANUFACTURES SPECIFICATIONS (TYP). SEE DETAIL ON SHEET L305

GREEN DASHED LINE DENOTES GEOMEMBRANE ROOT BARRIER SYSTEM, PROVIDED FOR THE PROPOSED SEA GRAPE TREES BY DEEPROOT or ALTERNATE TO BE SELECTED AS PART OF APPROVED BUILDING WATER PROOFING SYSTEM. INSTALL AS PER MANUFACTURES SPECIFICATIONS (TYP). SEE DETAIL ON SHEET L305

3000 MIX LIGHT WEIGHT PLANTING MEDIUM FOR ALL UPPER LEVEL PLANTERS. SHALL BE SUPPLIED BY ATLAS PEAT AND SOIL INC BOYTON BEACH FLORIDA 561-734-7300

NOTE: PERMANENT STAINLESS STEEL TREE BRACING SHALL BE PROVIDED FOR ALL LARGE PLANT MATERIAL PLANTED ABOVE GRADE. REFER TO DETAIL ON SHEET L305

GREEN DASHED LINE DENOTES GEOMEMBRANE ROOT BARRIER SYSTEM, PROVIDED FOR THE PROPOSED SEA GRAPE + SILVER BUTTWOOD TREES BY DEEPROOT or ALTERNATE TO BE SELECTED AS PART OF APPROVED BUILDING WATER PROOFING SYSTEM. INSTALL AS PER MANUFACTURES SPECIFICATIONS (TYP). SEE DETAIL ON SHEET L305

LANDSCAPE PLAN LEGEND

A NATURAL WOOD DECKING. REFER TO ARCHITECTURE PLANS +/- 4,600 SF

B JACOB WIRE TRELLIS

APPROVED

3/32" = 1'-0"



EIGHTEEN SUNSET
1759 PURDY AVENUE
MIAMI BEACH, FL 33139

DEVELOPER:
DECO CAPITAL
GROUP, LLC
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CHRISTOPHER
CAWLEY
LANDSCAPE
ARCHITECTURE

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NEW YORK, NY 10018
PHONE: (212) 362-2100

Christopher Cawley
CHRISTOPHER CAWLEY, P.L.A.
Florida License LA 6968786

DRB SET - 03/21/22

REVISIONS

NO. DESCRIPTION DATE

PROJECT NUMBER 15072

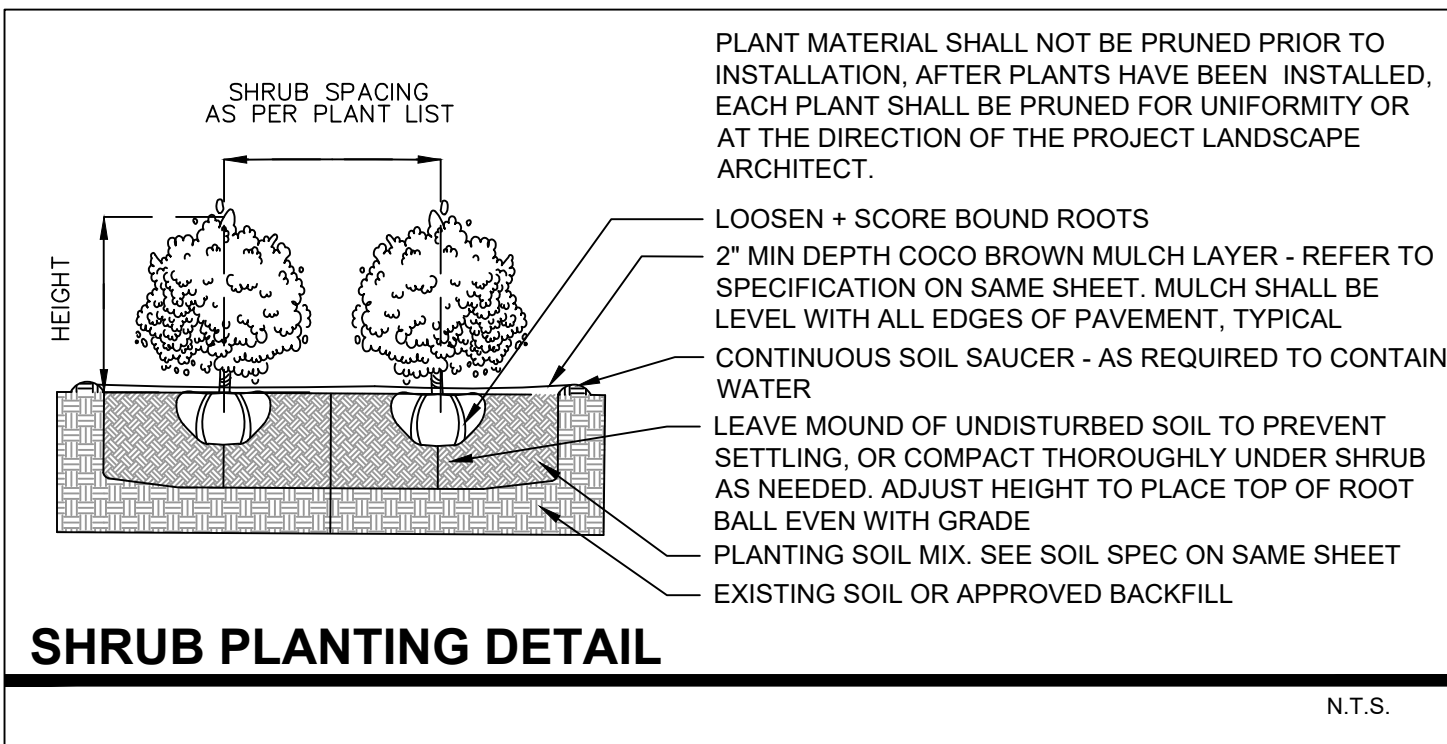
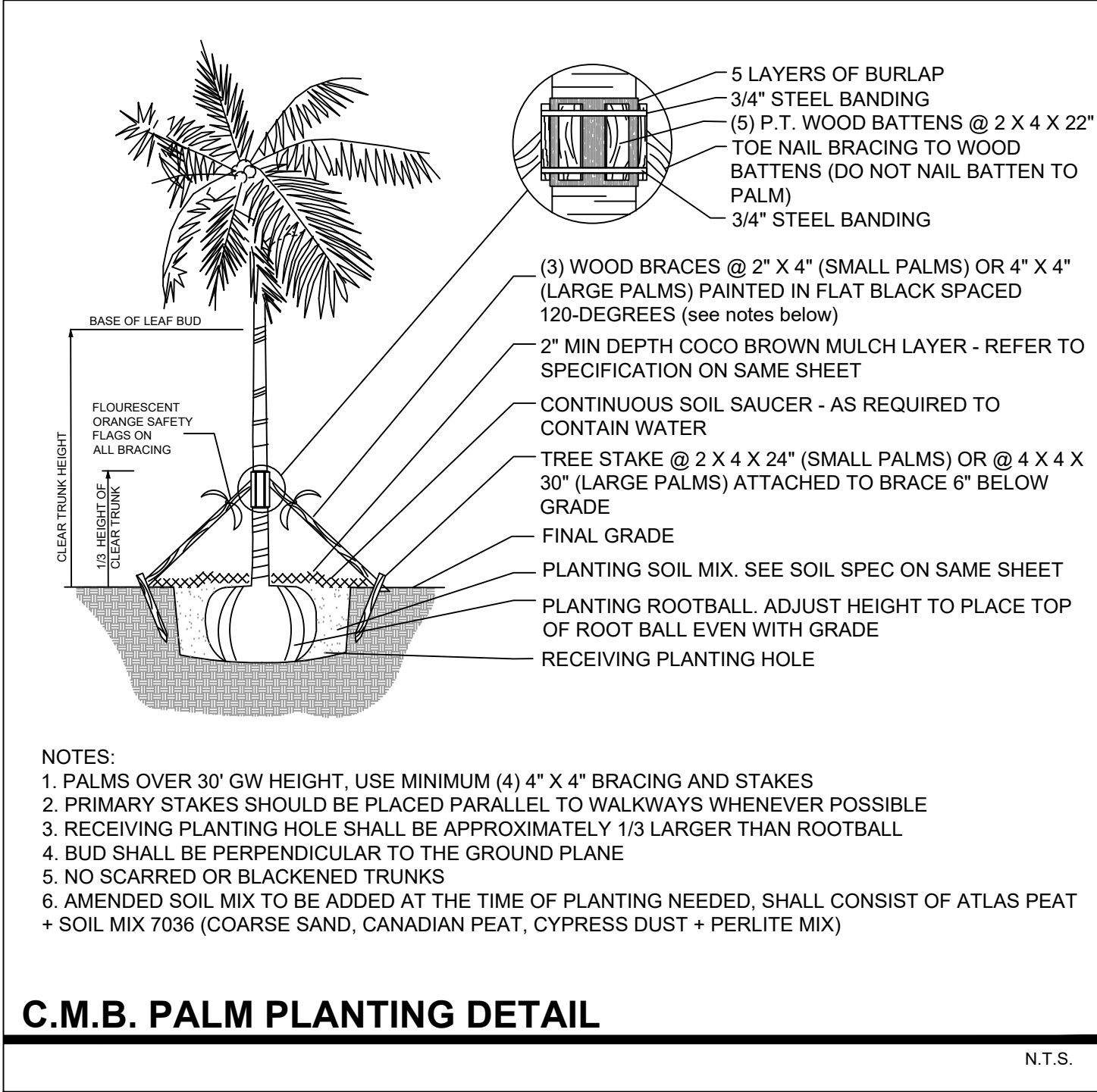
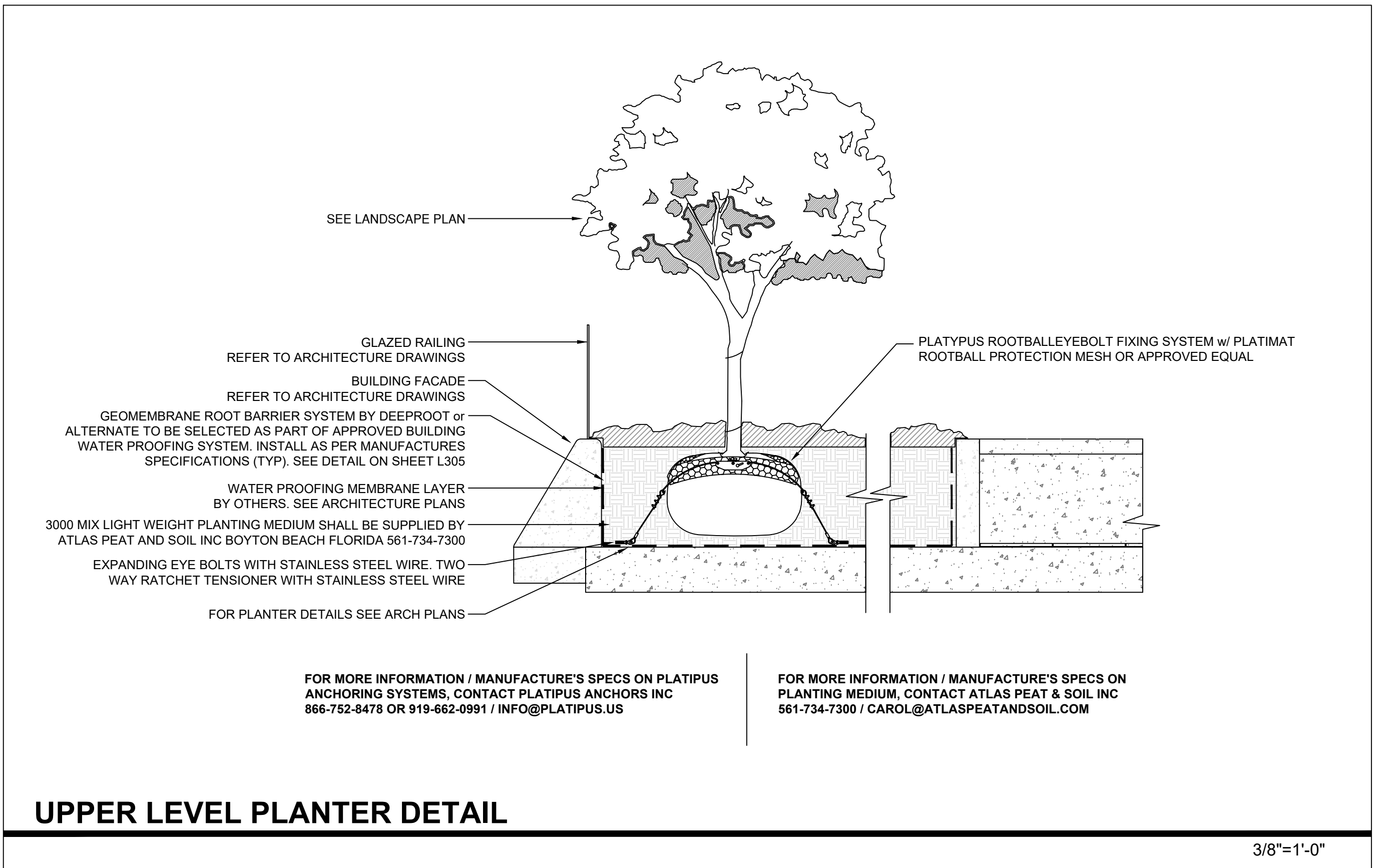
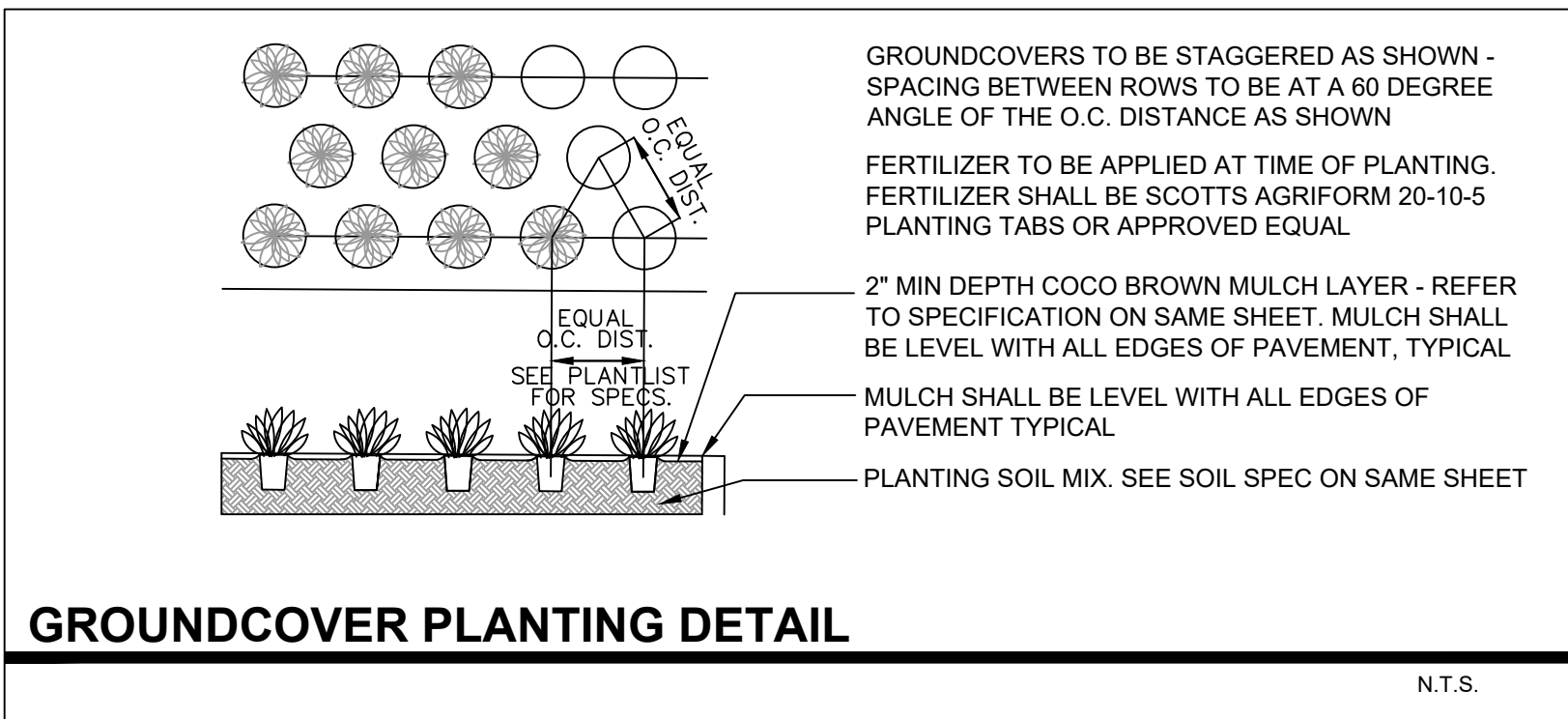
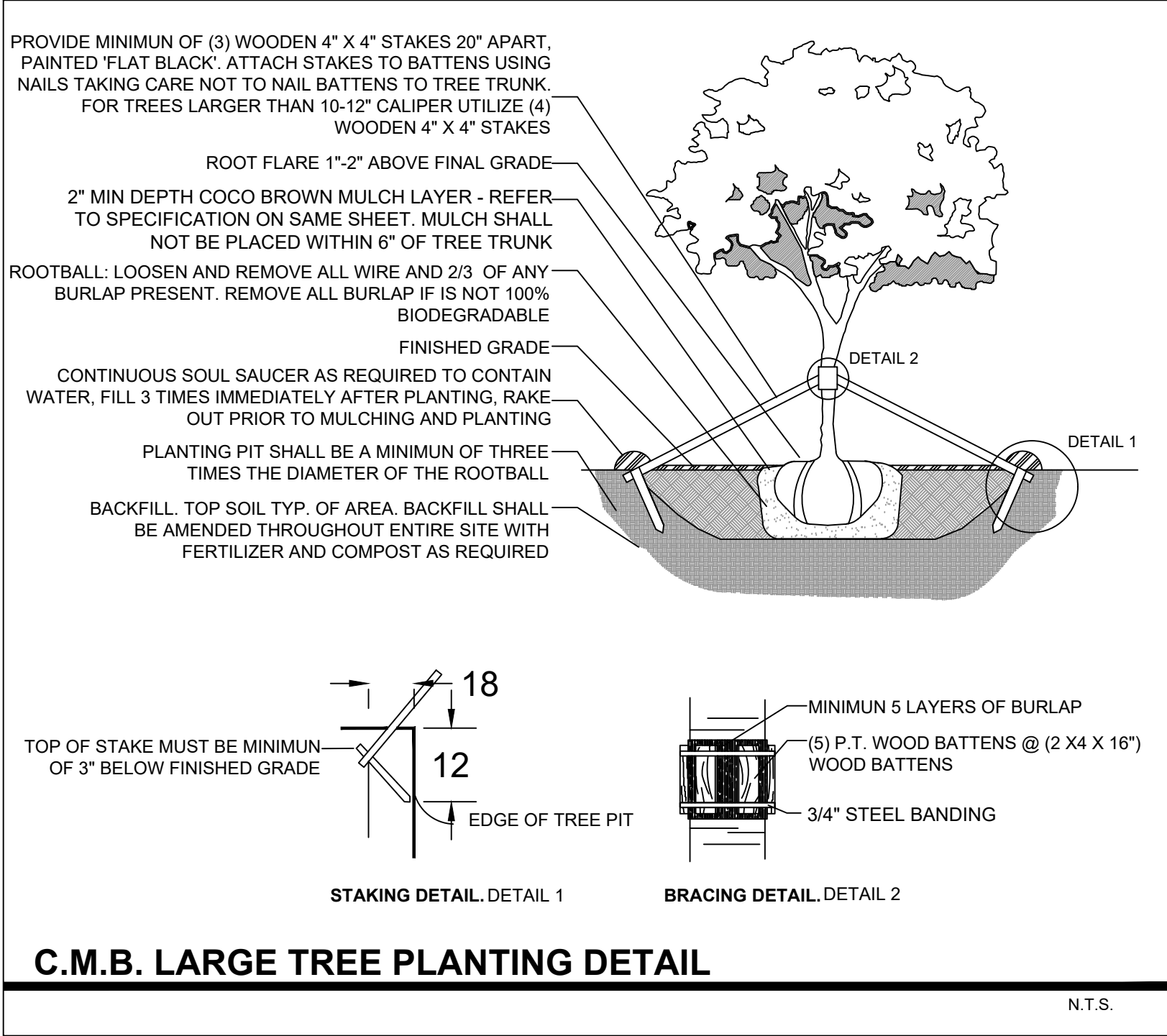
DRAWN BY LM, MN

CHECKED BY CC

TITLE ROOF DECK

LANDSCAPE PLAN

NUMBER L204



PLANT LIST - SUNSET PARK GROUND FLOOR					
KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
TREES					
CG	2	NO	BRIDAL VEIL TREE	Caesalpinia granadillo	Specimen to be selected, 200 gallon, 16' ht min, 10' spread, 4" dbh, standard
CG2	4	NO	BRIDAL VEIL TREE	Caesalpinia granadillo	100 gallon, 14' ht min, 8' spread, 2-3" dbh, standard, equal to Treeworld Wholesale
CW	3	YES	WILD CINNAMON BARK TREE	Canela winterana	12' ht min, 8' spr, 2" dbh, 6' cl, equal to Treeworld Wholesale
EF	5	YES	SPANISH STOPPER TREE	Eugenia foetida	100 gallon, 12-14' ht min, 6' spread, 2" dbh min, standard form, equal to Treeworld Wholesale
EF2	4	YES	SPANISH STOPPER TREE	Eugenia foetida	10-12' ht min, 5-6' spread, 1.5" dbh, standard form, equal to Treeworld Wholesale
PR	7	NO	BAY RUM TREE	Pimenta racemosa	16' ht min, 8' spread min, 4" dbh, standard form, equal to Treeworld Wholesale
SHRUBS					
PSL	50	YES	DWARF BAHAMA COFFEE	Psychotria ligustrifolia	7 gallon, 18" on center
GROUNDCOVERS, TROPICALS + ACCENTS					
LIR	300	NO	LILYTURF	Liriope muscari	3 gallon, full, 18" on center
MIC	250	NO	WART FERN	Microsorium scolopendria	3 gallon, full, 18" on center
PBM	110	NO	BURLE MARX	Philodendron 'Burle Marx'	3 gallon, full, 18" on center

PLANT LIST - SUNSET PARK SECOND FLOOR					
KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
TREES, PALMS + GROUNDCOVERS					
PE	2	NO	ALEXANDER PALM	Ptychosperma elegans	13-16' overall height, grade # 2, staggered heights, trunk as shown, full
TR	2	YES	THATCH PALM	Thrinax radiata	45 gallon, 5'-6" height, 2-3" clear trunk, full
ERL	250	YES	GOLDEN BEACH CREEPER	Ernodes littoralis	3 gallon, full, 18" on center, double staggered rows
MIC	180	NO	WART FERN	Microsorium scolopendrium	3 gallon, full, space 18" on center
PBM	20	NO	PHILODENDRON 'BURLE MARX'	Same	3 gallon, full, 18" on center
PHW	15	NO	PHILODENDRON 'WILSON'	Same	7 gallon, space 36" on center

PLANT LIST - SUNSET PARK THIRD FLOOR					
KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
SHRUBS, GROUNDCOVERS + VINES					
BOU	600	NO	BOUGAINVILLEA 'BARBARA KARST'	Same	3 gallon, full, space 18" on center
CAM	1,805	NO	CARISSA 'EMERALD BLANKET'	Carissa macro 'Emerald Blanket'	3 gallon, full, space 18" on center
ERL	1,310	YES	GOLDEN BEACH CREEPER	Ernodes littoralis	1 gallon, full, space 12" on center
TRF	37	YES	DWARF FAKAHATCHEE GRASS	Tripsacum floridana	3 gallon, full, space 18" on center
TRJ	600	NO	CONFEDERATE JASMINE	Trachelospermum jasminoides	3 gallon, full, space 18" on center

PLANT LIST - SUNSET PARK ROOF DECK					
KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
TREES					
CU	8	YES	SEA GRAPE TREE	Coccoloba uvifera	200 gallon, 14' ht, 8' spread, 3" dbh, multi, equal to Treeworld
CS	2	YES	SILVER BUTTWOOD	Conocarpus erectus 'Sericeus'	50 gallon, 12' ht, 6' spread, 2-3" dbh, standard, equal to Treeworld
EF	3	YES	SPANISH STOPPER TREE	Eugenia foetida	8' ht min, 5' spread, 1.5" dbh, standard
PALMS					
CN	3	NO	COCONUT PALM	Cocco nucifera 'Maypan'	14'-18" gray wood, curved trunk, Florida Fancy
TR	7	YES	THATCH PALM	Thrinax radiata	25 gallon, 8' min oah, 4' min spr, boots on, trunks as shown, full
SHRUBS					
BOU	26	NO	BOUGAINVILLEA 'BARBARA KARST'	Same	25 gallon, 6' height, trellis
CAM	100	NO	CARISSA 'EMERALD BLANKET'	Carissa macro 'Emerald Blanket'	3 gallon, full, 18" on center, double staggered rows
PSL	160	YES	DWARF BAHAMA COFFEE	Psychotria ligustrifolia	7 gallon, full, space 30" on center
GROUNDCOVERS, TROPICALS + ACCENTS					
ALO	8	NO	BROMELIAD 'ODOORATA'	Alcantarea 'Odorata'	7 gallon, 36" height x 36" spread, full, sun grown
ERL	120	YES	GOLDEN BEACH CREEPER	Ernodes littoralis	3 gallon, full, 18" on center, double staggered rows
LIR	260	NO	LILYTURF	Liriope muscari	3 gallon, full, 18" on center
MIC	560	NO	WART FERN	Microsorium scolopendrium	3 gallon, full, 18" on center
MOD	30	NO	SWISS CHEESE PLANT	Monstera deliciosa	3 gallon, full, 18" on center
PBM	60	NO	PHILODENDRON 'BURLE MARX'	Same	3 gallon, full, 18" on center
TRF	170	YES	DWARF FAKAHATCHEE GRASS	Tripsacum floridana	3 gallon, full, 24" on center, double staggered rows
TRJ	8	NO	CONFEDERATE JASMINE	Trachelospermum jasminoides	3 gallon, full, space 18" on center
ZAP	100	YES	COONTIE	Zamia pumila	3 gallon, full, space 18" on center

CONTRACTOR TO PROVIDE IMAGES OF ALL MAJOR PLANT MATERIAL TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PURCHASE + INSTALLATION. LANDSCAPE CONTRACTOR TO MEET WITH LANDSCAPE ARCHITECT AND OWNER ON SITE TO REVIEW THE PROPOSED DESIGN PRIOR TO SUBMITTING A BID FOR THE PROJECT. THE LANDSCAPE CONTRACTOR IS TO PROVIDE AN ADDITIONAL ALLOWANCE OF \$8,000 DOLLARS FOR MISCELLANEOUS VEGETATION TO BE SELECTED DURING THE INSTALLATION OF THE PROJECT

WB 24, WB 36 DeepRoot Water Barriers

Specified water barriers are an impervious barrier to prevent subterranean water movement. Also used as a root block to prevent tree roots and shrubs from damaging landscapes and other areas. Installed in varying lengths for linear applications directly beside a hardscape.

A. General

1. The contractor shall furnish and install water barriers as specified. The water barriers shall be either product #WB 24 or WB 36 as manufactured by DeepRoot Systems, L.P., 811 Lupton Street, Suite 4, San Francisco, CA 94103 (800-458-3608), or approved equal. The barrier shall be available black high density polyethylene sheet material, depending on model selected the dimensions shall be as follows:

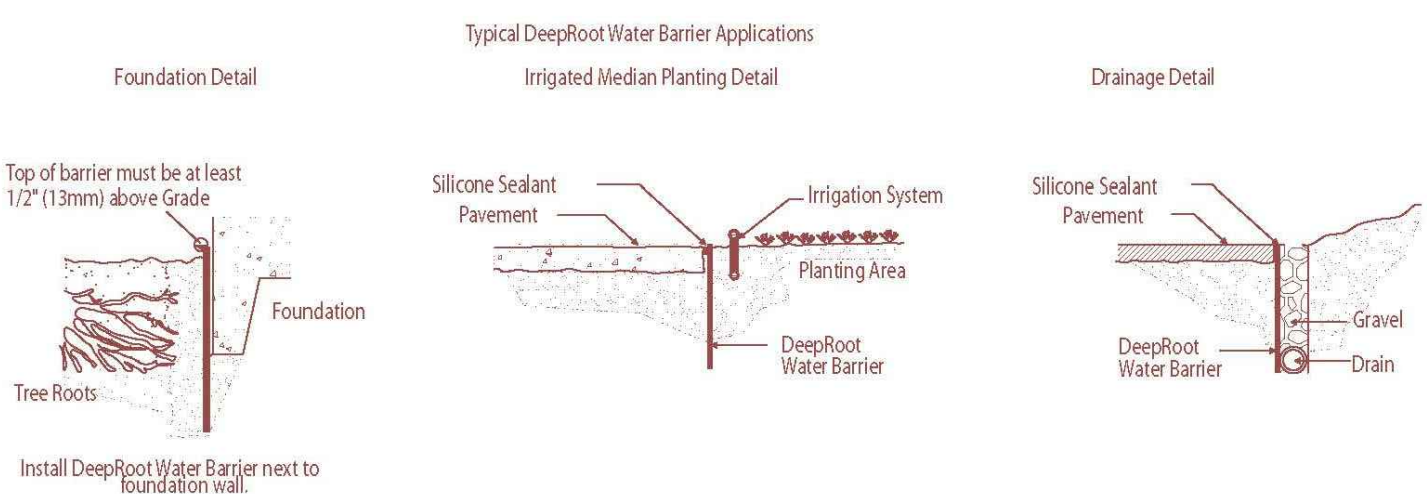
WB 24: 0.37 (0.35 min) wall thickness, 24" (61 cm) deep
WB 36: 0.37 (0.35 min) wall thickness, 36" (91 cm) deep

The properties of the material shall be:

Specifications		
High Density Polyethylene (HDPE) Geomembrane Properties:		
Parameter	ASTM Test Method	Minimum Value
Md Break Strength (psi)	D 638	2533 psi
Td Break Strength (psi)	D 638	1598 psi
Md Break Elongation (%)	D 638	211%
Td Break Elongation (%)	D 638	128%
Puncture Strength (psi)	D 4833	593psi
Md Tear Strength (lbf)	D 3008	293lbs
Td Tear Strength (lbf)	D 3008	368lbs
Hydrostatic Resistance (psi)	D 755, Procedure A	135psi
Multi-Axial Tensile Properties	D 5687 Test Method A, Constant Deflection Versus Pressure	2383 psi
% Elongation @ Rupture	D 5687 Test Method A, Constant Deflection Versus Pressure	208%
MD - Machine Direction TD - Transverse Direction		

B. Construction and Installation

- The contractor shall install the water barriers with appropriate length and in the manner shown on the drawings.
- Excavation and preparation shall conform to the drawings.



WB36 TREE ROOT WATER BARRIER BY DEEPROOT



EIGHTEEN SUNSET
1759 PURDY AVENUE
MIAMI BEACH, FL 33139

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690 NE 52ND TERRACE
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FAX: (212) 334-0453

CHRISTOPHER CAWLEY
LANDSCAPE ARCHITECTURE

LANDSCAPE ARCHITECT:
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Christopher Cawley
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Florida License LA 6968786

DRB SET - 03/21/22

REVISIONS

NO.:	DESCRIPTION:	DATE:

PROJECT NUMBER 15072
DRAWN BY LM, MN
CHECKED BY CC

PLANT LISTS +
LANDSCAPE DETAILS

L205

APPROVED



EIGHTEEN SUNSET

1733-1759 PURDY AVENUE & 1724-1752 BAY ROAD
MIAMI BEACH, FLORIDA
DESIGN REVIEW BOARD DRB22-0814

APRIL 11, 2022