



3747 Chase Ave
Miami Beach, FL 33140
DESIGN REVIEW BOARD MEETING #DRB21-0730

MAY 3, 2022

Presentation by Yefim Massarsky Architecture

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AGENDA

- REQUEST TO DEMO EXISTING STRUCTURE AT **3747 CHASE AVE**



AGENDA: REQUEST TO DEMO EXISTING STRUCTURE AT 3747 CHASE AVE



- HAS SOME FEATURES OF THE MEDITERRANEAN REVIVAL - NOT WELL PRONOUNCED
- BULKY RECTANGULAR FRONT CANOPY, DISPROPORTIONAL
- HOTEL LOOK & FEEL, OBSTRUCTS THE VIEW OF THE HOUSE
- PORTE COCHERE SEEMS AS GARAGE
- NO PARTICULARLY SIGNIFICANT FLOOR PLAN
- NOT ARCHITECTURALLY SIGNIFICANT PER REPORT ON HISTORIC RELEVANCE BY NAJEEB CAMPBELL, PROFESSOR OF ARCHITECTURE AND HISTORIC PRESERVATION BOARD MEMBER, CITY OF MIAMI

NEW CONSTRUCTION AT 3747 CHASE AVE



FRONT FACADE

NEW CONSTRUCTION AT 3747 CHASE AVE



FRONT FAÇADE – VIEW 2

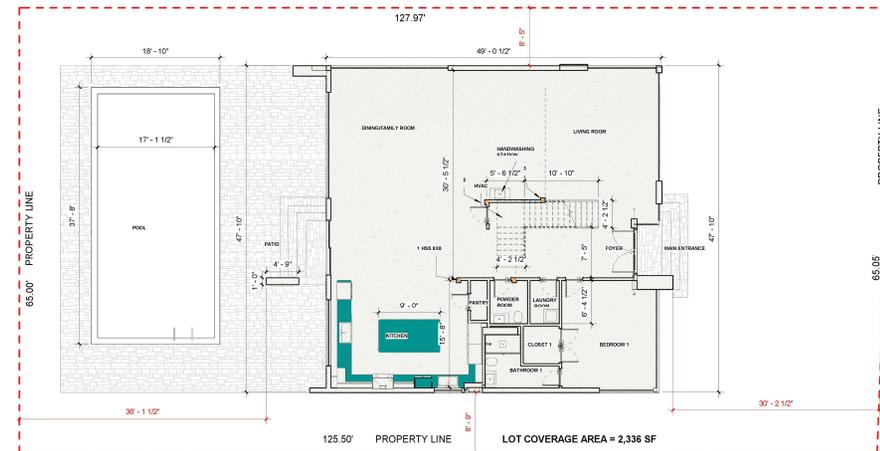
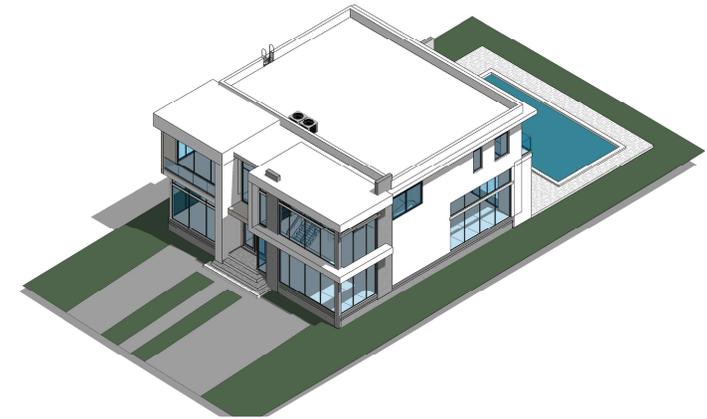
NEW CONSTRUCTION AT 3747 CHASE AVE



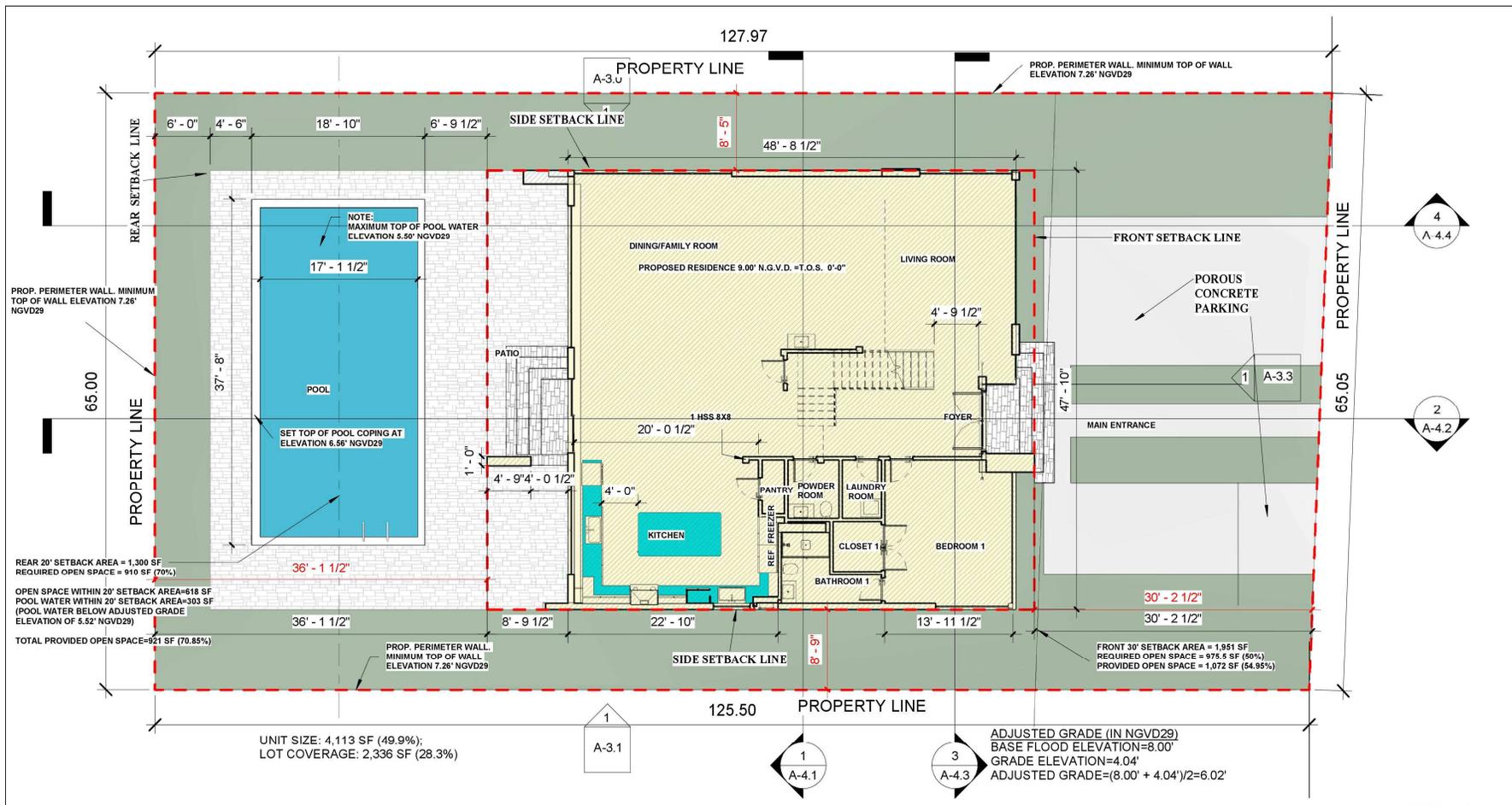
REAR FAÇADE

NEW CONSTRUCTION AT 3747 CHASE AVE

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET				
ITEM #	Zoning Information			
1	Address:	3747 Chase Ave		
2	Folio number(s):	02-3227-016-0590		
3	Board and file numbers :	N/A		
4	Year built:	1928	Zoning District:	RS-4
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:	4.04' NGVD
6	Adjusted grade (Flood+Grade/2):	6.02' NGVD	Free board:	9.0' NGVD
7	Lot Area:	8,231 Sq.Ft		
8	Lot width:	65.00 ft.	Lot Depth:	127.97 ft.
9	Max Lot Coverage SF and %:	2,469.3 sf. (30%)	Proposed Lot Coverage SF and %:	2,336 sf. (28.3%)
10	Existing Lot Coverage SF and %:	4,346 sf (52%)	Lot coverage deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	1,072 sf (54.95% of 1,951 sf)	Rear Yard Open Space SF and %:	921 sf. (70.8% of 1,300 sf)
12	Max Unit Size SF and %:	4,115.5 sf (50%)	Proposed Unit Size SF and %:	4,113 sf. (50%)
13	Existing First Floor Unit Size:	Proposed First Floor Unit Size: 2,316 sf.		
14	Existing Second Floor Unit Size:	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) 1,797 sf.		
15		Proposed Second Floor Unit Size SF and % : 1,797 sf. (77%)		
16		Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below): N/A		
		Required	Existing	Proposed
17	Height:	24 ft.	N/A	24 ft
18	Setbacks:			
19	Front First level:	20 ft.	N/A	30 ft.
20	Front Second level:	30 ft.	N/A	30 ft.
21	Side 1:	7.5 ft.	N/A	8.42 ft.
22	Side 2 or (facing street):	8.75 ft.	N/A	8.75 ft.
23	Rear:	20 ft.	N/A	36.12 ft.
	Accessory Structure Side 1:		N/A	N/A
24	Accessory Structure Side 2 or (facing street) :		N/A	N/A
25	Accessory Structure Rear:		N/A	N/A
26	Sum of Side yard :	16.25 ft.	N/A	17.17 ft.
27	Located within a Local Historic District?			No
28	Designated as an individual Historic Single Family Residence Site?			No
29	Determined to be Architecturally Significant?			No
Notes:				
If not applicable write N/A				
All other data information should be presented like the above format				



- *Request the waiver for compliance with section Sec. 142-105(b)(4)© for 2nd front elevation.
- Proposed lot coverage exceeds 25%
 - 35% of 2nd floor front elevation is not set back a minimum of 5 feet from the required setback



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3747 CHASE AVE
MIAMI BEACH, FL 33140
FINAL SUBMITTAL: DRB21-0730

FOLIO: 02-3227-016-0590
OWNERS: IGAL & JANET HAIMOV



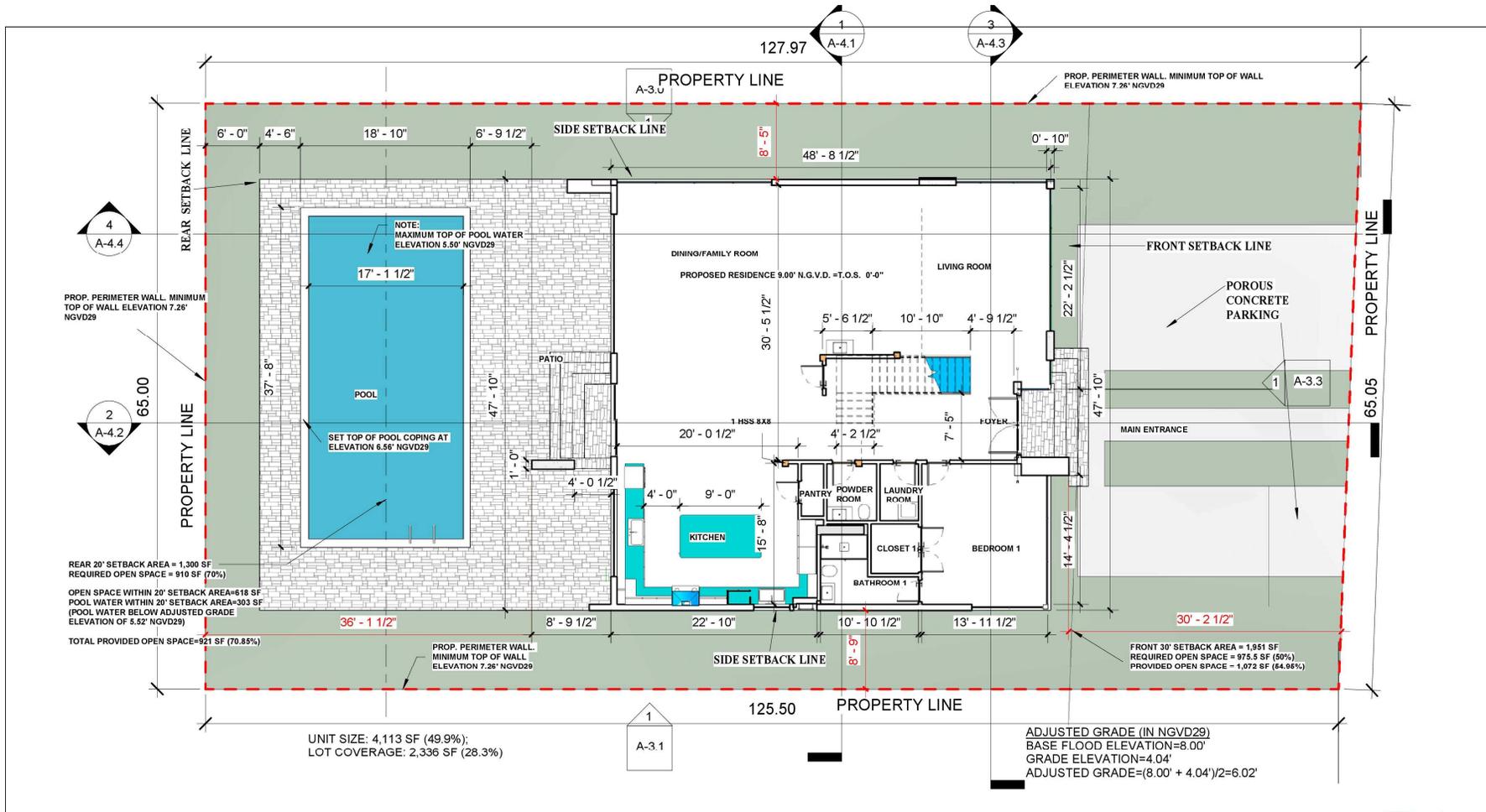
SITE PLAN

DATE: 03/07/2022

A-1.4

Scale 1" = 10'-0"





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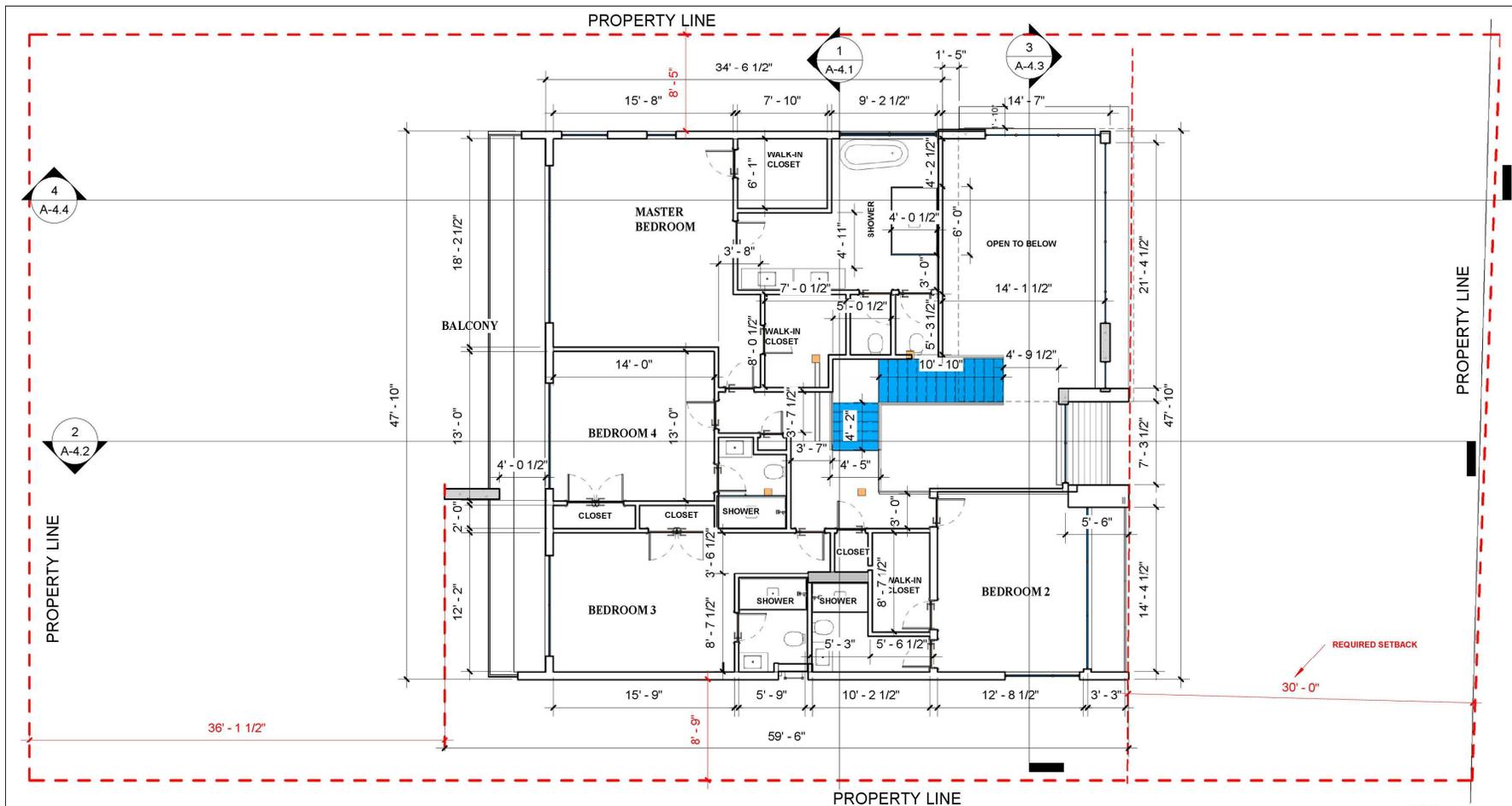
GROUND FLOOR PLAN

DATE: 03/07/2022

A-2.0

Scale 1" = 10'-0"





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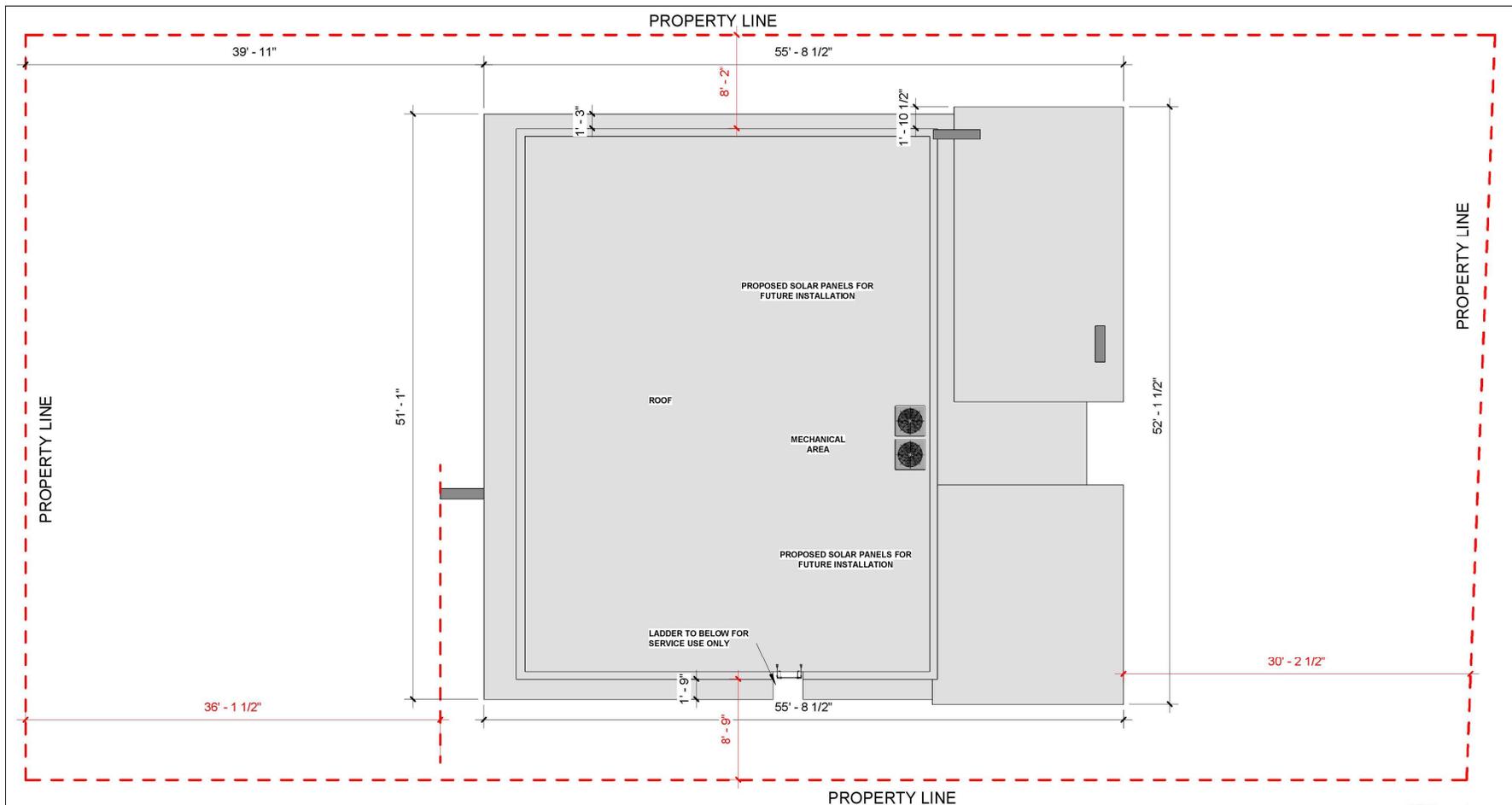
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SECOND FLOOR PLAN
 DATE: 03/07/2022
A-2.1
 Scale 1/8" = 1'-0"





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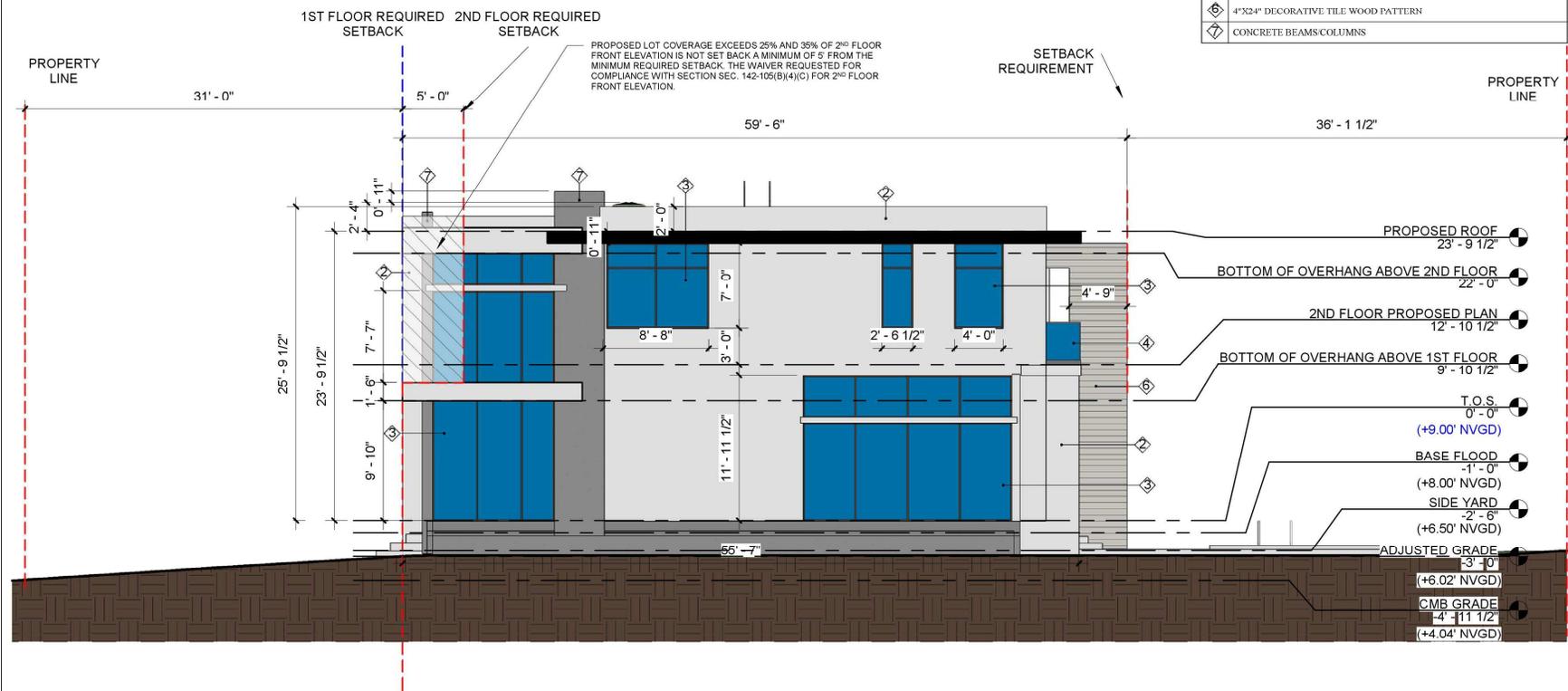
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OWNERS: IGAL & JANET HAIMOV



ROOF PLAN
 DATE: 03/07/2022
A-2.3
 Scale 1/8" = 1'-0"



FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42" A.F.F.
⑤	STEEL BEAMS/COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH
⑥	4"X24" DECORATIVE TILE WOOD PATTERN
⑦	CONCRETE BEAMS/COLUMNS



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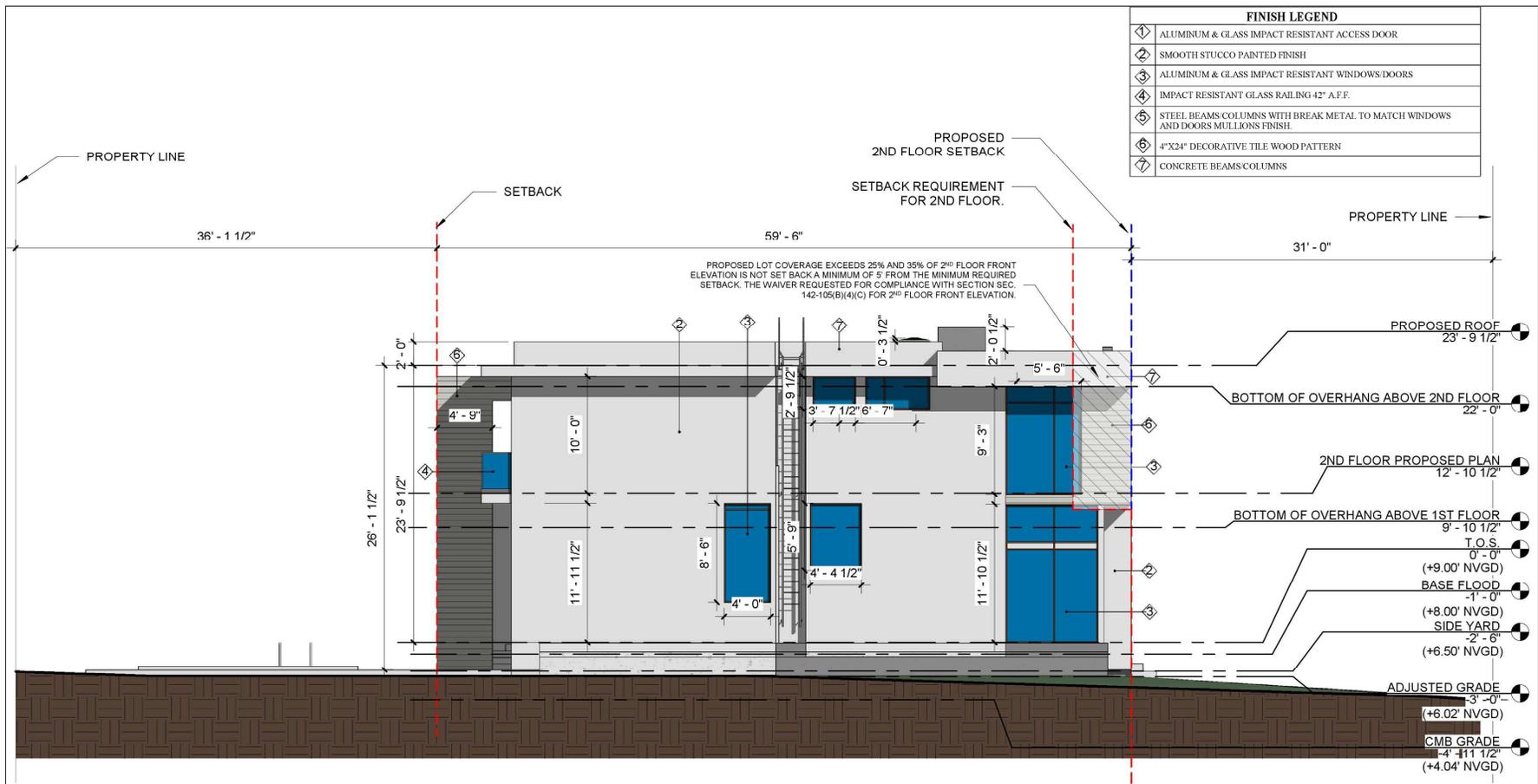
SOUTH ELEVATION

DATE: 03/07/2022

A-3.0

Scale 1/8" = 1'-0"





FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42\"/>

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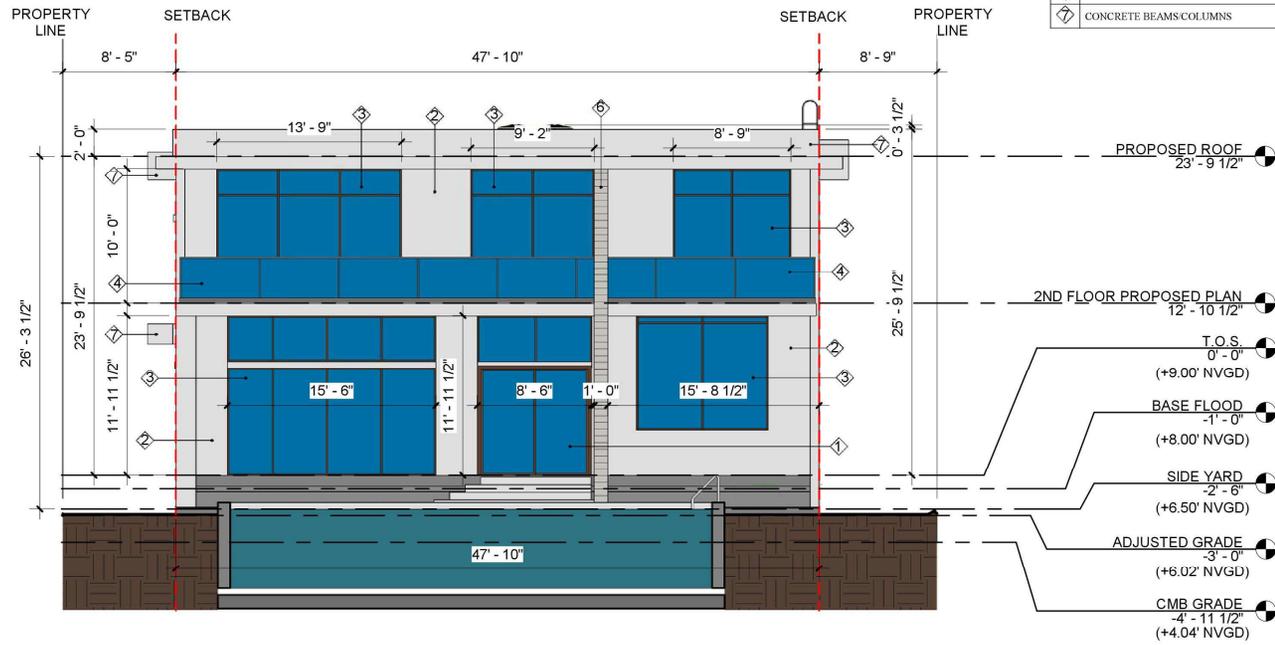
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NORTH ELEVATION
 DATE: 03/07/2022
A-3.1
 Scale 1/8" = 1'-0"



FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42" A.F.F.
⑤	STEEL BEAMS COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH
⑥	4"X24" DECORATIVE TILE WOOD PATTERN
⑦	CONCRETE BEAMS/COLUMNS



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EAST ELEVATION

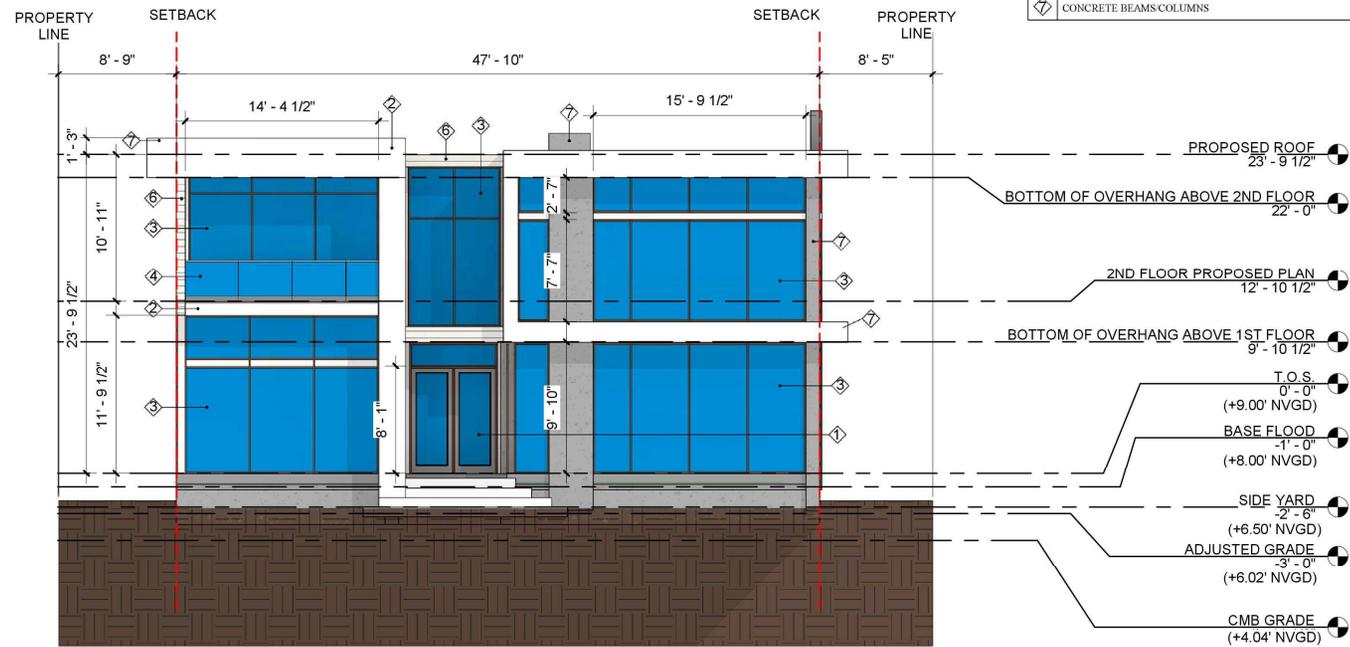
DATE: 03/07/2022

A-3.2

Scale 1/8" = 1'-0"



FINISH LEGEND	
①	ALUMINUM & GLASS IMPACT RESISTANT ACCESS DOOR
②	SMOOTH STUCCO PAINTED FINISH
③	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
④	IMPACT RESISTANT GLASS RAILING 42" A.F.F.
⑤	STEEL BEAMS/COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH
⑥	4"X24" DECORATIVE TILE WOOD PATTERN
⑦	CONCRETE BEAMS/COLUMNS



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WEST ELEVATION

DATE: 03/07/2022

A-3.3

Scale 1/8" = 1'-0"



