[redacted]

Owner Agnes C. Gano — Mailing Address — Permit No. 2530

Lot 13 Block 4 Subdivision Nautilus — No. 4541 Street Bay Road Date May 31, 1928

General Contractor Clayton Sheppell Owner — Address 3222-11-084

Architect — Address

13077

Front 73 Depth 61 Height — Stories — Use Residence

Type of construction Frame Stucco Cost $20,000/00 Foundation Spread Footing Roof

---

Plumbing Contractor A. L. Dulbs — Address — Date June 12, 1928

No. fixtures 23 Rough approved by — Date

Plumbing Contractor A. L. Dulbs — Address — Date June 5, 1928

No. fixtures set 1-Temporary Final approved by — Date

Sewer connection 1 Septic tank — Make — Date

Electrical Contractor Electric Construction Co., Inc. — Address 231 5th St. M. B. — Date July 9, 1928

No. outlets 30 Heaters — Stoves 1 Motors — Fans — Temporary service

Rough approved by — Date

Electrical Contractor The Kandis Co. — Address 1125 Lincoln Road — Date Sept. 14, 1928

Special Outlets 1 Ref.

No. fixtures set 60 Final approved by — Date

Date of service

** # 10015- Addition of balcony- (Lester Preu, contractor) $1,000.oo- 6/26/1937

Alterations or repairs — Date

Plumbing permit # 11614- Brunson- 1 Gas ---- GAS OK JJ FARREY- Nov. 29th-1938 --- Dec.1-1938

Electrical permit-# 11992- Tropical Electric- moving heater- Dec. 3- 1938

BUILDING PERMIT # 4236... Addition to garage- (Frame stucco) Maine Delburn Co. contractor: $ 2,000:.... Jan. 14, 1931...

PLUMBING Southern Septic Tank Co. 1 Tank Jan.13,1926

BUILDING PERMIT # 15774- WATERPROOFING - Tropical Waterproofing Company - $ 400: June 9, 1941

BUILDING PERMIT # 19408... Sidewalk .. day labor. $ 200: Nov.24,1944

OVER

BUILDING PERMIT # 35066 Re-roofing -Giffen Industries, Inc., contr. $ 235..... Feb. 2, 1951
46521 by owner...."For Sale" sign as per ordinance #1024...$ 2.00 Dec. 1, 1954
#77658 Carruth Roofing Co.: Reroof 33½ squares - $2692 - 1/9/67
#26407 1/11/85 - OWNER: LYNDON WEISSER - exterior painting $600

PLUMBING PERMIT # 18370.. Alex. Orr.... 1 gas range.... July 12, 1945
18533 Giffen Roofing Co. 1 Solar water heater ($318) Sept. 26, 1945
#44618 Peoples Gas: 1 dryer - 1/7/65

ELECTRICAL PERMITS: #48667 Astor Electric Serv., Inc: one motor October 5, 1956 OK Plaag 2/18/57

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

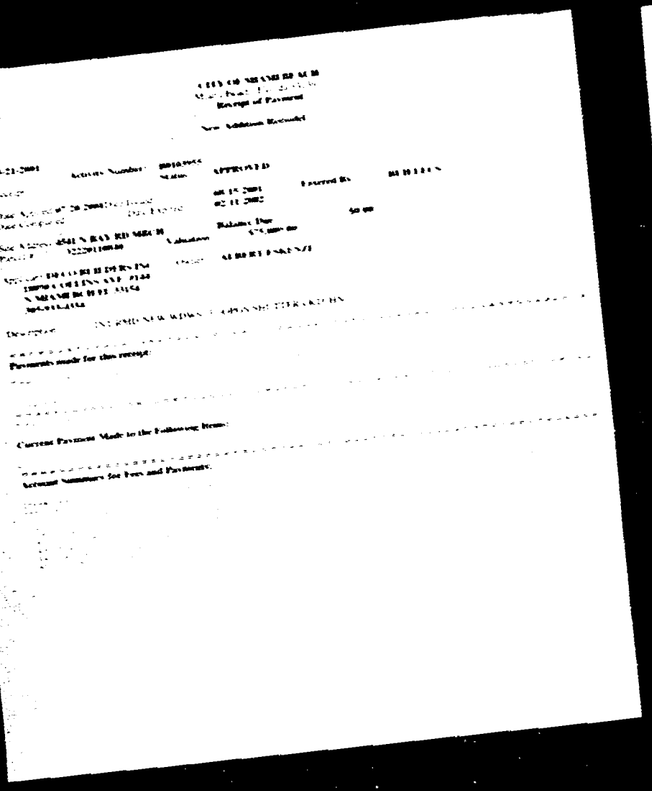
DATE ISSUED	PROCESS NO.	DESCRIPTION OF WORK	WORK COST	CUMULATIVE WORK COST	APPRAISED BLDG. VALUE BEFORE REMODEL	%	COMMENTS	BUILDING PERMIT NO.

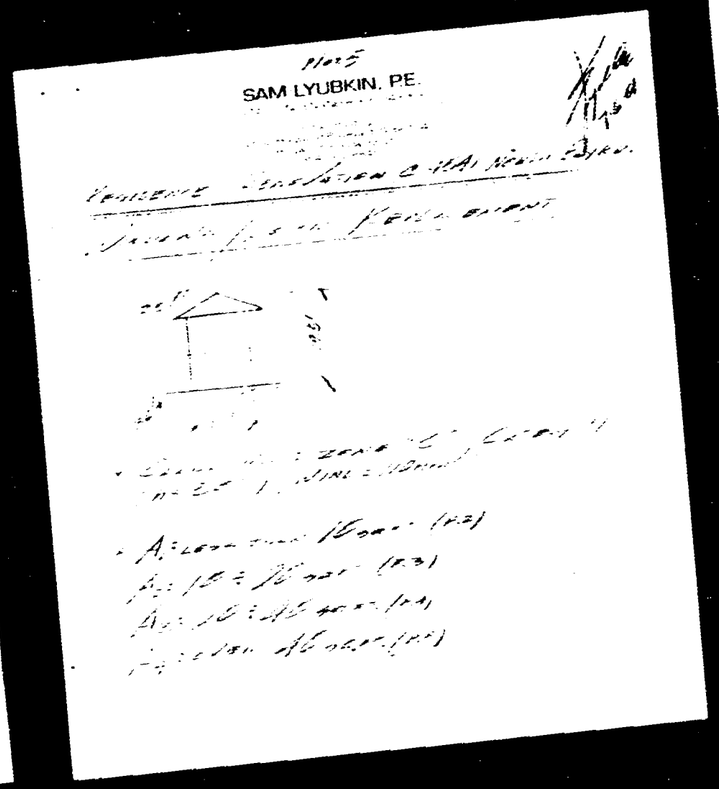
NEXT CASE

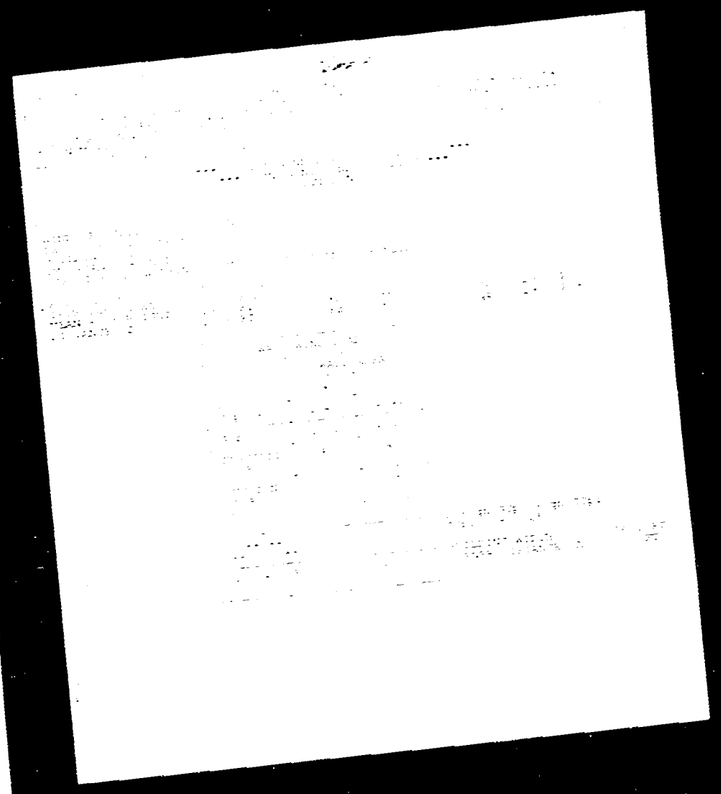
PERMIT #

B0103955

01







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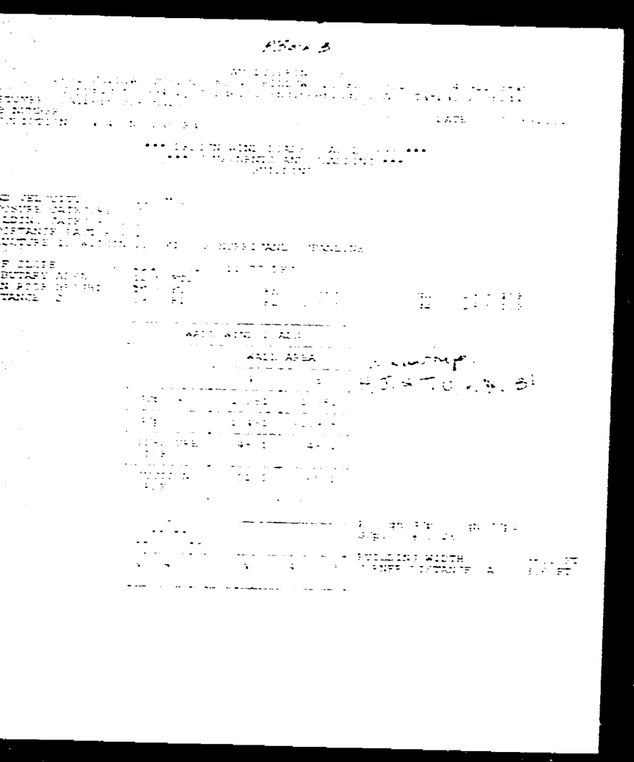
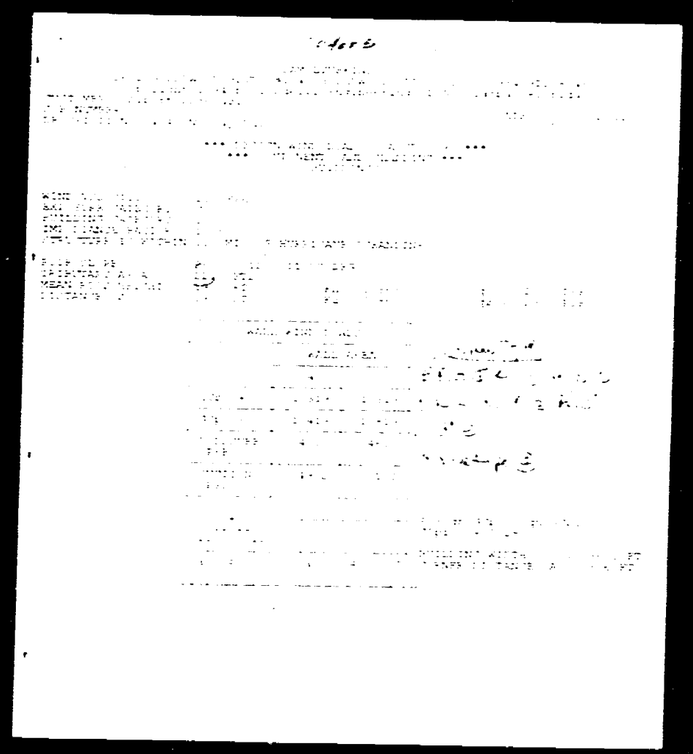
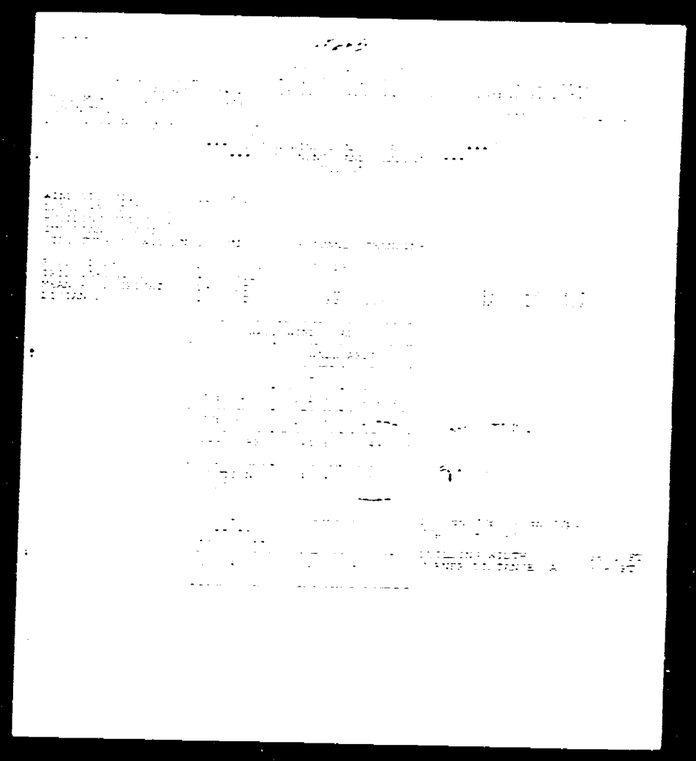






01

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO DADE FLAGLER BUILDING
122 NE 1ST FLAGLER STREET, SUITE 100
MIAMI, FLORIDA 33128-1963
(305) 375-2901, FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2927, FAX (305) 375-2908

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2905, FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902, FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

New Age Windows & Doors Corp.
1940 N.W. 74 Street
Miami FL 33166

Your application for Product Approval of:
Outswing Aluminum Entrance Door
under Chapter 8 of the Code of Miami-Dade County, governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to require a product or material at any time from a jobsite or manufacturer's plant for quality control testing.
If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that the product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be borne by the manufacturer.

Acceptance No.: 99-0127.14
Expires: 04.11.2002

Raul Rodriguez
Chief Product Control

THIS IS THE COVER SHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County. Prior to use, see the conditions set forth above.

Director
Miami-Dade County
Building Code Compliance Office

Approved: 04.05.1999

Internet mail address: postmaster@miamidadecounty.com Homepage: http://www.buildingdade.com

New Age Windows & Door Corp.

ACCEPTANCE No.: 99-0127.14
APPROVED: APR 2 8 1999
EXPIRES: April 11, 2002

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**
1.1 This **renews** the Notice of Acceptance **No. 95-0350.09**, which was issued on April 11, 1995. It approves an aluminum outswing French door, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. **PRODUCT DESCRIPTION**
2.1 The **Series Outswing Aluminum Entrance Doors** and its components shall be constructed in strict compliance with the following documents: Drawing No. **W99-01**, titled "Aluminum Outswing Entrance Door" Sheets 1 through 4 of 4 dated 01/14/99 revised dated 03/16/99, prepared, signed and sealed by Dr. Hunaidum Farooq, P.E. bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. **LIMITATIONS**
3.1 This approval does extend only to use of parts of this product as described herein. Approval of the product does not include components not listed herein or other suitable substitutions.

4. **INSTALLATION**
4.1 The aluminum outswing doors and its components shall be installed in strict compliance with the approved drawings.
4.2 Aluminum protection system, number 1, is not included. If this unit will require a number 1 protection system.

5. **LABELING**
5.1 Each unit shall bear a permanent label, with the manufacturer's name or logo, serial number and the statement "Miami-Dade County Product Control Approved".

6. **BUILDING PERMIT REQUIREMENTS**
6.1 Application for a building permit shall be accompanied by the following:
6.11 This Notice of Acceptance.
6.12 [illegible] clearly marked to show the components tested for the proposed installation.
6.13 Any other documents required by the Building Official since South Florida Building Code 1994 in order to properly evaluate the installation of this system.

Isaac I. Chanda
Isaac I. Chanda, P.E. Product Control Engineer
Product Control Division

NEW AGE WINDOWS & DOORS CORP. 8-6-98
ALUMINUM SWING-OUT DOOR
COMPARATIVE ANALYSIS CHART
BASED ON FTL-1013 OF 12-21-94
TEST SIZE = "TRAY" - CLEAR NOMINAL DIMS.
TEST LOADS = +45.0 / -45.0 PSF
DESIGN LOADS = +50 / -50 PSF
WATER INFILTRATION TEST = +6.0 PSF
HINGES: CLEAR
NO MULLIONS

HEIGHT	WIDTH	EXT.	INT.
6'8"	2'0"	71.6	94.9
	2'4"	61.4	81.3
	2'8"	53.7	71.1
	3'0"	47.8	63.2
7'0"	2'0"	68.2	90.3
	2'4"	58.5	77.5
	2'8"	51.2	67.8
	3'0"	45.5	60.2
8'0"	2'0"	64.0	79.1
	2'4"	54.9	67.8
	2'8"	44.8	59.3
	3'0"	39.8	52.7

NOTES:
1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible] SEPARATELY
5. [illegible] ARE NOMINAL

PREPARED BY AL-FAROOQ CORPORATION
1235 S.W. 87TH AVENUE
MIAMI, FL. 33174 PH. 305-264-8100

MAY 1 0 1999

01

New Age Windows & Door Corp.

ACCEPTANCE No. : 99-0127.14

APPROVED : APR 0 8 1999

EXPIRES : April 11, 200

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original acceptance documentation, including test supporting data, engineering documents and product samples, for a period of five years.

2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state and the following statement: "Miami-Dade County Product Control Approved", or as specifically required in the specific conditions of this Acceptance.

3. Renewals of Acceptance will not be considered if:
   a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
   b) The product is no longer the same product (identical) as the one originally approved;
   c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
   d) The engineer who originally prepared, signed and sealed the required documentation in this system has no longer practicing the engineering profession.

4. Any revision or change in the materials, use, and or manufacture of the product mentioned in this Acceptance shall invalidate or terminate this Acceptance, unless prior written approval has been requested, through the filing of a revision application with appropriate fee, and granted by this Office.

5. Any of the following shall also be grounds for revoking this Acceptance:
   a) Unsatisfactory performance of this product or process.
   b) Misuse of this Acceptance as an endorsement of any product for other assemblies not included in this Acceptance.

6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida and the words "Product Control Approved" may be displayed in advertising literature. Many print in the Notice of Acceptance is not displayed, other than shall be done in its entirety.

7. A copy of this Acceptance as well as approved drawings and other documents where applicable, must be provided to the user by the manufacturer in its distributions and must be available at the job site at the time of installation. The engineer need not reseal the copies.

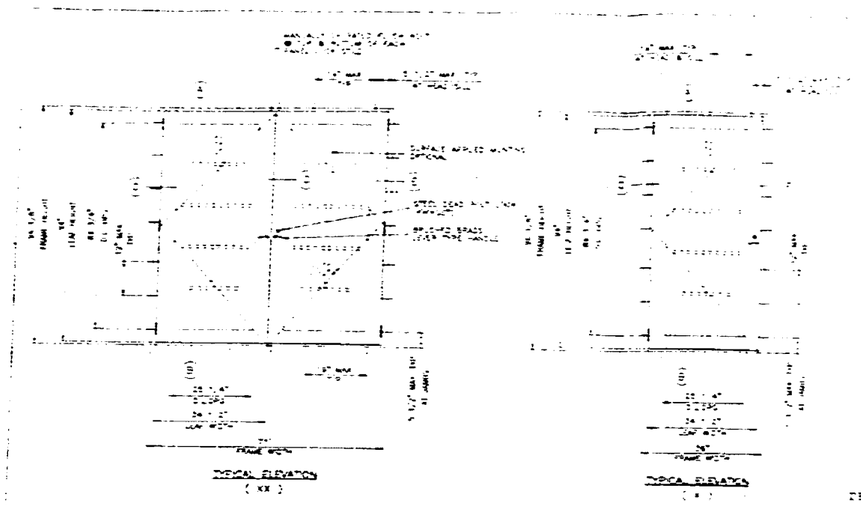
8. Failure to comply with any section of this Acceptance shall be cause for revocation and termination of Acceptance.

9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

Ishaq I. Chanda

Ishaq I. Chanda, P.E., Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE



DESIGN PRESSURE RATING = - 39.8 PSF
= 52.7 PSF

DOORS TO BE PROTECTED BY
DADE COUNTY APPROVED
IMPACT RESISTANT SHUTTERS

NOTES:
1. THIS STRUCTURE IS DESIGNED AS PER THE SOUTH FLORIDA BUILDING CODE, 1994 EDITION FOR DADE COUNTY, AND FOR WIND LOADS AS PER ASCE 7-88 USING CORRESPONDING LOADS.
2. WOOD BLOCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DEPTHS OF STUCCO.

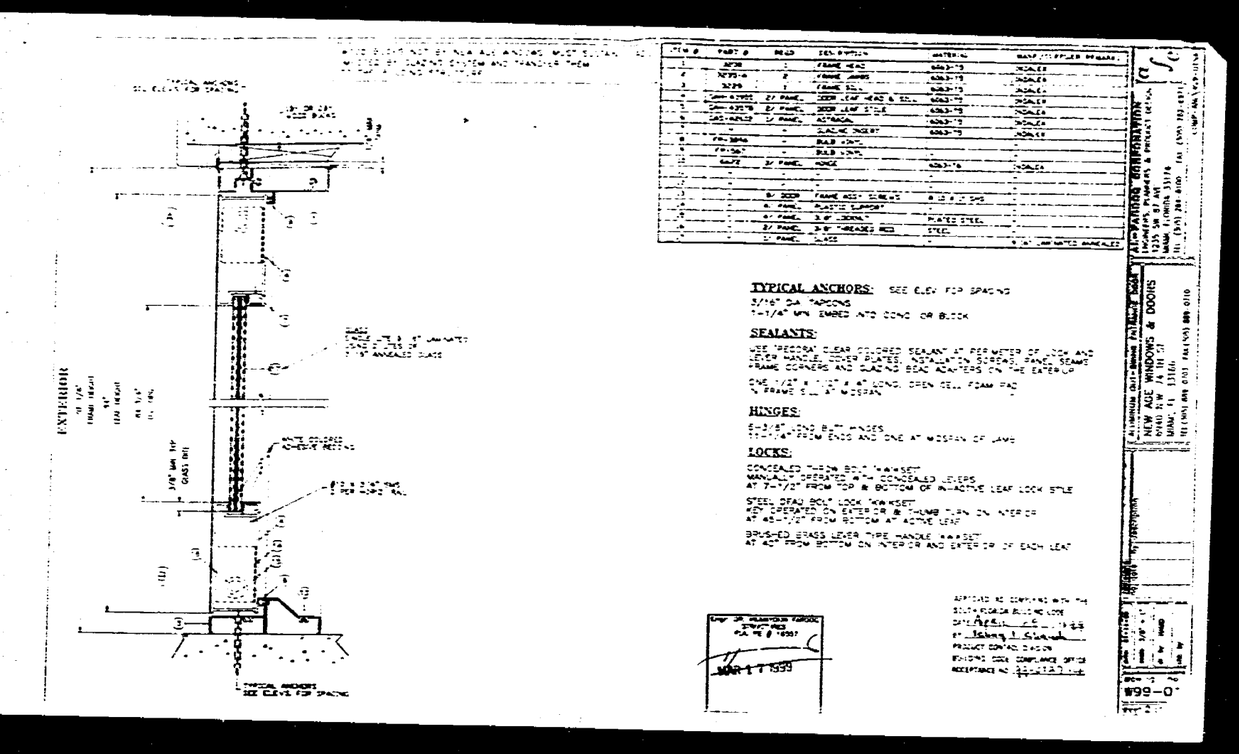
MAY 17 1999

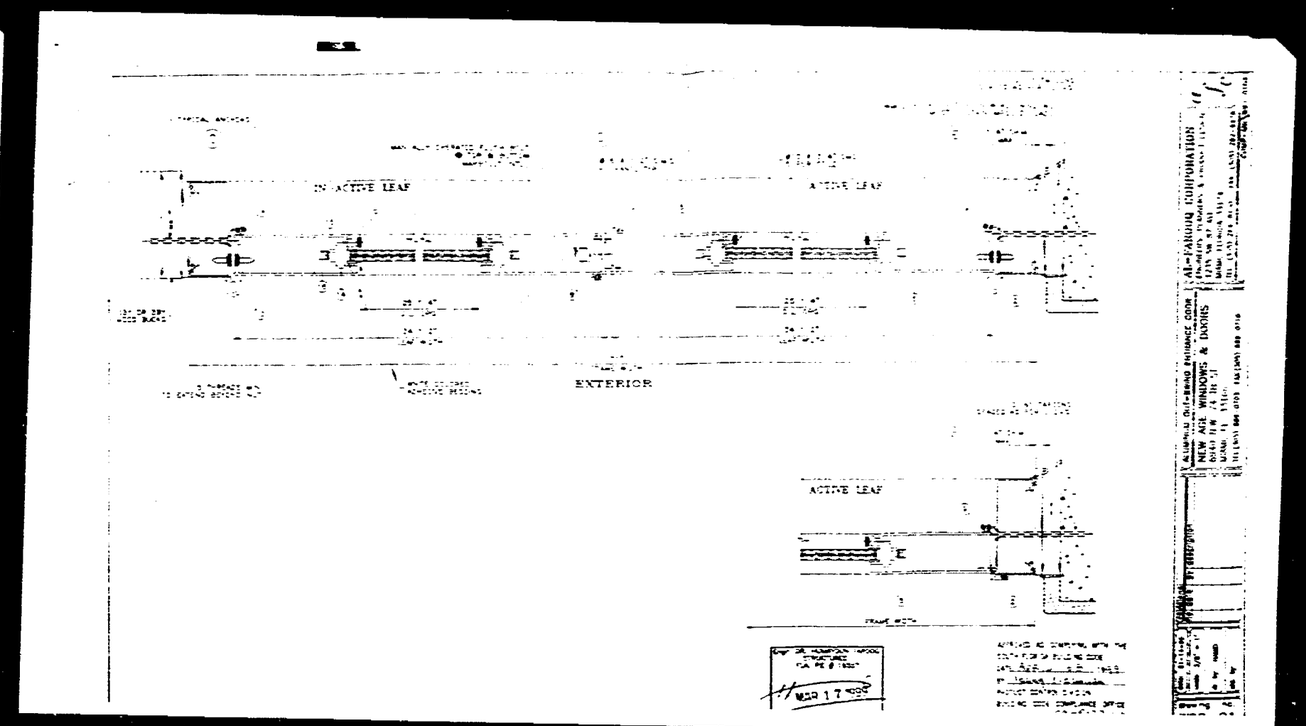
Ishaq I. Chanda

NEW AGE WINDOWS & DOORS

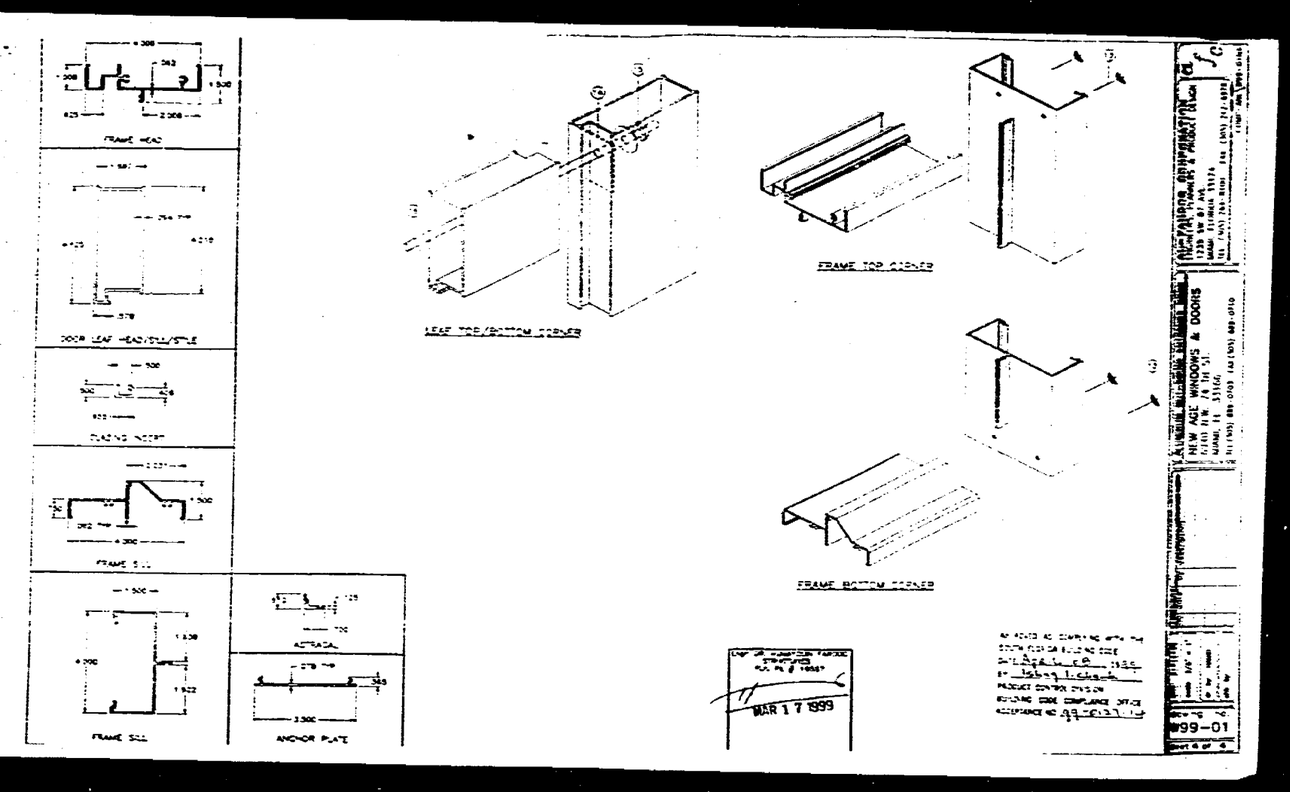
W99-01

01


EXTERIOR
TYPICAL ANCHORS
SEE ELEV. FOR SPACING
TYPICAL ANCHORS: SEE ELEV. FOR SPACING
5/16" DIA. TAPCONS
1-1/4" MIN. EMBED INTO CONC. OR BLOCK
SEALANTS:
USE "PECORA" CLEAR COLORED SEALANT AT PERIMETER OF LOCK AND LEVER HANDLE, INNER PLATES, INSULATION SHEETS, PANEL SEAMS, FRAME CORNERS AND SLAB NO. BEAD ADHERES ON THE EXTERIOR
ONE 1/4" X 1/4" X 4" LONG OPEN CELL FOAM PAD
TO FRAME SILL AT MIDSPAN
HINGES:
EVERY 18" LONG BUTT HINGES
11-1/4" FROM ENDS AND ONE AT MIDSPAN OF JAMB
LOCKS:
CONCEALED MORSE BOLT "MAKISET"
MANUALLY OPERATED WITH CONCEALED LEVERS
AT 7-1/2" FROM TOP & BOTTOM OF INACTIVE LEAF LOCK STILE
STEEL DEAD BOLT LOCK "MAKISET"
KEY OPERATED ON EXTERIOR & THUMB TURN ON INTERIOR
AT 48-1/2" FROM BOTTOM AT ACTIVE LEAF
BRUSHED BRASS LEVER TYPE HANDLE "MAKISET"
AT 42" FROM BOTTOM ON INTERIOR AND EXTERIOR OF EACH LEAF
ALUMINUM OUTSWING ENTRANCE DOOR
NEW AGE WINDOWS & DOORS
ALPHARUN CORPORATION
W99-0


INACTIVE LEAF
ACTIVE LEAF
EXTERIOR
ACTIVE LEAF
FRAME WIDTH
ALUMINUM OUTSWING ENTRANCE DOOR
NEW AGE WINDOWS & DOORS
ALPHARUN CORPORATION

01



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 901
MIAMI, FLORIDA 33130-1561
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2227 FAX (305) 375-2928

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2926 FAX (305) 375-2948

PRODUCT CONTROL SECTION
(305) 375-2901 FAX

PRODUCT CONTROL NOTICE OF ACCEPTANCE

New Age Windows & Doors Corp.
6940 N.W. 74 Street
Miami FL 33166

Your application for Product Approval of
Aluminum Single Hung Window
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.
If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval if it is determined BCCO that this product or material fails to meet the requirements of the State Florida Building Code.

The expense of conducting tests is assumed by the manufacturer.

Acceptance No: 99-0601.02
Expires: 09-26-2002

Raul Rodriguez
Chief Product Control

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This product or Product Approval has been reviewed by the BCCO and approved by the County Code and Chairman, Metropolitan Dade County. Please refer to the conditions and limitations.

Approved: 03 30 1999

Francisco J. Quintana
Director
Miami-Dade County
Building Code Compliance Office

Internet mail address: permitwizard@buildingcodeservices.com Homepage http://www.buildingcodeservices.com

01

New Age Windows & Doors, Co.

ACCEPTANCE No. : 99-0601.02

APPROVED : SEP 0 9 1999

EXPIRES : September 26, 2002

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**
This **renews** the Notice of Acceptance No. 98-0310.08, which was issued on October 26, 1998. This approves an aluminum single hung window, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. **PRODUCT DESCRIPTION**
The **Aluminum Single Hung Window** and its components shall be constructed in strict compliance with the following document: Drawing No. **W95-45**, Sheets 1 thru 3 of 3 titled "Aluminum Single Hung Window", dated October 17, 1995, with revision B dated September 19, 1998, prepared by Al-Farooq Corporation, signed and sealed by Dr. Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. **LIMITATIONS**
3.1 This approval applies to single unit applications only, as shown on approved drawings.

4. **INSTALLATION**
4.1 The aluminum single hung window and its components shall be installed in strict compliance with the approved drawings.
4.2 The installation of this product **will require** a hurricane protection system.

5. **LABELING**
5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. **BUILDING PERMIT REQUIREMENTS**
6.1 Application for building permit shall be accompanied by copies of the following:
6.1.1 This Notice of Acceptance.
6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components related to the proposed installation.
6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

Manuel Perez, P.E., Product Control Examiner
Product Control Division

New Age Windows & Doors, Co.

ACCEPTANCE No. [illegible]

APPROVED SEP 0 9 1999

EXPIRES September [illegible]

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

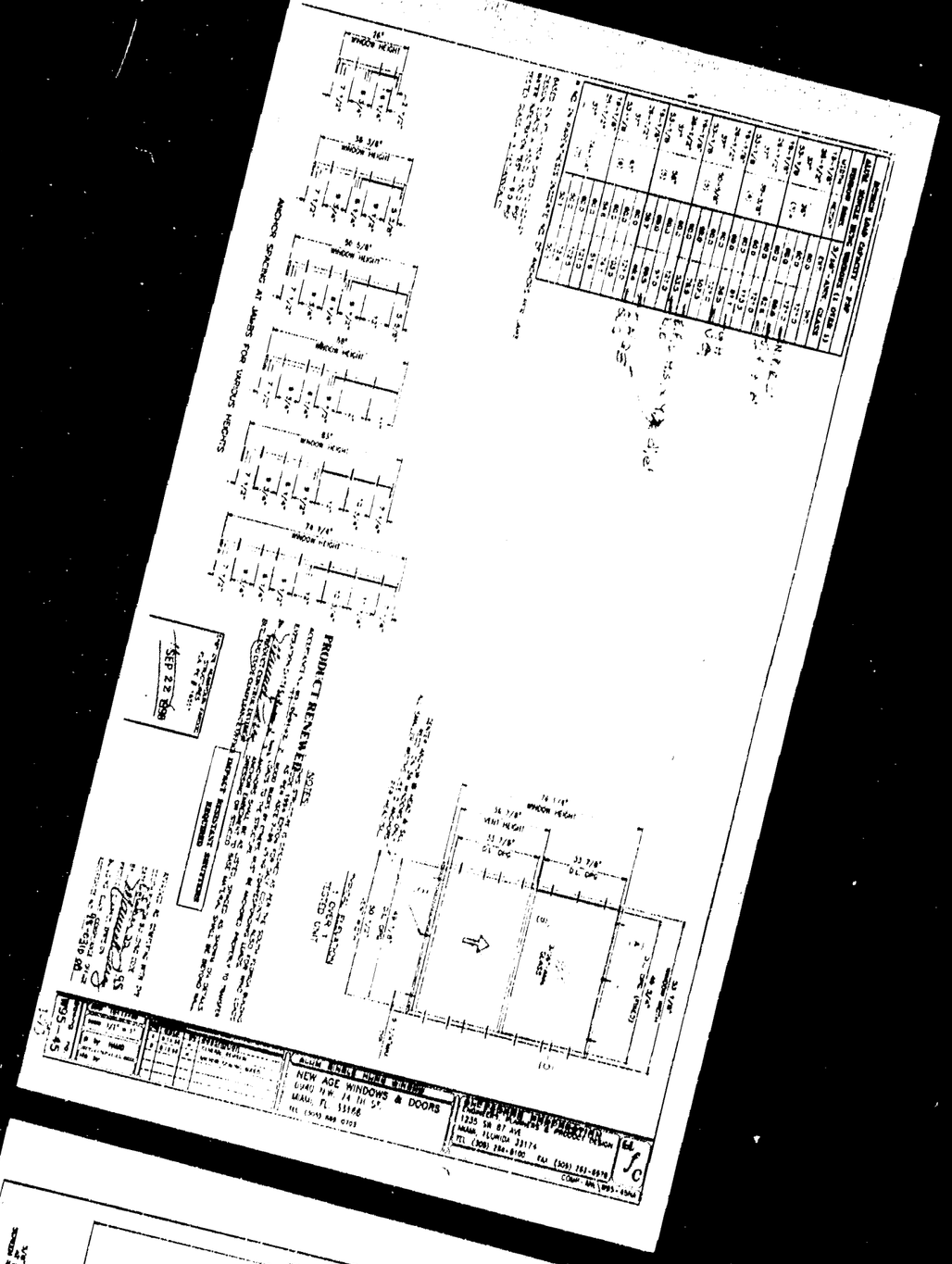
1. Renewal of this Acceptance approval may be considered if the request is received prior to the expiration date of this Acceptance, including the following: [illegible]
2. Any and all approved products shall be permanently stamped with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved" in accordance with the specifications of this Acceptance.
3. Revoking of Acceptance may occur if:
   a. There has been a change in the South Florida Building Code affecting the [illegible] and the product is not in compliance with the code changes.
   b. The product is no longer the same product identified in the original application.
   c. Notice Acceptance holder has not complied with all the requirements of this Acceptance, including [illegible]
   d. Signed installation of the product.
   e. The product has [illegible] pressure zones [illegible]
   f. Approval is no longer practicing engineering or architecture.
4. Any loss or damages to the owner, a buyer, and/or future owner of the product or other parties arising out of the revocation of this Acceptance, or any other reason not specifically mentioned herein, is the sole responsibility of the Acceptance holder and the parties involved.

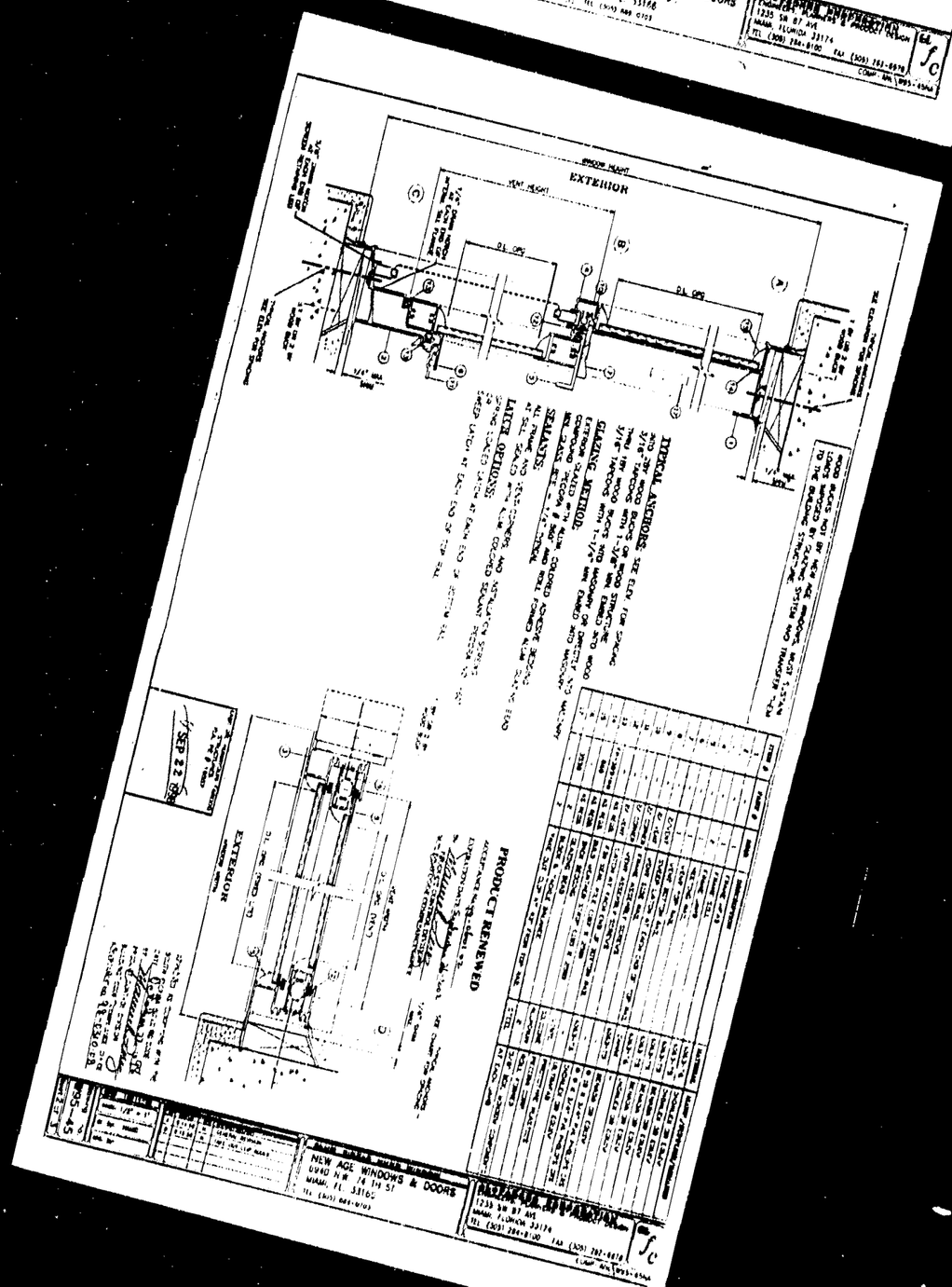
   Any other [illegible] may be grounds for revocation of this Acceptance:
   a. Unsatisfactory performance of the product or process.
   b. Misuse of this Acceptance as an endorsement of any product for sale, advertising or any other purpose.
5. The Notice of Acceptance number provided by the Miami-Dade County [illegible] may be used in conjunction with the product in advertising literature. Any other reference to the Acceptance or its evaluation may be done in [illegible].
6. A copy of this Acceptance as well as approved drawings and other documents, which bear its stamp, must be available at the manufacturer's or supplier's facility [illegible] shall be made available to the Building Official upon request.
7. Failure to comply with any section of this Acceptance shall be cause for termination and revocation of Acceptance.
8. This Notice of Acceptance consists of pages 1, 2 and 3 in its entirety.

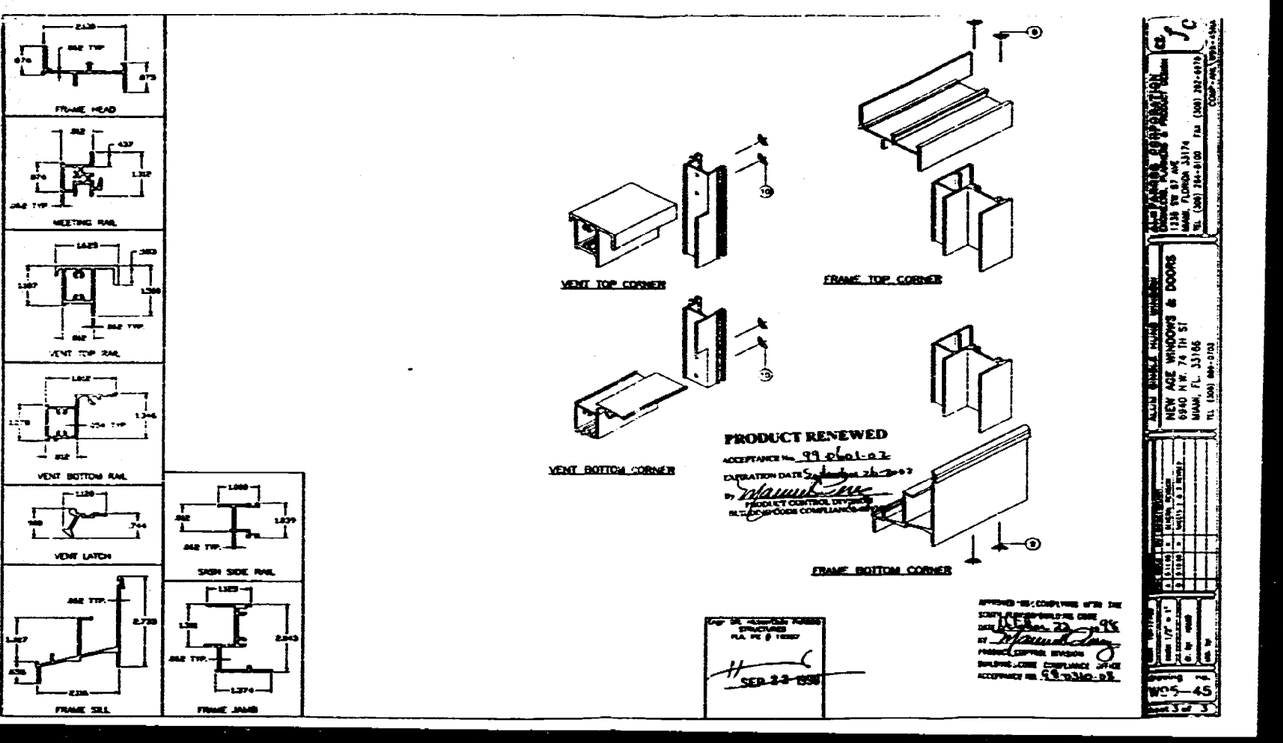
END OF THIS ACCEPTANCE

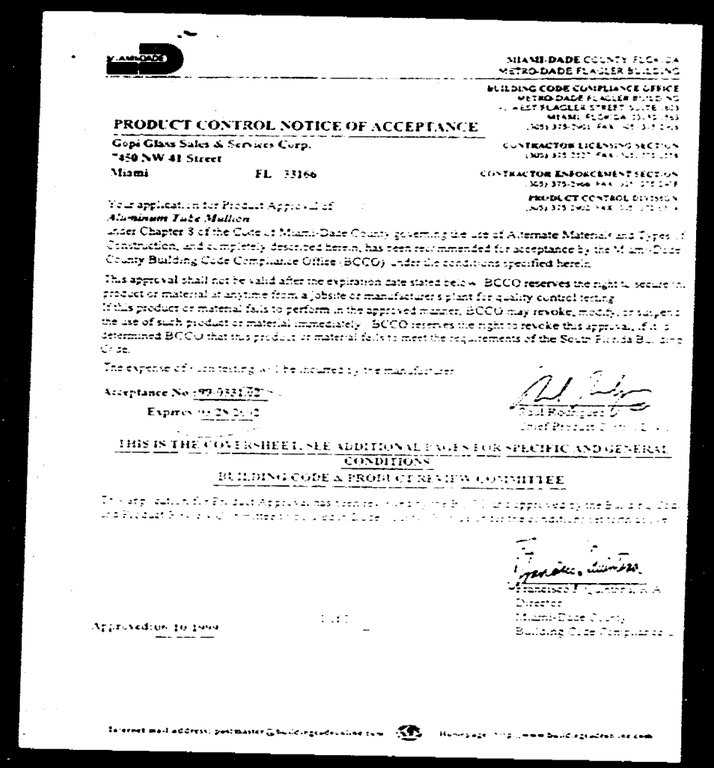
Manuel Perez, P.E., Product Control Examiner
Product Control Division

01


PRODUCT REVIEWED
NEW AGE WINDOWS & DOORS


EXTERIOR
PRODUCT REVIEWED
NEW AGE WINDOWS & DOORS





MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
11 WEST FLAGLER STREET, SUITE 901
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2346 FAX (305) 375-2378

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2346 FAX (305) 375-2378

PRODUCT CONTROL DIVISION
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Gopi Glass Sales & Services Corp.
7450 NW 41 Street
Miami FL 33166

Your application for Product Approval of
Aluminum Tube Mullion
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure the product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of the testing will be incurred by the manufacturer.

Acceptance No.: 99-0521.02

Expires on: 28-2-02

Paul Rodriguez
Chief Product Control

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed and approved by the Building Code & Product Review Committee and Miami-Dade County Building Code Compliance Office

Francisco Fernandez, P.E.
Director
Miami-Dade County
Building Code Compliance

Approved on: 10-1999

Internet mail address: postmaster@buildingcodeonline.com Homepage http://www.buildingcodeonline.com

01

ACCEPTANCE No. : 99-0331.02

APPROVED : JUN 1 3 1999

EXPIRES : March 28, 2002

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**

1.1 This renews the Notice of Acceptance No. 95-1212.12, which was issued on March 28, 1966. It approves a structural mullion system, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

2. **PRODUCT DESCRIPTION**

2.1 The *Gapi Glass Sales & Services Corp.* Aluminum Tube Mullion and its components shall be constructed in strict compliance with the following documents: Drawing No. M95-16, title: "Mullion Details", prepared by Al-Farooq Corporation, dated December 5, 1995, Sheet 1 thru-gh 3 of 3, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. **LIMITATIONS**

3.1 This approval applies to structural mullions to be installed vertically or horizontally, as shown in the approved drawings.

3.2 Mullions are to be used only to support windows and/or doors with a current Notice of Acceptance.

3.3 Both [illegible] and spans, as well as anchor type selected design pressure rating, per the [illegible]

4. **INSTALLATION**

[illegible]

5. **LABELING**

[illegible]

6. **BUILDING PERMIT REQUIREMENTS**

6.1 Any [illegible]

6.1.1 The Notice of Acceptance [illegible] be submitted [illegible] quality.

6.1.2 Duplicate copies of the approved drawings, as described in Section 2 of this Notice of Acceptance, each marked with a [illegible] to be approved to the permit.

6.1.3 The Notice of Acceptance [illegible] to be approved to the permit.

6.1.4 Any other documents required by the Building Official of the South Florida Building Code [illegible] to properly [illegible] of a building.

Manuel Perez, P.E., Product Control Engineer
Product Control Division

Gapi Glass Sales & Services Corp.

ACCEPTANCE No. : 96-0331.02

APPROVED : JUN 1 3 1999

EXPIRES : March 28, 2002

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test supporting data, engineering documents, are no older than eight (8) years.

2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specified in stated in the specific conditions of this Acceptance.

3. Renewals of Acceptance will not be considered if:
   a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
   b. The product is not in compliance with the code changes.
   c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
   d. The engineer who originally prepared, signed and sealed the required documentation, initially submitted, is no longer practicing the engineering profession.

4. Any revision or change in the materials, use, and/or manufacture of the product or process, automatically [illegible] for termination of this Acceptance, unless prior written approval has been requested [illegible] (with appropriate fee) and granted by this office.

5. Any of the following [illegible] shall be grounds for removal of this Acceptance:
   a. Poor stucco performance of this product or process.
   b. Use of this Acceptance as an endorsement of any product, [illegible]

6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida and the Acceptance expiration date may be displayed in advertising literature. If any part of the Notice of Acceptance is used, then it must be done in its entirety.

7. A copy of this Acceptance as well as approved drawings and other documents, where [illegible] shall be [illegible] at the site by the installer. Failure of its subcontractors and the like are not an excuse for [illegible] at the time [illegible] not retain the copies.

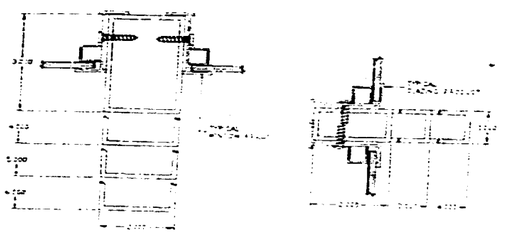
8. Failure to comply with any section of this Acceptance shall be cause for termination and revoke of Acceptance.

9. This Notice of Acceptance consists of pages 1 and 2 and this last page 3.

END OF THIS ACCEPTANCE

Manuel Perez, P.E., Product Control Engineer
Product Control Division

01



PRODUCT RENEWED

ACCEPTANCE No. 99-0331.03

EXPIRATION DATE March 28, 2002

BY Manuel Lee

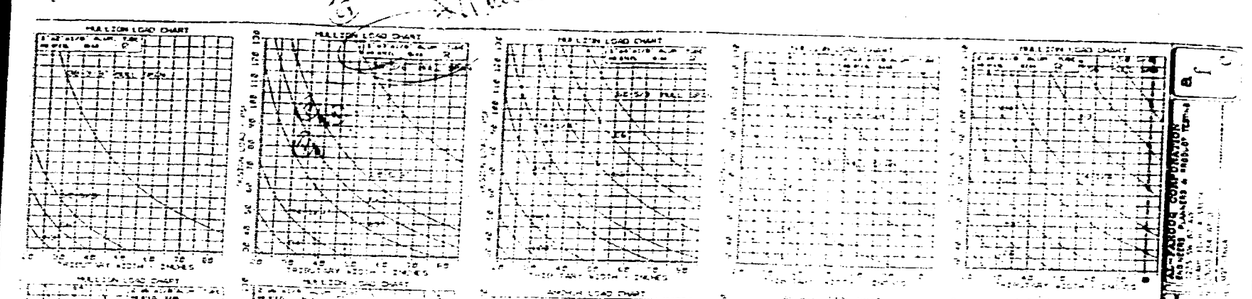
PRODUCT CONTROL DIVISION

INSPECTION COORDINATOR

MARCH 28, 97

95-121213

95-16



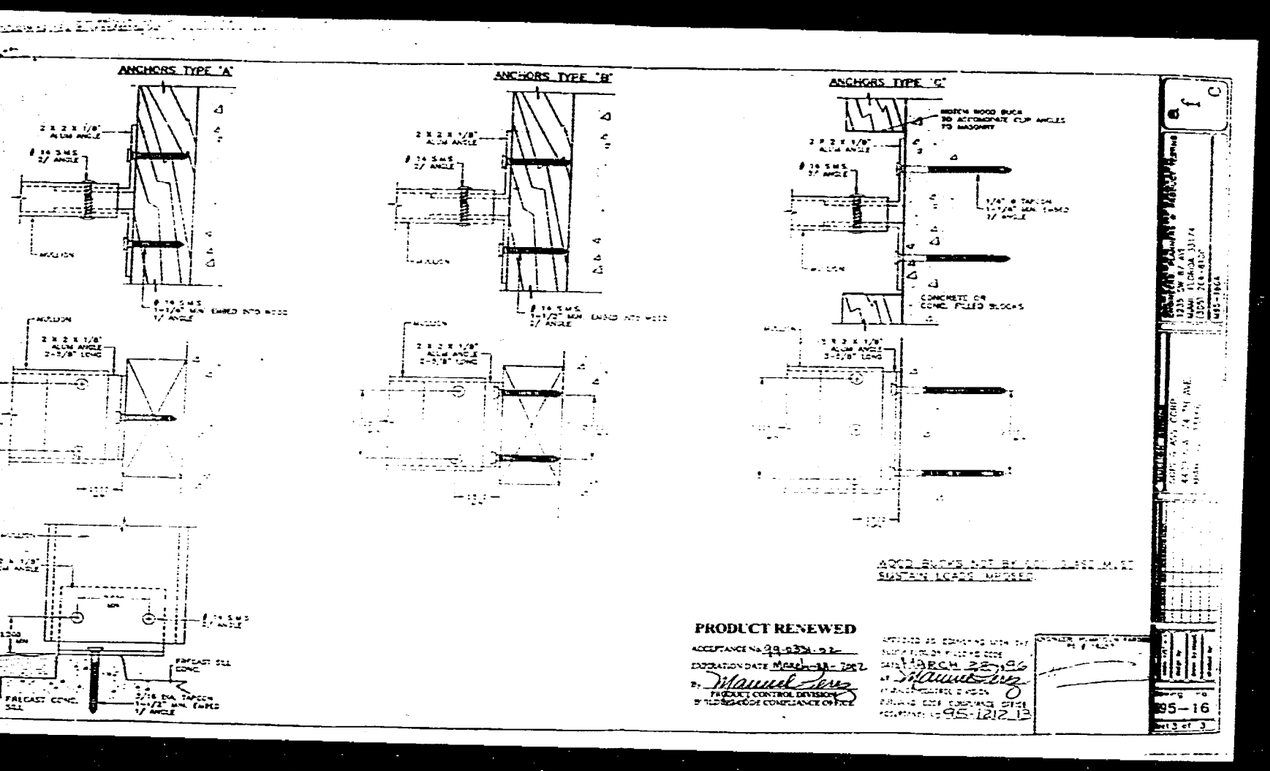
PRODUCT RENEWED

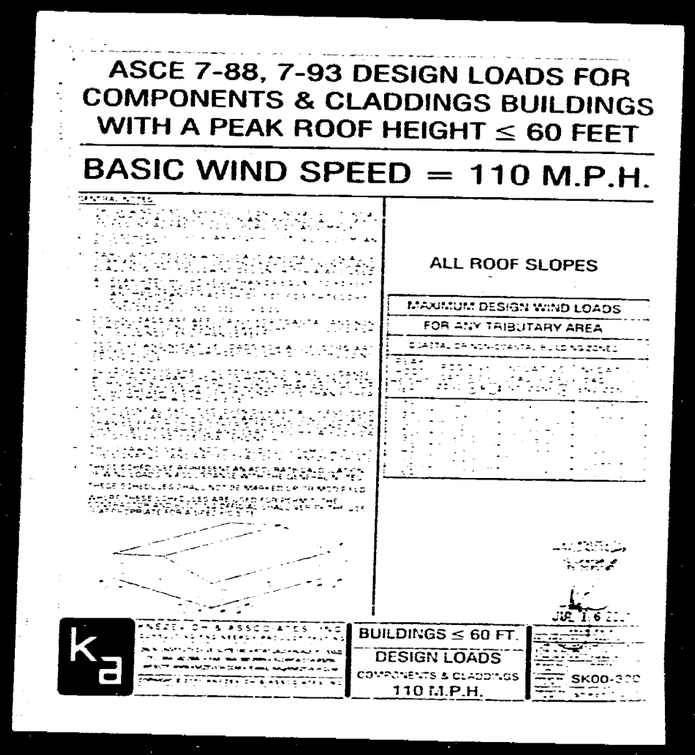
ACCEPTANCE No. 99-0331.03

BY Manuel Lee

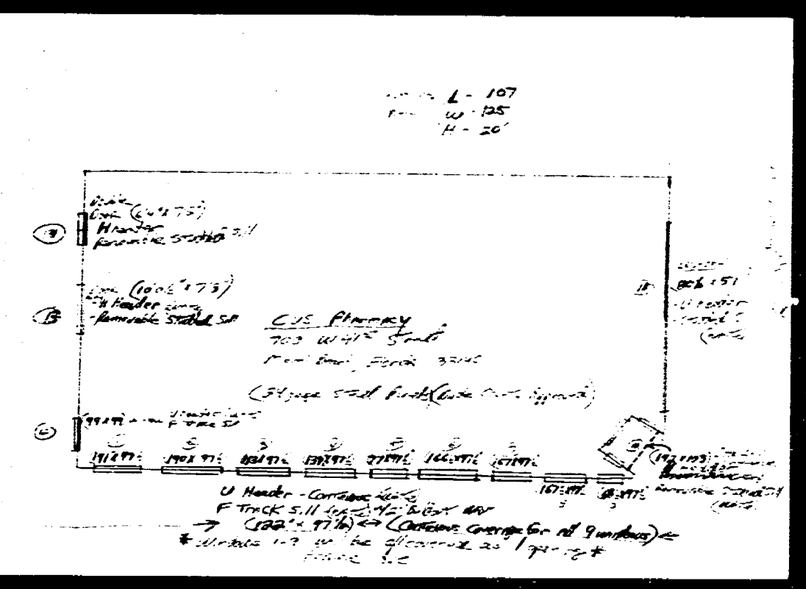
M95-16

01


ANCHORS TYPE "A"
ANCHORS TYPE "B"
ANCHORS TYPE "C"
PRODUCT RENEWED
95-16


ASCE 7-88, 7-93 DESIGN LOADS FOR COMPONENTS & CLADDINGS BUILDINGS WITH A PEAK ROOF HEIGHT ≤ 60 FEET
BASIC WIND SPEED = 110 M.P.H.
ALL ROOF SLOPES
MAXIMUM DESIGN WIND LOADS
FOR ANY TRIBUTARY AREA
BUILDINGS ≤ 60 FT.
DESIGN LOADS
COMPONENTS & CLADDINGS
110 M.P.H.

01



MIAMI-DADE

BUILDING CODE COMPLIANCE OFFICE

CONTROL NO. PERMIT NO. INSPECTOR

CONTROL NO. INSPECTION NO.

PRODUCT CONTROL DIVISION

PRODUCT CONTROL NOTICE OF ACCEPTANCE
Eastern Metal Supply, Inc.
3600 23rd Ave., South
Lake Worth, FL 33461

Your application for Notice of Acceptance (NOA) of
0.030" Galvanized Steel Storm Panels Shutter
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Material and Equipment Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to inspect the product or material at any time from a jobsite or manufacturer's plant for quality control review. If the product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Raul Rodriguez
Chief Hurricane Mitigation Section

ACCEPTANCE NO.: 00-0919.10
EXPIRES: 06-07-2004

FOR SCOPE, LIMITATIONS, ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee (BPRC) for use in Miami-Dade County, Florida under the conditions set forth above.

APPROVED: 06-07-2001

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Internet mail address: postmaster@buildingcodeonline.com Homepage http: www.buildingcodeonline.com

Eastern Metal Supply, Inc.

ACCEPTANCE No.: 00-0919.10
APPROVED: 06-07-2001
EXPIRES: 06-07-2004

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**
This NOA covers 0.030" Galvanized Steel Storm Panels Shutter as described in Section 2 of this Notice of Acceptance (NOA) to comply with the South Florida Building Code, 1994 Edition, for use in Miami-Dade County, FL in the Coastal Zone. Where the wind zones are not determined, use the Chapter 23 data to select the Design Pressure Rating value, indicated in the approved drawings.

2. **PRODUCT DESCRIPTION**
This NOA Galvanized Steel Storm Panels Shutter and its components shall be installed in strict compliance with the following documents: Drawings No. 1 through 24, titled "24 Panel Galvanized Steel Storm Panels", prepared by Eifman, Inc., dated July 10, 2000, in accordance with Article 2.0 of Sheet 1 through 6 of 6, signed and sealed by Walter A. Hill Jr. P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. The above documents shall hereinafter be referred to as the approved drawings.

3. **LIMITATIONS**
All permanent set components, including but not limited to embedded anchor bolts, threaded rods, metal shield, header and track must be provided as specified in the approved drawings and shall be of stainless steel.

4. **INSTALLATION**
This NOA Galvanized Steel Storm Panels Shutter and its components shall be installed in strict compliance with the approved drawings.

5. **LABELING**
Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement "Miami-Dade County Product Control Approved".

6. **BUILDING PERMIT REQUIREMENTS**
6.1 Application for building permit shall be accompanied by copies of the following:
6.1.1 This Notice of Acceptance
6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the project installation.
6.1.3 Any other documents required by the Building Official of the South Florida Building Code and Miami-Dade County properly signed and sealed by an engineer or architect.

Walter A. Hill Jr. P.E., President Cover Engineering
Product Control Division

01

Eastern Metal Supply, Inc.

ACCEPTANCE No. : 00-0919.10

APPROVED : 06-07-2001

EXPIRES : 06-07-2004

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance approval shall be considered after a renewal application has been filed and the original submitted documents, including test supporting data, engineering documents, are not older than eight (8) years.

2. Any and all approved product, shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.

3. Renewals of Acceptance will not be considered if:
   a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
   b. The product is no longer the same product identical to the one originally approved.
   c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
   d. The engineer, who originally prepared, signed and sealed the required documentation initially, submitted to us is no longer practicing the engineering profession.

4. Any revision or change in the materials, use and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested through the filing of a revision application with appropriate fees and granted by this office.

5. Any of the following shall also be grounds for removal of this Acceptance:
   a. Unsatisfactory performance of this product or process.
   b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.

6. The Notice of Acceptance number provided by the words Miami-Dade County, Florida and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.

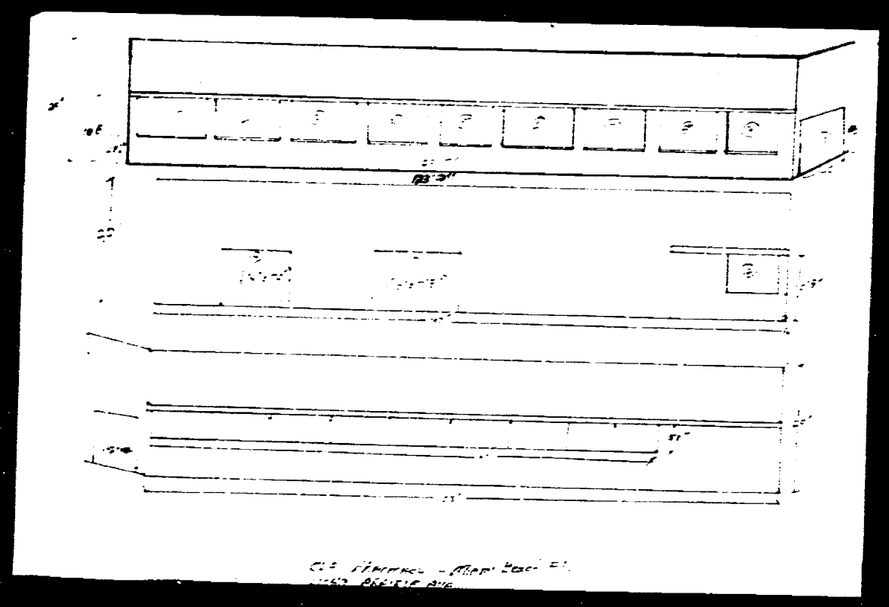
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer needs not reveal the copies.

8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.

9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE

Helmy A. Makar P.E., Product Control Engineer
Product Control Division



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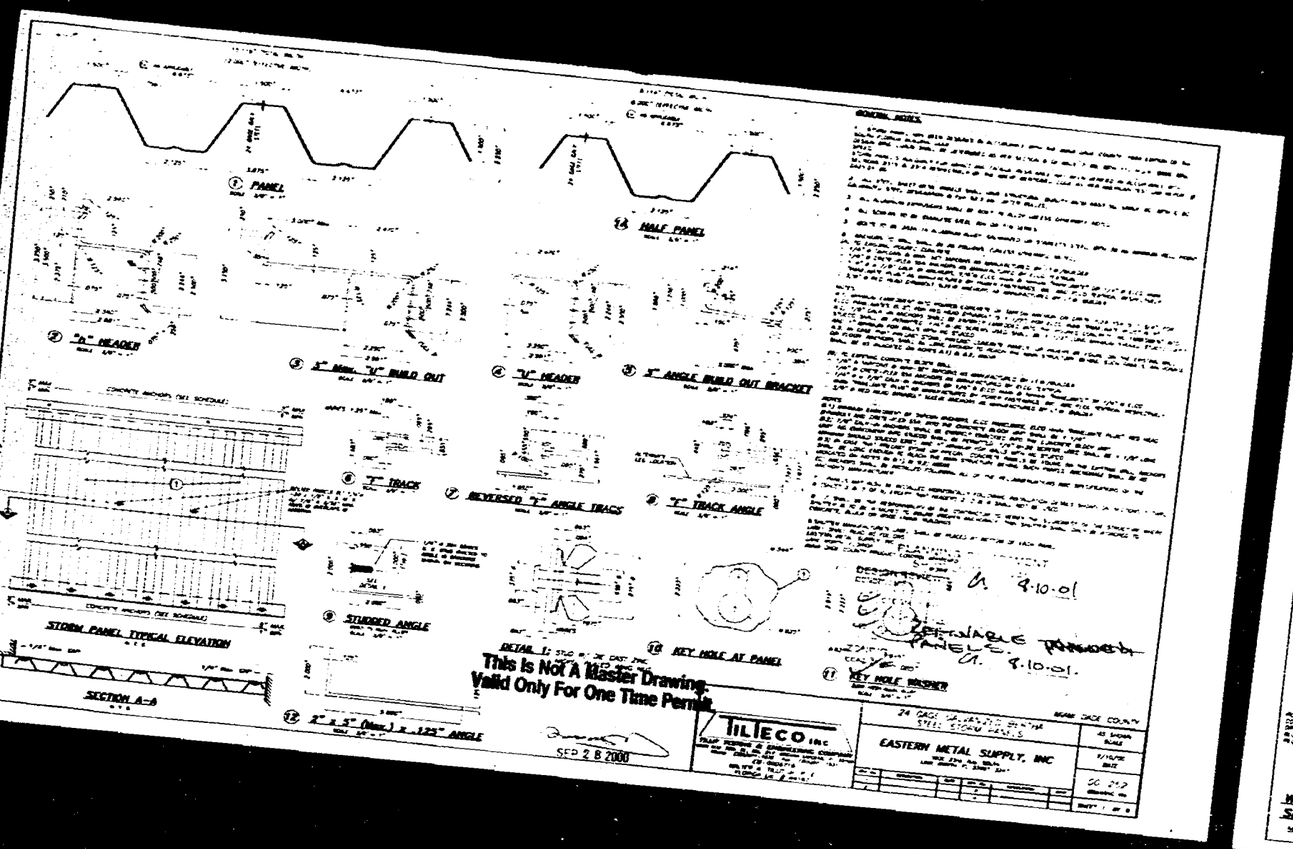
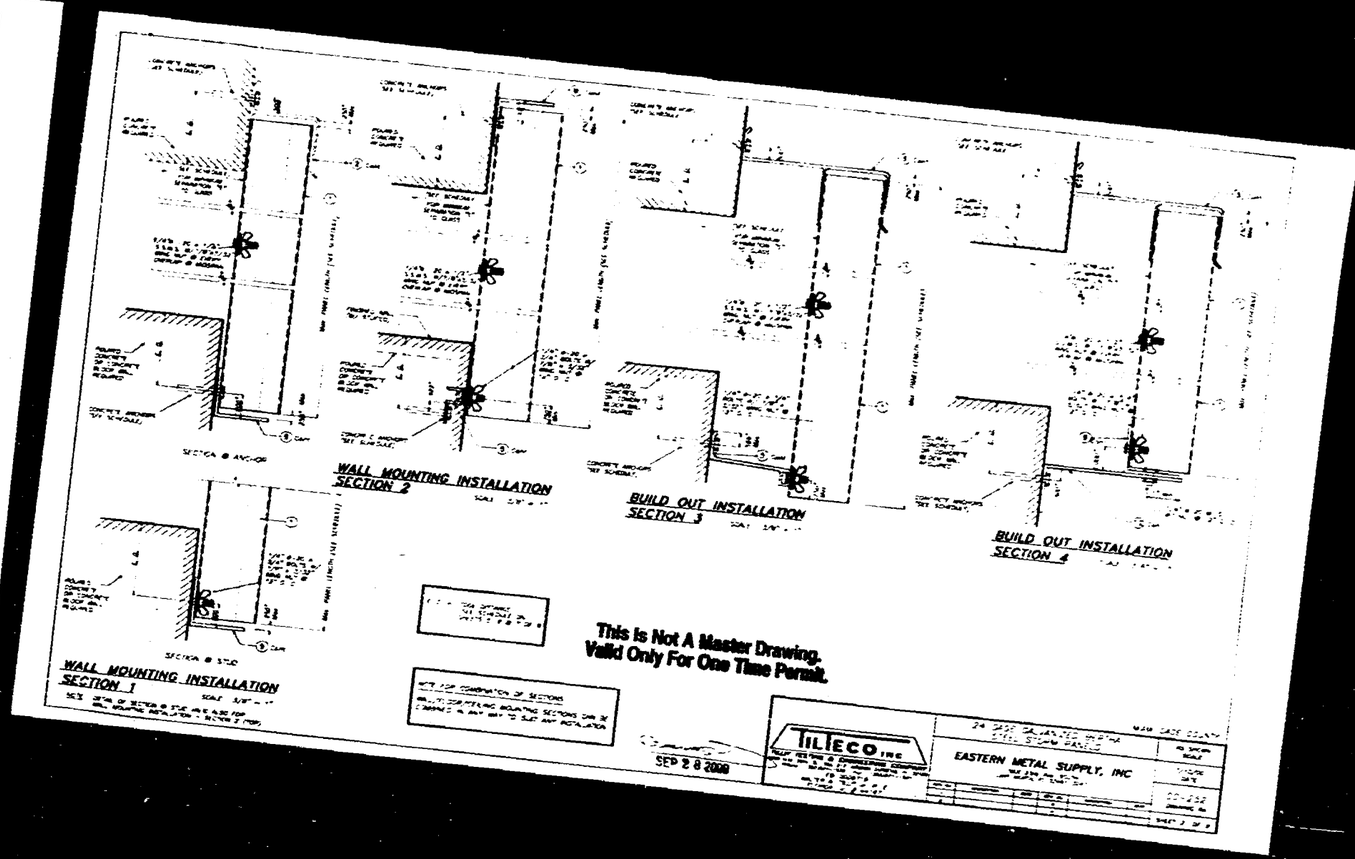
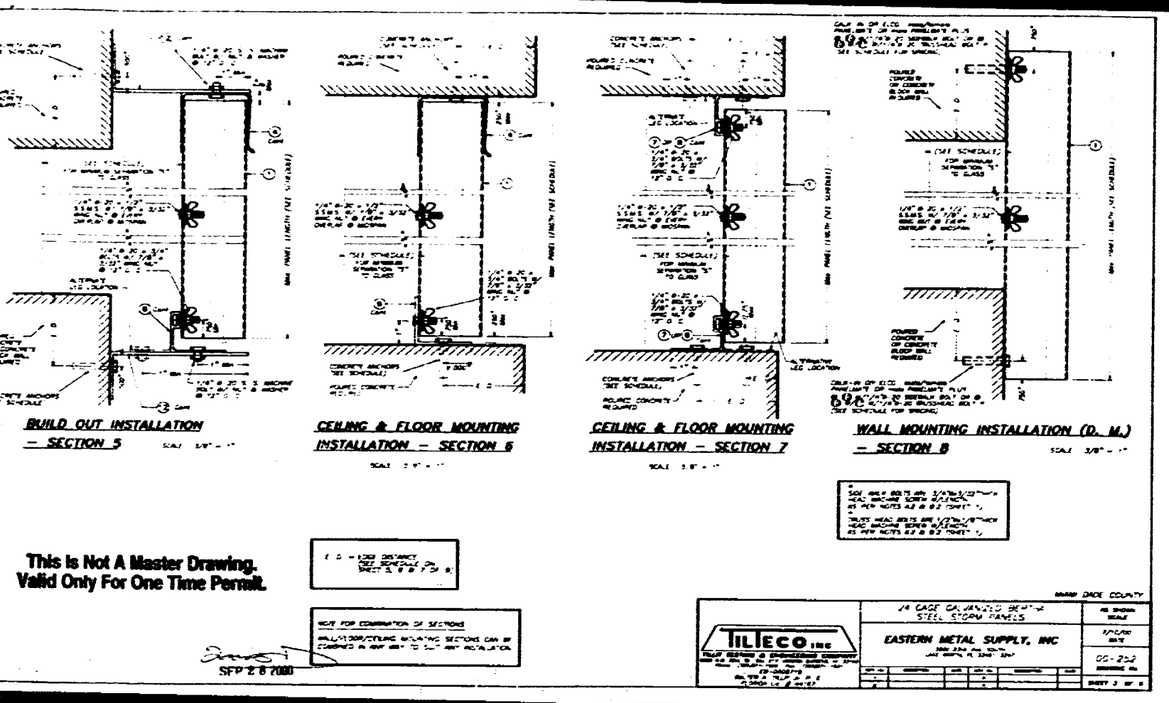
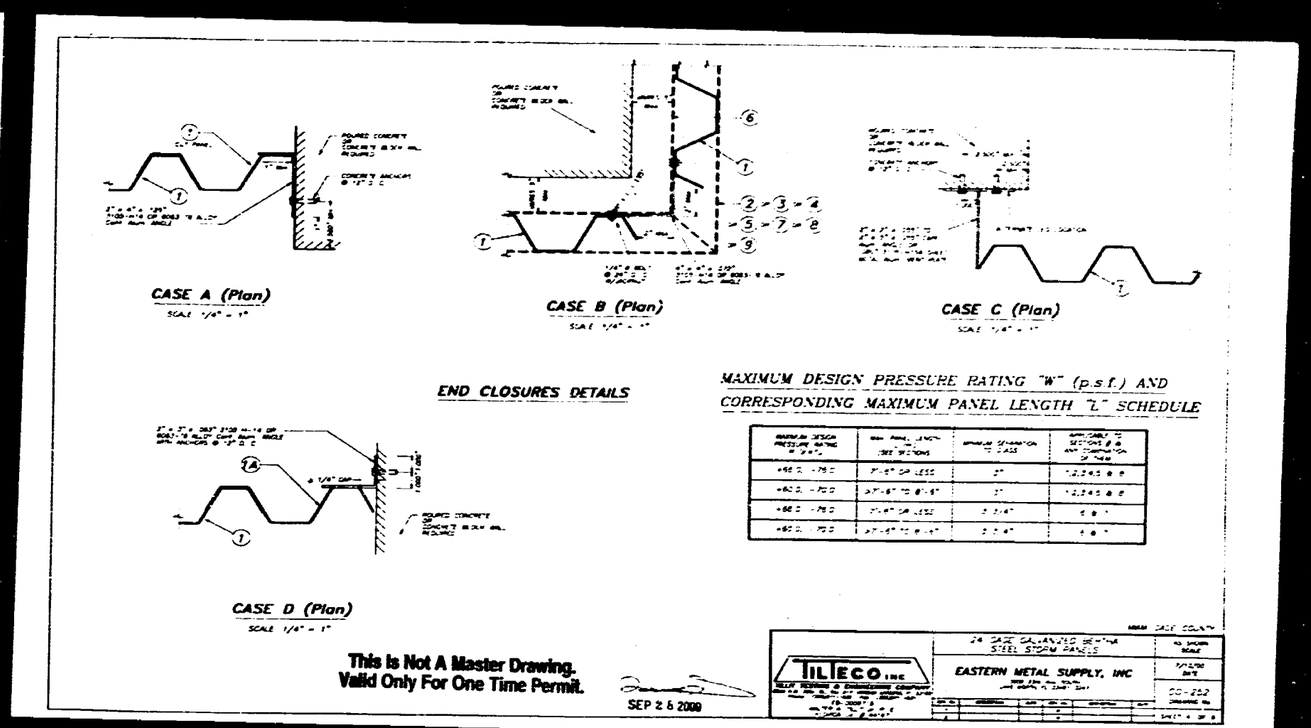

PANEL
HALF PANEL
"N" HEADER
3" Max. "V" BUILD OUT
"V" HEADER
3" ANGLE BUILD OUT BRACKET
"T" TRACK
REVERSED "T" ANGLE TRACK
"T" TRACK ANGLE
STUDDED ANGLE
KEY HOLE AT PANEL
KEY HOLE WASHER
STORM PANEL TYPICAL ELEVATION
SECTION A-A
DETAIL 1
2" x 2" (Max.) x .125" ANGLE
GENERAL NOTES
This Is Not A Master Drawing.
Valid Only For One Time Permit.
SEP 28 2000
TILTECO INC
EASTERN METAL SUPPLY, INC

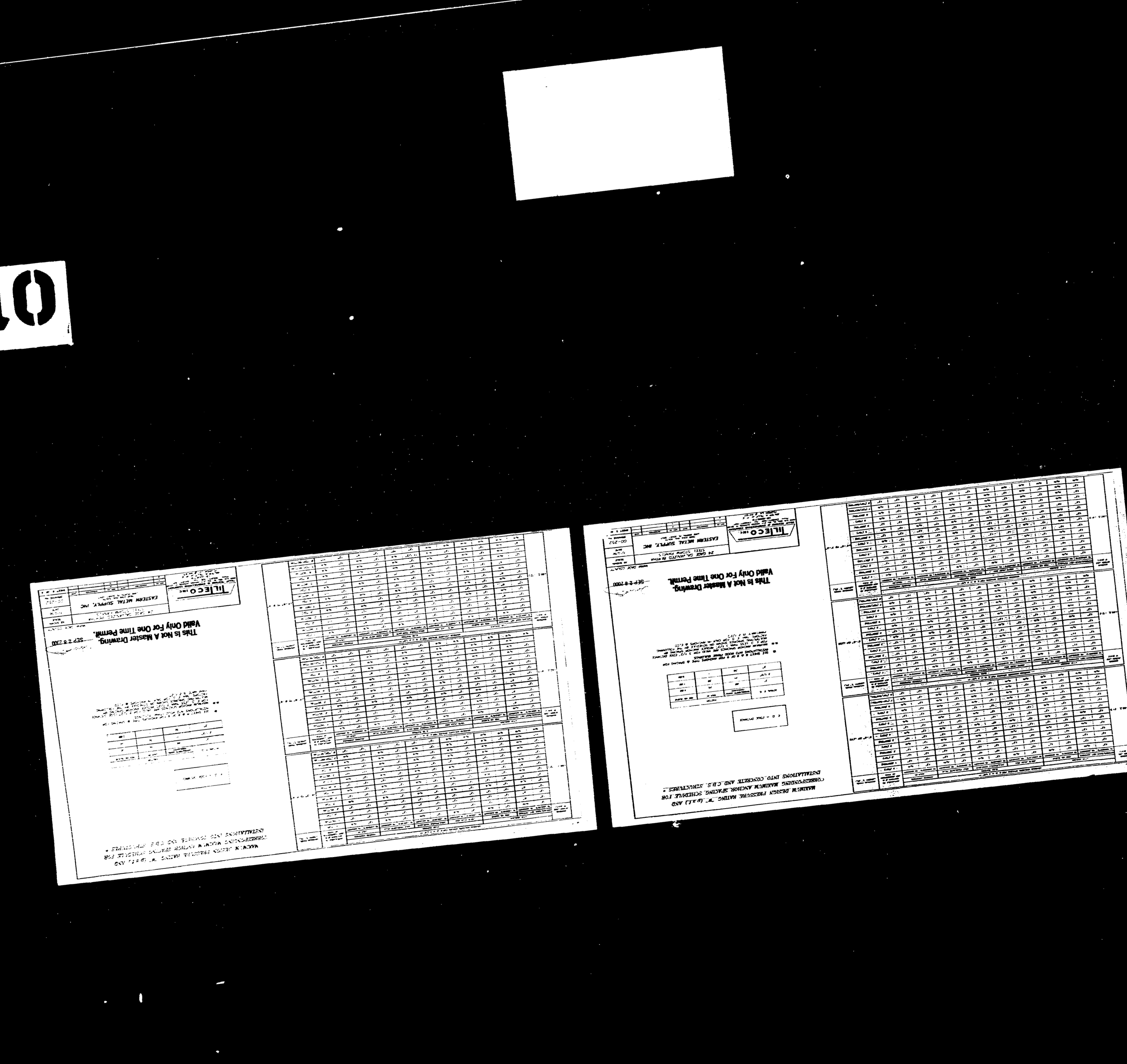

WALL MOUNTING INSTALLATION
SECTION 1
WALL MOUNTING INSTALLATION
SECTION 2
BUILD OUT INSTALLATION
SECTION 3
BUILD OUT INSTALLATION
SECTION 4
This Is Not A Master Drawing.
Valid Only For One Time Permit.
SEP 28 2000
TILTECO INC
EASTERN METAL SUPPLY, INC

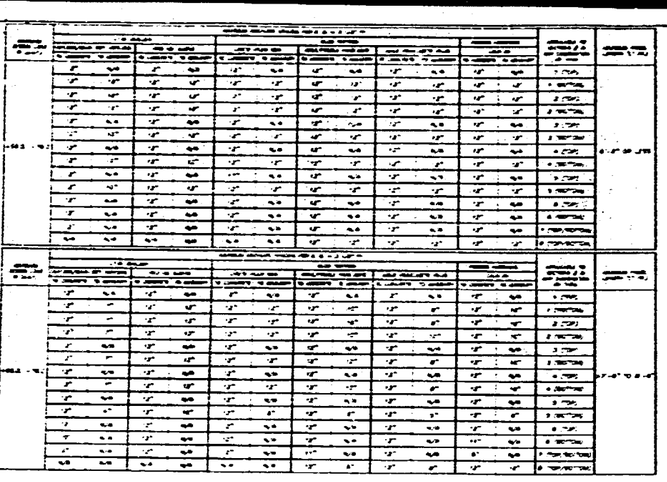
01


BUILD OUT INSTALLATION – SECTION 5
CEILING & FLOOR MOUNTING INSTALLATION – SECTION 6
CEILING & FLOOR MOUNTING INSTALLATION – SECTION 7
WALL MOUNTING INSTALLATION (D. M.) – SECTION 8
This Is Not A Master Drawing.
Valid Only For One Time Permit.
SEP 2 8 2000
TILTECO INC
24 GAGE GALVANIZED SEAMLESS STEEL STORM PANELS
EASTERN METAL SUPPLY, INC
MIAMI DADE COUNTY


CASE A (Plan)
CASE B (Plan)
CASE C (Plan)
CASE D (Plan)
END CLOSURES DETAILS
MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM PANEL LENGTH "L" SCHEDULE
This Is Not A Master Drawing.
Valid Only For One Time Permit.
SEP 2 6 2000
TILTECO INC
24 GAGE GALVANIZED SEAMLESS STEEL STORM PANELS
EASTERN METAL SUPPLY, INC
MIAMI DADE COUNTY

01


This is Not A Master Drawing.
Valid Only For One Time Permit.
SEP 2 8 2000
EASTERN METAL SUPPLY, INC
Tilecco Inc



*MAXIMUM DESIGN PRESSURE RATING "W" (p ± L) AND CORRESPONDING MAXIMUM ANCHOR SPACING SCHEDULE FOR INSTALLATIONS INTO CONCRETE AND C.B.S. STRUCTURES **

* SEE SHEET 2 & 3 OF 9 FOR ANCHORS TYPE & SPACING FOR INSTALLATIONS INTO WOOD FRAME BUILDINGS

** MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3 1/2" EDGE DISTANCE FOR E.D. LESS THAN 3 1/2" REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS (FOR E.D. FOR SAUR-IN ANCHORS & ELCO PRODUCT'S 0.3 1/2")

This Is Not A Master Drawing. Valid Only For One Time Permit.

SEP 2 8 2000

MIAMI DADE COUNTY

TILTECO INC

24 GAGE GALVANIZED BERTHA STEEL STORM PANELS

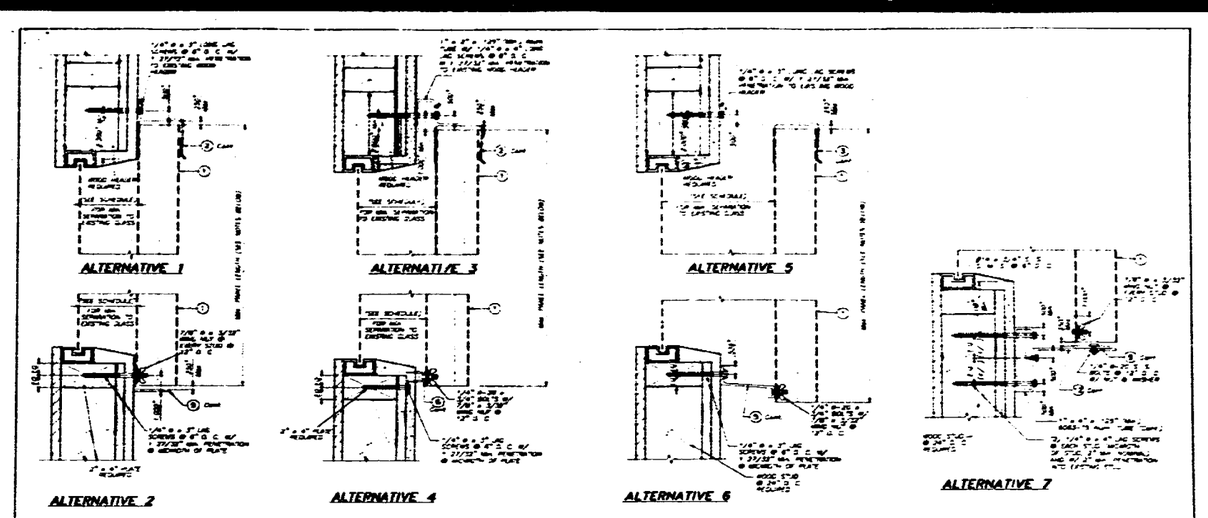
EASTERN METAL SUPPLY, INC

AS SHOWN SCALE

7/7/2000 DATE

00-252 DRAWING No.

SHEET 7 OF 9



WALL MOUNTING INSTALLATIONS
SECTIONS A

SCALE

SEE FOR COMBINATION OF SECTIONS

WALL MOUNTING SECTIONS CAN BE COMBINED IN ANY WAY TO SUIT ANY INSTALLATION

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

NOTES:

1. INSTALLATIONS ARE ONLY VALID FOR DESIGN WIND LOADS AND MAX PANEL LENGTHS AS PER SCHEDULE ON SHEET 4 OF 9
2. FOR NEW WOOD FRAME CONSTRUCTION WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL

This Is Not A Master Drawing. Valid Only For One Time Permit.

SEP 2 8 2000

MIAMI DADE COUNTY

TILTECO INC

24 GAGE GALVANIZED BERTHA STEEL STORM PANELS

EASTERN METAL SUPPLY, INC

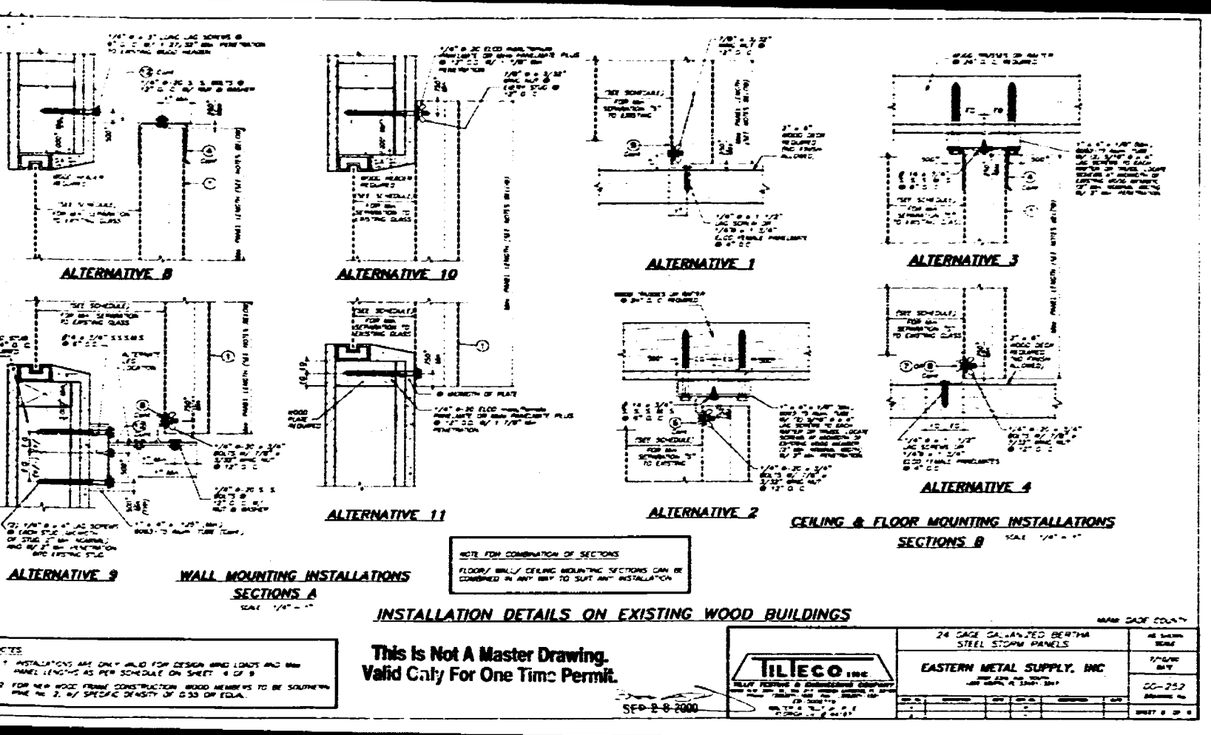
AS SHOWN SCALE

7/7/2000 DATE

00-252 DRAWING No.

SHEET 8 OF 9

01



PRODUCT CONTROL NOTICE OF ACCEPTANCE

Acceptance No.: 98-1119.03

Expires: 03.13.2003

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

Approved: 05 20 1999

01

Madden Manufacturing Co.

ACCEPTANCE No. [illegible]

APPROVED [illegible]

EXPIRES [illegible] March 13, 2003

NOTICE OF ACCEPTANCE — SPECIFIC CONDITIONS

SCOPE

This notice acknowledges the Notice of Acceptance No. [illegible] which was issued in March [illegible] Acceptance has been found to comply with the Florida Building Code [illegible] Date of Acceptance is the date on which the product was determined by NRPC Chapter 22, as evidenced by the Design Pressure Rating value indicated on the approved drawings.

PRODUCT DESCRIPTION

This Aluminum Storm Panel Shutter and its components shall be constructed in strict compliance with the following documents: Drawing No. [illegible] dated [illegible] Aluminum Storm Shutter prepared by Anderson & Associates, Inc. dated April [illegible] last revised on [illegible] March 4, 1996, sheets 1 through 8 of 8, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

LIMITATIONS

All permanent set, creep, results, included but not limited to stretched anchor bolts, bowed panels, metal, cracks, fissures and cuts, must be protected against corrosion, contamination and damage at all times.

INSTALLATION

This Aluminum Storm Panel Shutter and its components shall be installed in strict compliance with the approved drawings.

LABELING

Each panel shall bear a permanent label, with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".

BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance

6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.

6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

Henry A. Makar, P.E. - Product Control Examiner
Product Control Division

2 of 2

Madden Manufacturing Co.

ACCEPTANCE No. [illegible]

APPROVED [illegible]

EXPIRES [illegible] March 13, 2003

NOTICE OF ACCEPTANCE — STANDARD CONDITIONS

1. [illegible]

2. [illegible]

3. Review of installation [illegible]:
   a. [illegible]
   b. [illegible]
   c. [illegible]
   d. [illegible]
   e. [illegible]

4. [illegible]

5. Any change [illegible]:
   a. [illegible]
   b. [illegible]
   c. [illegible]

6. The Notice of Acceptance number [illegible] Miami-Dade County [illegible] expiration date may be [illegible] Notice of Acceptance [illegible] shall be done [illegible]

7. A copy of the Acceptance as well as approved drawings and other documents, which [illegible] provided to the user by the manufacturer [illegible] at all times. The current [illegible]

8. Failure to comply with any section of this Acceptance shall be cause for termination and revoking of Acceptance.

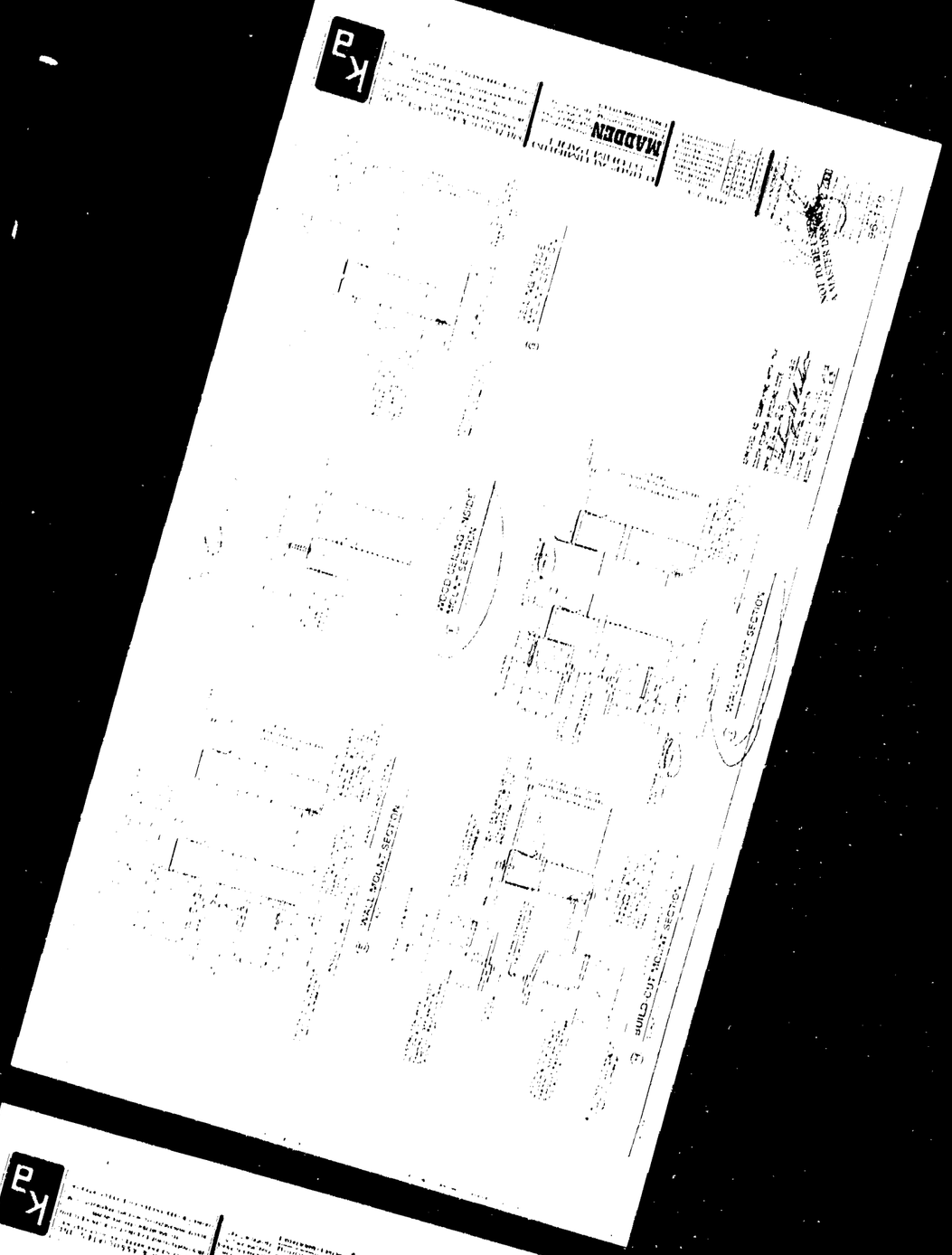
9. This Notice of Acceptance consists of [illegible] pages.

END OF THIS ACCEPTANCE

Henry A. Makar, P.E. - Product Control Examiner
Product Control Division

1 of 2

01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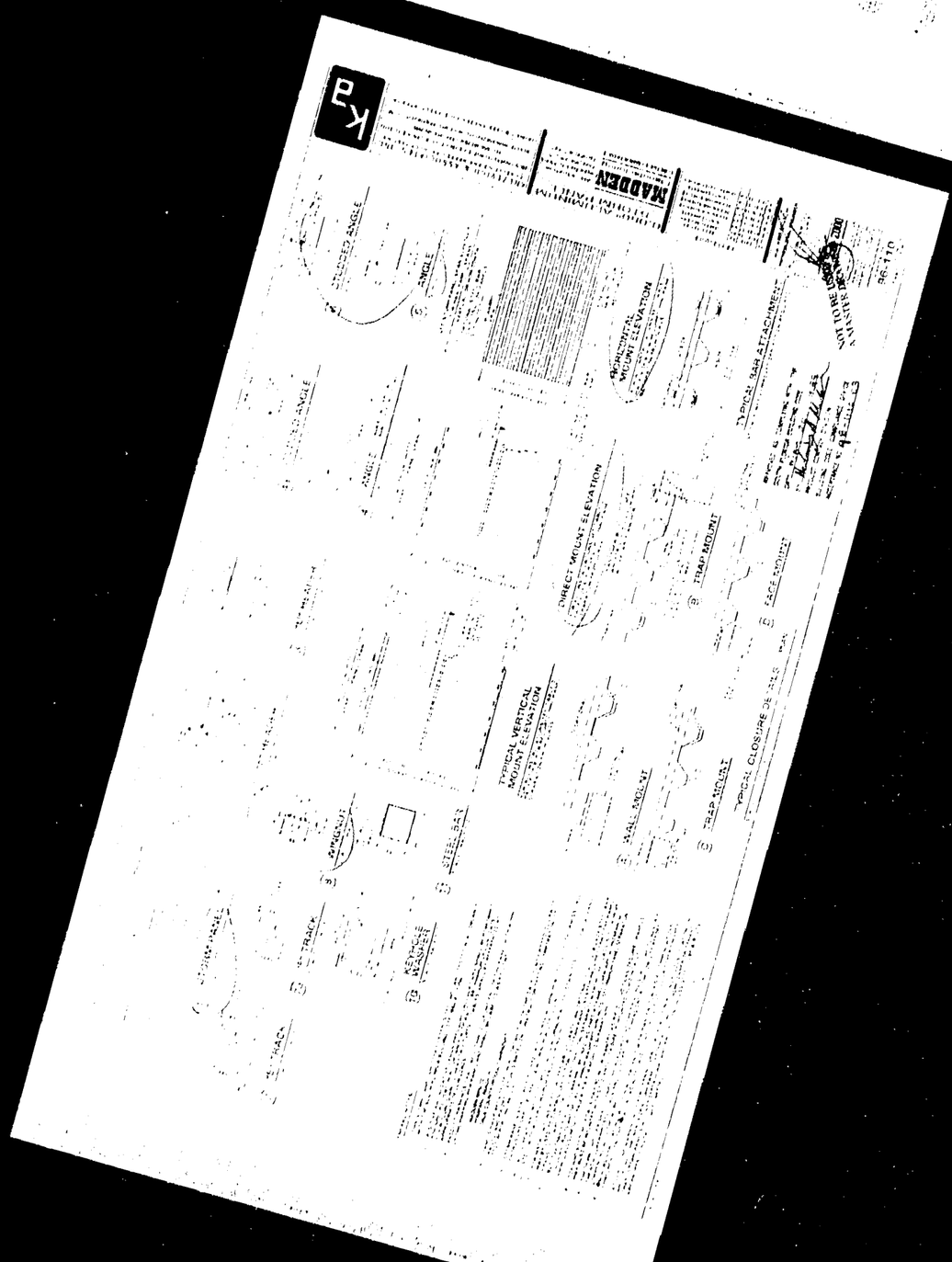
WALL MOUNT SECTION
WALL MOUNT SECTION
SUB CUT MOUNT SECTION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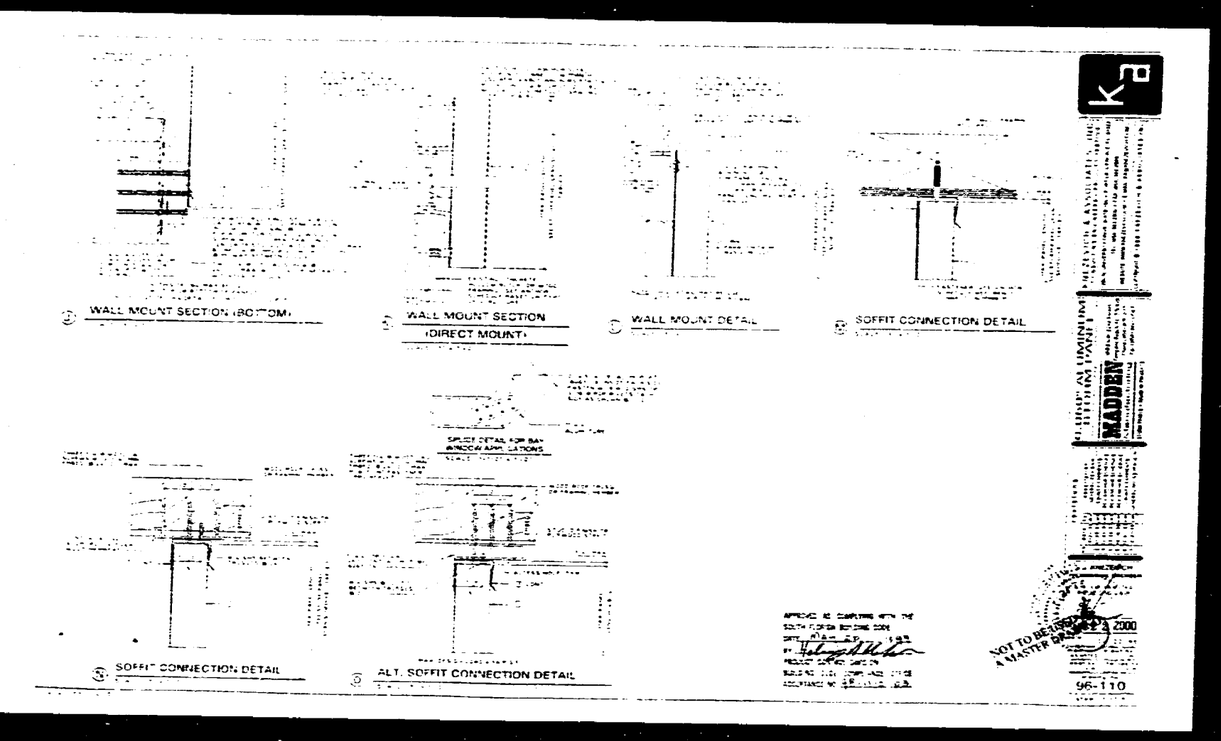
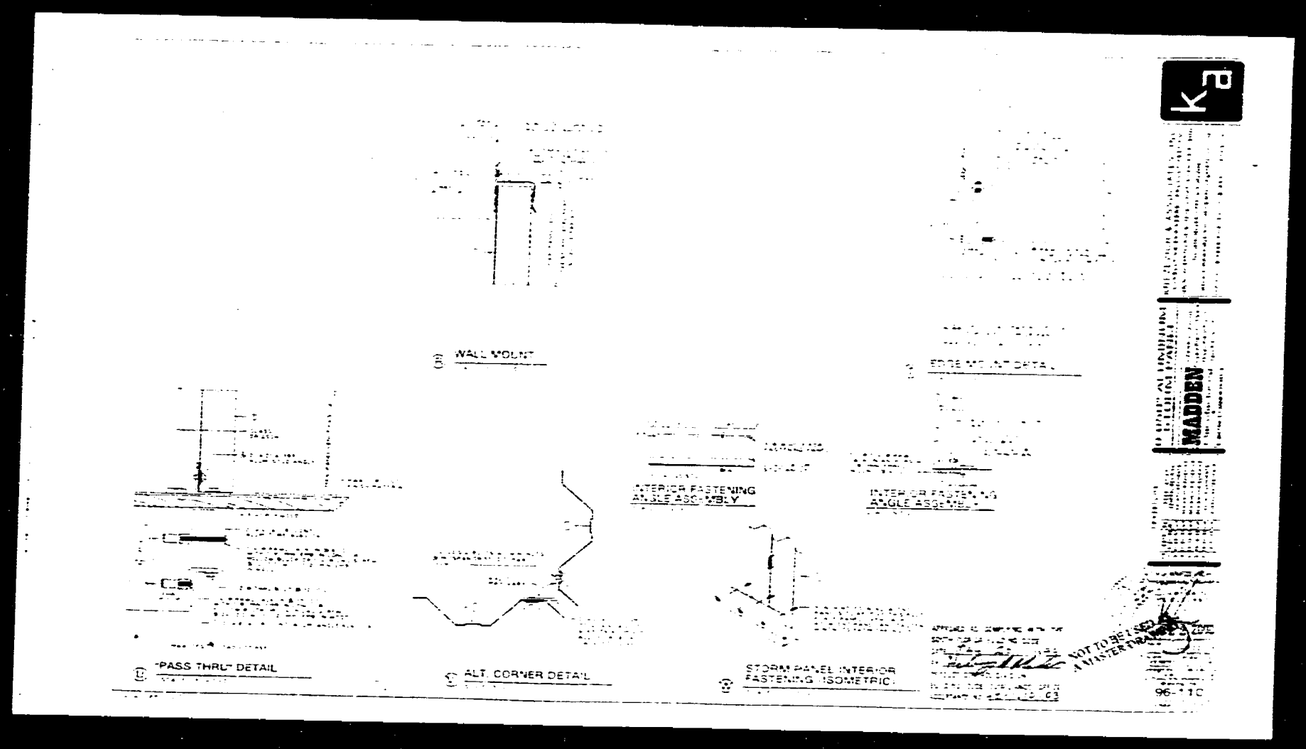
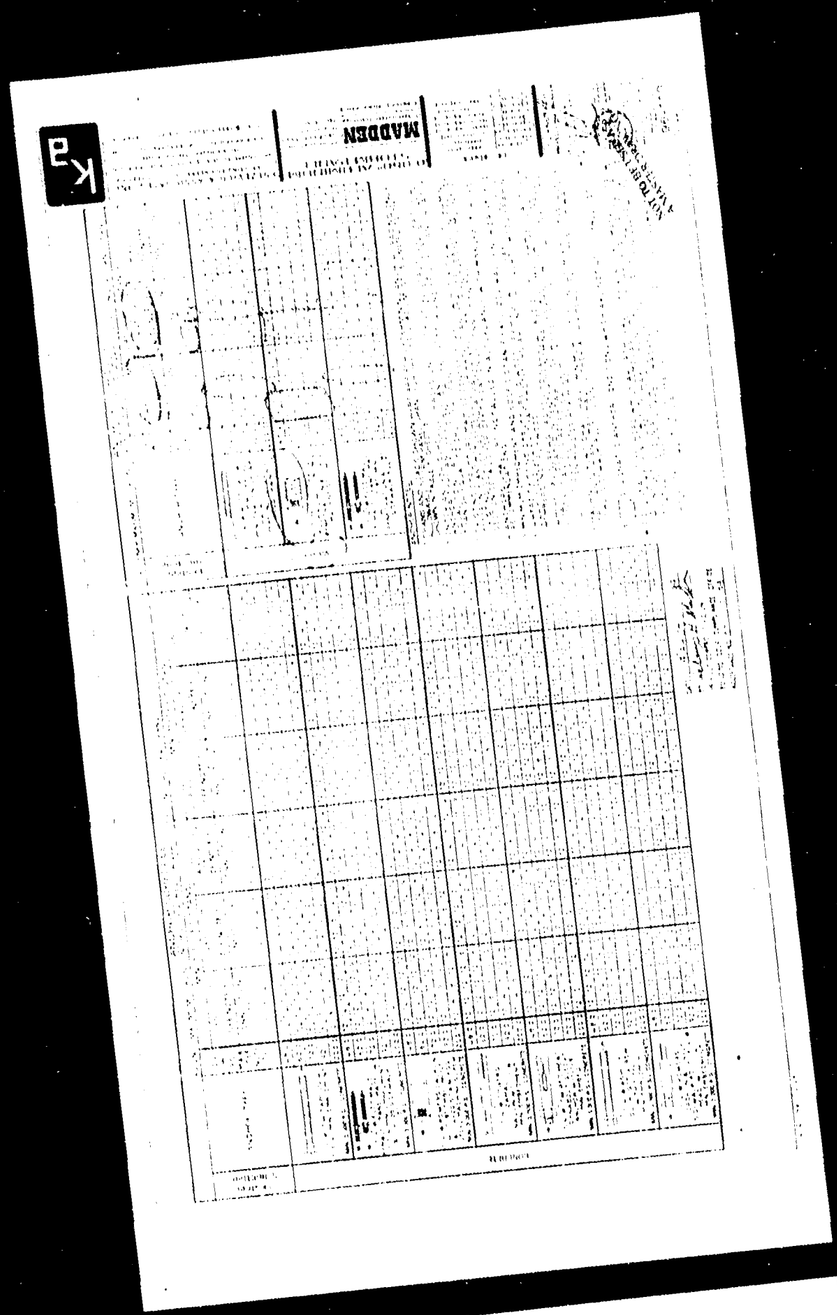
TYPICAL VERTICAL MOUNT ELEVATION
DIRECT MOUNT ELEVATION
HORIZONTAL MOUNT ELEVATION
TYPICAL MAP ATTACHMENT
TYPICAL CLOSURE DETAILS
WALL MOUNT
TRAP MOUNT
TRAP MOUNT
FACE MOUNT
STEEL BAR
ANGLE
ANGLE
ANGLE
ANGLE
TRACK
TRACK
KEYCE HARDWARE

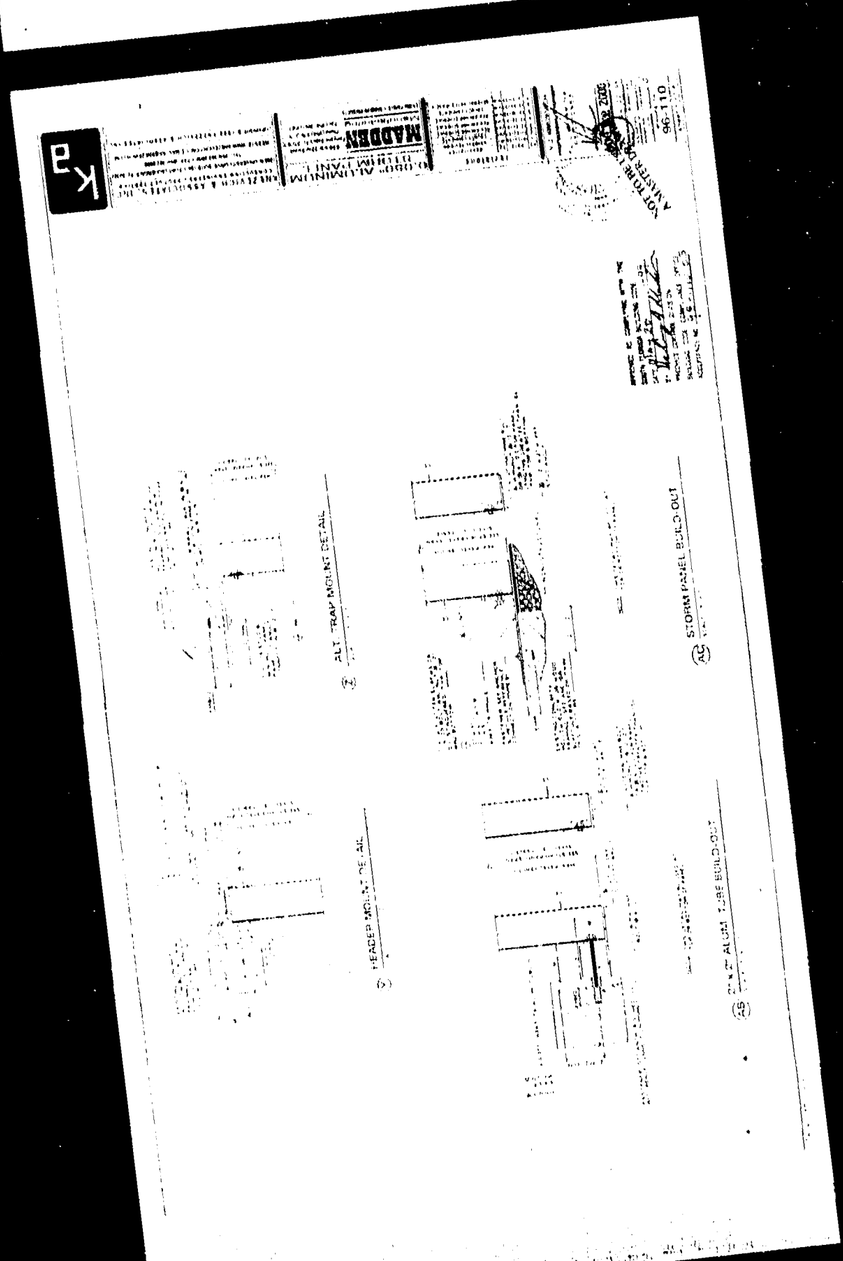
10


WALL MOUNT SECTION (BOTTOM)
WALL MOUNT SECTION (DIRECT MOUNT)
WALL MOUNT DETAIL
SOFFIT CONNECTION DETAIL
SOFFIT CONNECTION DETAIL
ALT. SOFFIT CONNECTION DETAIL
MADDEN
NOT TO BE USED AS A MASTER DRAWING
96-110

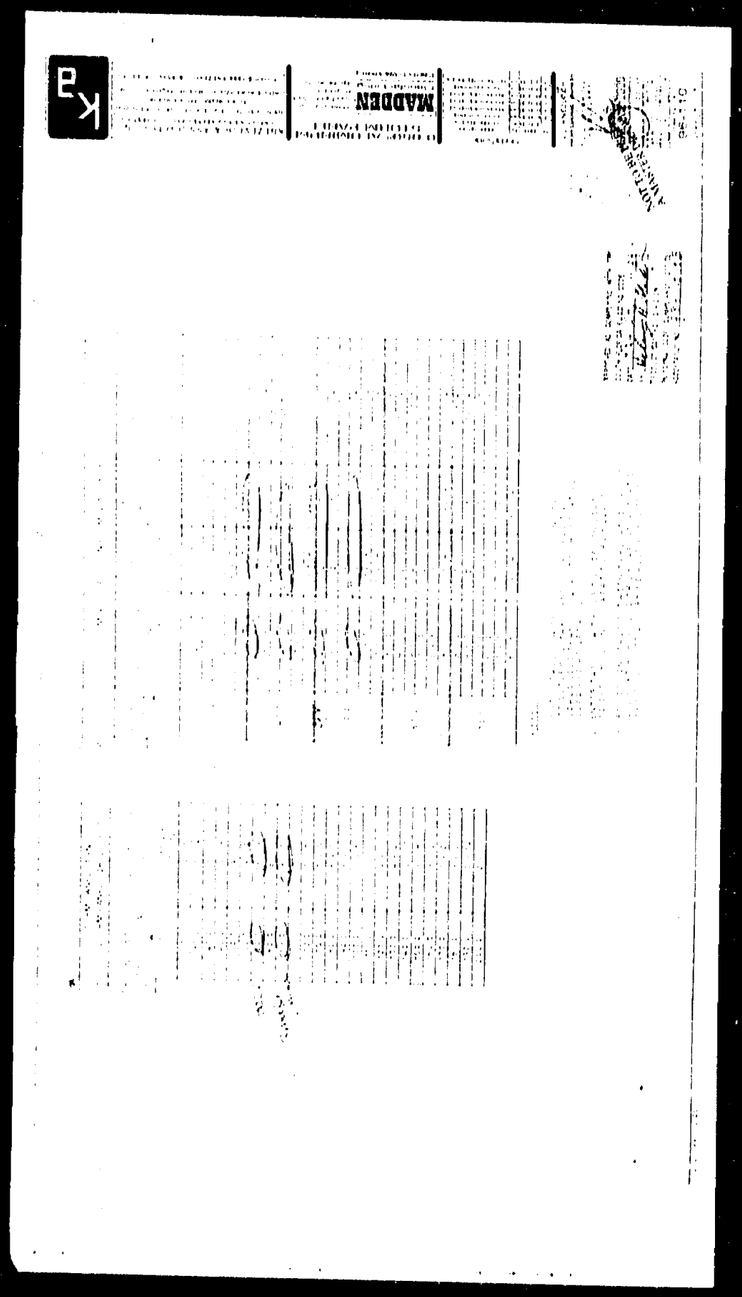

WALL MOUNT
"PASS THRU" DETAIL
ALT. CORNER DETAIL
STORM PANEL INTERIOR FASTENING ISOMETRIC
MADDEN
NOT TO BE USED AS A MASTER DRAWING
96-110

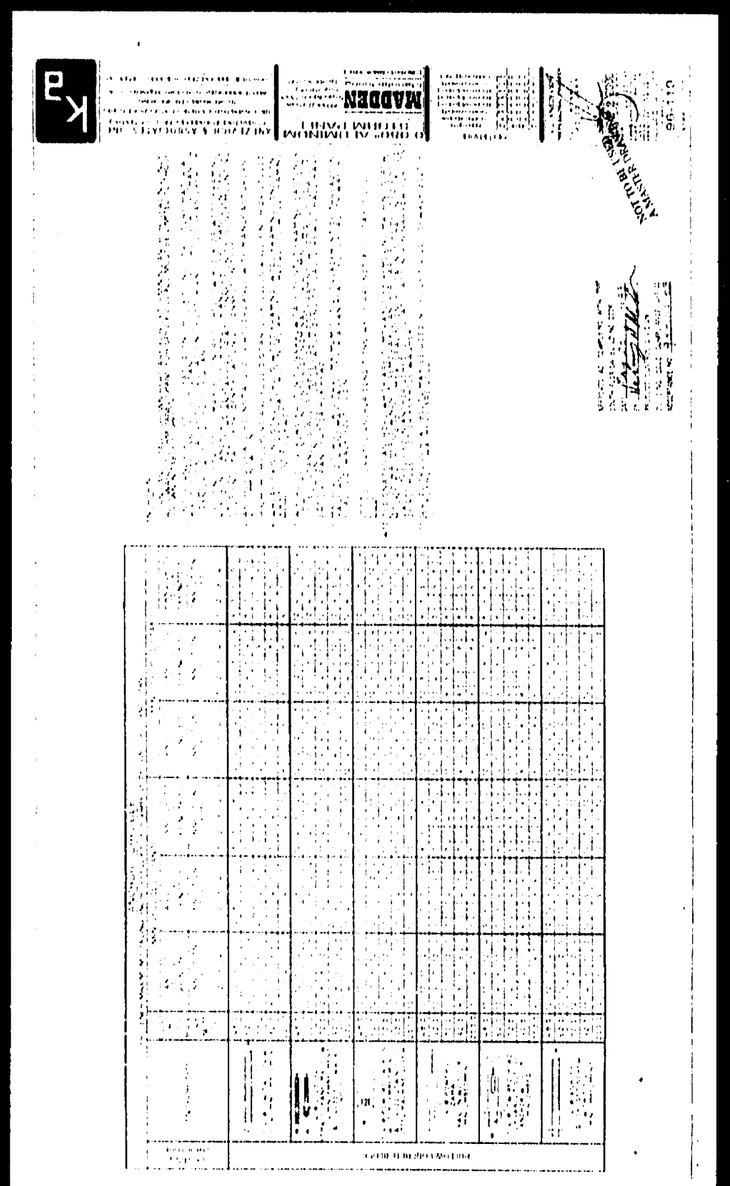
01


MADDEN
NOT TO BE REPRODUCED


MADDEN
NOT TO BE REPRODUCED
ALT. TRAP MOUNT DETAIL
HEADER MOUNT DETAIL
STORM PANEL BUILD-OUT
ALUM. TUBE BUILD-OUT

10





PERMIT #

B0103955

21

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

New/Addition/Remodel

-20-2001

Activity Number: B0002955
ceipt: Status: APPROVED

te Applied 07/20/2001 Date Issued 08/15/2001 Entered By: BURLLECS
te Completed: Date Expired 02/11/2002

t Address: 4541 N BAY RD MBCH Balance Due: $0.00
rcel #: 32220110040 Valuation: $75,000.00

pplicant DECO BUILDERS INC Owner ALBERT ESKENZI
10090 COLLINS AVE #144
N MIAMI BCH FL 33154
305-933-4334

escription INT RMD NEW WDWS/WOODGS SHUTTERS KTCHN

ymments made for this receipt:

rrent Payment Made to the Following Items:

ment Summary for Fees and Payments:

21

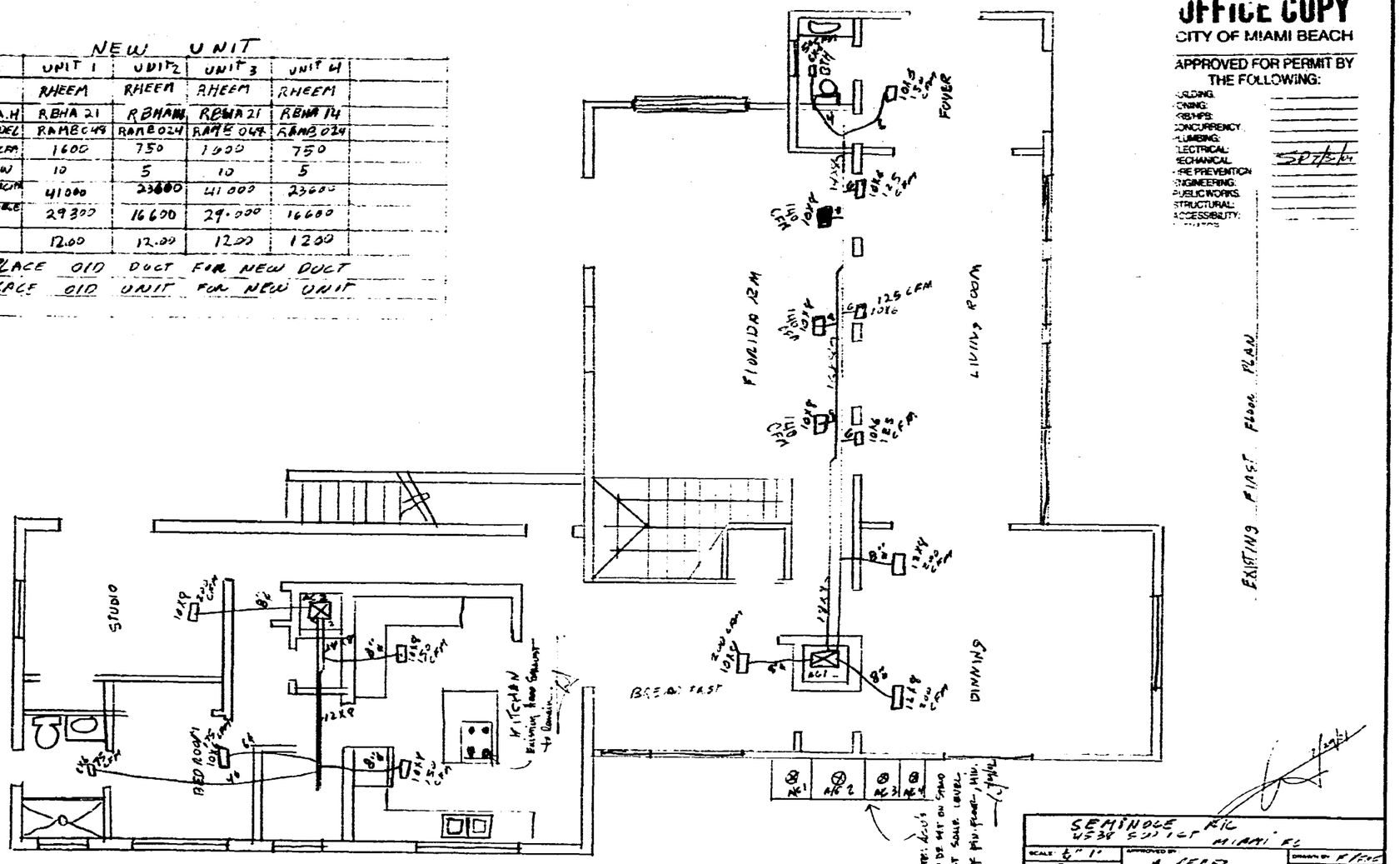
NEW UNIT

	UNIT 1	UNIT 2	UNIT 3	UNIT 4
MANUF	RHEEM	RHEEM	RHEEM	RHEEM
MODEL A.H	RBHA 21	RBHA21	RBHA 21	RBHA 14
COND MODEL	RAMB049	RAMB024	RAMB 049	RAMB024
TOTAL AIR CFM	1600	750	1600	750
TOTAL KW	10	5	10	5
TOTAL CAPACITY BTU	41000	23600	41000	23600
TOTAL SENSIBLE B.TU	29300	16600	29.000	16600
SEER	12.00	12.00	12.00	12.00

AIR UNITS

REPLACE OLD DUCT FOR NEW DUCT

REPLACE OLD UNIT FOR NEW UNIT



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
RIB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL: SP 7/8/04
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:

SEMINOLE A/C
4538 SOUTH MIAMI FL

SCALE: 1/4" 1'
DATE: 7-20-01
APPROVED BY: A PEREZ
DRAWN BY: K KING
REVISED:

DATA PRE PERMIT
4541 NORTH BAY RD MIA BCH

1 OF 1
DRAWING NUMBER: 0000 01

21

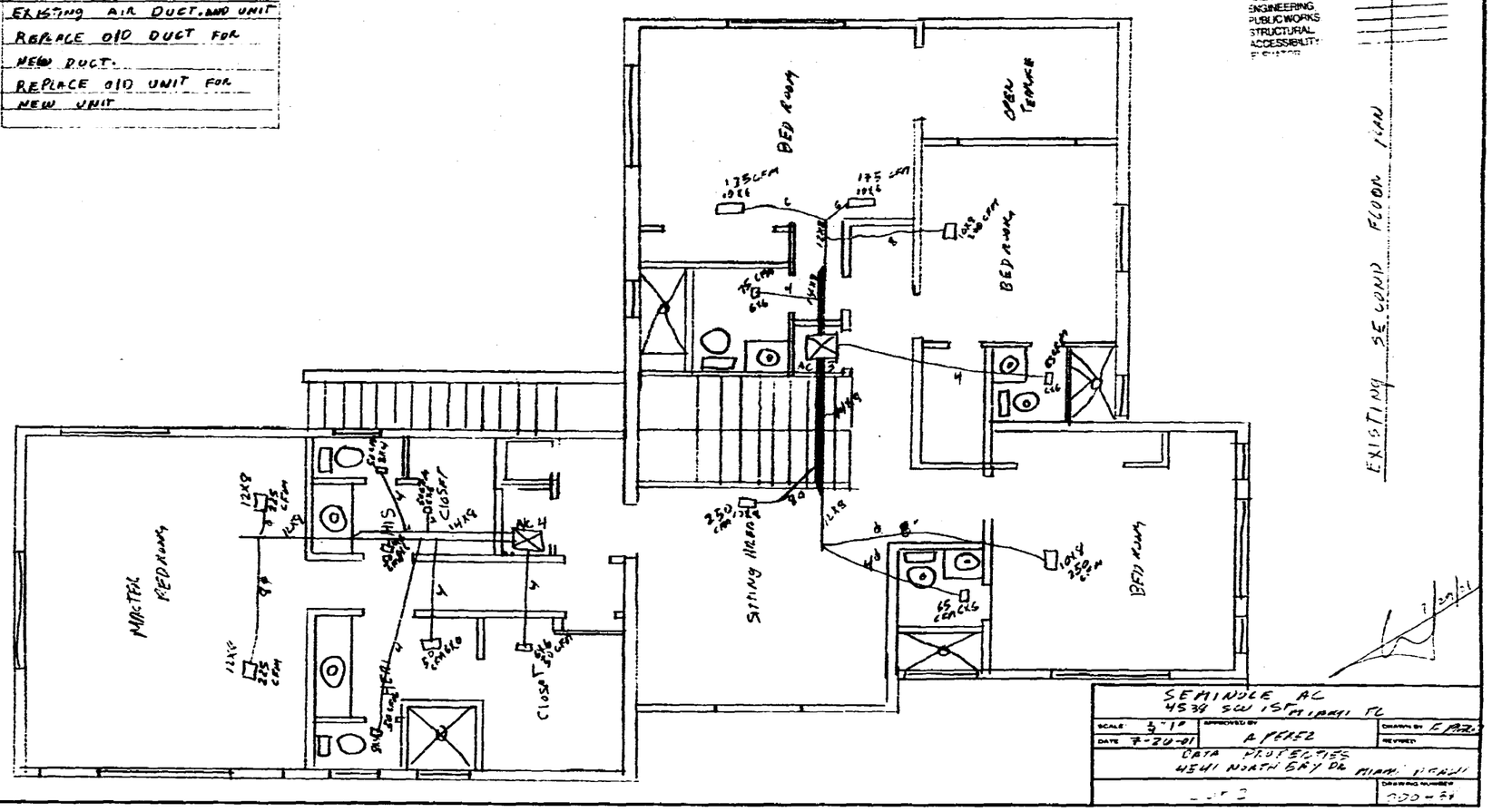
OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
HRB/HPB:
ZONE/URRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:

A/C NOTES

EXISTING AIR DUCT AND UNIT
REPLACE OLD DUCT FOR NEW DUCT.
REPLACE OLD UNIT FOR NEW UNIT



EXISTING SECOND FLOOR PLAN

SEMINOLE AC
4538 SW 1ST MIAMI FL

SCALE: 3"=1'	APPROVED BY: A PEREZ	DRAWN BY: E Perez
DATE: 7-20-01		REVISED:

DATA PROPERTIES
4541 NORTH BAY DR MIAMI FLORIDA

SHEET 2 | DRAWING NUMBER: 000-E4

21

Nova Surveyors Inc.
LAND SURVEYORS

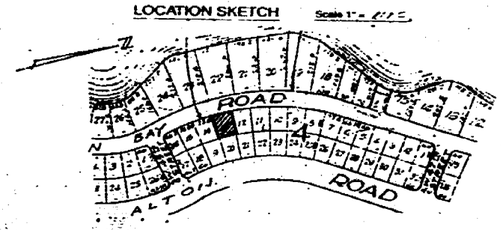
Survey No. 1-0005249
Sheet No. 1 of 2

Survey of Lot: 13 Block: 4
Subdivision: PLAT OF NAUTILUS SUBDIVISION
According to the Plat thereof as recorded in the Plat Book No. 8
at Page No. 95 of the public records of MIAMI-DADE County, Florida.

Property Address: 4541 N BAY RD, MIAMI BEACH, FL 33140
For: DATA PROPERTIES

Date: 05/24/2001

LOCATION SKETCH Scale 1" = [illegible]



ABBREVIATIONS AND MEANINGS

LEGEND TYPICAL

WOOD FENCE
CHAIN LINK FENCE
B.S. WALL (C.B.W.)
EXISTING ELEVATIONS
PROPOSED ELEVATIONS

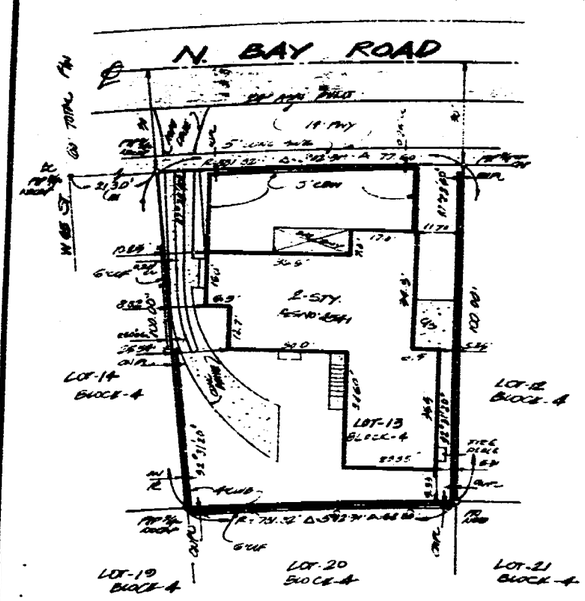
SEAL

Situated in Zone: AE Community/Panel/Suffix: 120650-0182-J
Date of Firm: 07/17/1995 Base Flood Elevation: 7 FT
Certified to: DATA PROPERTIES
OFFICE OF RICHARD WASERSTEIN

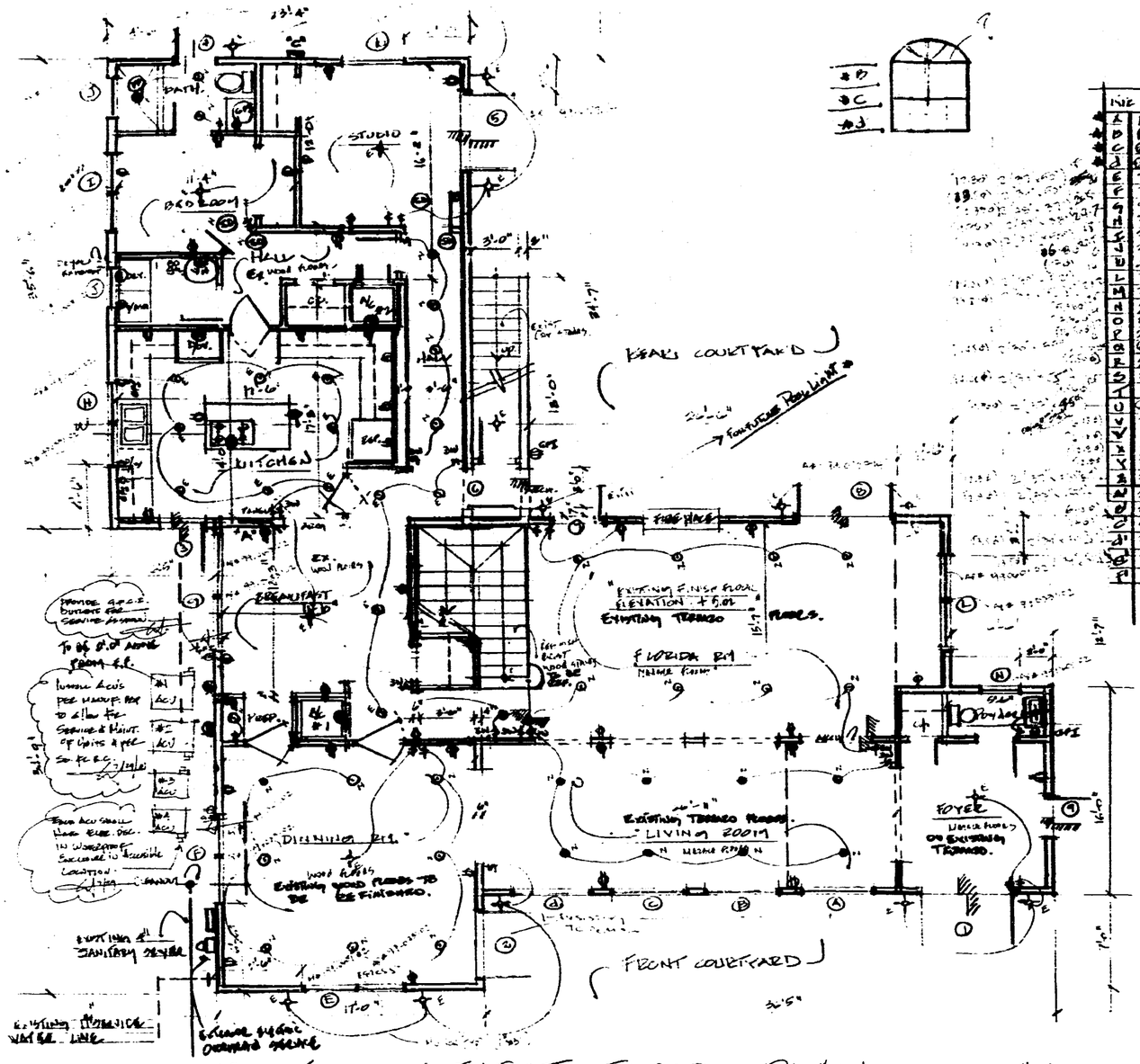
Nova Surveyors Inc.
LAND SURVEYORS

Survey No. [illegible]
Sheet No. 2 of 2

BOUNDARY SURVEY Scale 1" = 20'



21



EXISTING FIRST FLOOR PLAN. SCALE 1/4" = 1'-0

INC	SIZE	TYPE				
A	EXISTING			1	EXISTING	
B	EXISTING			2	EXISTING	
C	EXISTING			3	EXISTING	
D	EXISTING			4	2'8" x 5'0" FRENCH ALUMINUM DOOR	
E	74" x 50"	SH	CL	5	6'0" x 8'0" FRENCH ALUMINUM	
F	79" x 52"	SH	CL	6	EXISTING	
G	46" x 37"	SH	CL	7	EXISTING	
H	72" x 38"	SH	CL	8	6'0" x 8'0" FRENCH ALUMINUM DOOR	
I	72" x 55"	SH	CL	9	EXISTING	
J	37" x 24"	SH	CL	DBL		
K	42" x 60"	SH	CL			
L	78" x 52"	SH	CL			
M	79" x 50 1/16	SH	CL			
N	20" x 20"	SH	CL			
O	5" x [illegible]	[illegible]				
P	27" x 27"	SH	CL			
Q	60" x 55"	SH	CL			
R	27" x 27"	SH	CL			
S	39" x 55"	SH	CL			
T	39" x 26"	SH	CL			
U	65" x 55"	SH	CL			
V	39" x 26"	SH	CL			
W	39" x 26"	SH	CL			
X	39" x 50 1/16	SH	CL			
Y	39" x 50 1/16	SH	CL			
Z	39" x 50 1/16	SH	CL			
AA	92" x 55"	SH	FIXED	10	EXISTING	
BB	39" x 26"	SH	CL	11	EXISTING	
CC	20" x 20"	SH	FIXED			
DD	39" x 50 1/16	SH	CL			
EE	39" x 50 1/16	SH	CL			
FF						

FIRST FLOOR

SECOND FLOOR

* NOTE: ALUMINUM SUBSTITUTES [illegible]

SCOPE OF WORK:

1. REPLACE ALL EXISTING WINDOWS & DOUBLE WOOD EXT. DOORS. SUBMIT P.G.A. & SHOP. DWGS.
2. PAINT INTERIOR OF HOUSE (COLORS TO BE SELECTED).
3. REPLACE ALL WINDOW SILLS
4. SEE ELECTRICAL PLAN FOR WORK
5. INSTALL ALL NEW LIGHT FIXTURES, OUTLETS, SWITCHES
6. INSTALL NEW KITCHEN CABINETS (SAME DESIGN)
7. INSTALL NEW BATHROOM TILES & VANITIES - ALL BATHS
8. REPLACE OLD A/C UNITS & DUCTWORK, (12 TON, 6 TON)
9. INSTALL NEW PLUMBING FIXTURES (SAME LOCATION)
10. SMOOTH ALL INTERIOR WALLS & REPAIR CRACKS
11. REPLACE ALL INTERIOR DOORS TO BE SOLID WOOD
12. INSTALL NEW MARBLE FLOORS AT FIRST FLOOR
13. SAND & FINISH WOOD FLOORS @ 2ND FLOOR & [illegible]
14. INSTALL NEW WOOD BASEBOARDS & TRIM [illegible]
15. SUBMIT COST BREAKDOWN AND SURVEY

* HARDIE TO BE 1/2" THICKNESS (SMOOTH STUCCO).
* ALL EXISTING WOOD FLOORS TO BE REFINISHED ONLY.

ON TOP OF EXISTING TERRAZZO FLOORS ONLY.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING: [illegible]
ZONING:
STATE:
MECHANICAL:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL: NONE
ACCESSIBILITY:
ELEVATOR:

FRAME STUCCO STUCCO SPRAY-D [illegible]

REVISIONS	BY

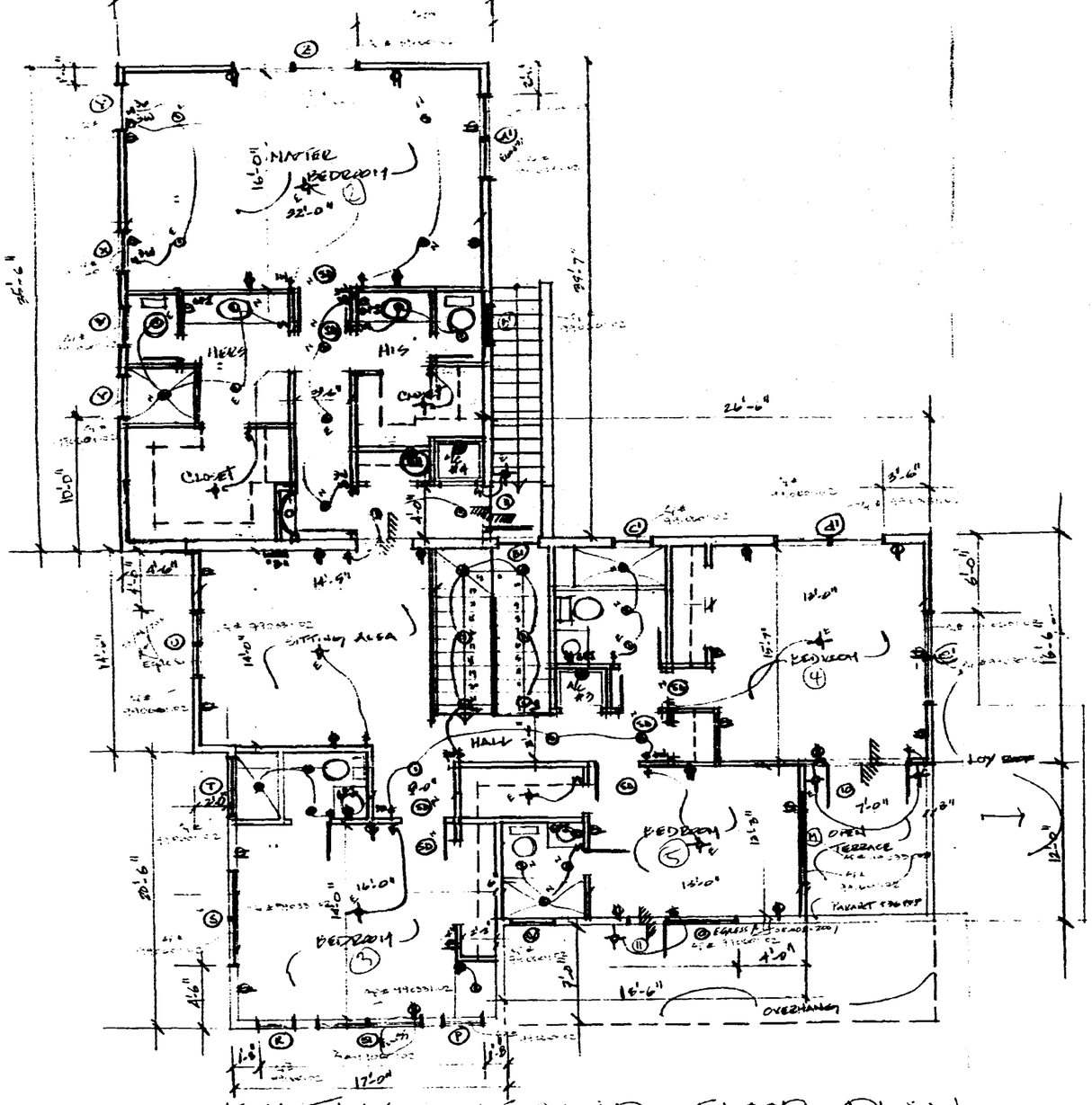
A.A. REG. 13179
LICENSE #14173

DEKA Architecture
241 N.E. 3RD AVE., 7TH FLOOR
MIAMI, FL 33132-2221
PH: 374-1447

RESIDENCE FOR "DATA" PROPERTIES
4541 NORTH BAY RD. MIAMI BEACH

DRAWN: HE
CHECKED:
DATE: 06/21/2001
SCALE: 1/4"=1'-0"
JOB NO. 2
SHEET 1-2
OF SHEETS

2



EXISTING SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

"ELECTRIC NOTES"

ALL NEWS TO BE WHITE "DECORA" TYPE
LIGHT FIXTURE (EXISTING TO BE REPLACED)
SINGLE DETECTOR (NEW)
OUTLET
BUTTON
3 WAY TOGGLE WALL SWITCH
(E) DOWNLIGHT FAMILY / (N) DOWNLIGHT
(E) WALL MOUNT FIXTURE (EXIST. NOT TO BE REPLACED)
GFI - GROUND FAULT OUTLET
EXIST. ELECTRIC PANELS
E - EXT. SERVICE (OVERHEAD)

N = NEW TO BE ADDED
E = EXISTING TO BE REPLACED

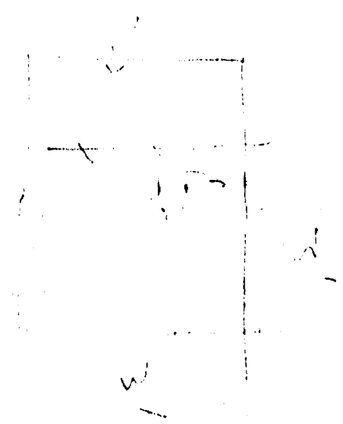
UPTON GURT
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING
ZONING
PLANNING
DESIGN REVIEW
HISTORIC PRESERVATION
ENGINEERING
FIELD WORKS
FIRE
ACCESSIBILITY
ELEVATOR

RESIDENCE FOR "DEDA" PROPERTIES
4541 NORTH BAY RD. MIAMI BEACH

AE DRAWING
DRAWN BY
DATE 04/21/2001
SCALE 1/4" = 1'-0"
JOB NO.
SHEET 2
2-2
SHEETS

2

B0103955
4541 N. Bay Rd.



PERMIT #

B0200750

27

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

New/Addition/Remodel

1-2002

Activity Number: B02007740
Status: APPROVED

Date Applied: 11/27/2001 Date Issued: 03/21/2002 Entered By: BUILDERC
Date Completed: Date Expired: 09/17/2002

Site Address: 4541 N BAY RD MBCH
Parcel # 32220110040
Balance Due: $0.00
Valuation: $12,000.00

Applicant: INFINITY CONSTRUCTION CORP Owner: DATA PROPERTIES INC
4541 N BAY RD
MIAMI BEACH FL 331402060

Description: NEW 1-2 SEG GUNITE POOL AND 150 SQ FT DECK PAVERS

Payments made for this receipt:

Current Payment Made to the Following Items:

Account Summary for Fees and Payments:

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

New/Addition/Remodel

11-27-2001

Activity Number: B02007740
Receipt: R010022891 Status: APPROVED

Date Applied: 11/27/2001 Date Issued: Entered By: BUILDERC
Date Completed: Date Expired:

Site Address: 4541 N BAY RD MBCH
Parcel # 32220110040
Balance Due: $0.00
Valuation: $12,000.00

Applicant: CONTRACTOR TO BE ASSIGNED Owner: DATA PROPERTIES INC
4541 N BAY RD
MIAMI BEACH FL 331402060

Description: NEW 1-2 SEG GUNITE POOL AND 150 SQ FT DECK PAVERS

Payments made for this receipt:

Current Payment Made to the Following Items:

Account Summary for Fees and Payments:

CITY OF MIAMI BEACH
BUILDING DEPARTMENT

APPENDIX 11

1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Phone: (305) 673-7610
Fax: (305) 673-7857

SPECIAL INSPECTOR

DATE: 01/14/2002

ATTENTION: Building Official

I, the undersigned, a Professional Engineer ___, Registered Architect ___, registered in the State of Florida, have been retained by the owners: DATA Properties INC of the property located at: 4541 North Bay Rd. to perform as the duties of a Special Inspector as defined in Section 305.3 of the South Florida Building Code.

This office will be responsible to the Building Official of the City of Miami Beach for the inspection of the structural elements of the building, including all excavations, pilings, foundation, all reinforced concrete and structural steel, and will file written weekly reports for the same as to the progress, compliance or non-compliance with the plans and the South Florida Building Code. In the event of non-compliance the Building Official shall be notified immediately so that appropriate action can be taken. The pile logs and all concrete test reports will be submitted to the Building Official within one week after their completion.

All mandatory inspections, as required by the South Florida Building Code, MUST be performed by the City of Miami Beach when the special inspector is hired by the owner. The City building inspections must be called for on ALL MANDATORY inspections, inspections performed by the special inspector hired by the owner are IN ADDITION to the mandatory inspections performed by the City.

Upon completion of the structure, I will submit to the City of Miami Beach a certificate of compliance with the South Florida Building Code and approved plans.

ENGINEER/ARCHITECT SIGNATURE & SEAL: [signature] 1-15-02
ENGINEER/ARCHITECT (PRINTED): NISSAN [illegible]
LICENSE NUMBER: 39576
CONTACT PHONE NUMBER: [illegible]
BUILDING PERMIT NUMBER: B02007740
OWNER/AGENT SIGNATURE: [signature]
OWNER/AGENT (PRINTED): Albert Bevvard
BUILDING DEPARTMENT, ACCEPTED BY: [signature]
DATE: 3/14/02

REV 04/99

Page 3 of 4

JAN 15 2002 2:49PM HP LASERJET 3200

42

CITY OF MIAMI BEACH
BUILDING DEPARTMENT

APPENDIX 11

Must bear Engineer/Architect Original Signature and Raised Seal ! !

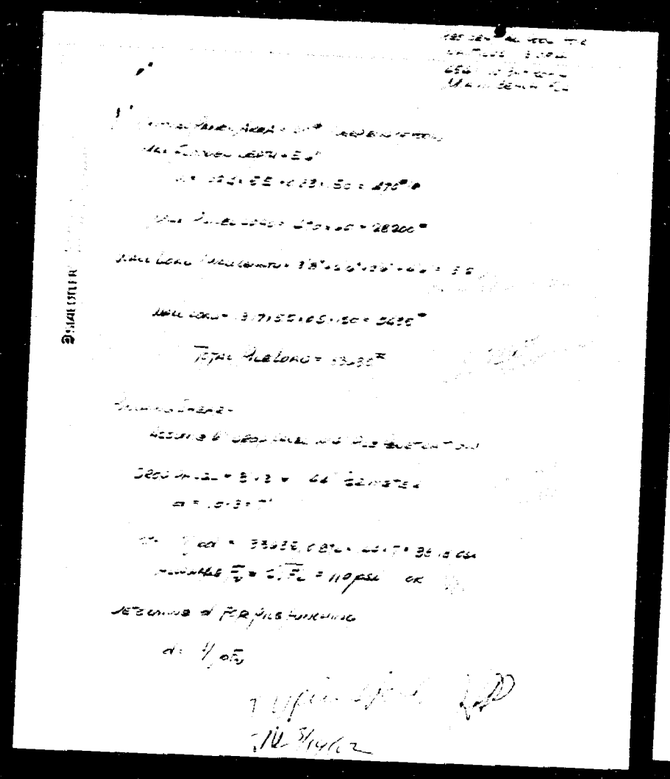
Scope of work and/or type of inspection to be done:

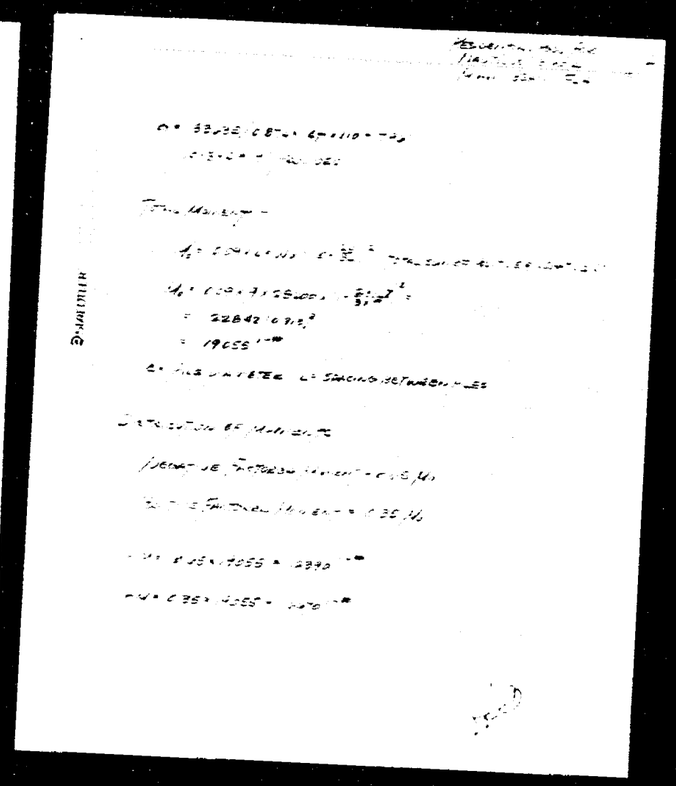
- Pool - Piling -

ARCHITECT/ENGINEER SEAL

REV 04/99

Page 4 of 4





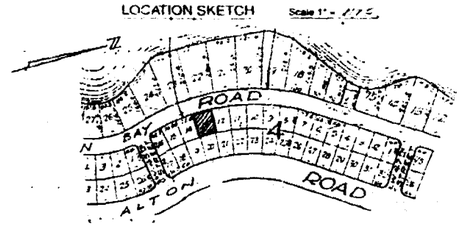
27

Nova Surveyors Inc.
LAND SURVEYORS

Survey of Lot: 13 Block: 4
Subdivision: PLAT OF NAUTILUS SUBDIVISION
According to the Plat thereof as recorded in the Plat Book No. 8 at Page No. 99 of the public records of MIAMI-DADE County, Florida.

Property Address: 4541 N BAY RD, MIAMI BEACH, FL 33314.
For: DATA PROPERTIES
Date: 05/24/2001

LOCATION SKETCH Scale 1" = 175'

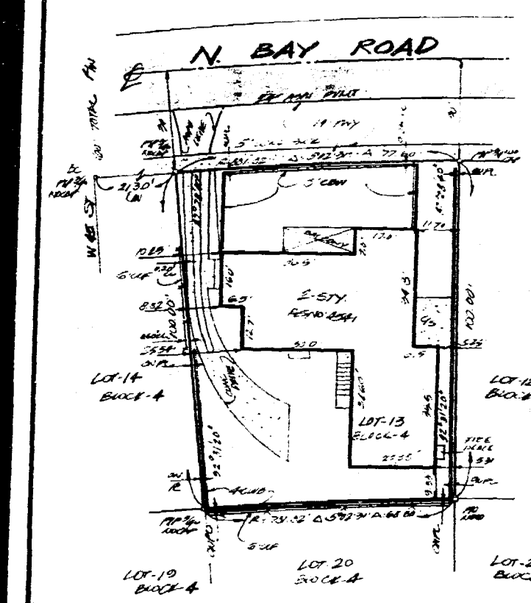


Situated in Zone: AE Community/Panel/Suffix: 120650 0182-J
Date of Firm: 07/17/1995 Base Flood Elevation: 7 FT
Certified to: DATA PROPERTIES
LAW OFFICE OF RICHARD WASERSTEIN

SEAL

Nova Surveyors Inc.
LAND SURVEYORS

BOUNDARY SURVEY Scale 1" = 20'



27

GEOTECHNICAL
ENVIRONMENTAL
HYDROGEOLOGY
ASBESTOS

DYNATECH ENGINEERING CORP.

TESTING LABORATORIES
DRILLING SERVICES
INSPECTION SERVICES
ROOFING

Miami, July 25, 2001

Mr. Albert Eskenazi
DAVID DEVELOPMENT
9564 Carlisle Avenue
Surfside, FL 33154

Re: Proposed Pool at
4541 North Bay Road
Miami Beach, FL

Dear Mr. Eskenazi:

Pursuant to your request, DYNATECH ENGINEERING CORP., completed a Subsoil Investigation on July 24, 2001 at the above referenced project. The purpose of our investigation was to verify subsoil conditions relative to foundation design of the proposed pool.

A total of (1) standard penetration boring test was performed according to ASTM-D 1586 down to an average depth of 30' below existing ground surface.

The following graph was developed as a general condition for the subject site. (refer to field boring logs for exact locations)

Depth From	Depth To	Description
0'- 0"	0'- 6"	Top soil
0'- 6"	2'- 0"	Fan Beach Sand
2'- 6"	3'- 6"	Gray Silt
3'- 6"	8'- 0"	Peat Silt
8'- 0"	10'- 6"	Gray beach sand
26'- 0"	30'- 0"	Tan sandy limerock

Groundwater table elevation was measured immediately at the completion of each boring and was found at an average depth of 2'- 0" below existing ground surface. Fluctuation in water level should be anticipated due to seasonal variations and run off.

750 West 84 Street • Hialeah, FL 33014-3618 • Phone (305) 828-7499 • Fax (305) 828-9526

Based on our understanding of the proposed structure and our field boring logs, it is evident that the deep foundation system are needed to support the proposed addition without detrimental settlement to the structure.

Deep foundation systems shall consist of one of the following alternatives.

Alternatives Pile Foundation	Approximate Pile Depth	Size	Pile Capacity in Tons Compression	Pile Capacity in Tons Tension	Allowable Lateral Capacity in Tons
Pin Piles	to Refusal	5 Inch	5 Tons	2 Tons	1 Tons
Auger Cast Piles	20'-25' BLS	12 Inch	25 Tons	7 Tons	2 Tons
Auger Cast Piles	20'-25' BLS	14 Inch	35 Tons	10 Tons	4 Tons
Precast Concrete Piles	20'-25' BLS	10"x 10"	17 Tons	5 Tons	1 Tons
Precast Concrete Piles	20'-25' BLS	12"x 12"	25 Tons	7 Tons	2 Tons
Precast Concrete Piles	20'-25' BLS	14"x 14"	35 Tons	10 Tons	4 Tons

BLS: Below Existing Land Surface

Estimated Lateral Load for a pile Top Deflection of 1 inch. The proposed pile length is based on the existing ground elevation at the time of drilling. Pile length may vary depending on proposed grade beam elevation and soil profile.

A minimum of 4 piles shall be driven to determine production pile length. All work shall be performed in accordance with the applicable building code Chapter 24.

In case of existing structures in the vicinity of the pile driving operation, care shall be taken not to create excessive vibration. Vibration levels shall be monitored to verify compliance with county regulations. Steps must be taken to prevent excessive vibrations. The minimum center to center of piles or adjacent foundations shall be not less than twice the average diameter for round piles, or 1 ½ times the diagonal dimensions of rectangular piles, but in no case less than 30 inches.

All piles shall be designed by a professional engineer and shall be placed under supervision of our Geotechnical Engineer to verify compliance with the recommendations.

Regardless of the thoroughness of a Geotechnical exploration there is always the possibility that conditions may be different from those at the test locations; therefore, DYNATECH ENGINEERING CORP. does not guarantee any subsoil conditions between the bore test holes. All data from the borings are strictly for foundation analysis only and are not to be used for excavation or back filling estimates and pricing. Site contractor must familiarize himself with site conditions prior to bidding.

It has been a pleasure working with you and look forward to doing so in the near future. Please feel free to contact us if we may be of further service to you.

Sincerely yours,

Wissam Nassiani, P.E.
DYNATECH ENGINEERING CORP.
Florida Reg. No. 59584
Special Inspector No. 757
WN/no

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TECHNICAL
ENVIRONMENTAL
GEOLOGY
STCS

TESTING LABORATORIES
DRILLING SERVICES
INSPECTION SERVICES
ROOFING

DYNATECH ENGINEERING CORP.

TEST BORING REPORT

CLIENT : DAVID DEVELOPMENT
PROJECT : PROPOSED POOL @
ADDRESS : 4541 North Bay Road, Miami Beach, FL
LOCATION : SEE ATTACHED PLAN

DATE: 7-24-01
HOLE NO.: B-1
DRILLER: MG

Depth	DESCRIPTION OF MATERIALS	SAMPLE NUMBER	HAMMER BLOWS ON SAMPLER	"N"
0'0" - 0'6"	: TOP SOIL & GRASS	2	2 4 3 1	7
0'6" - 2'6"	: TAN BEACH SAND	4	2 1 1 1	2
2'6" - 3'6"	: GRAY SILT	6	1 1 1 1	2
3'6" - 6'0"	: PEAT	8	- - - 1	-
6'0 - 7'6"	: TAN SILTY BEACH SAND	10	1 1 2 4	3
7'6" - 8'0"	: PEAT	12	7 11 15 22	26
8'0" - 10'	: GRAY SILT	14	-	-
10 - 16'	: GRAY BEACH SAND	16	-	-
16' - 30'0"	: TAN SAND LIME ROCK	18	16 17 13 15	30
		20	-	-
		22	-	-
		24	16 19 21 20	40
		26	-	-
		28	-	-
		30	18 16 18 18	34
		32	-	-
		34		
		36		
		38		

Water Level: 2'0" Below Surface

Nova Surveyors Inc.
LAND SURVEYORS

BOUNDARY SURVEY

N. BAY ROAD

NORTH SIDE OF PROPERTY

SOUTH SIDE OF PROPERTY

LOT 14 BLOCK 4

LOT 12 BLOCK 4

LOT 19 BLOCK 4

LOT 21 BLOCK 4

APPENDIX

GEOTECHNICAL
ENVIRONMENTAL
HYDROGEOLOGY
ASBESTOS

DYNATECH ENGINEERING CORP.

TESTING LABORATORIES
DRILLING SERVICES
INSPECTION SERVICES
ROOFING

Appendix Drilling Procedures

The borings are conducted in accordance with procedures outlined for standard penetration test and split spoon sampling of soils by ASTM D-1586.

A two (2) feet long, two (2) inch O.D. split spoon sampler was driven into the ground by successive blows with a 140 lbs. hammer dropping thirty (30) inches. The soil sampler was driven (2) at a time, then extracted for visual examination and classification of the retained soil samples.

The number of blows required for one (1) foot penetration of the sampler is designated as "N" (known as the Standard Penetration Resistance Value).

The "N" value provides an indication of the relative density of non cohesive soils and the consistency of cohesive soils.

It is general practice that the sum of the number of blows required for the second and third six (6) inches penetration area added to determine the "N" value. Suitable corrections are applied to this number, in order to include the effects of soil overburden pressure and other factors. A general evaluation of soils is made from the established correlation between "N" and the relative density of consistency of soils.

This dynamic method of soil testing has been widely accepted by foundation Engineers and Architects, to conservatively evaluate the bearing capacity of soils.

A continuous drilling and sampling procedure was used. Therefore the samples were taken at intervals of two (2) feet, or at every change in soils characteristics.

Prepared by,

Wissam Naamani, P.E.
DYNATECH ENGINEERING CORP.

250 West 84 Street, Hialeah, FL 33014-3618 • Phone (305) 828-7499 • Fax (305) 828-0598

GEOTECHNICAL
ENVIRONMENTAL
HYDROGEOLOGY
ASBESTOS

DYNATECH ENGINEERING CORP

P.O. BOX 120828
HIALEAH, FLORIDA 33012-0828
PHONE (305) 828-0418

TESTING LABORATORIES
DRILLING SERVICES
INSPECTION SERVICES
ROOFING

KEY CLASSIFICATION AND SYMBOLS

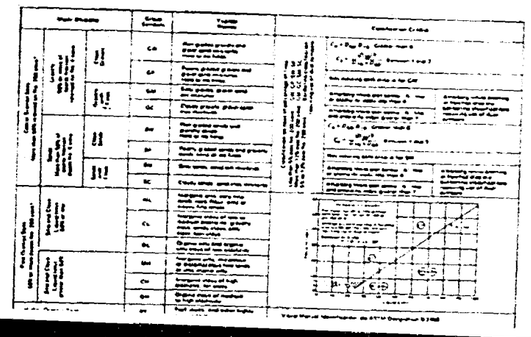
FOCK HARDNESS DESCRIPTION		CORRELATION OF PENETRATION RESISTANCE WITH RELATIVE DENSITY AND CONSISTENCY		
		Cohesionless Soils Penetration Resistance (Blows/Foot)	Cohesive Soils Penetration Resistance (Blows/Foot)	Relative Density
SOFT	Rock core crumbles when handled	0-4	0-4	Very Loose
MEDIUM	Can break core with your hands	4-10	4-8	Loose
MODERATELY HARD	Thin edges of rock core can be broken with fingers	10-30	8-15	Firm
		30-50	15-30	Very Firm
				Dense
HARD	Thin edges of rock core cannot be broken with fingers	50-80	30-60	Very Dense
				Consistency
		0-3	0-2	Very Soft
		4-9	2-4	Soft
VERY HARD	Rock core rings when struck with a hammer (chisel)	10-17	4-8	Firm
		18-42	9-15	Stiff
		43-85	16-30	Very Stiff
		Over 86	31-50	Hard

MODIFIERS

Approximate Fines Content	Modifiers
5% to 12%	Slightly Silty or Slightly Clayey
12% to 30%	Silty or Clayey
30% to 50%	Very Silty or Very Clayey

CAPTIONS SIZE

Boulder	> 12 in.
Cobble	3 in. to 12 in.
Gravel	3 mm to 3 in.
Sand	0.074 mm to 4.75 mm
Silt	.005 mm to 0.074 mm
Clay	< .005 mm



Residential Pool For
Nautilus Inc.
4581 North Bay Road
Miami Beach, FL

Critical Panel Area = 60"

W = 65 x 62.4 x 0.83 x 150 = 470#

Panel Load = 28200#

Wall Load = 55 x 0.5 x 150 x 9 = 3720#

Pile Load = 31920#

Punching Shear -

31920/4x10 = 72.5 psi > 55 psi

Assume 6" deep panel w/4" pile penetration

31920/66 x 12 = 60 psi < 55 psi OK

Moments -

M = 0.09 x 28200 x 9 x 1.15 = 26270 '-#

-M = 26270 x 0.5 = 13135 '-#

+M = 26270 x 0.2 = 5260 '-#

-As = 13135 x 12/20000 x .874 x 7 = 1.29#

+As = 5260 x 12/20000 x .874 x 7 = 0.52#

MINIMUM PANEL WIDTH = 6'6"/2 = 3'3" = 39"

1.29/0.3 = 4.3 → #5φ AT 9" ck TOP

0.52/0.2 = 2.6 → #4 AT 15" ck BOTTOM

UPLIFT -

55 × 62.6 - 0.83 × 150 = 220#

M = 220 × 9²/8 = 2230'-#

As = 0.2# → #4 AT 12" ck

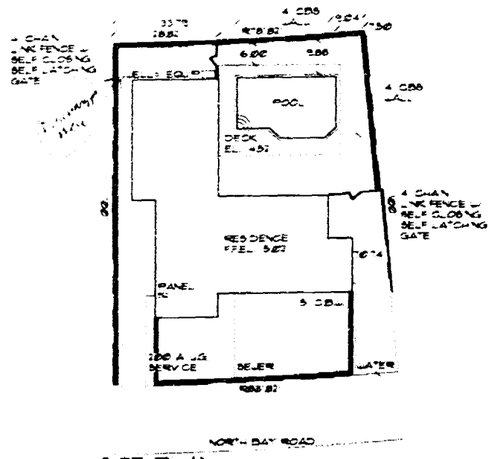
CANT SEC -

M = 55 × 62.6 × 2.5 × 1.25 + 0.83 × 150 × 2.5 × 1.25 +
55 × 0.5 × 150 × 2.75 = 2600'-#

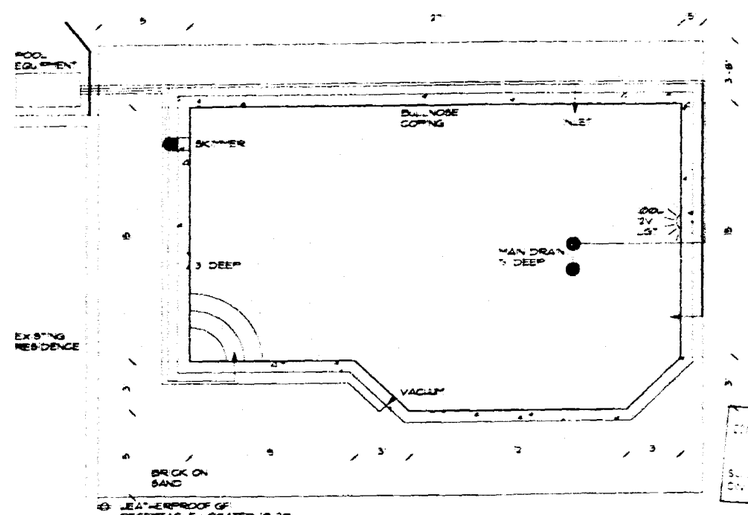
As = 2600 × 12 / 20000 × .874 × 7 = 0.25#

0.25/0.3 = 0.83 → #5φ AT 14"

#5φ AT 9" ck PROVIDED OK



SITE PLAN
SCALE



WEATHERPROOF GF RECEPTACLE LOCATED 10-20 FEET FROM POOL WATER EDGE

POOL PLAN
SCALE

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
CBS/HPB:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

SHEET 1 of 2

DATA PROPERTIES, INC.
22664 CARLISLE AVENUE
SURFSIDE FLORIDA 33154
786-317-7886

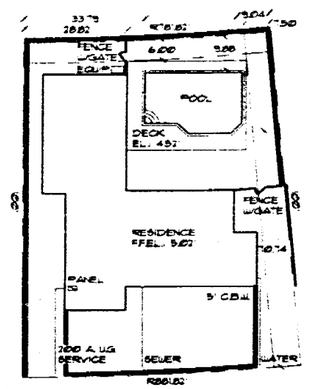
LEGAL:
LOT 13
NAUTIL & SUBDIVISION OF BLOCK 4
PLAT BOOK B AT PAGE 95
DADE COUNTY

KENNETH R. PFEIFFER, P.E.
9390 SW 77th AVENUE
APARTMENT 1642
MIAMI FLORIDA 33156
(305) 271-8663

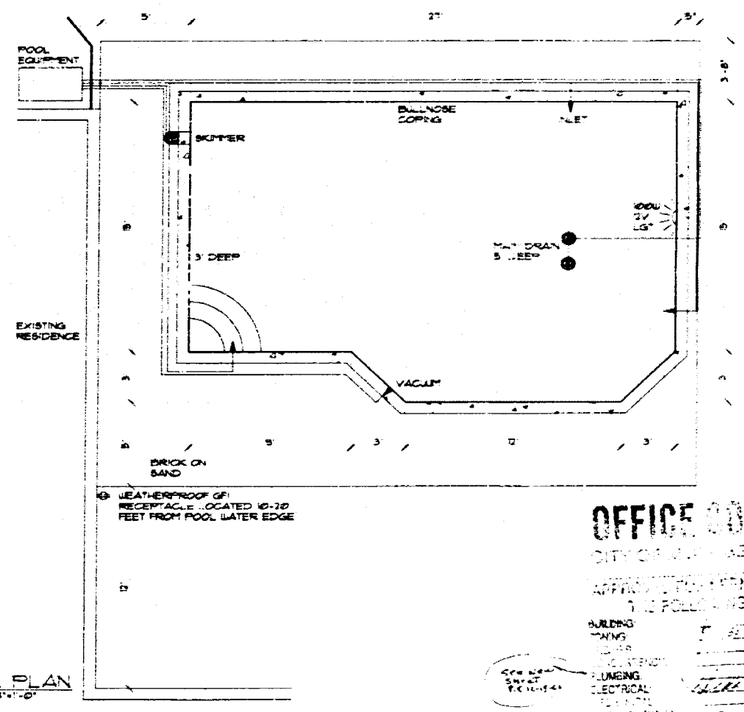
RESIDENTIAL POOL FOR
NAUTILUS 13/4
4341 NORTH BAY ROAD
MIAMI BEACH FLORIDA
786-317-7886

SEAL
KENNETH R. PFEIFFER P.E.
CIVIL ENGINEER
DEC 6th 2000
DATE

27



SITE PLAN
SCALE : 1/20"=1'-0"



POOL PLAN
SCALE : 1/4"=1'-0"

1. PROVIDE SPECIAL INSP. form (3 copy signed) for filing

48 hrs Prior to Excavating Contractor shall call for Location of Underground Utilities

Sunshine One-Call 800-432-4770
City of Miami Beach 305-673-7080

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING
PLUMBING
ELECTRICAL
ENGINEERING
FIELD WORKS

SHEET 1 of 3

DATA PROPERTIES, INC.
9364 CARL SLE AVENUE
BURPS E FLORIDA 33154
786-597-2266

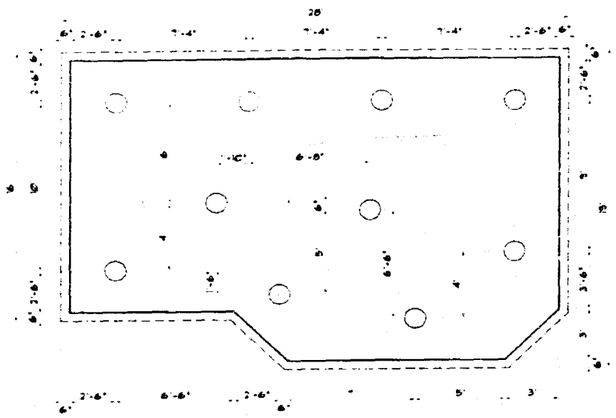
LEGAL:
LOT 13 OF BLOCK 4
NAUTILUS SUBDIVISION
PLAT BOOK 8 AT PAGE 85
DADE COUNTY

KENNETH R. PFEIFFER, P.E.
5395 SW 77th AVENUE
APARTMENT 1042
MIAMI, FLORIDA 33143
(305) 271-0863

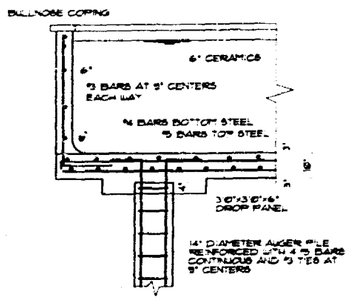
RESIDENTIAL POOL FOR
NAUTILUS 13/4
4541 NORTH BAY ROAD
MIAMI BEACH, FLORIDA
786-597-1866

SEAL
KENNETH R. PFEIFFER P.E.
CIVIL ENGINEER
SEPT. 24th, 2001
DATE

27



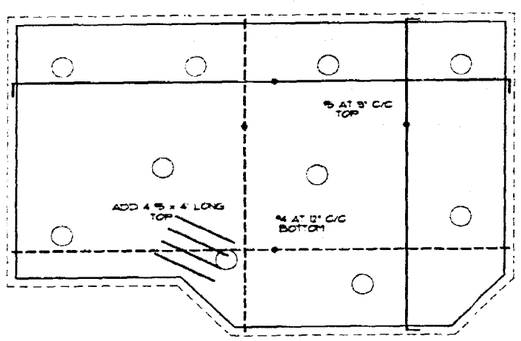
POOL PILING PLAN
1/4"=1'0"



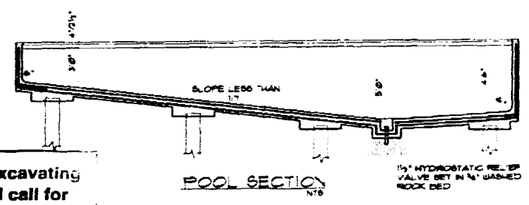
PILE SECTION
N.T.S.

STRUCTURAL NOTES:

1. ALL PILES SHALL BE 14" DIAMETER AUGER PILES OF SUFFICIENT DEPTH TO PROVIDE A MINIMUM BEARING CAPACITY OF 30 TONS EACH.
2. ALL PILE CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
3. ALL REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI.
4. ALL PILES SHALL EMBED A MINIMUM OF 4" INTO PILE CAPS.
5. ALL PILE REINFORCING STEEL SHALL BE CONNECTED TO BOTTOM FLOOR REINFORCING WITH MINIMUM 18" LAPS AND APPROVED CONNECTORS.



SLAB REINFORCEMENT PLAN
1/4"=1'0"



POOL SECTION
N.T.S.

48 hrs Prior to Excavating Contractor shall call for Location of Underground Utilities.

Sunshine One-Call 800-432-4770
City of Miami Beach 305-673-7080

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

PLANNING	
ZONING	
STRUCTURAL	
PLUMBING	
FIRE	3/9 12/15/00
WATER & SEWER	
PUBLIC WORKS	
ENGINEERING	
FIRE DEPT.	
CONCURRENCY	
ENVIRONMENT	

SHEET 2 OF 3

DATA PROPERTIES, INC.
9364 CARL ELIE AVENUE
SUNRISE FLORIDA 33154
786-512-1866

LEGAL:
LOT 13 OF BLOCK 4
NAUTILUS SUBDIVISION
PLAT BOOK 8 AT PAGE 95
DADE COUNTY

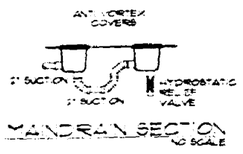
KENNETH R. PFEIFFER, P.E.
9395 SW 77th AVENUE
APARTMENT 404
MIAMI, FLORIDA 33156
(305) 271-0663

RESIDENTIAL POOL FOR
NAUTILUS 13/4
4541 NORTH BAY ROAD
MIAMI BEACH, FLORIDA
786-512-1866

SEAL
KENNETH R. PFEIFFER P.E.
CIVIL ENGINEER
SEPT. 24th, 2001
DATE

27

SHEET 3 OF 3



MAINDRAIN SECTION
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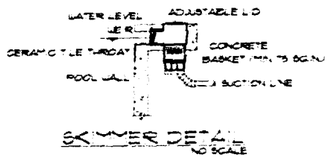

SKIMMER DETAIL
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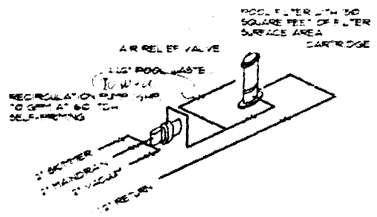
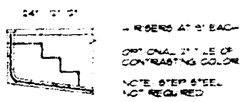


EQUIPMENT ISOMETRIC
NO SCALE



STEP DETAIL
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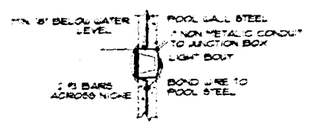
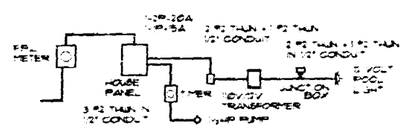


UNDERWATER LIGHT DETAIL
NO SCALE



ELECTRIC RISER DIAGRAM
NO SCALE

GENERAL NOTE:

THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE APPLICABLE CODES IN THE AREA IN WHICH THE PROJECT IS LOCATED. THE SOUTH FLORIDA BUILDING CODE WAS UTILIZED FOR MIAMI-DADE COUNTY. THE BROWARD EDITION 1999 WAS UTILIZED IN BROWARD COUNTY. THE SOUTHERN STANDARD BUILDING CODE WAS UTILIZED IN MONROE COUNTY.

PLUMBING NOTES:

1. ALL POOL AND EQUIPMENT PIPING SHALL BE SCHEDULE 40 PVC(NON-THREADED) NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4'0" CENTERS WITH CLEVIS HANGERS.
2. ALL SUCTION PIPING EITHER LOCATED BELOW GRADE SHALL USE 45 DEGREE BENDS.
3. ALL SUCTION PIPING SHALL BE 2" DIAMETER AND ALL PRESSURE PIPING 1-1/2" DIAMETER UNLESS OTHERWISE NOTED.
4. POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH ARTICLE 9-0903 OF THE SOUTH FLORIDA BUILDING CODE.
5. ANTI-VORTEX MAINDRAINS SHALL HAVE TS PLATE SECURELY FASTENED WITH TAMPERPROOF SCREWS.

ELECTRICAL NOTES:

1. ALL POOL ELECTRICAL WORK SHALL BE ACCOMPLISHED IN COMPLIANCE WITH NATIONAL ELECTRICAL CODE.
2. ALL ELECTRICAL GROUNDING AND BONDING SHALL CONFORM TO ARTICLE 680 OF THE NATIONAL ELECTRICAL CODE.
3. NO OVERHEAD WIRING SHALL BE LOCATED WITHIN 10'0" OF POOL & WATER EDGE.
4. SHOULD THE ELECTRICAL RISER DIAGRAM NOT ACCURATELY DEPICT REQUIRED WORK, A REVISED DRAWING SHALL BE SUBMITTED AND APPROVED SHOWING EXPECTED AS BUILT CONFIGURATION WITH ADDITIONAL SERVICE AND LOAD CALCULATIONS IF NECESSARY.

STRUCTURAL NOTES:

1. ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI.
3. ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
4. THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPALS.

POOL, SPA AND HOT TUB BARRIERS:

ALL POOLS, SPAS AND HOT TUBS SHALL COMPLY WITH SECTION 5001 OF THE SFBC AND SPECIFICALLY 5001.2.1(6) (6.8) "ALL DOOR WITH ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR OR ITS SCREEN IS BEING OPENED. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR IS OPENED AND BE CAPABLE OF EMITTING A SOUND OF SUFFICIENT VOLUME TO BE HEARD IN THE DWELLING. THE ALARM SHALL BE EQUIPPED WITH A MANUAL MEANS TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES ABOVE THE THRESHOLD OF THE DOOR.

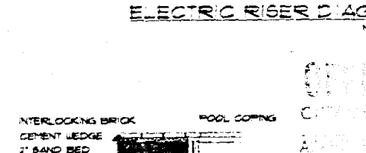
SAFETY NOTES:

1. A PERMANENT SAFETY WARNING SIGN SHALL BE PROVIDED IN ALL BATHING POOL AND SPA AREAS READILY VISIBLE FROM THE POOL AREA IN ACCORDANCE WITH APPENDIX F AND NSPI-5.
2. THE WARNING SIGN AS PER ITEM 1 ABOVE SHALL WARN AGAINST SHALLOW WATER DIVING, THE PREVENTION OF DROWNING AND SHALL INCLUDE THE FOLLOWING STATEMENT:

THERE IS NO SUBSTITUTION FOR ADULT SUPERVISION OF SMALL CHILDREN. IT IS STRONGLY RECOMMENDED THAT AT LEAST ONE ADULT RENDERING CHILD SUPERVISION BE TRAINED IN ARTIFICIAL RESPIRATION AND/OR CARDIOPULMONARY RESUSCITATION (CPR).

3. ALL DOORS WITH DIRECT ACCESS TO THE POOL AREA SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE ALARM WHEN THE DOOR OR ITS SCREEN IS OPEN.

4. THE POOL AND/OR SPA SHALL NOT BE FILLED WITH WATER UNTIL A SEPARATE PERMIT HAS BEEN OBTAINED FOR AN APPROVED SAFETY BARRIER, INCLUDING A SPRING-LOCK SELF-CLOSING GATE.



BRICK ON SAND DETAIL
NO SCALE

POOL DATA

SURFACE AREA (SQ FT)	480
VOLUME (GALLONS)	3464
TURNOVER (HOURS)	3.10
PERIMETER (FEET)	86
DECK AREA (SQ FT)	377

HYDROSTATIC UPLIFT

ELEV. TOP OF POOL WALL	15.1
DEPTH OF POOL	5
ELEV. TOP OF MAINDRAIN	10.48
FLOOD CRITERIA	10.0
ELEV. TOP OF MAINDRAIN	10.48
POOL WELL FLOOD CRITERIA	10.48
LESS 2.0" HYDROSTATIC VALVE	8.48
SLAB THICKNESS REQUIRED	2.0"

NOTE: IF THE POOL WELL FLOOD CRITERIA IS LESS THAN 6" FEET THEN THE FLOOR SLAB SHALL "TAPER DOWN" 6" AT THE SHALLOW END TO THAT "NO GATED" ABOVE AS SLAB THICKNESS REQUIRED.

DATA PROPERTIES, INC.
9364 CARLISLE AVENUE
SURFSIDE, FLORIDA 33154
786-552-7426

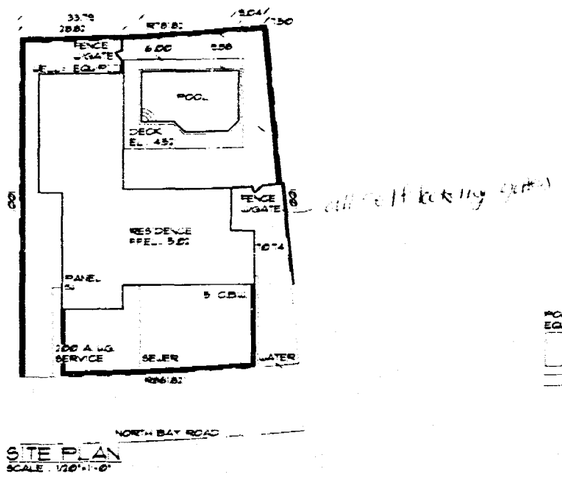
LEGAL:
LOT 13
NAUTILUS SUBDIVISION
PLAT BOOK B AT PAGE 93
DADE COUNTY

KENNETH R. PFEIFFER, P.E.
9355 S.W. 77th AVENUE
APARTMENT 1042
MIAMI, FLORIDA 33156
(305) 271-0863

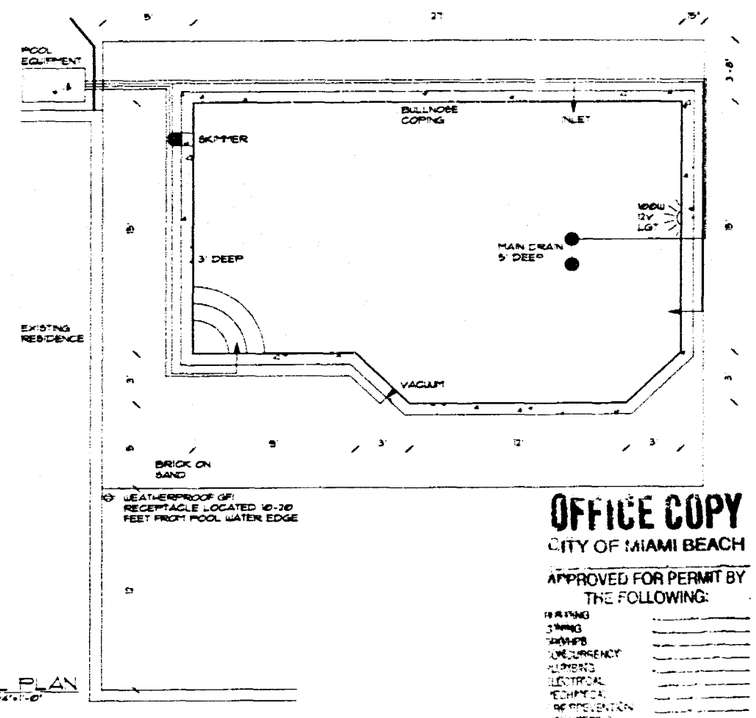
RESIDENTIAL POOL FOR
NAUTILUS 13/4
1541 NORTH BAY ROAD
MIAMI BEACH, FLORIDA
786-552-7426

KENNETH R. PFEIFFER P.E.
CIVIL ENGINEER
SEPT. 7th, 2001
DATE

27



SITE PLAN
SCALE 1/20"=1'-0"



POOL PLAN
SCALE 1/4"=1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING
ZONING
SIGNS
EMERGENCY
PLUMBING 29 12/13/01
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
PLANNING

See well location above

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING
ZONING
SIGNS
EMERGENCY
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
PLANNING

SHEET 1 OF 2

DATA PROPERTIES, INC.
9364 CARLISLE AVENUE
BURNSIDE FLORIDA 33194
786-512-7866

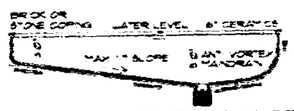
LEGAL:
LOT 13 OF BLOCK 4
NAUTILUS SUBDIVISION
PLAT BOOK 8 AT PAGE 95
DADE COUNTY

KENNETH R. PFEIFFER, P.E.
9395 S.W. 77th AVENUE
APARTMENT 1042
MIAMI, FLORIDA 33156
(305) 271-0863

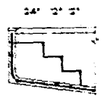
RESIDENTIAL POOL FOR
NAUTILUS 13/4
4541 NORTH BAY ROAD
MIAMI BEACH, FLORIDA
786-512-7866

SEAL
KENNETH R. PFEIFFER P.E.
CIVIL ENGINEER
STATE OF
DEC. 6th, 2001
DATE

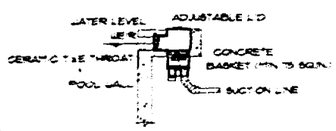
27



POOL SECTION
NO SCALE



STEP DETAIL
NO SCALE



SKIMMER DETAIL
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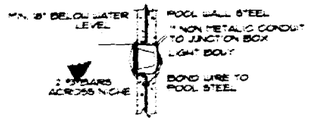
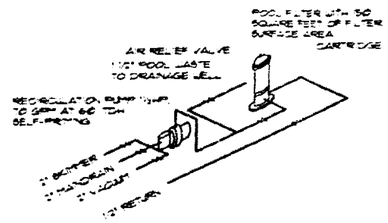
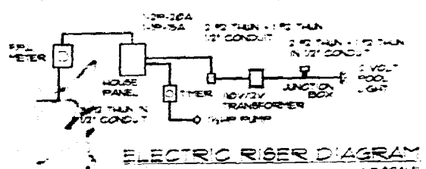


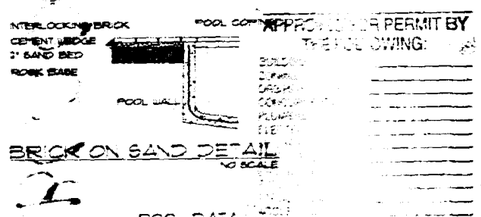
UNDERWATER LIGHT DETAIL
NO SCALE



EQUIPMENT ISOMETRIC
NO SCALE



ELECTRIC RISER DIAGRAM
NO SCALE



BRICK ON SAND DETAIL
NO SCALE

POOL DATA

SURFACE AREA (SQ FT)	450
VOLUME (GALLONS)	3464
TURNOVER (HOURS)	3.26
PERIMETER (FEET)	86
DECK AREA (SQ FT)	377

HYDROSTATIC UPLIFT

ELEVATION OF POOL WALL	4.51
DEPTH OF POOL	5
ELEVATION OF MANDRAIN	-0.48
FLOOD CRITERIA	-1.00
ELEVATION OF MANDRAIN	-0.48
POOL IN FLOOD CRITERIA	.48
LESS 2.01" HYDROSTATIC VALVE	5.48
SLAB THICKNESS REQUIRED	XX"

NOTE: IF THE POOL IN FLOOD CRITERIA IS LESS THAN 6.1 FEET THEN THE FLOOR SLAB SHALL TAPER FROM 6" AT THE SHALLOW END TO THAT INDICATED ABOVE AS SLAB THICKNESS REQUIRED.

GENERAL NOTE:

THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE APPLICABLE CODES IN THE AREA IN WHICH THE PROJECT IS LOCATED. THE SOUTH FLORIDA BUILDING CODE WAS UTILIZED FOR MIAMI DADE COUNTY. THE BROWARD EDITION 1995 WAS UTILIZED IN BROWARD COUNTY. THE SOUTHERN STANDARD BUILDING CODE WAS UTILIZED IN MONROE COUNTY.

PLUMBING NOTES:

1. ALL POOL AND EQUIPMENT PIPING SHALL BE SCHEDULE 40 PVC-PSI NON-THREADED NSF APPROVED SUPPORTED CONTINUOUSLY ON GROUND OR ON MAXIMUM 4.0" CENTERS WITH CLEVIS HANGERS.
2. ALL SUCTION PIPING FITTINGS LOCATED BELOW GRADE SHALL BE 45 DEGREE BENDS.
3. ALL SUCTION PIPING SHALL BE 2" DIAMETER AND ALL PRESSURE PIPING 1 1/2" DIAMETER UNLESS OTHERWISE NOTED.
4. POOL WATER DISPOSAL SHALL BE IN ACCORDANCE WITH ARTICLE 5409.43 OF THE SOUTH FLORIDA BUILDING CODE.
5. ANTI VORTEX MANDRAINS SHALL HAVE ITS PLATE SECURELY FASTENED WITH TAMPERPROOF SCREWS.

ELECTRICAL NOTES:

1. ALL POOL ELECTRICAL WORK SHALL BE ACCOMPLISHED IN COMPLIANCE WITH NATIONAL ELECTRICAL CODE.
2. ALL ELECTRICAL GROUNDING AND BONDING SHALL CONFORM TO ARTICLE 680 OF THE NATIONAL ELECTRICAL CODE.
3. NO OVERHEAD WIRING SHALL BE LOCATED WITHIN 10'-0" OF POOL'S WATER EDGE.
4. SHOULD THE ELECTRICAL RISER DIAGRAM NOT ACCURATELY DEPICT REQUIRED WORK, A REVISED DRAWING SHALL BE SUBMITTED AND APPROVED SHOWING EXPECTED AS BUILT CONFIGURATION WITH ADDITIONAL SERVICE AND LOAD CALCULATIONS, IF NECESSARY.

STRUCTURAL NOTES:

1. ALL POOL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI.
3. ALL DECK CONCRETE (WHEN INSTALLED UNDER THESE PLANS) SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
4. THE DESIGN OF THIS PROJECT HAS INCORPORATED A RATIONAL DESIGN APPROACH BASED ON ACCEPTED ENGINEERING PRINCIPALS.

POOL, SPA AND HOT TUB BARRIERS:

ALL POOLS, SPAS AND HOT TUBS SHALL COMPLY WITH SECTION 5409.7 OF THE SFBC AND SPECIFICALLY 5409.7.2 (1)(2)(3) ALL DOOR WITH ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR OR ITS SCREEN IS BEING OPENED. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR IS OPENED AND BE CAPABLE OF EMITTING A SOUND OF SUFFICIENT VOLUME TO BE HEARD IN THE DWELLING. THE ALARM SHALL BE EQUIPPED WITH A MANUAL MEANS TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES ABOVE THE THRESHOLD OF THE DOOR.

SAFETY NOTES:

1. A PERMANENT SAFETY WARNING SIGN SHALL BE PROVIDED AT ALL SWIMMING POOL AND SPA AREAS READILY VISIBLE FROM THE POOL AREA IN ACCORDANCE WITH APPENDIX F ANSI/NSPI-5-98.
2. THE WARNING SIGN, AS PER ITEM 1 ABOVE, SHALL WARN AGAINST SHALLOW WATER DIVING, THE PREVENTION OF DROWNING AND SHALL INCLUDE THE FOLLOWING STATEMENT:

"THERE IS NO SUBSTITUTION FOR ADULT SUPERVISION OF SMALL CHILDREN. IT IS STRONGLY RECOMMENDED THAT AT LEAST ONE ADULT RENDERING CHILD SUPERVISION BE TRAINED IN ARTIFICIAL RESPIRATION AND/OR CARDIOPULMONARY RESUSCITATION (CPR)."

3. ALL DOORS WITH DIRECT ACCESS TO THE POOL AREA SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE ALARM WHEN THE DOOR OR ITS SCREEN IS OPEN.
4. THE POOL AND/OR SPA SHALL NOT BE FILLED WITH WATER UNTIL A SEPARATE PERMIT HAS BEEN OBTAINED FOR AN APPROVED SAFETY BARRIER, INCLUDING A SPRING-LOCK SELF-CLOSING GATE.

SOIL NOTE:

BASED ON A VISUAL INSPECTION OF THE SITE SOIL CONDITIONS, ROCK AND SAND ARE ADEQUATE FOR THE DESIGN BEARING CAPACITY OF 2000 PSF. HOWEVER, IF DURING EXCAVATION CONDITIONS OTHER THAN ABOVE ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED.

SHEET 2 OF 2

DATA PROPERTIES, INC.
9564 CARLISLE AVENUE
SURFSIDE, FLORIDA 33154
786-512-1886

LEGAL:
LOT 13 OF BLOCK 4
NAUTILUS SUBDIVISION
PLAT BOOK 8 AT PAGE 85
DADE COUNTY

KENNETH R. PFEIFFER P.E.
9398 SW 77TH AVENUE
MIAMI, FLORIDA 33156
(305) 271-0663

RESIDENTIAL POOL FOR
NAUTILUS 13/4
4341 NORTH BAY ROAD
MIAMI BEACH, FLORIDA
786-512-1886

SEAL
KENNETH R. PFEIFFER P.E.
CIVIL ENGINEER
DEC 6th 2001
DATE

27

B0200750

454 N BAY RD

CITY OF MIAMI BEACH
BUILDING DEPARTMENT

APPENDIX 11

15 MAR 02
BAP-11950

1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Phone: (305) 673-7610
Fax: (305) 673-7857

SPECIAL INSPECTOR

DATE: 01/14/2002

OK 03/15/02

ATTENTION: Building Official

I, the undersigned, a Professional Engineer ___, Registered Architect ___, registered in the State of Florida, have been retain by the owners: DATA Properties INC of the property located at: 4541 North Bay Rd. - to perform all the duties of a Special Inspector, as defined in Section 305.3 of the South Florida Building Code.

This office will be responsible to the Building Official of the City of Miami Beach for the inspection of the structural elements of the building, including all excavations, pilings, foundation, all reinforced concrete and structural steel, and will file written weekly reports for the same as to the progress, compliance or non-compliance with the plans and the South Florida Building Code. In the event of non-compliance the Building Official shall be notified immediately so that appropriate action can be taken. The pile logs and all concrete test reports will be submitted to the Building Official within one week after their completion.

All mandatory inspections, as required by the South Florida Building Code, MUST be performed by the City of Miami Beach when the special inspector is hired by the owner. The City building inspections must be called for on ALL MANDATORY inspections. Inspections performed by the special inspector hired by the owner are IN ADDITION to the mandatory inspections performed by the City.

Upon completion of the structure, I will submit to the City of Miami Beach a certificate of compliance with the South Florida Building Code and approved plans.

ENGINEER/ARCHITECT SIGNATURE & SEAL: Wissam 1-15-02

ENGINEER/ARCHITECT (PRINTED): WISSAM S. NAAMANI P.E.

LICENSE NUMBER: 39584

CONTACT PHONE NUMBER: (305) 828-7499

BUILDING PERMIT NUMBER: B0200750

OWNER/AGENT SIGNATURE: [signature]

OWNER/AGENT (PRINTED): ALBERT ESKENAZI.

BUILDING DEPARTMENT, ACCEPTED BY: SMA

DATE: 3/14/02

#2

CITY OF MIAMI BEACH
BUILDING DEPARTMENT

APPENDIX 11

Must bear Engineer/Architect Original Signature and Raised Seal ! !

Scope of work and/or type of inspection to be done:

- POOL - PILING -

Illissam
1-15-02

ARCHITECT/ENGINEER
SEAL