

4520 MERIDIAN AVE,  
MIAMI BEACH FL 33140

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CONSULTANTS:

PROJECT:  
4520 MERIDIAN AVE,  
MIAMI BEACH, FL 33140  
FOLIO NUMBER:  
02-3222-010-0740  
DATE: 03/7/22  
PROJECT NO

REVISION	

DATE:  
DRAFTED BY:  
SCALE:

LOCATION PLAN

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

**EX-2.0**

DRAWN BY: F.S



**SITE**  
**4520 MERIDIAN AVE**

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SCALE:

**NEIGHBORHOOD  
ANALYSIS - KEY PLAN**

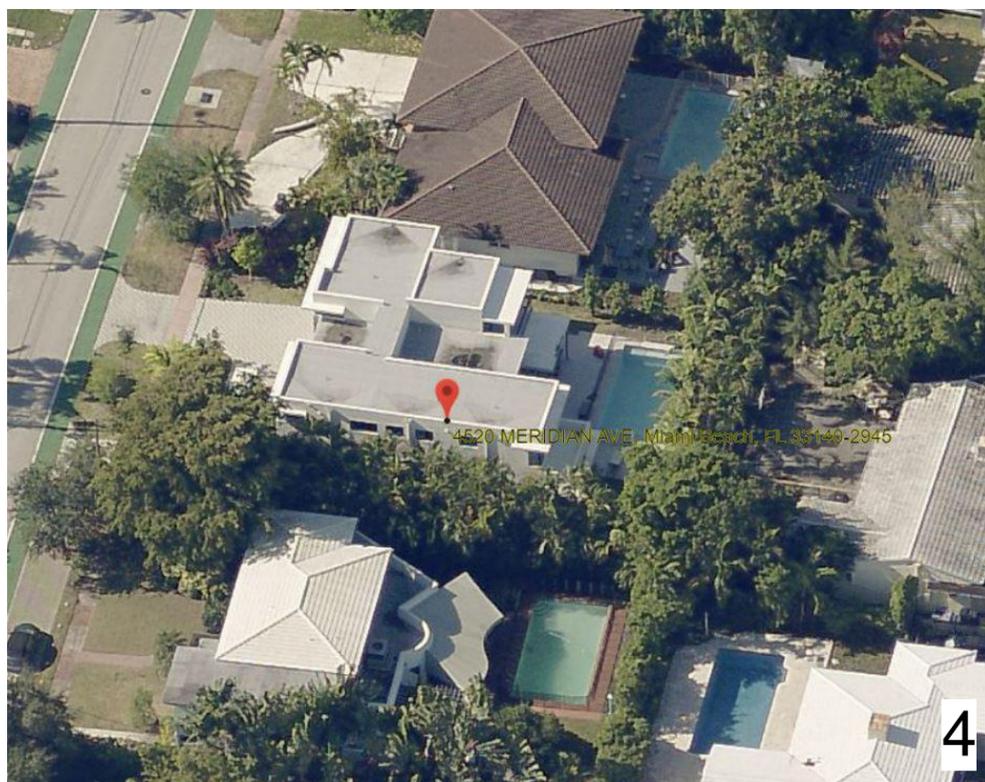
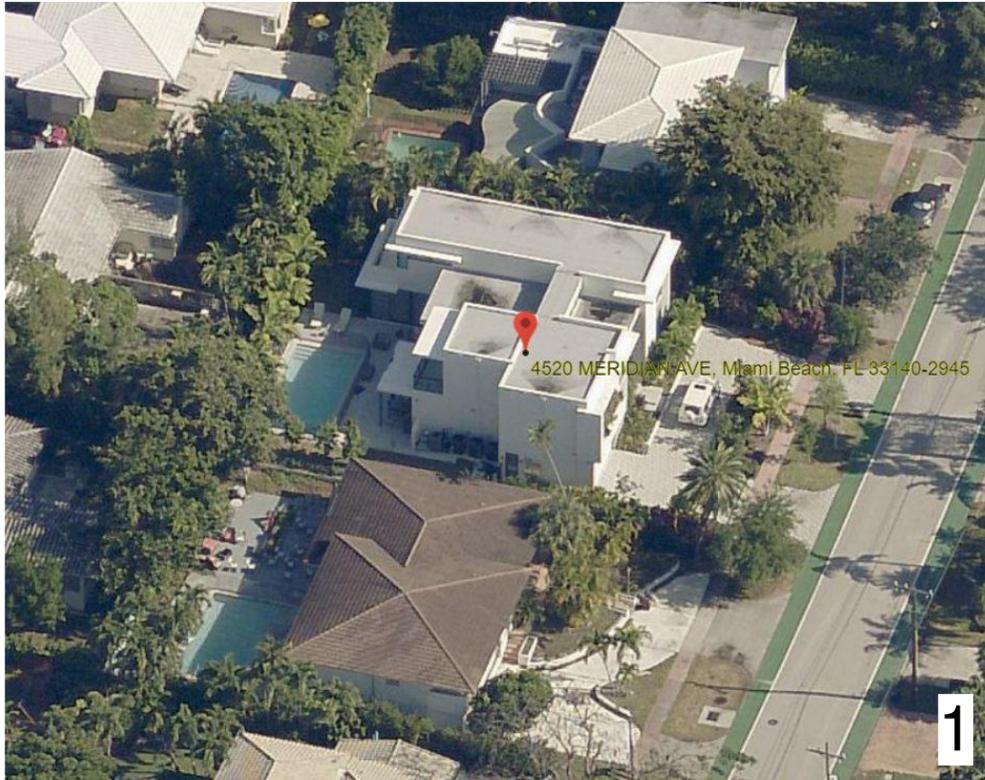
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

**EX-2.1**

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NEIGHBORHOOD  
ANALYSIS - EXISTING  
EXTERIOR

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

EX-2.2

DRAWN BY: F.S



4500 MERIDIAN AVE



4510 MERIDIAN AVE



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**NEIGHBORHOOD  
ANALYSIS - EXISTING  
EXTERIOR**

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**EX-2.3**

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4515 MERIDIAN AVE



4525 MERIDIAN AVE



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**NEIGHBORHOOD  
ANALYSIS - EXISTING  
EXTERIOR**

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
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**EX-2.4**

DRAWN BY: F.S



4530 MERIDIAN AVE



4535 MERIDIAN AVE



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NEIGHBORHOOD  
ANALYSIS - EXISTING  
EXTERIOR

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

EX-2.6

DRAWN BY: F.S



4539 MERIDIAN AVE



4540 MERIDIAN AVE



4540 MERIDIAN AVE

4539 MERIDIAN AVE

4530 MERIDIAN AVE

4535 MERIDIAN AVE

SITE  
4520 MERIDIAN AVE

4525 MERIDIAN AVE

4510 MERIDIAN AVE

4515 MERIDIAN AVE

4500 MERIDIAN AVE

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NEIGHBORHOOD  
ANALYSIS - EXISTING  
EXTERIOR

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

EX-2.6

DRAWN BY: F.S

# MIAMI BEACH

Planning Department  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

## SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	4520 MERIDIAN AVENUE			
2	Folio number(s):	02-3222-010-0740			
3	Board and file number(s) :	DRB22-0798			
4	Year built:2019	Zoning District:	RS-4		
5	Located within a Local Historic District (Yes or No):	NO			
6	Individual Historic Single Family Residence Site (Yes or No):	NO			
7	Home determined Architecturally Significant by CMB (Yes or No):	NO			
8	Base Flood Elevation:	+8.00' N.G.V.D	Grade value in NGVD:	+5.00' N.G.V.D	
9	Adjusted grade (Flood+Grade/2):	+6.50' N.G.V.D	Free board:	5'-0"	
10	30" above grade:	+7.50' N.G.V.D	Lot Area:	9,556 SF	
11	Lot width:	83.64'	Lot Depth:	115'	
12	Max Lot Coverage SF and %:	2,867 SF (30.0%)	Proposed Lot Coverage SF and %:	2,866 SF (29.9%)	
13	Existing Lot Coverage SF and %:	2,843SF (29.75%)	Net Lot coverage (garage-storage)		
14	Front Yard Open Space SF and %:	1,260 SF (50.08%)	Rear Yard Open Space SF and %:	1,219 SF (74.05%)	
15	Max Unit Size SF and %:	4,778 SF (50.0%)	Proposed Unit Size SF and %:	4,777 SF (49.99%)	
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	2,711 SF	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	NO	
	<b>ZONING INFORMATION / CALCULATION</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
19	Height measured from B.F.E. plus freeboard	24'-0"	23'-10"	23'-10"	
	Front Setbacks:				
20	Front First level:	20'-0"	30'-0"	30'-0"	
	Front second level:	30'-0"	30'-0"	30'-0"	
	Front second level if lot coverage is 25% or greater:				
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	29.27' (35.0%)	15.00' (17.72%)	15.00' (17.72%)	
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.				
22	Sum of side yard :	21'-0"	21'-2"	21'-2"	
23	Side 1:	10'-0"	10'-0"	10'-0"	
24	Side 2 or (facing street):	11'-0"	11'-2"	11'-2"	
25	Rear:	20'-0"	20'-7"	20'-7"	
26	Accessory Structure Side 1:	N/A	N/A	N/A	
27	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	
28	Accessory Structure Rear:	N/A	N/A	N/A	
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.

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02-3222-010-0740

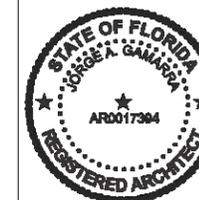
DATE: 03/7/22  
PROJECT NO

REVISION

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SCALE:

ZONING DATA SHEET

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-0.0

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**EXISTING BUILDING  
FIRST FLOOR**

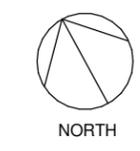
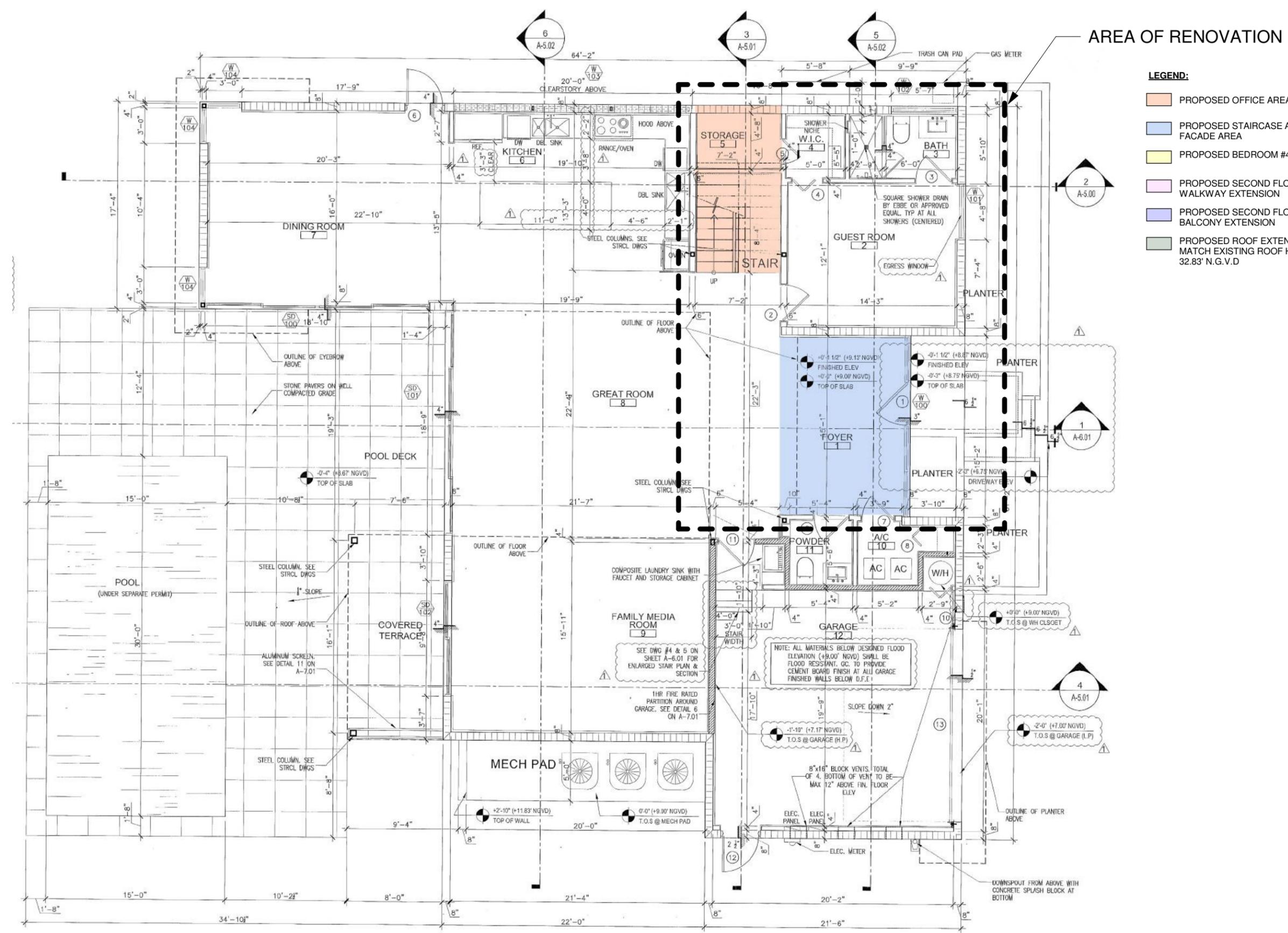
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**A-1.1**

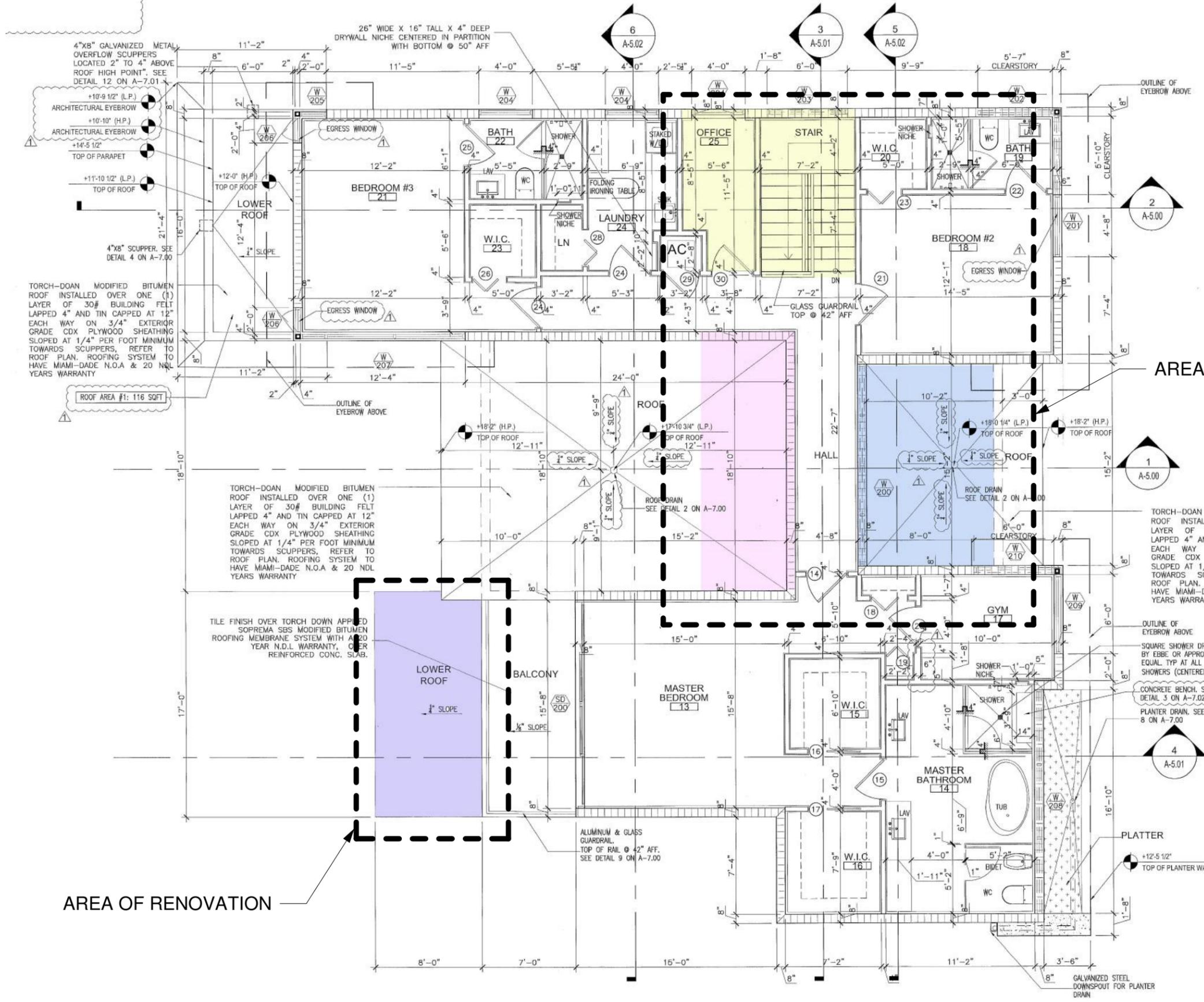
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**EXISTING FIRST FLOOR PLAN**

N.T.S





- LEGEND:**
- PROPOSED OFFICE AREA
  - PROPOSED STAIRCASE AND FRONT FACADE AREA
  - PROPOSED BEDROOM #4 AREA
  - PROPOSED SECOND FLOOR WALKWAY EXTENSION
  - PROPOSED SECOND FLOOR MASTER BALCONY EXTENSION
  - PROPOSED ROOF EXTENSION TO MATCH EXISTING ROOF HEIGHT OF 32.83' N.G.V.D

AREA OF RENOVATION

AREA OF RENOVATION



# EXISTING SECOND FLOOR PLAN

N.T.S

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SCALE:

## EXISTING BUILDING SECOND FLOOR PLAN

ARCHITECT OF RECORD



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**A-1.3**

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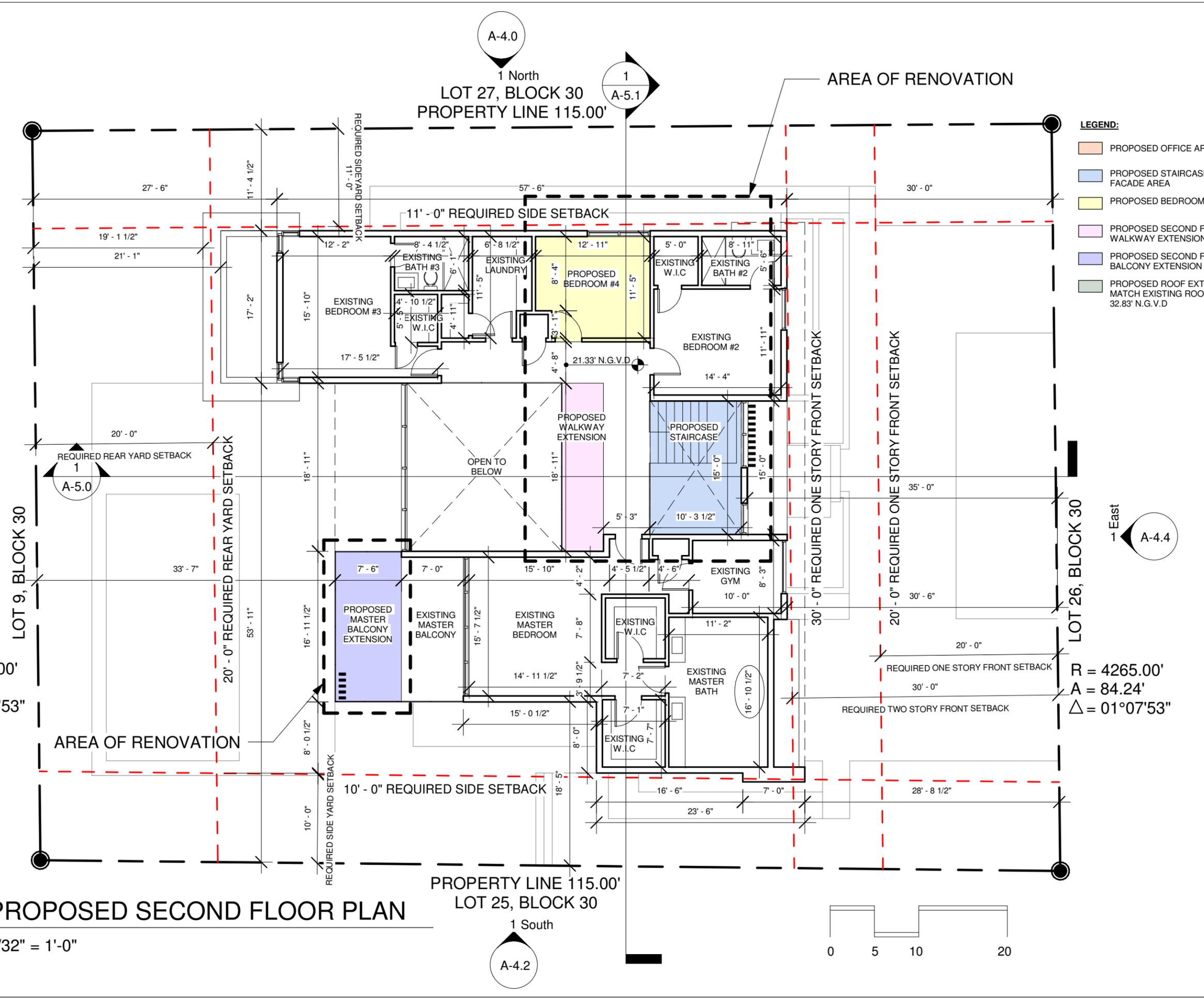
DATE:  
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SCALE:

**PROPOSED BUILDING  
SECOND FLOOR PLAN**

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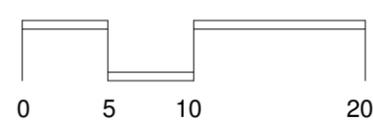
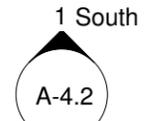


R = 4150.00'  
A = 81.97'  
Δ = 01°07'53"

R = 4265.00'  
A = 84.24'  
Δ = 01°07'53"

**PROPOSED SECOND FLOOR PLAN**

3/32" = 1'-0"



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**EXISTING BUILDING  
ROOF PLAN**

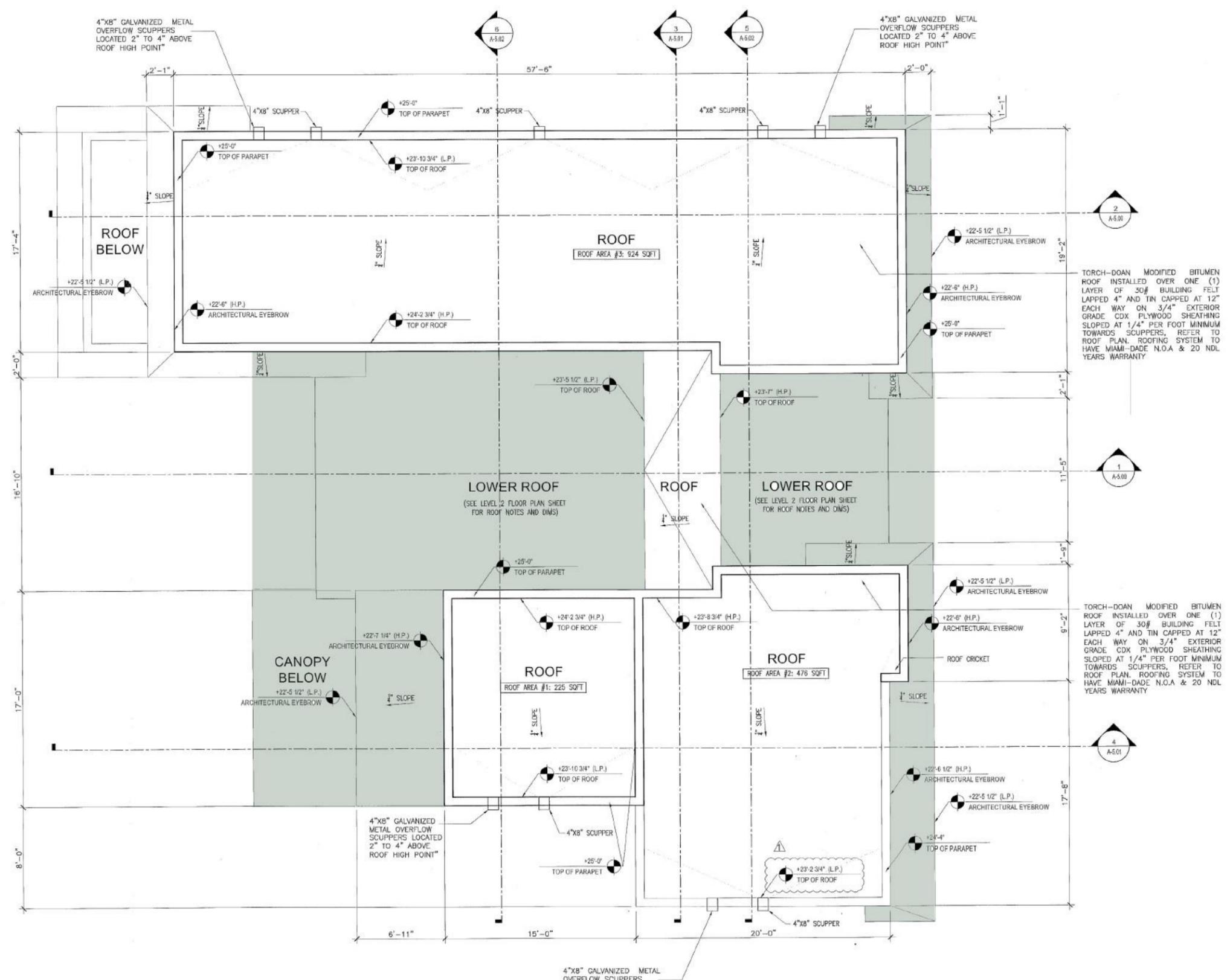
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LIC. # AR0017394

**A-1.5**

DRAWN BY: F.S.



**LEGEND:**

- PROPOSED OFFICE AREA
- PROPOSED STAIRCASE AND FRONT FACADE AREA
- PROPOSED BEDROOM #4 AREA
- PROPOSED SECOND FLOOR WALKWAY EXTENSION
- PROPOSED SECOND FLOOR MASTER BALCONY EXTENSION
- PROPOSED ROOF EXTENSION TO MATCH EXISTING ROOF HEIGHT OF 32.83' N.G.V.D

**1 ROOF PLAN**  
1/4" = 1'-0"

SIZING SCUPPERS FOR A 5-FOOT PER HOUR RATE OF RAINFALL  
F.B.C. TABLE 1106.7

HEAD IN INCHES	HORIZONTALLY PROJECTED ROOF AREA (SQ. FEET)						
	LENGTH OF WEIR IN INCHES						
	4	6	8	12	16	20	24
1	230	346	461	692	923	1153	1384
2	641	961	1282	1923	2564	3205	3846
3	1153	1730	2307	3461	4615	5769	6923
4	1754	2692	3539	5394	7179	8974	10769

EMERGENCY OVERFLOW SCUPPER CALCULATION:

ROOF AREA	AREA	HEAD	LENGTH OF WEIR OPENING	OVERFLOW SCUPPER PROVIDED
ROOF AREA 1:	225 SF	12"	4" REQUIRED	4" x 8"
ROOF AREA 2:	476 SF	12"	4" REQUIRED	4" x 8"
ROOF AREA 3:	924 SF	12"	6" REQUIRED	4" x 8"

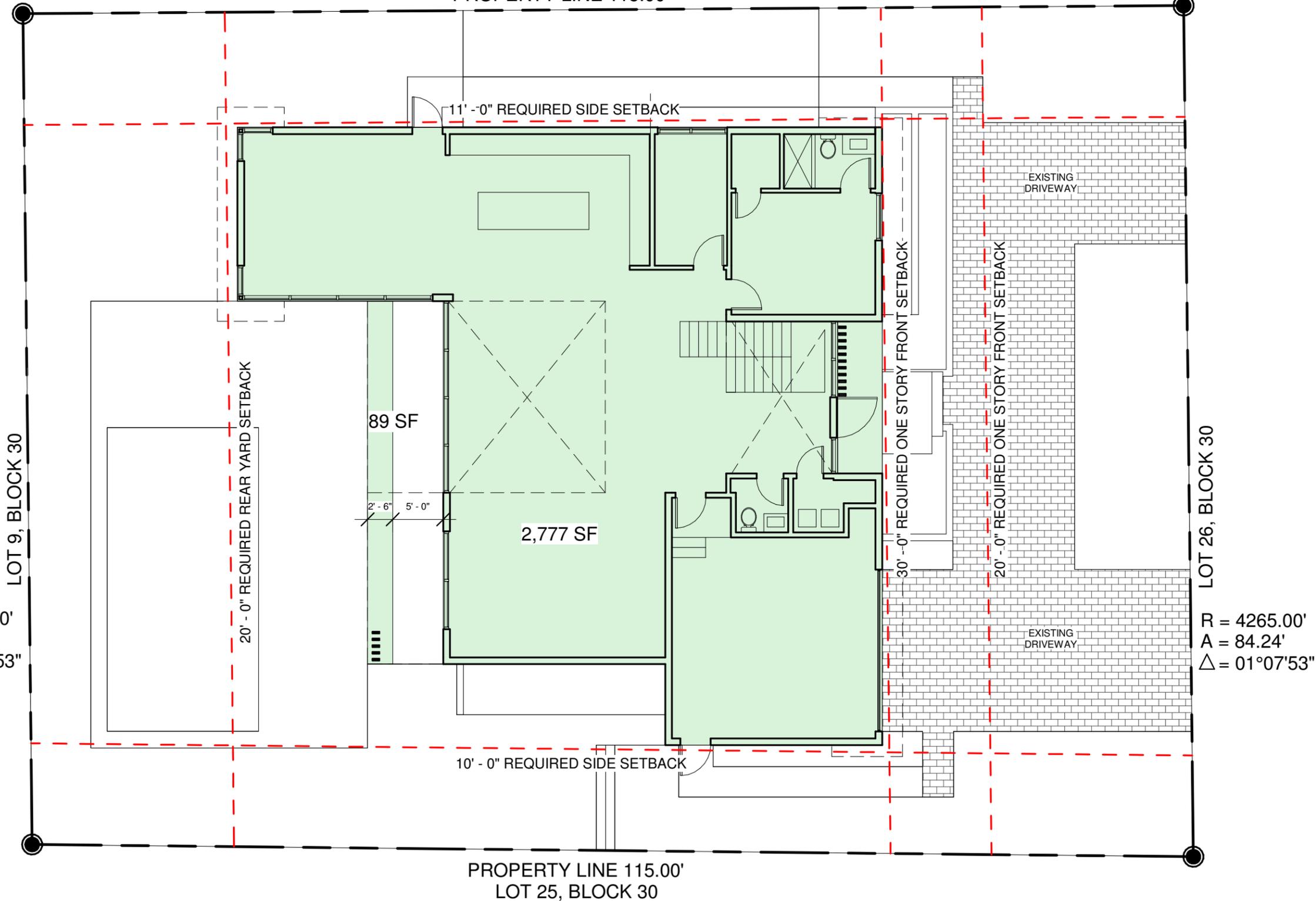


**EXISTING ROOF PLAN**

N.T.S



LOT 27, BLOCK 30  
PROPERTY LINE 115.00'



R = 4150.00'  
A = 81.97'  
Δ = 01°07'53"

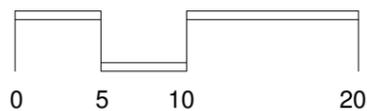
R = 4265.00'  
A = 84.24'  
Δ = 01°07'53"

PROPERTY LINE 115.00'  
LOT 25, BLOCK 30



**LOT COVERAGE**

3/32" = 1'-0"



LOT SIZE: 9,556 SF

ALLOWED LOT COVERAGE: 2,867 SF (30.0%)  
PROPOSED LOT COVERAGE: 2,777 SF+89 SF = 2,866 SF (29.99%)

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**ZONING DIAGRAM - LOT COVERAGE**

ARCHITECT OF RECORD

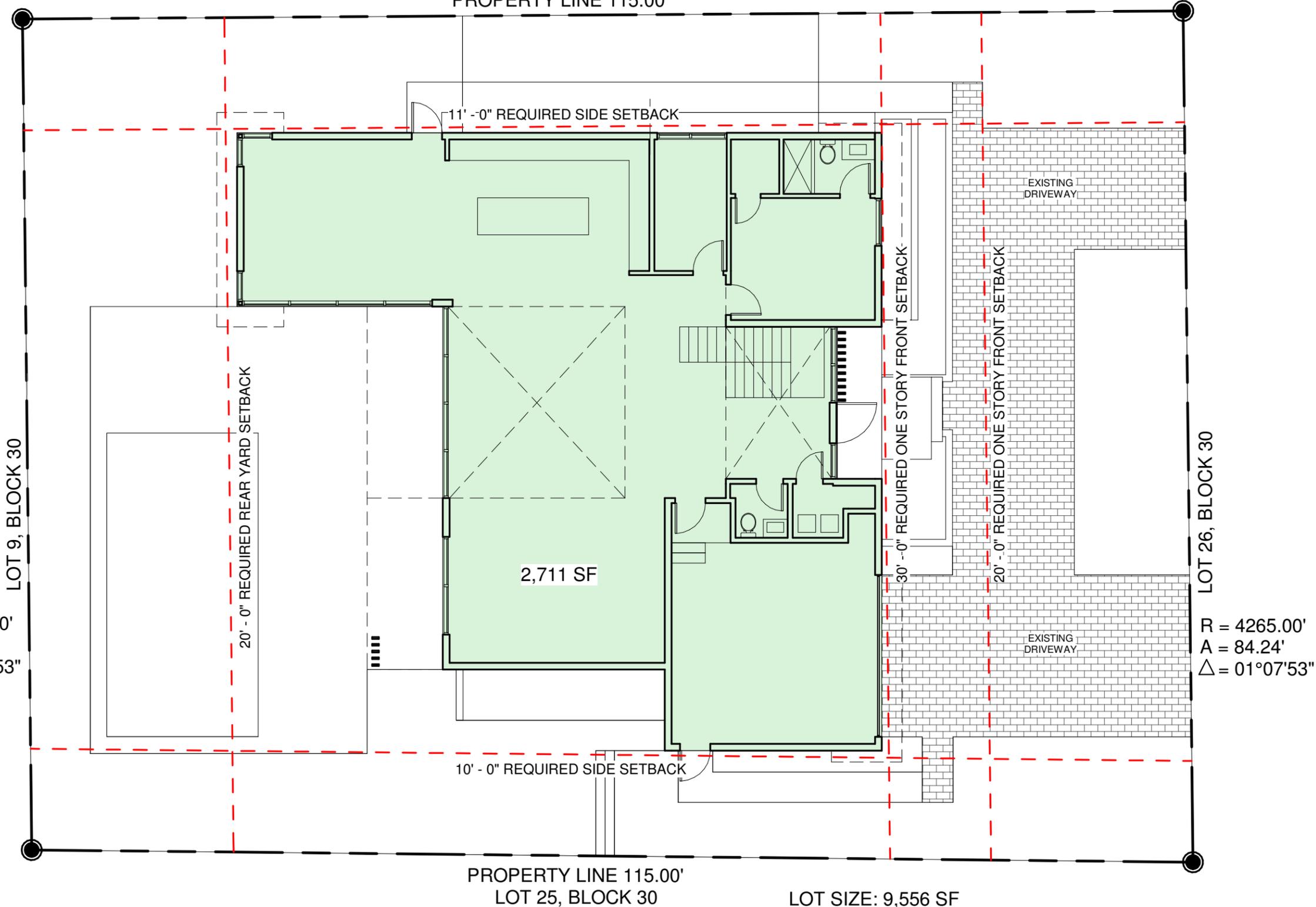


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**A-2.0**

DRAWN BY: F.S.

LOT 27, BLOCK 30  
PROPERTY LINE 115.00'



R = 4150.00'  
A = 81.97'  
Δ = 01°07'53"

R = 4265.00'  
A = 84.24'  
Δ = 01°07'53"

2,711 SF

10' - 0" REQUIRED SIDE SETBACK

PROPERTY LINE 115.00'  
LOT 25, BLOCK 30

LOT SIZE: 9,556 SF

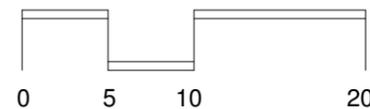
ALLOWED UNIT SIZE: 4,778 SF (50.0%)

PROPOSED UNIT SIZE:  
FIRST FLOOR: 2,711 SF  
SECOND FLOOR: 2,066 SF  
TOTAL UNIT SIZE: 4,777 SF (49.99%)



FIRST FLOOR PLAN - UNIT SIZE

3/32" = 1'-0"



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ZONING DIAGRAM - UNIT  
SIZE FIRST FLOOR

ARCHITECT OF RECORD

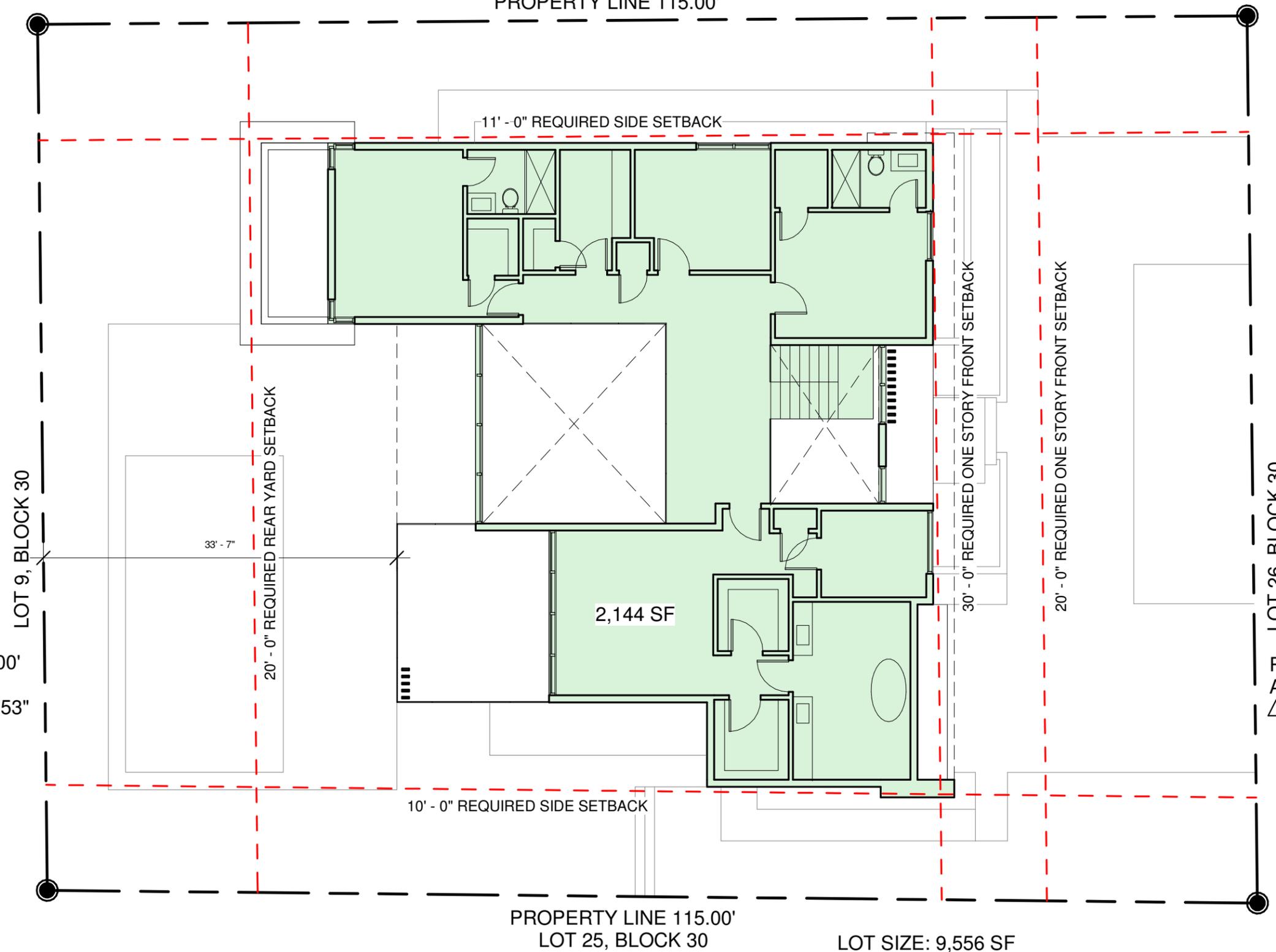


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A-2.1

DRAWN BY: F.S

LOT 27, BLOCK 30  
PROPERTY LINE 115.00'



R = 4150.00'  
A = 81.97'  
 $\Delta = 01^{\circ}07'53''$

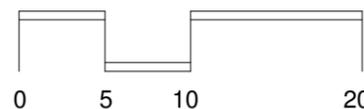
R = 4265.00'  
A = 84.24'  
 $\Delta = 01^{\circ}07'53''$

PROPERTY LINE 115.00'  
LOT 25, BLOCK 30

LOT SIZE: 9,556 SF

ALLOWED UNIT SIZE: 4,778 SF (50.0%)

PROPOSED UNIT SIZE:  
FIRST FLOOR: 2,711 SF  
SECOND FLOOR: 2,066 SF  
TOTAL UNIT SIZE: 4,777 SF (49.99%)



## SECOND FLOOR PLAN - UNIT SIZE

3/32" = 1'-0"



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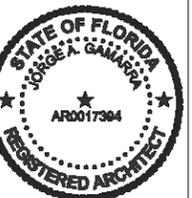
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ZONING DIAGRAM - UNIT  
SIZE SECOND FLOOR

ARCHITECT OF RECORD

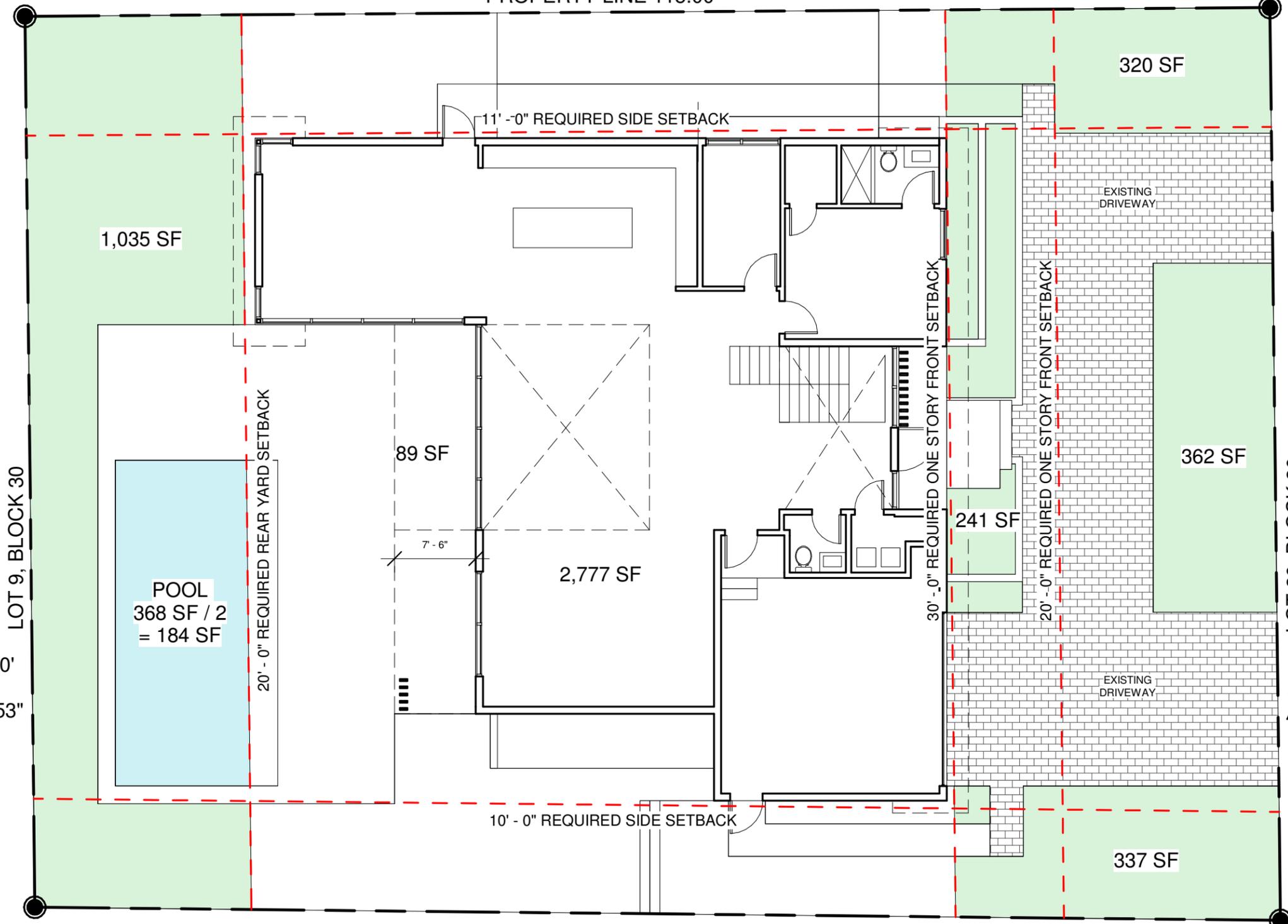


J. ALFREDO GAMARRA  
LIC. # AR0017394

**A-2.2**

DRAWN BY: F.S.

LOT 27, BLOCK 30  
PROPERTY LINE 115.00'



R = 4150.00'  
A = 81.97'  
 $\Delta = 01^{\circ}07'53''$

R = 4265.00'  
A = 84.24'  
 $\Delta = 01^{\circ}07'53''$

PROPERTY LINE 115.00'  
LOT 25, BLOCK 30

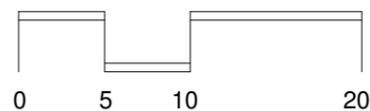
FRONT YARD AREA: 2,516 SF  
REQUIRED OPEN SPACE: 1,258 (50%)  
PROPOSED OPEN SPACE: 337 SF+362 SF+320 SF+241 SF = 1,260 (50.08%)

REAR YARD AREA: 1,646 SF  
REQUIRED OPEN SPACE: 1,152 SF (70.0%)  
PROPOSED OPEN SPACE: 1,035 SF+184 SF = 1,219 SF (74.05%)



OPEN SPACE

3/32" = 1'-0"



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PROJECT:  
4520 MERIDIAN AVE,  
MIAMI BEACH, FL 33140  
FOLIO NUMBER:  
02-3222-010-0740  
DATE: 03/7/22  
PROJECT NO

REVISION

DATE:  
DRAFTED BY:  
SCALE:

ZONING DIAGRAM - OPEN SPACE

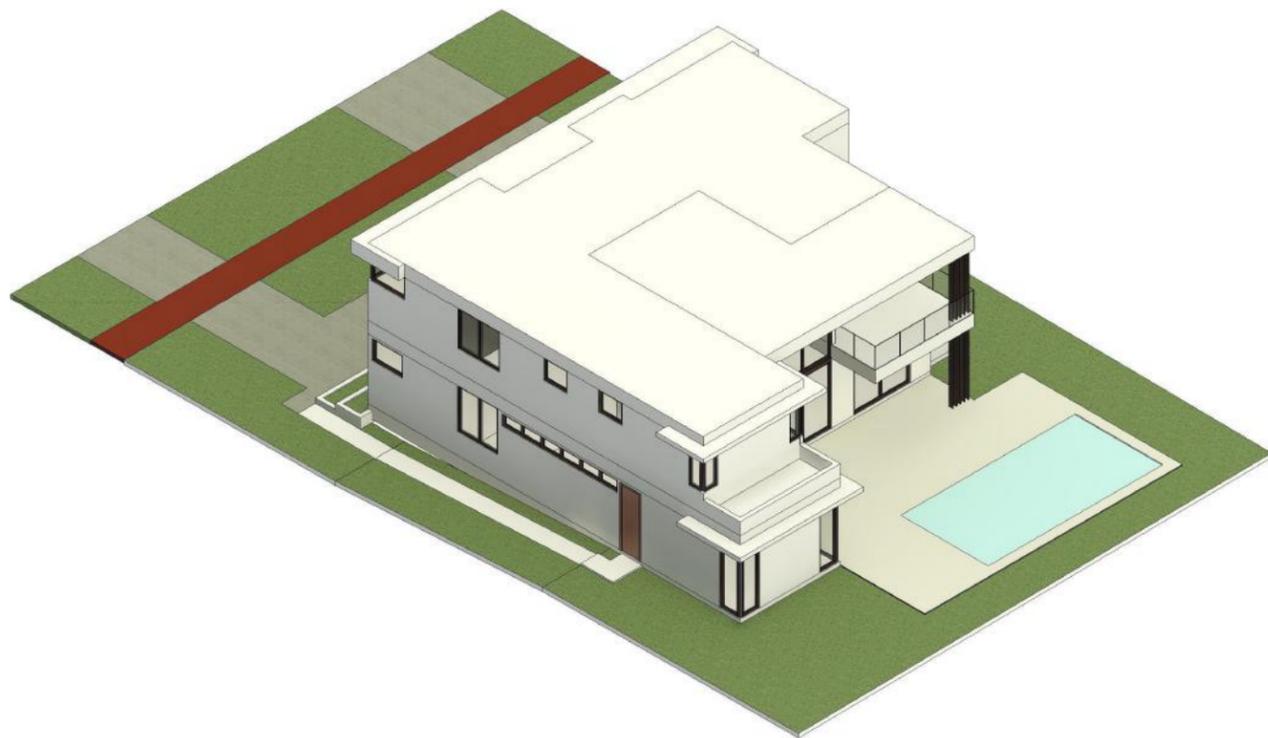
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-2.3

DRAWN BY: F.S.



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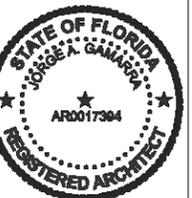
PROJECT:  
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FOLIO NUMBER:  
02-3222-010-0740  
DATE: 03/7/22  
PROJECT NO

REVISION

DATE:  
DRAFTED BY:  
SCALE:

ZONING DIAGRAM -  
AXONOMETRIC

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

**A-2.4**

DRAWN BY: F.S

**MT1**  
ALUMINUM- BRONZE FINISH



**WD1**  
ALUMINUM PANEL CLADDING- WOOD FINISH



**ST1**  
STONE EXTERIOR CLADDING  
BUSH-HAMMERED FINISH



**GL1**  
CLEAR GLAZING



**PS1**  
PAINTED STUCOO EXTERIOR FINISH



**WD2**  
ALUMINUM SLAT CLADDING- WOOD FINISH

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02-3222-010-0740  
DATE: 03/7/22  
PROJECT NO

REVISION	

DATE:  
DRAFTED BY:  
SCALE:

**MATERIAL BOARD**

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

**A-3.0**

DRAWN BY: F.S



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FOLIO NUMBER:  
02-3222-010-0740  
DATE: 03/7/22  
PROJECT NO

REVISION

NO.	DESCRIPTION

DATE:  
DRAFTED BY:  
SCALE:

COLORED ELEVATION - NORTH

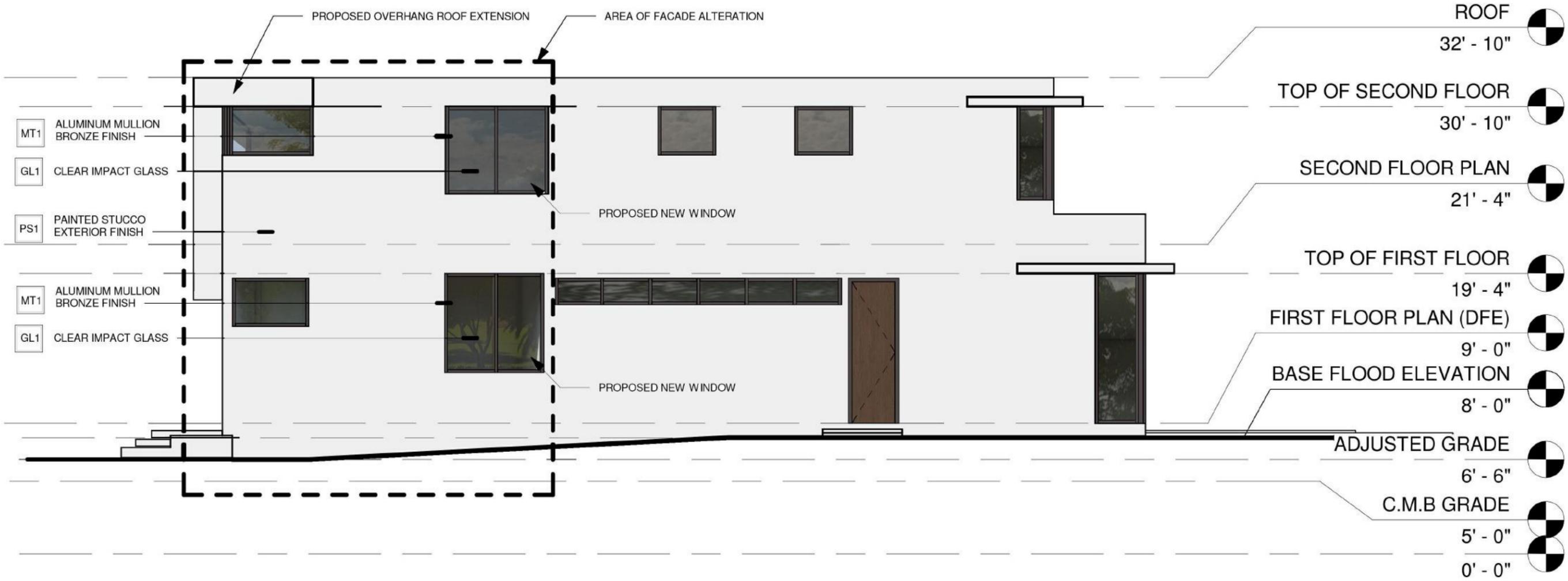
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-4.1

DRAWN BY: F.S



1

**NORTH ELEVATION**

N.T.S

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FOLIO NUMBER:  
02-3222-010-0740  
DATE: 03/7/22  
PROJECT NO

REVISION

DATE:  
DRAFTED BY:  
SCALE:

ELEVATION - SOUTH

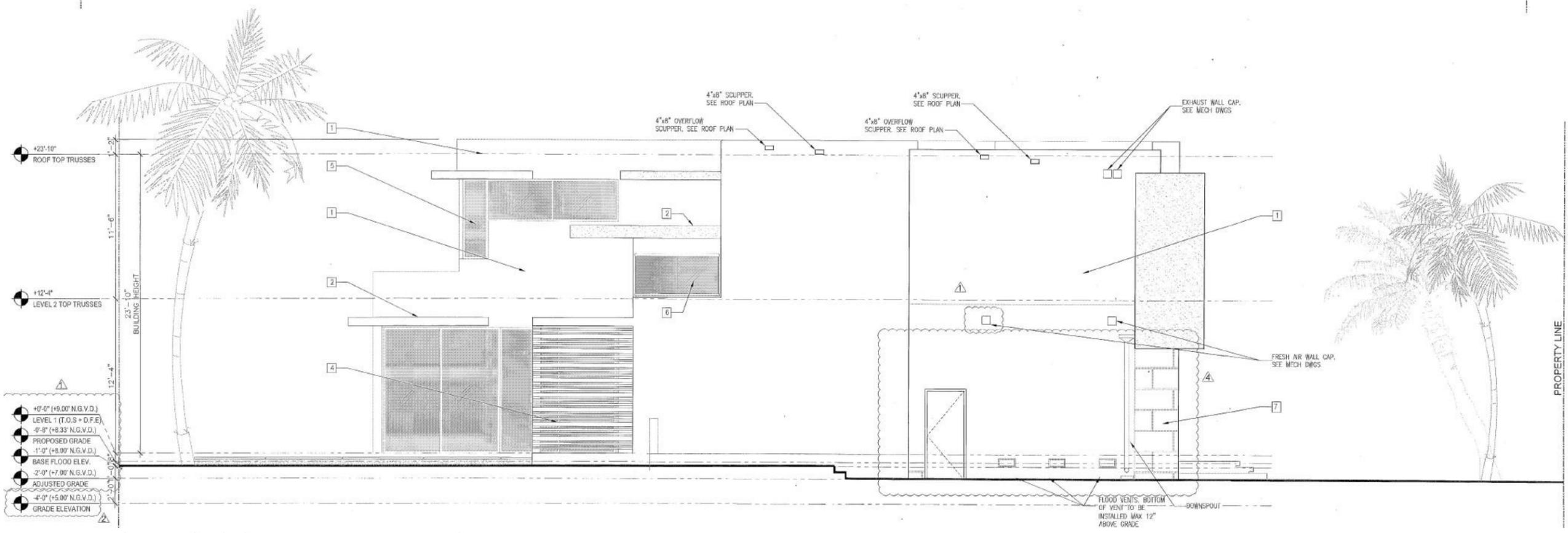
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

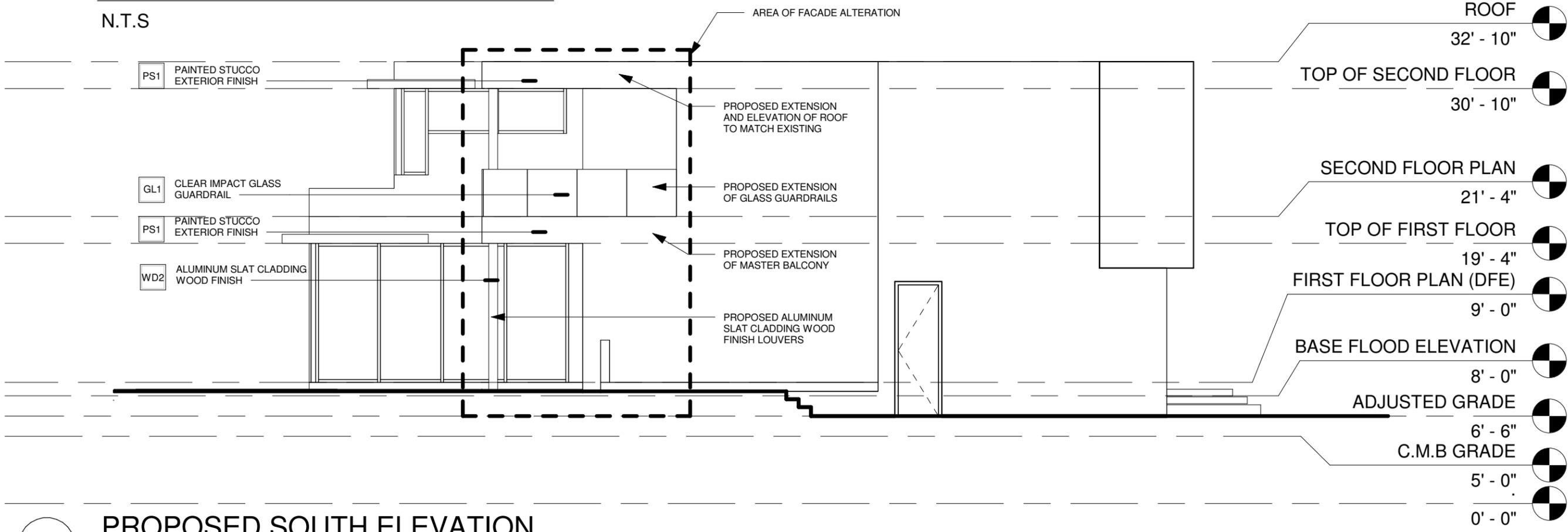
**A-4.2**

DRAWN BY: F.S.



**EXISTING SOUTH ELEVATION**

N.T.S



**PROPOSED SOUTH ELEVATION**

1/8" = 1'-0"

1

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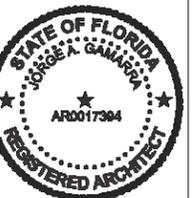
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FOLIO NUMBER:  
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DATE: 03/7/22  
PROJECT NO

REVISION

DATE:  
DRAFTED BY:  
SCALE:

COLORED ELEVATION -  
SOUTH

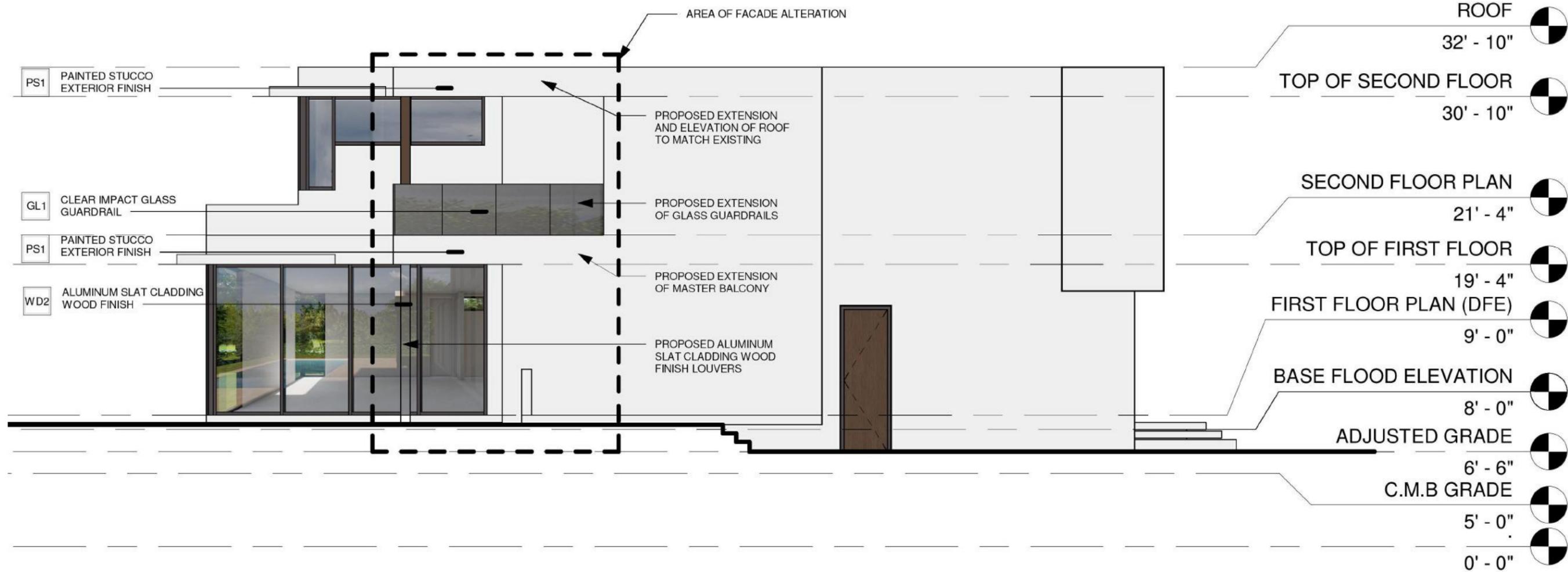
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-4.3

DRAWN BY: F.S



1 SOUTH ELEVATION  
N.T.S



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FOLIO NUMBER:  
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PROJECT NO

REVISION

NO.	DESCRIPTION

DATE:

DRAFTED BY:

SCALE:

COLORED ELEVATION -  
EAST

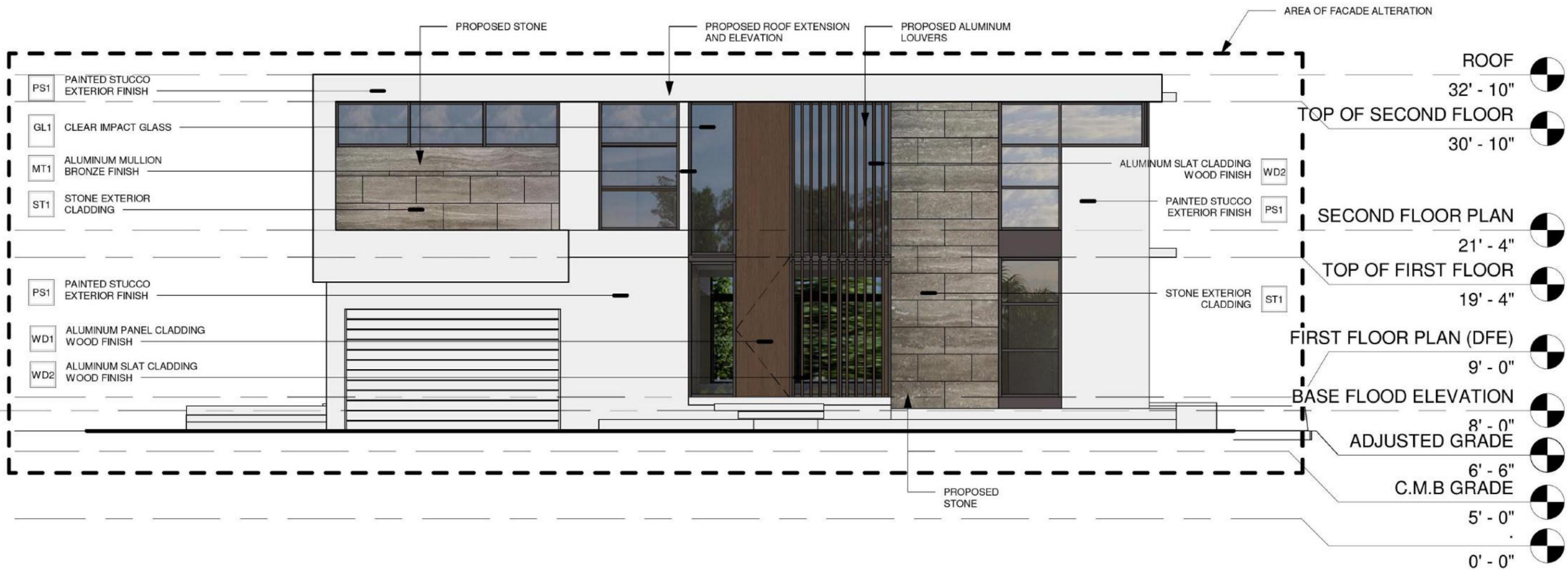
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-4.5

DRAWN BY: F.S



1 EAST ELEVATION  
N.T.S

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FOLIO NUMBER:  
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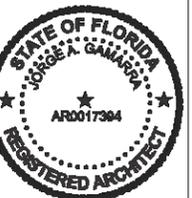
DATE: 03/7/22  
PROJECT NO

REVISION

DATE:  
DRAFTED BY:  
SCALE:

ELEVATION - WEST

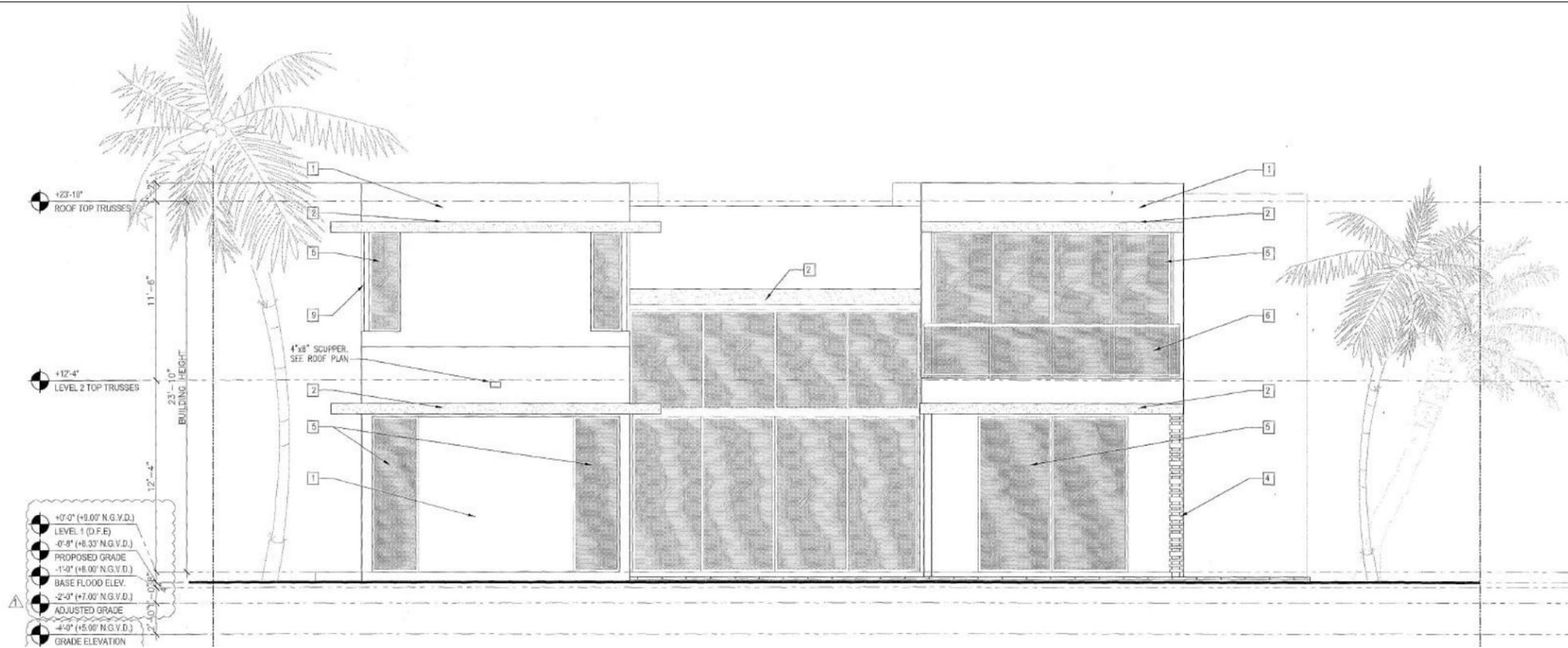
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
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**A-4.6**

DRAWN BY: F.S



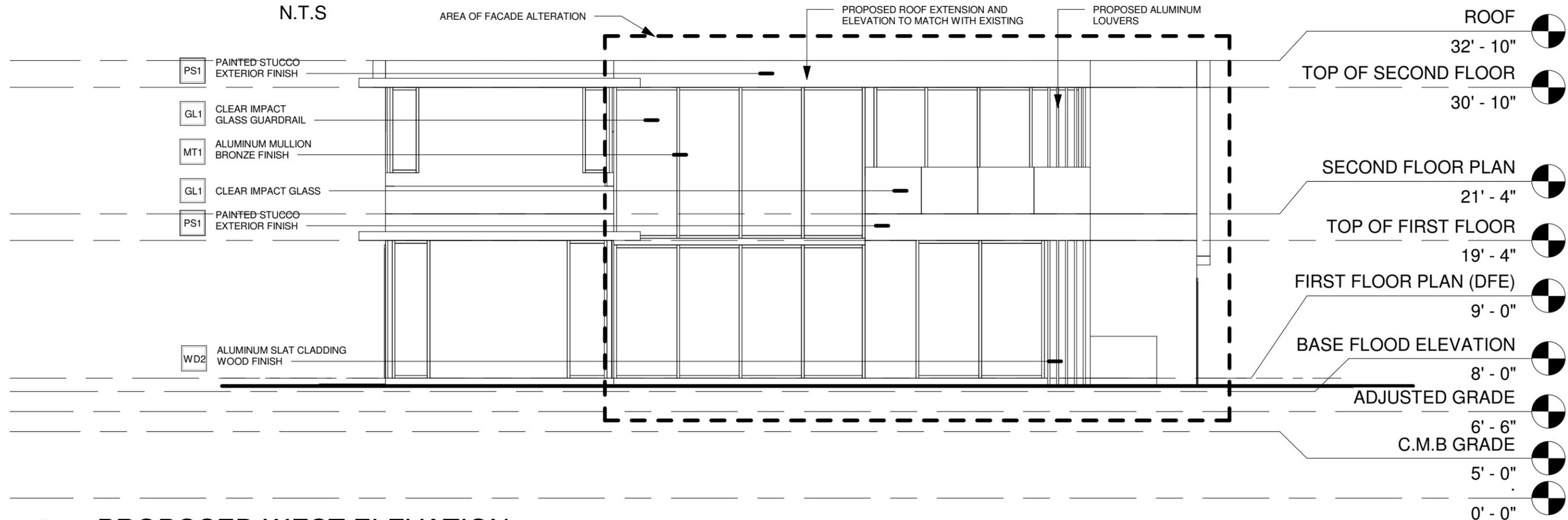
**EXISTING WEST ELEVATION**

N.T.S

AREA OF FACADE ALTERATION

PROPOSED ROOF EXTENSION AND ELEVATION TO MATCH WITH EXISTING

PROPOSED ALUMINUM LOUVERS



**PROPOSED WEST ELEVATION**

1/8" = 1'-0"

1

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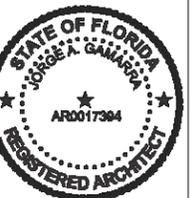
PROJECT:  
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DATE: 03/7/22  
PROJECT NO

REVISION

DATE:  
DRAFTED BY:  
SCALE:

COLORED ELEVATION -  
WEST

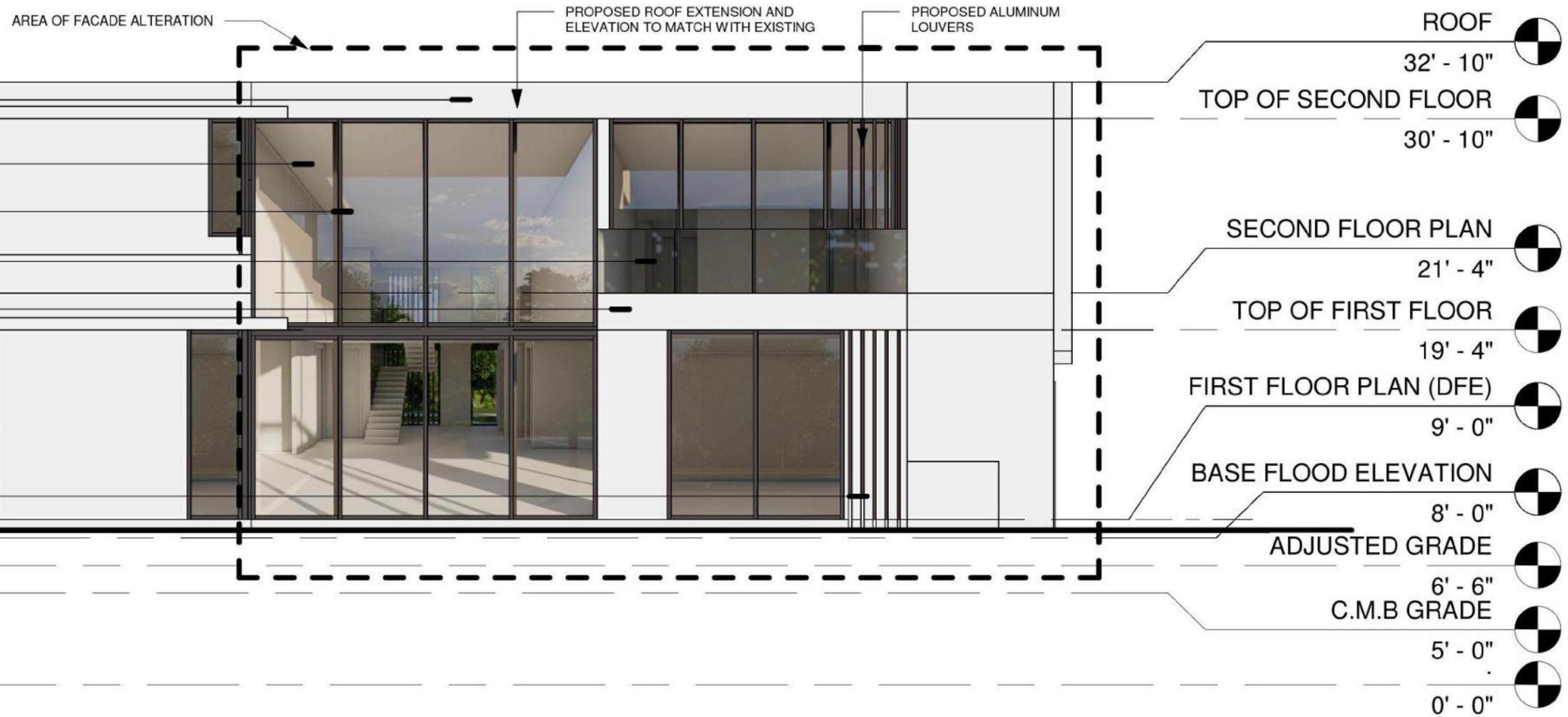
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-4.7

DRAWN BY: F.S



1 WEST ELEVATION  
N.T.S

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REVISION

DATE:  
DRAFTED BY:  
SCALE:

TRANSVERSE SECTION

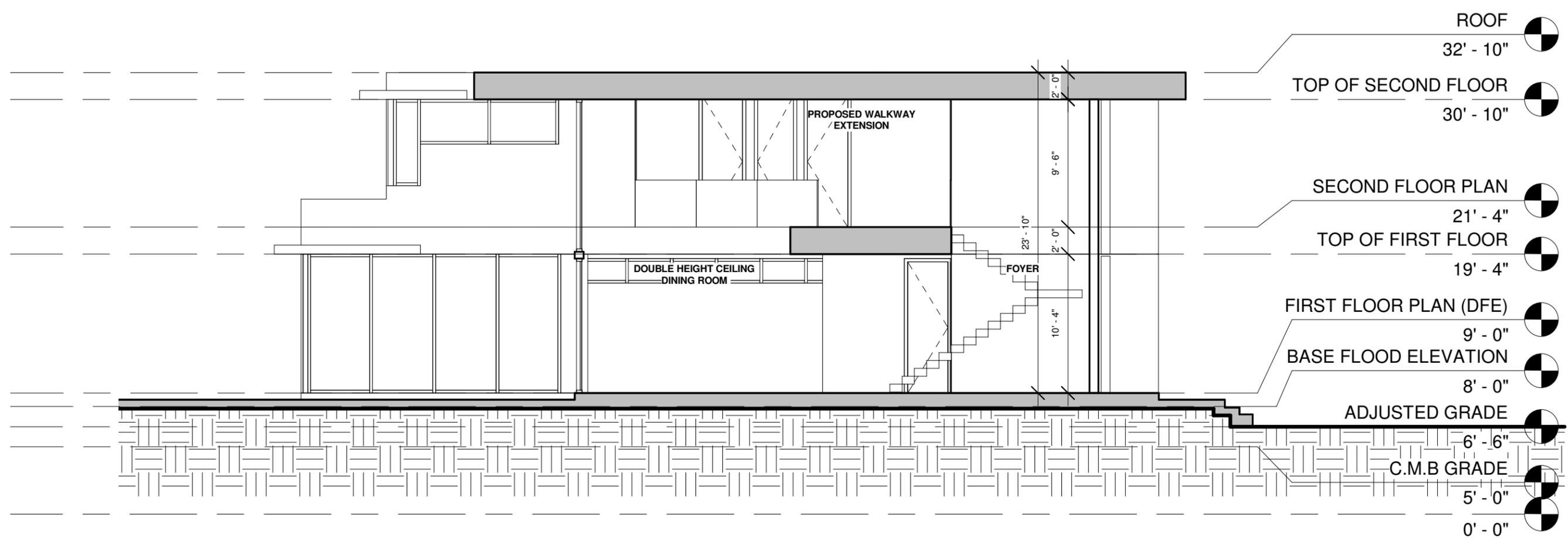
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-5.0

DRAWN BY: F.S



1 TRANSVERSE SECTION  
1/8" = 1'-0"

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PROJECT NO

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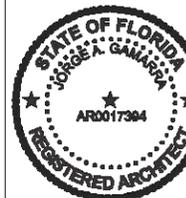
DATE:

DRAFTED BY:

SCALE:

LONGITUDINAL SECTION

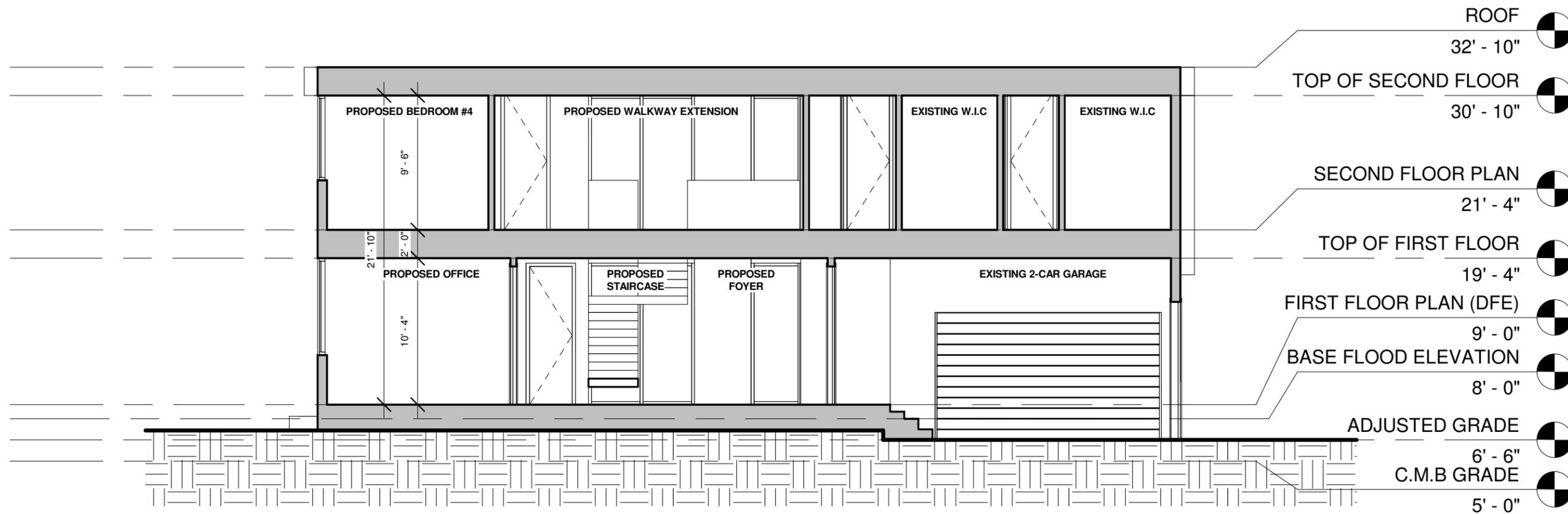
ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

A-5.1

DRAWN BY: F.S



1

LONGITUDINAL SECTION

3/16" = 1'-0"



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PROJECT NO

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DATE:

DRAFTED BY:

SCALE:

**RENDERING - FRONT  
FACADE**

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

**A-6.0**

DRAWN BY: F.S



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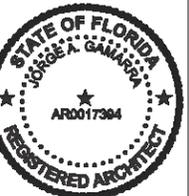
PROJECT:  
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FOLIO NUMBER:  
02-3222-010-0740  
DATE: 03/7/22  
PROJECT NO

REVISION

DATE:  
DRAFTED BY:  
SCALE:

**RENDERING - REAR  
FACADE**

ARCHITECT OF RECORD



J. ALFREDO GAMARRA  
LIC. # AR0017394

**A-6.1**

DRAWN BY: F.S