

**SCOPE OF WORK:**

A NEW 4 STORY PRIVATE ELEMENTARY AND MIDDLE SCHOOL BUILDING SERVING GRADES 3 THROUGH 8, WITH 1 CLASS PER GRADE.

**VARIANCES:**

1. A VARIANCE TO EXCEED BY 42'-6" THE MINIMUM REQUIRED INTERIOR SIDE SETBACK FOR A SCHOOL OF 50'-0" IN ORDER TO CONSTRUCT A SCHOOL BUILDING AT A SETBACK OF 7'-6" FROM THE NORTH AND SOUTH INTERIOR SIDE PROPERTY LINES.

2. A VARIANCE TO REDUCE BY 2 THE REQUIRED 2 OFF-STREET LOADING SPACES IN ORDER TO PROVIDE NO OFF-STREET LOADING SPACES

3. A VARIANCE TO REDUCE THE NORTH INTERIOR SIDE SETBACK BY 44" TO 3'-10" FOR A LENGTH OF 20'-6" FOR A 44" WIDE EXTERIOR STAIR.

# BASE CAMP 305

MIAMI BEACH - FLORIDA

HISTORIC PRESERVATION BOARD

FINAL SUBMISSION

APRIL 11, 2022

**ARQUITECTONICA**

2900 Oak Avenue Miami, Florida 33133  
TEL. 305.372.1812 FAX. 305.372.1175  
www.arquitectonica.com

**Base Camp 305**

Historic Preservation Board Submission

251 Washington Avenue, Miami Beach, FL 33139

DRAWING: COVER SHEET

SCALE:

DATE: APRIL 11, 2022

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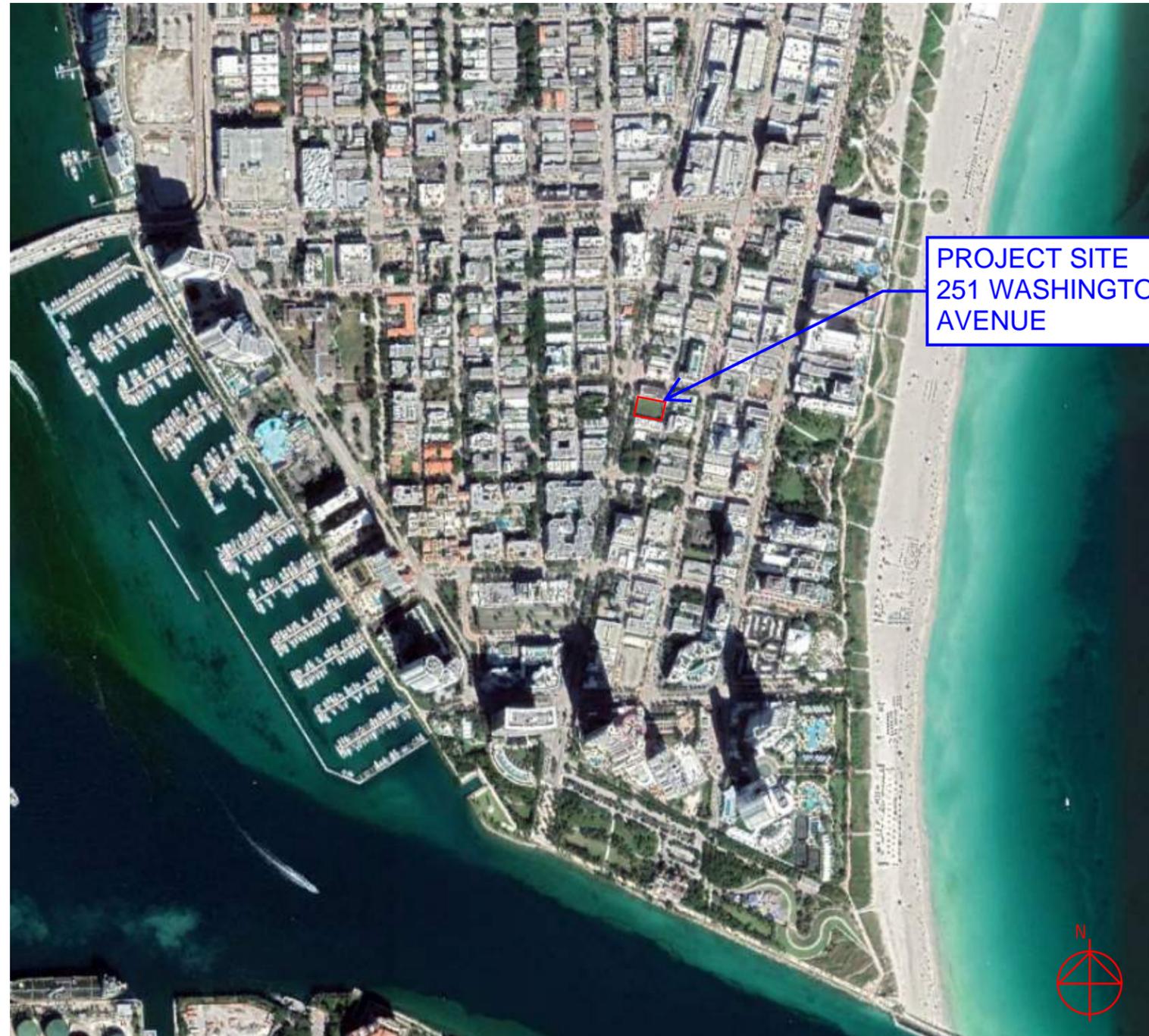
**Zoning Schedule**

Lot Addresses: 251 WASHINGTON AVE - MIAMI BEACH, FL 33139  
 Zoning District: R-PS3 Residential Performance Standard District, Medium High Density  
 Overlays: Ocean Beach Historic District  
 Flood Zone: AE 8  
 Use: Institutional

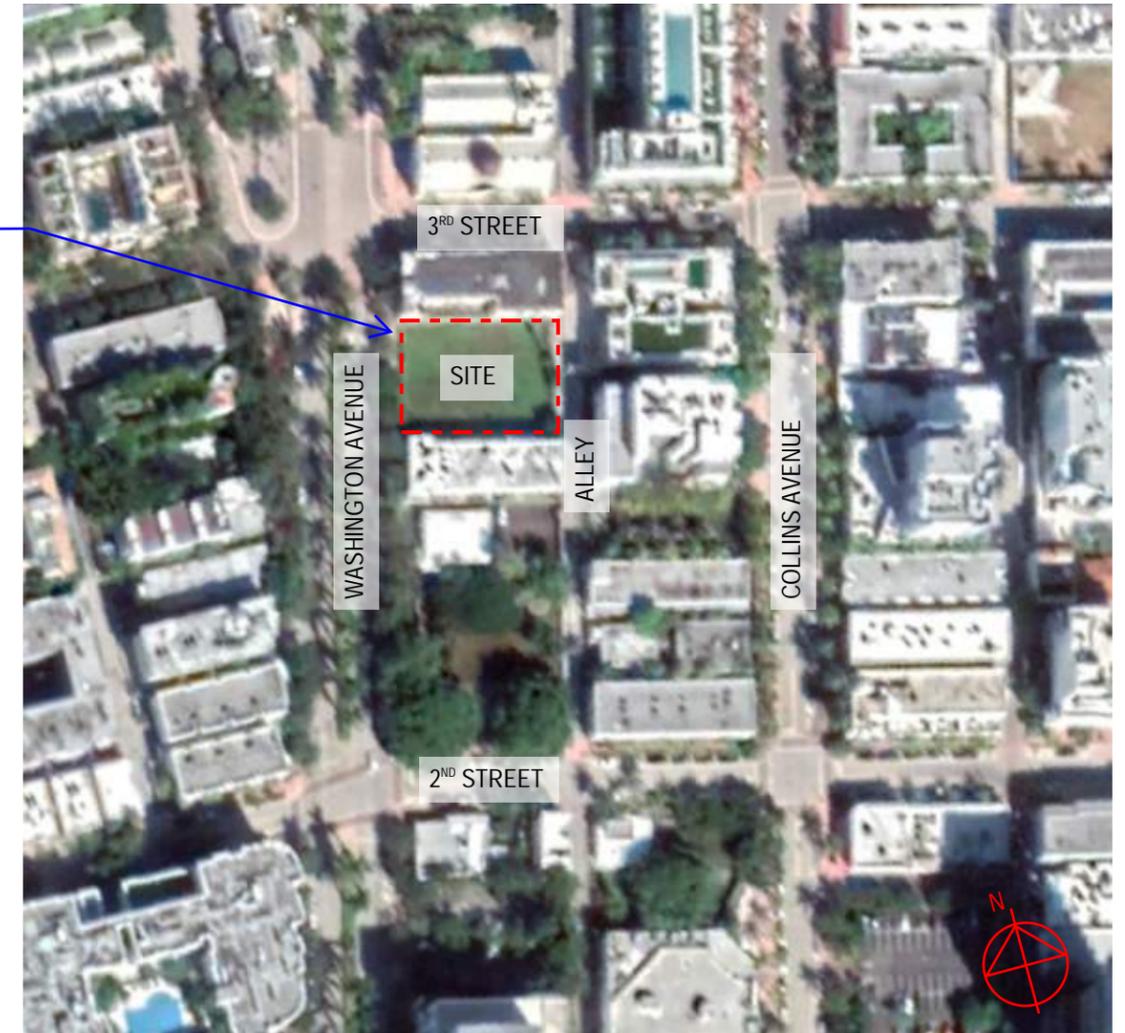
Lot Occupation	Required	Provided
Lot Area	5,750 sf min.	<b>13,000 sf (0.298 acres)</b>
Lot Width	50 ft min.	<b>100 ft</b>
Floor Area Ratio(FAR)	Max 1.75 = Max. 22,750 sf	<b>22,497 sf</b>
Open Space Ratio	0.70 min = 9,100 sf	<b>7,582 sf</b>
Open Space at grade	Equal to Setback Area min = 2,800 sf	<b>2,805 sf</b>
Open Space areas below 50' from freeboard	9,100 sf - 2,805 sf = 6,295 sf min	<b>4,777 sf *</b>
Gross Building Area		<b>45, 015 sf</b>
Buidling Setbacks	Required	Provided
<b>PARKING</b>		
Front - Washington Avenue	5 ft min.	<b>5 ft</b>
Interior Side	5 ft min.	<b>7.5 ft</b>
Rear	5 ft min.	<b>5 ft</b>
<b>PEDESTAL</b>		
Front - Washington Avenue	5 ft max / min	<b>5 ft</b>
Interior Side	7.5 ft min	<b>7.5 ft</b>
Rear	10% Lot depth = 13 ft	<b>13 ft</b>
Building Height	Required	Provided
Building Height	50 ft	<b>50 ft</b>
Number of Stories	Educational Type IIA const- Max 4 stories	<b>4 stories</b>
Parking Requirements - Parking District #1	Required	Provided

1 space per 15 seats of largest assembly area (1180/15 = 79 peo /15= 6 spaces)	6 spaces	
1 space per classroom (10 classrooms = 10 spaces)	<u>10 spaces</u> 16 spaces	<b>18 Spaces</b>
Accessible spaces (1 to 25 spaces).	1 space	<b>1 space (included)</b>
Off street loading spaces (10,000 sf - 100,000 sf).	2 spaces	<b>0 spaces</b>
Bicycle Parking		
5 long term reduces parking by 1 space to 15% max	0	<b>0 Bike Spaces</b>
10 short term reduces parking by 1 space to 15% max	0	<b>10 Bike Spaces</b>
<b>TOTAL PARKING</b>	<b>18 SPACES &amp; 10 BIKES =</b>	<b>19 spaces</b>

\* Applicant will comply with the Open Space Requirement through payment-in-lue pursuant to Section 142-704 (b)(4)



LOCATION MAP



AREA MAP



A



B



C



D



E. Washington Avenue east



F. Washington Avenue west



G. CONTEXT PHOTO WASHINGTON AVENUE



H. 110 WASHINGTON AVENUE

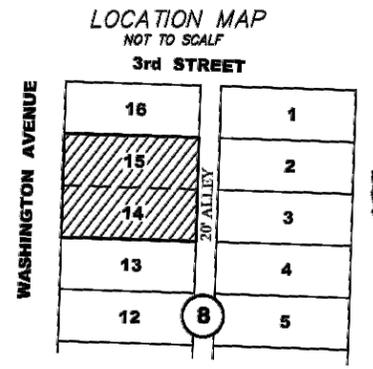
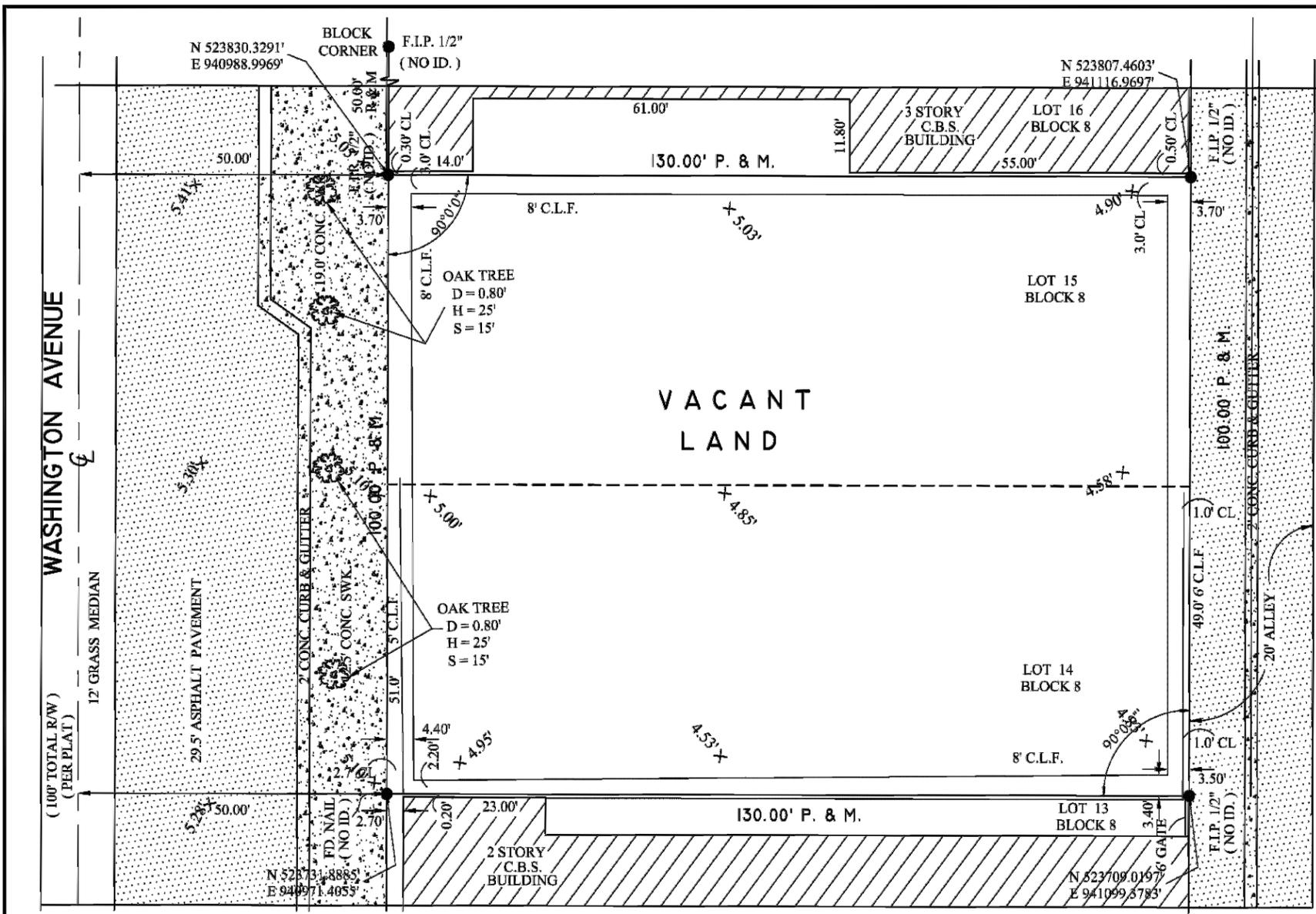


I. 119 WASHINGTON AVENUE



J. 404 WASHINGTON AVENUE





PROPERTY ADDRESS: 251 WASHINGTON AVE., MIAMI BEACH, FL. 33139.

**FOLIO#**  
02-4203-003-1080  
02-4203-003-1090

**CERTIFIED TO**  
251 WASHINGTON, LLC, A FLORIDA LIMITED LIABILITY COMPANY  
FIRST AMERICAN TITLE INSURANCE COMPANY  
WEISS SEROTA HELFMAN COLE & BIERMAN, P.L.

**LEGAL DESCRIPTION:** LOTS 14 AND 15, BLOCK 8, OF OCEAN BEACH FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**SURVEYOR'S NOTES:**

- 1) OWNERSHIP SUBJECT TO OPINION OF TITLE.
- 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
- 4) LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 5) UNDERGROUND ENCROACHMENTS NOT LOCATED.
- 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- 7) OWNERSHIP OF FENCES ARE UNKNOWN.
- 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION.
- 10) ELEVATIONS BASED OFF OF BM# D-116 LOCATOR: 4231 NE ELEV: 5.03' NGVD

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.  
BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB: 2 PG: 38

LOT AREA = 13,000 SQ. FT. (0.298 ACRES)

**BOUNDARY SURVEY**

**LEGEND & ABBREVIATIONS:**

<p>CONC. = CONCRETE CONC. BLOCK WALL = CONCRETE BLOCK WALL WOOD DECK = WOOD DECK COVERED AREA = COVERED AREA ASPHALT = ASPHALT CHAIN LINK FENCE (CLF) = CHAIN LINK FENCE (CLF) WOOD FENCE (WF) = WOOD FENCE (WF) IRON FENCE (IF) = IRON FENCE (IF) ARC DISTANCE = ARC DISTANCE LENGTH = LENGTH CENTRAL ANGLE / DELTA = CENTRAL ANGLE / DELTA RADIUS = RADIUS TANGENT = TANGENT POINT OF TANGENCY = POINT OF TANGENCY POINT OF CURVATURE = POINT OF CURVATURE POINT OF COMPOUND CURVE = POINT OF COMPOUND CURVE CATCH BASIN = CATCH BASIN CABLE UTILITY BOX = CABLE UTILITY BOX</p>	<p>B.C. = BLOCK CORNER P. = PROPERTY LINE C.L. = CENTER LINE M. = MONUMENT LINE CALC. = CALCULATED M. = FIELD MEASURED P. = PER PLAT TYP. = TYPICAL P.R.M. = PERMANENT REFERENCE MONUMENT P.C.P. = PERMANENT CONTROL POINT FD. NAIL = FOUND NAIL FD. D/H = FOUND DRILL HOLE FD. 1/2" I.P. = FOUND IRON PIPE 1/2" DIAMETER C.M. = CONCRETE MONUMENT W.M. = WATER METER R/W = RIGHT OF WAY</p>	<p>U.E. = UTILITY EASEMENT A.E. = ANCHOR EASEMENT D.E. = DRAINAGE EASEMENT ENCR. = ENCROACHMENT F.F. ELEV. = FINISHED FLOOR ELEVATION N.T.S. = NOT TO SCALE P.B. = PLAT BOOK O.R.S. = OFFICIAL RECORD BOOK M.H. = MAN HOLE C.B.S. = CONCRETE BLOCK STRUCTURE BLDG. = BUILDING O.H.L. = OVERHEAD UTILITY LINES TEL. = TELEPHONE FACILITIES</p>	<p>P.R.C. = POINT OF REVERSE CURVE CH = CHORD CH. BRG. = CHORD BEARING B.M. = BENCH MARK B.R. = BEARING REFERENCE P.O.A. = POINT OF COMMENCEMENT P.O.B. = POINT OF BEGINNING T.B.M. = TEMPORARY BENCH MARK P.O.B. = POINT OF BEGINNING T.B.M. = TEMPORARY BENCH MARK FD. I.R. = FOUND IRON REBAR FD. P.K.NAIL = FOUND PARKER-KALON NAIL P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER A/C = AIR CONDITIONER PAD TR. = TRANSFORMER P.P. = POWER POLE D.M.E. = DRAINAGE &amp; MAINTENANCE EASEMENT + 0.0' = EXISTING ELEVATION</p>	<p>ELEV. = ELEVATION SEC. = SECTION TWS. = TOWNSHIP RG. = RANGE SWK. = SIDEWALK</p>	<p>I HEREBY CERTIFY THAT THE SURVEY REPRESENTED THEREON MEETS THE MINIMUM TECHNICAL REQUIREMENTS ADOPTED BY THE STATE OF FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES. THERE ARE NO ENCROACHMENTS, OVERLAPS, EASEMENTS APPEARING ON THE PLAT OR VISIBLE EASEMENTS OTHER THAN AS SHOWN HEREON.</p> <p>ADIS NUNEZ 2022.04.08 15:54:23 -04'00'</p> <p>ADIS N. NUNEZ REGISTERED LAND SURVEYOR STATE OF FLORIDA #5924</p>
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**Blanco Surveyors Inc.**

Engineers • Land Surveyors • Planners • LB # 0007059  
555 NORTH SHORE DRIVE  
MIAMI BEACH, FL 33141  
(305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

**SURVEYOR'S SEAL**



FLOOD ZONE: AE	SUFFIX: L	FEMA DATE: 09/11/09	BASE: 8'
PANEL: 0319	COMMUNITY # 120651		
DATE: 3/11/22	SCALE: 1" = 20'	DWN. BY: R.BELLO	JOB No. 22-176

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DRAWING: SURVEY  
SCALE:  
DATE: APRIL 11, 2022

V1.0

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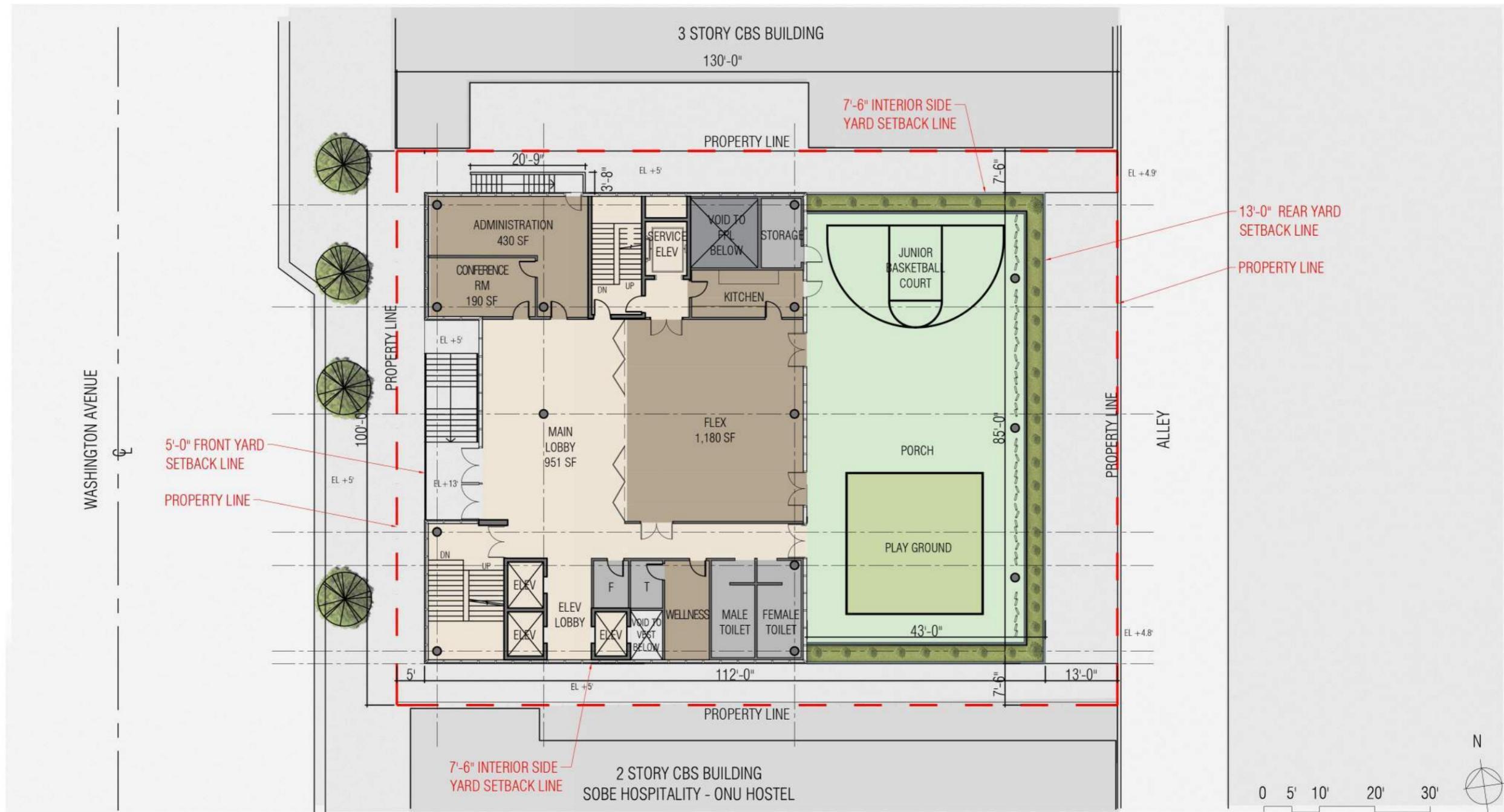
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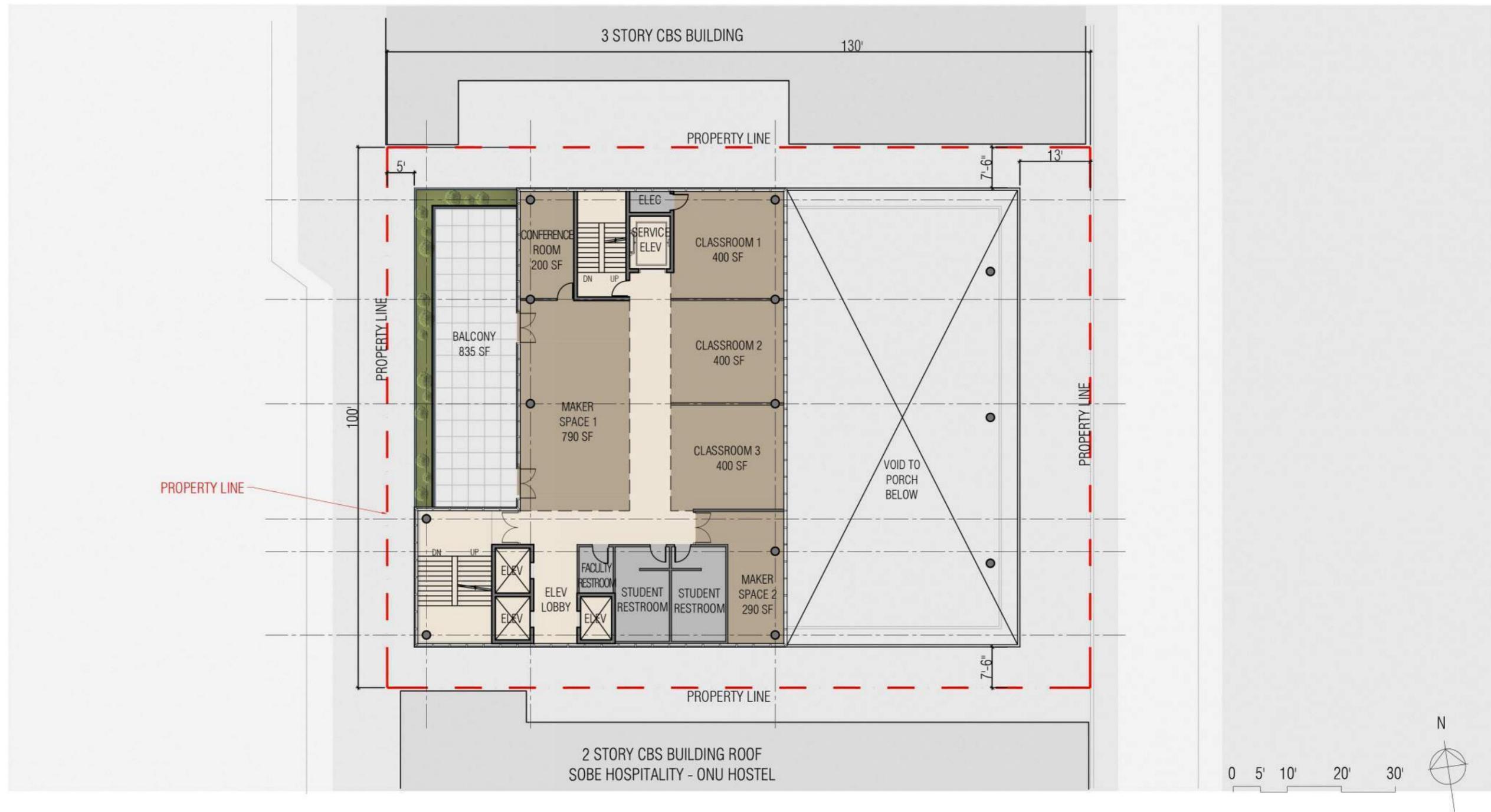
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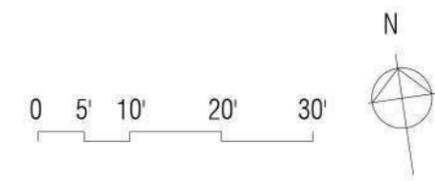
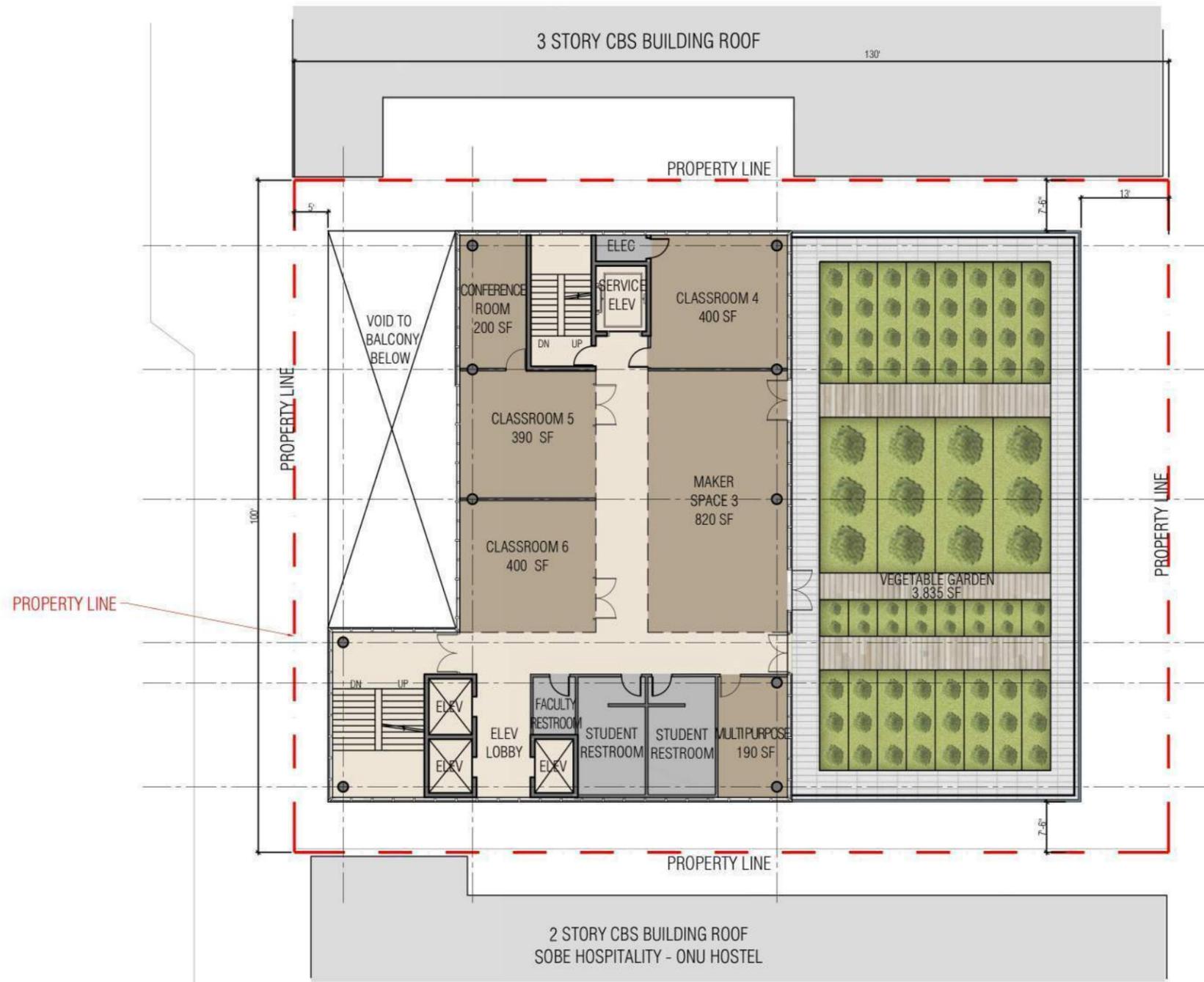
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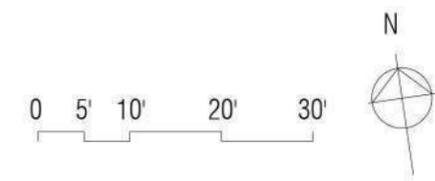
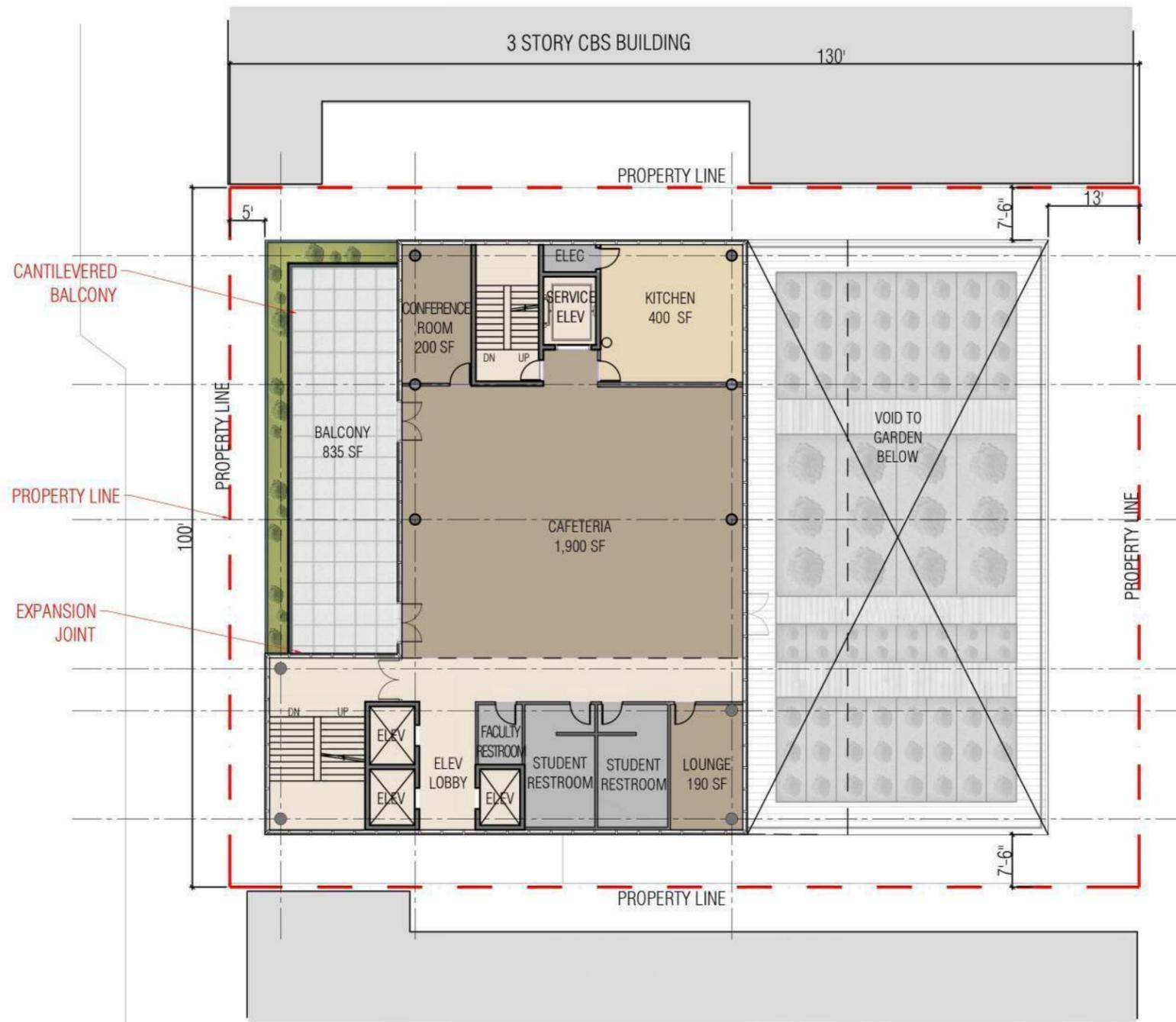
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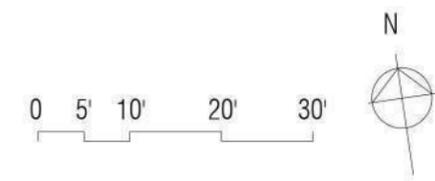
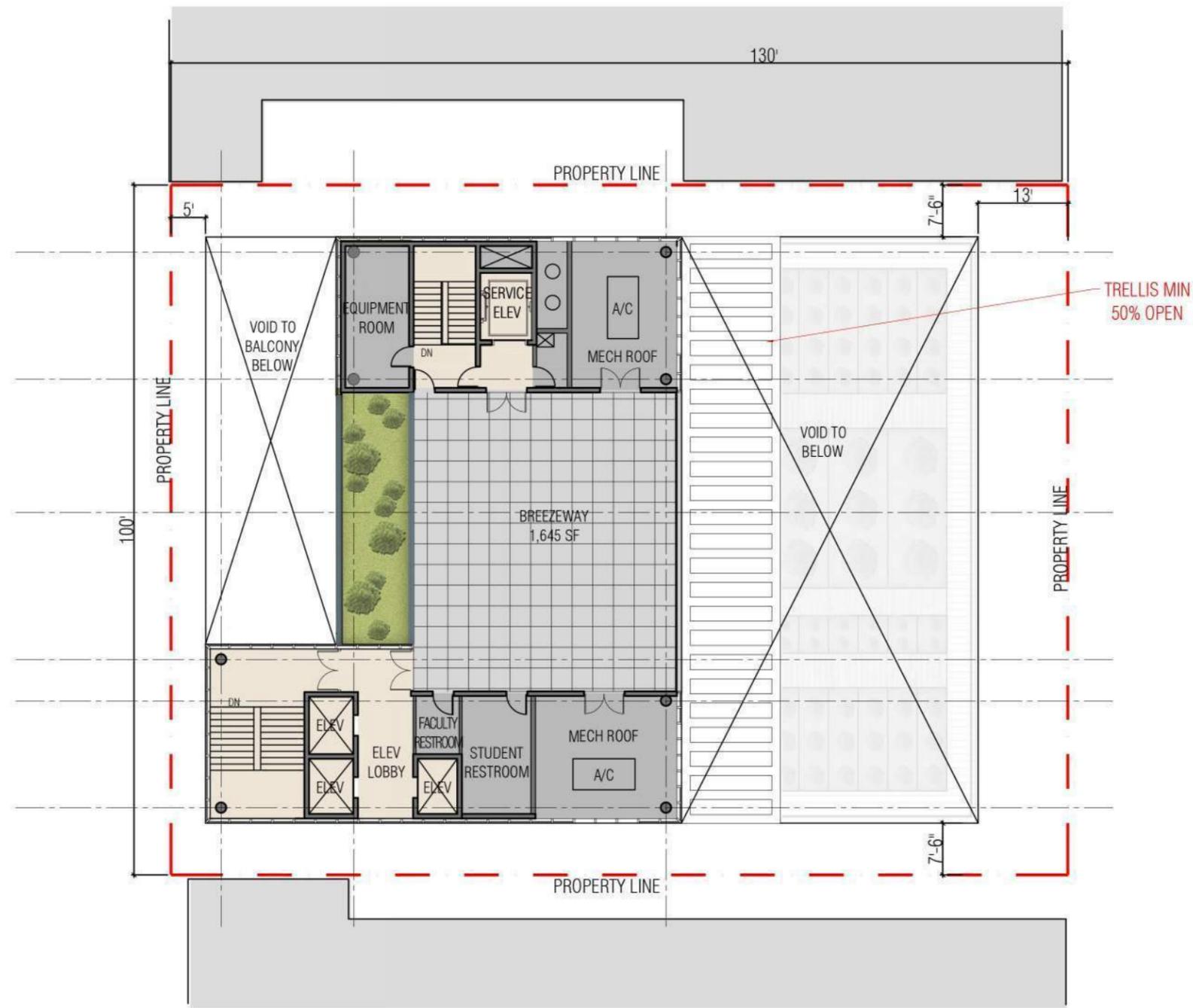
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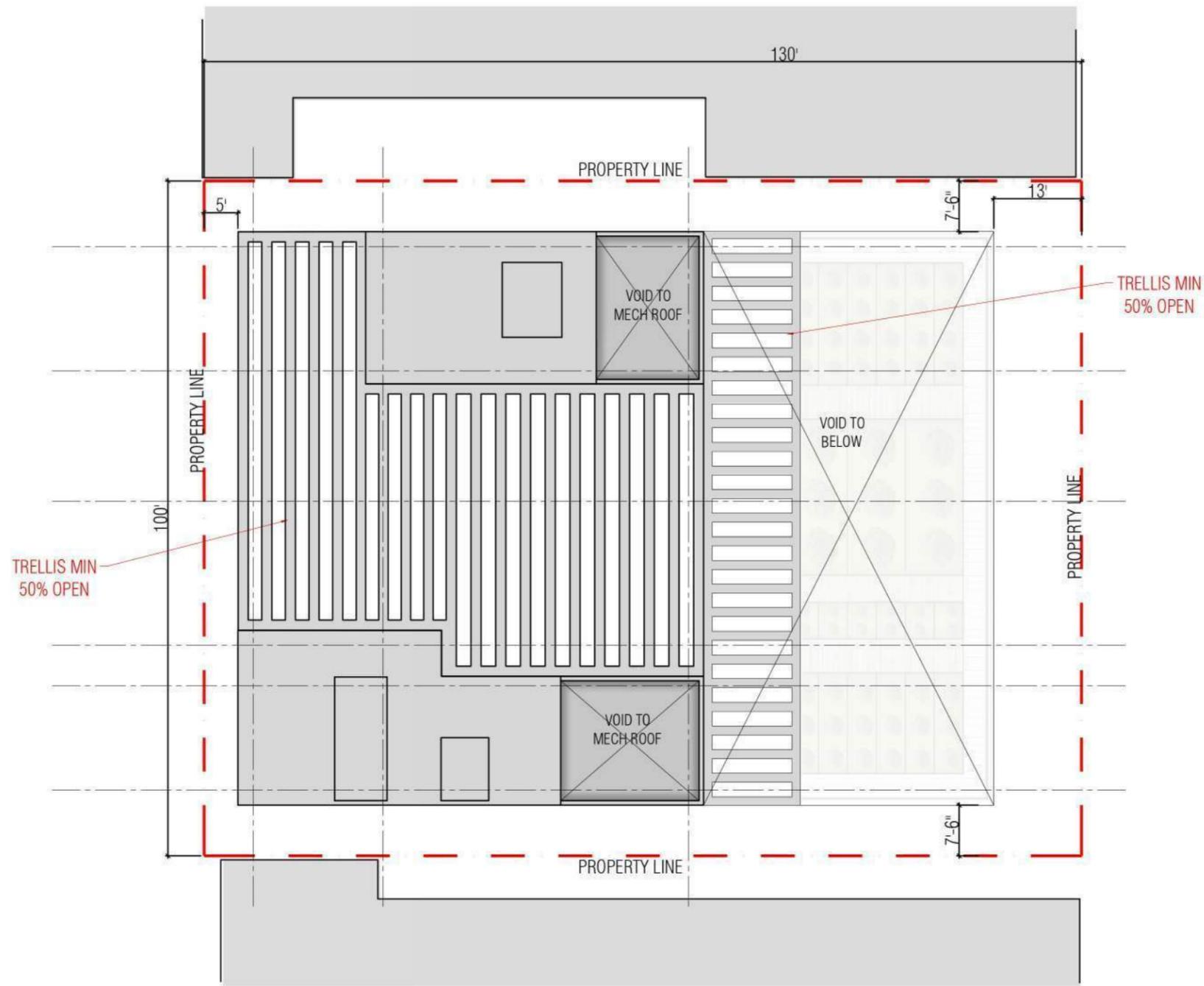
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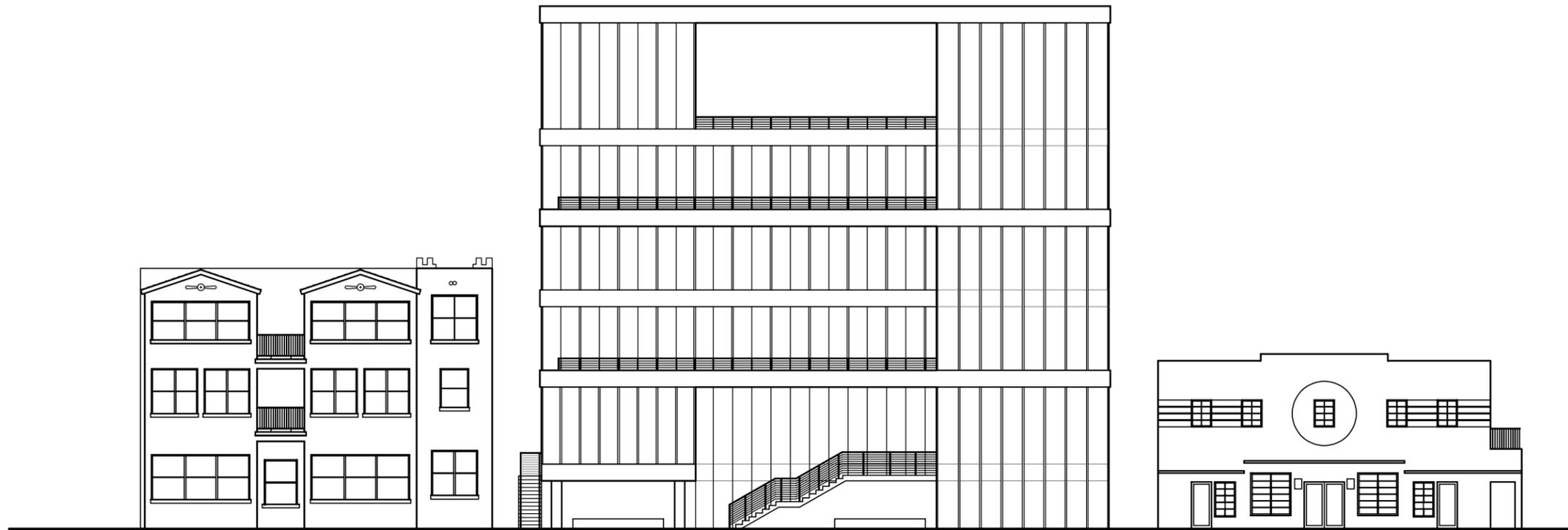
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SCALE: 1:20

DATE: April 11, 2022

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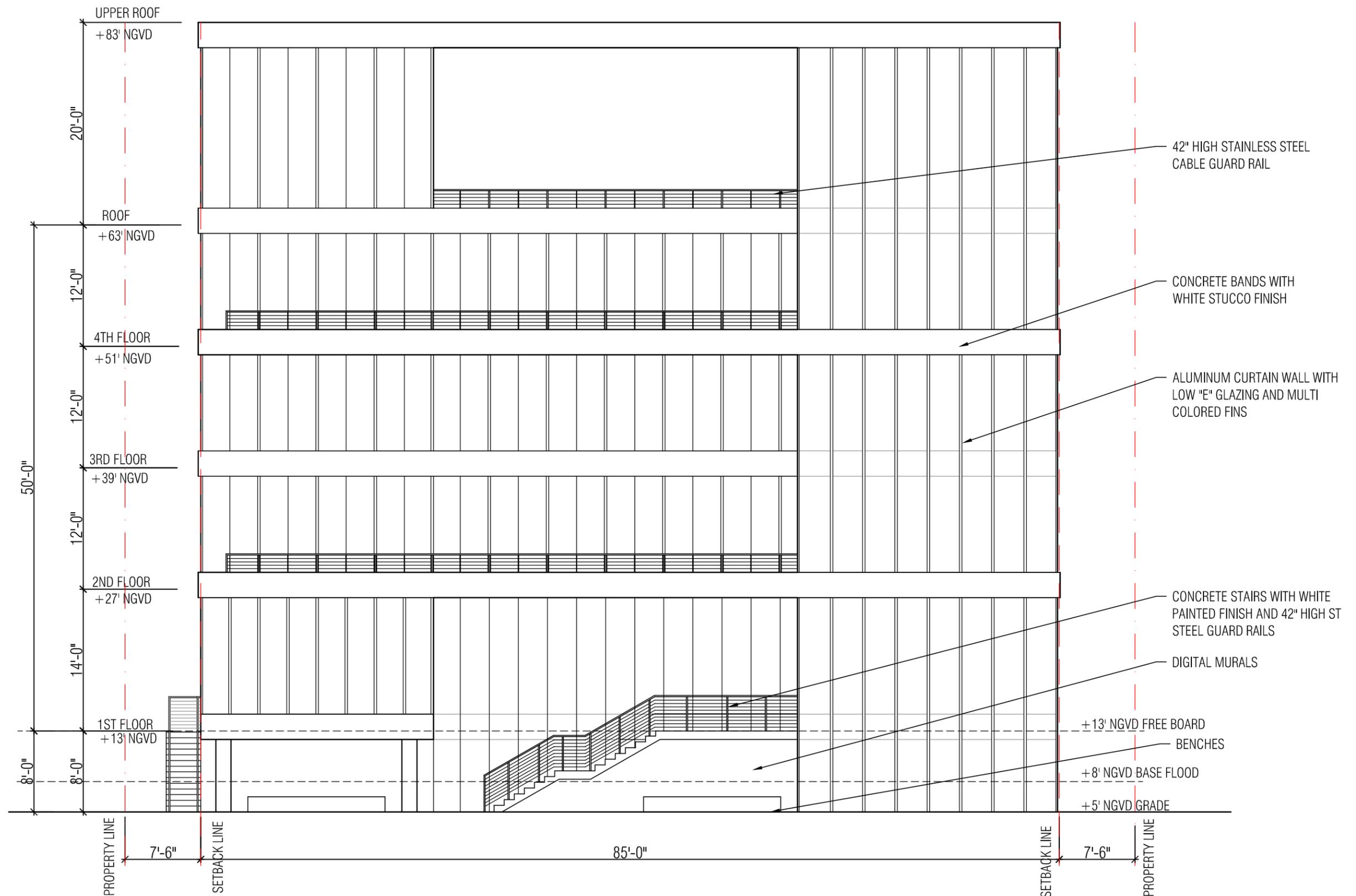
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251 WASHINGTON AVENUE SITE



251 WASHINGTON AVENUE SITE



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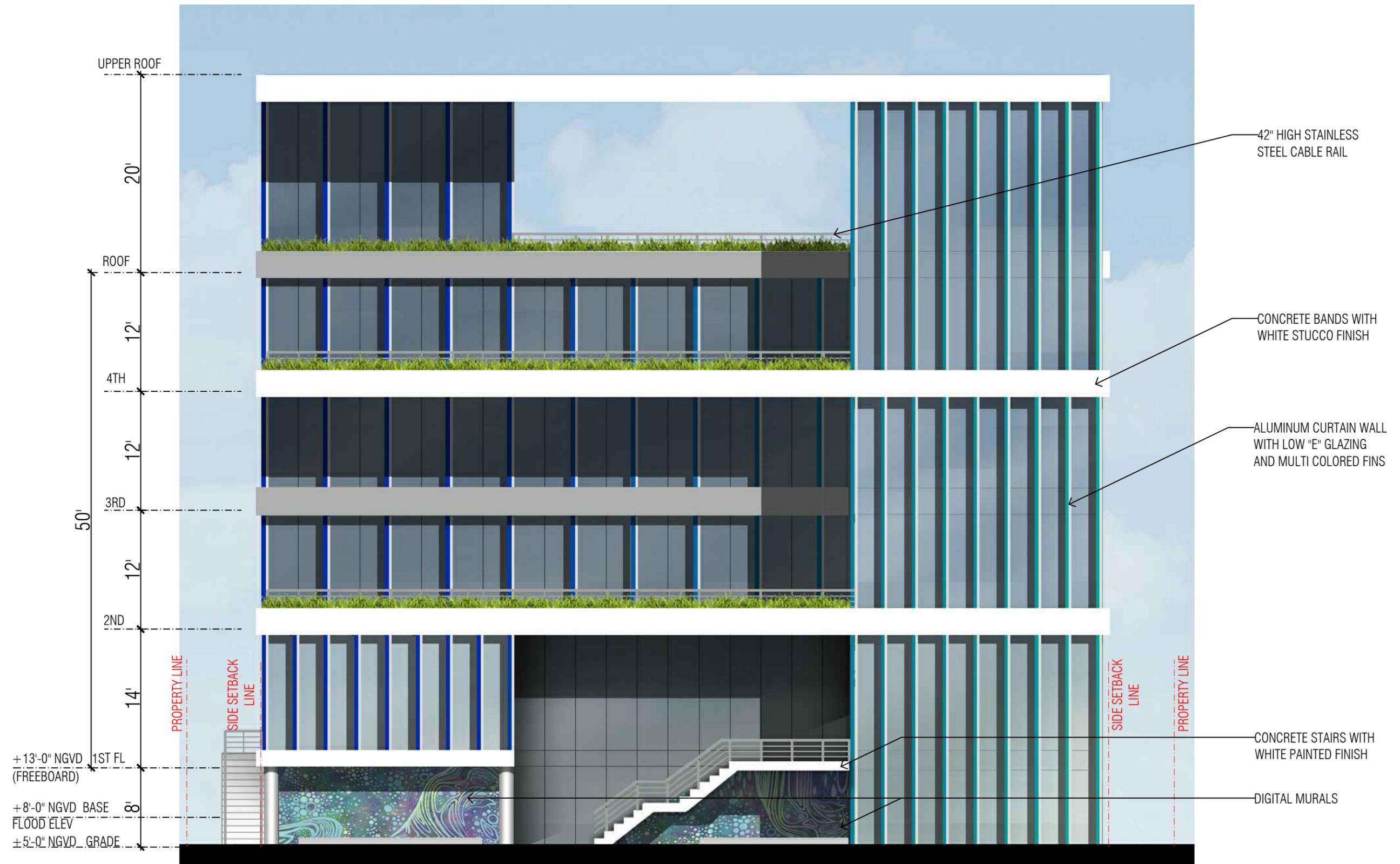
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DRAWING: WEST ELEVATION

SCALE: 1:10

DATE: APRIL 11, 2022

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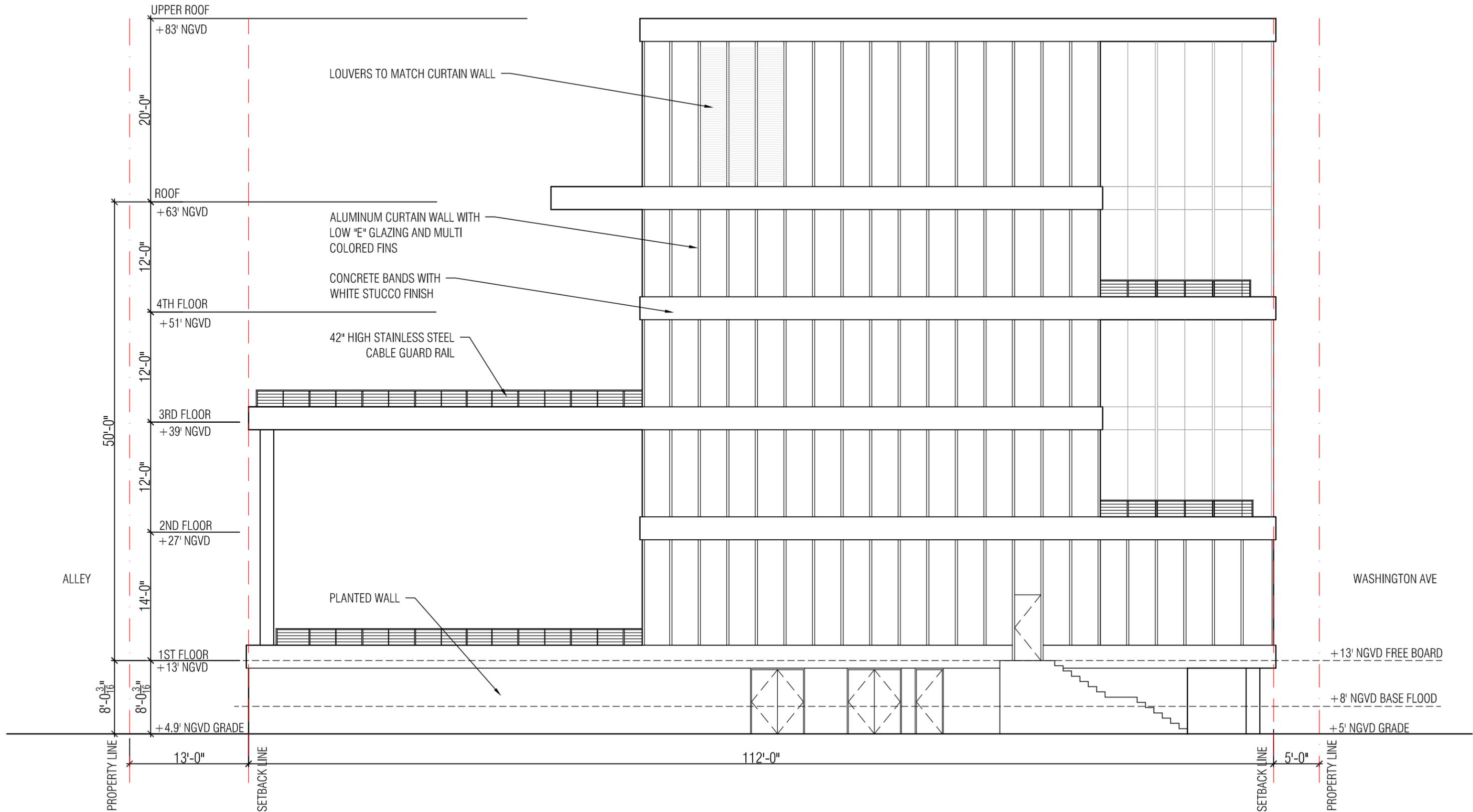
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DRAWING: WEST ELEVATION RENDERED

SCALE: 1:10

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**A11.0B**



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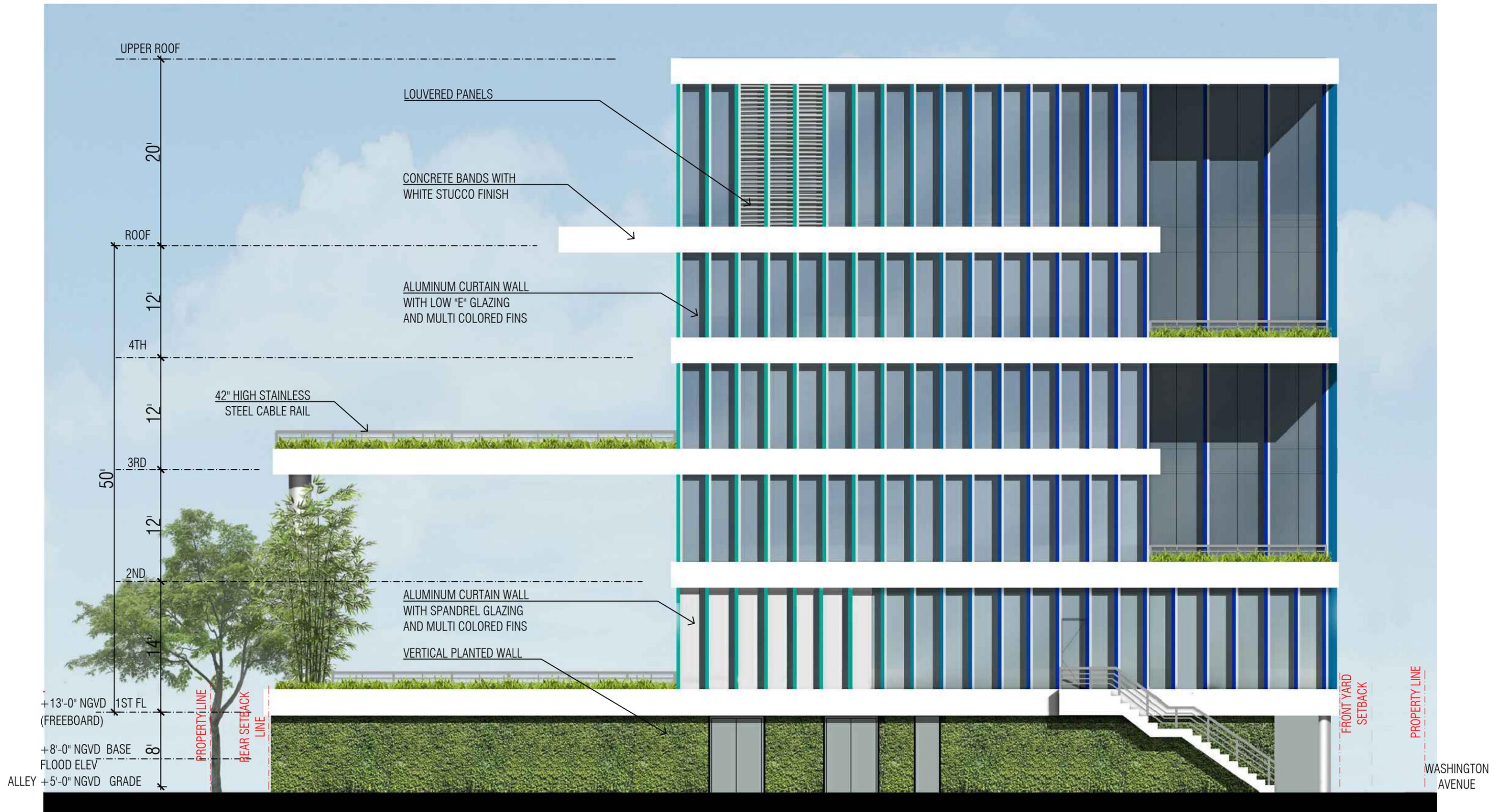
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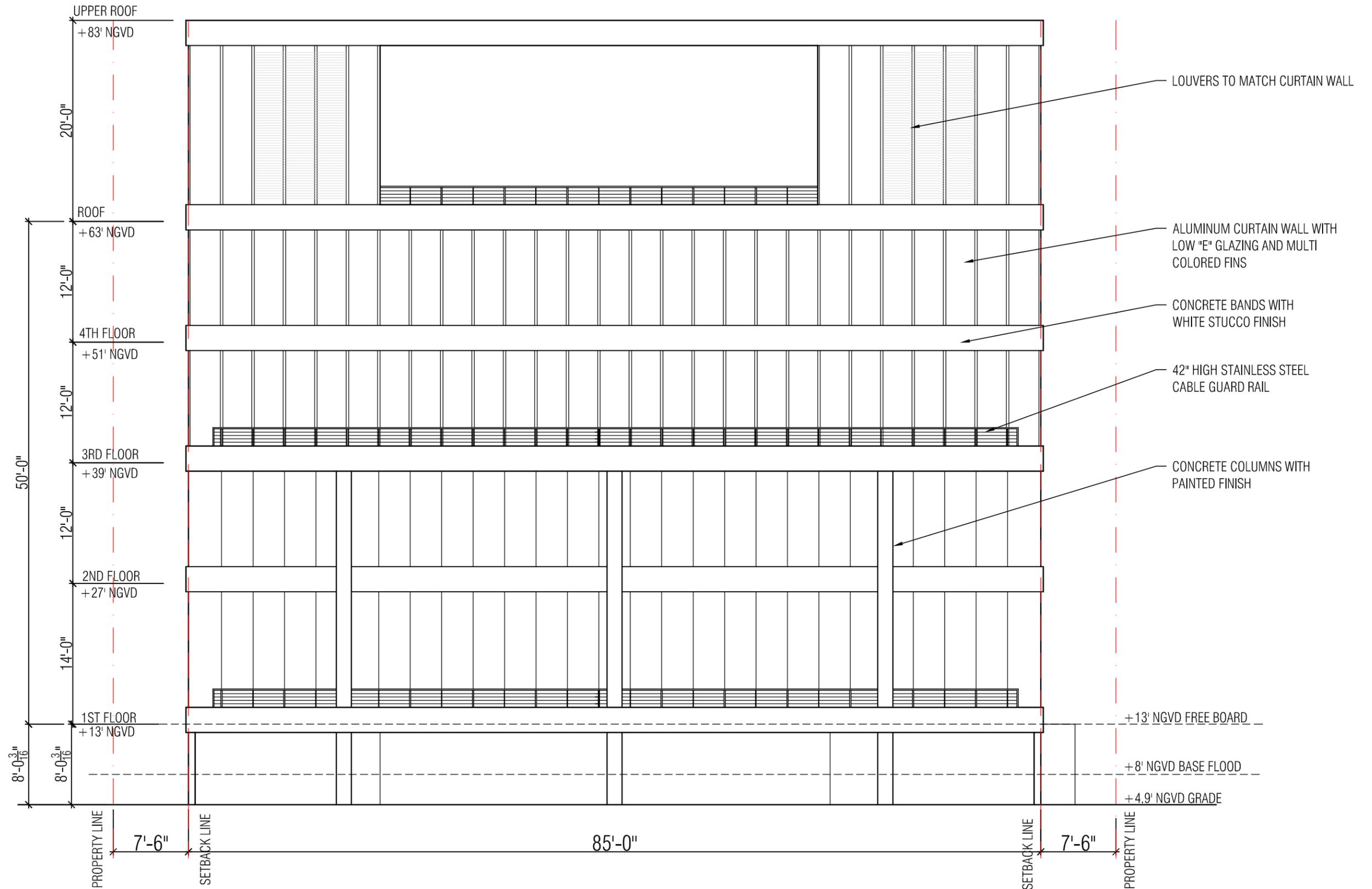
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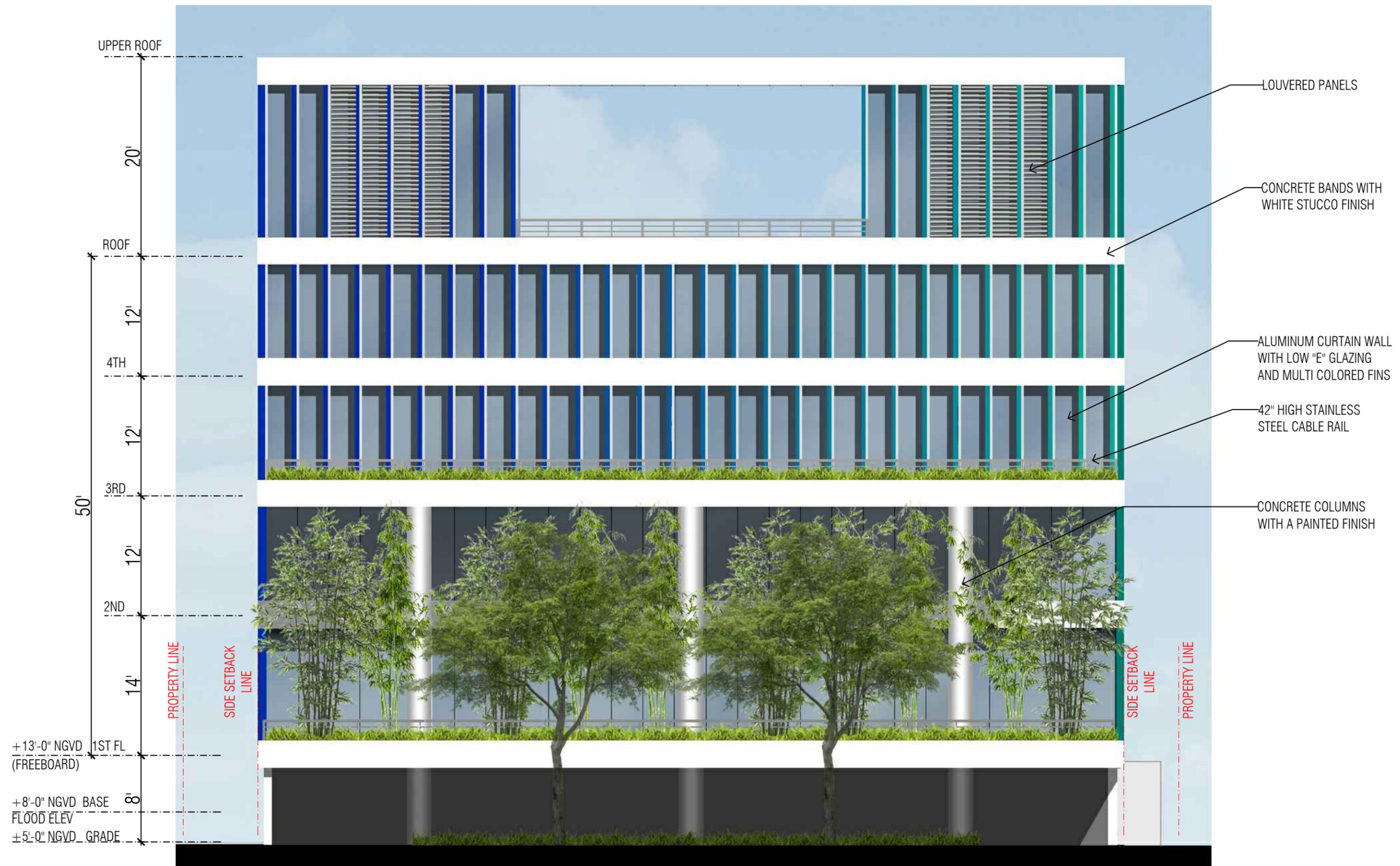
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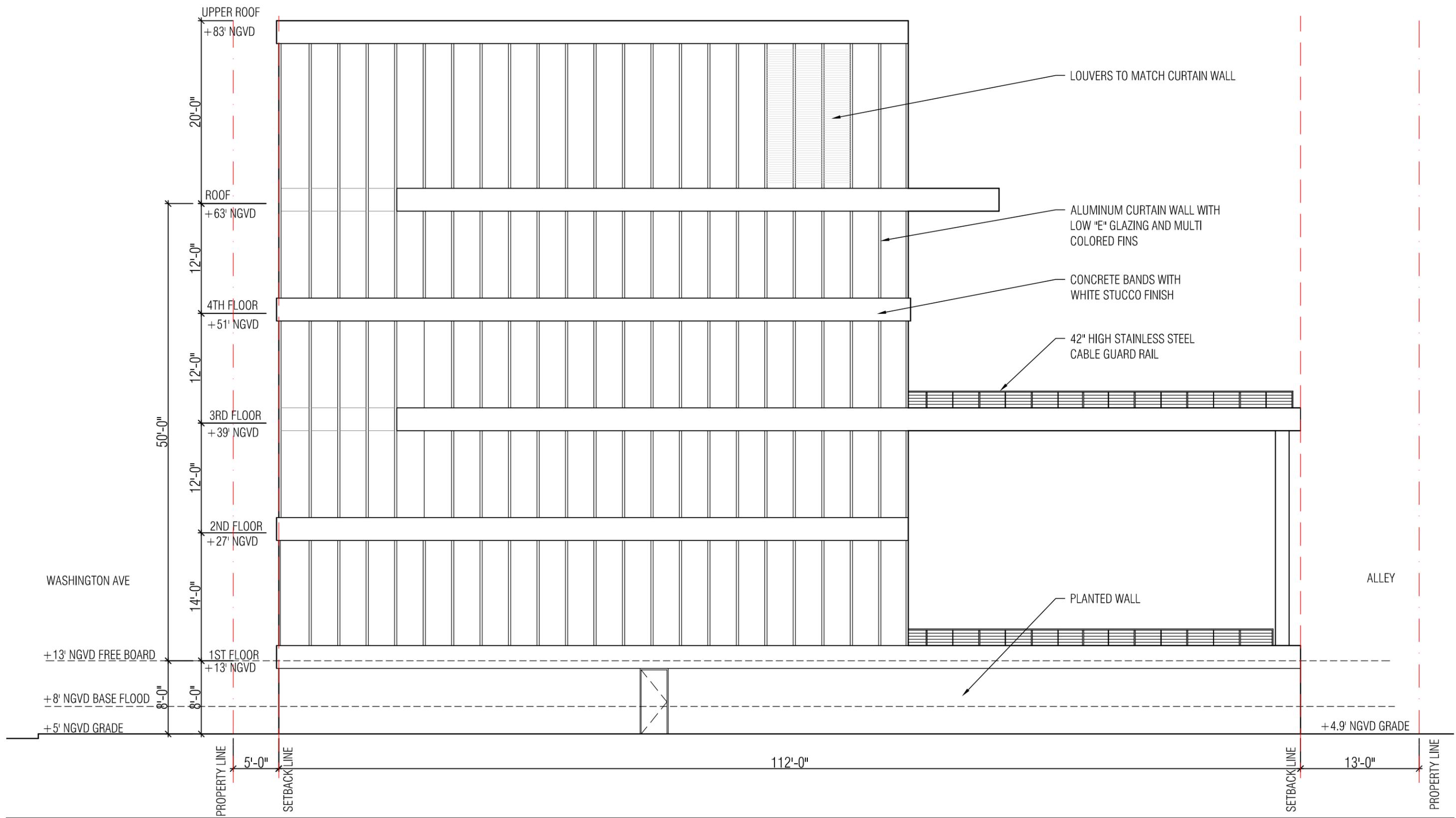
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DRAWING: EAST ELEVATION RENDERED

SCALE: 1:10

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A13.0B



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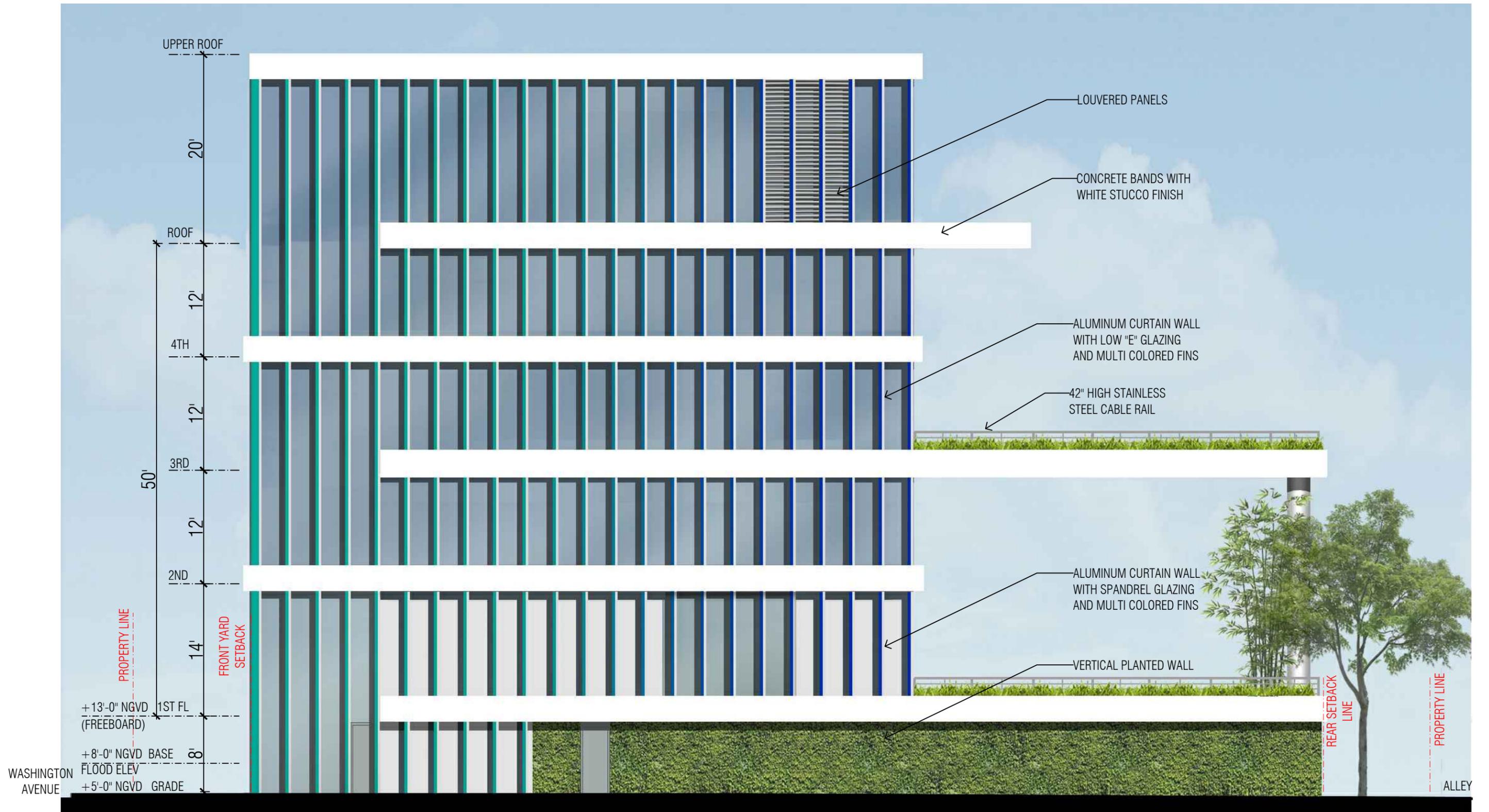
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DATE: April 11, 2022

**A14.0B**

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**Base Camp 305**  
Historic Preservation Board Submission  
251 Washington Avenue, Miami Beach, Fl 33139

DRAWING: WASHINGTON AVE RENDERING

SCALE:

DATE: APRIL 11, 2022

**A15.0**



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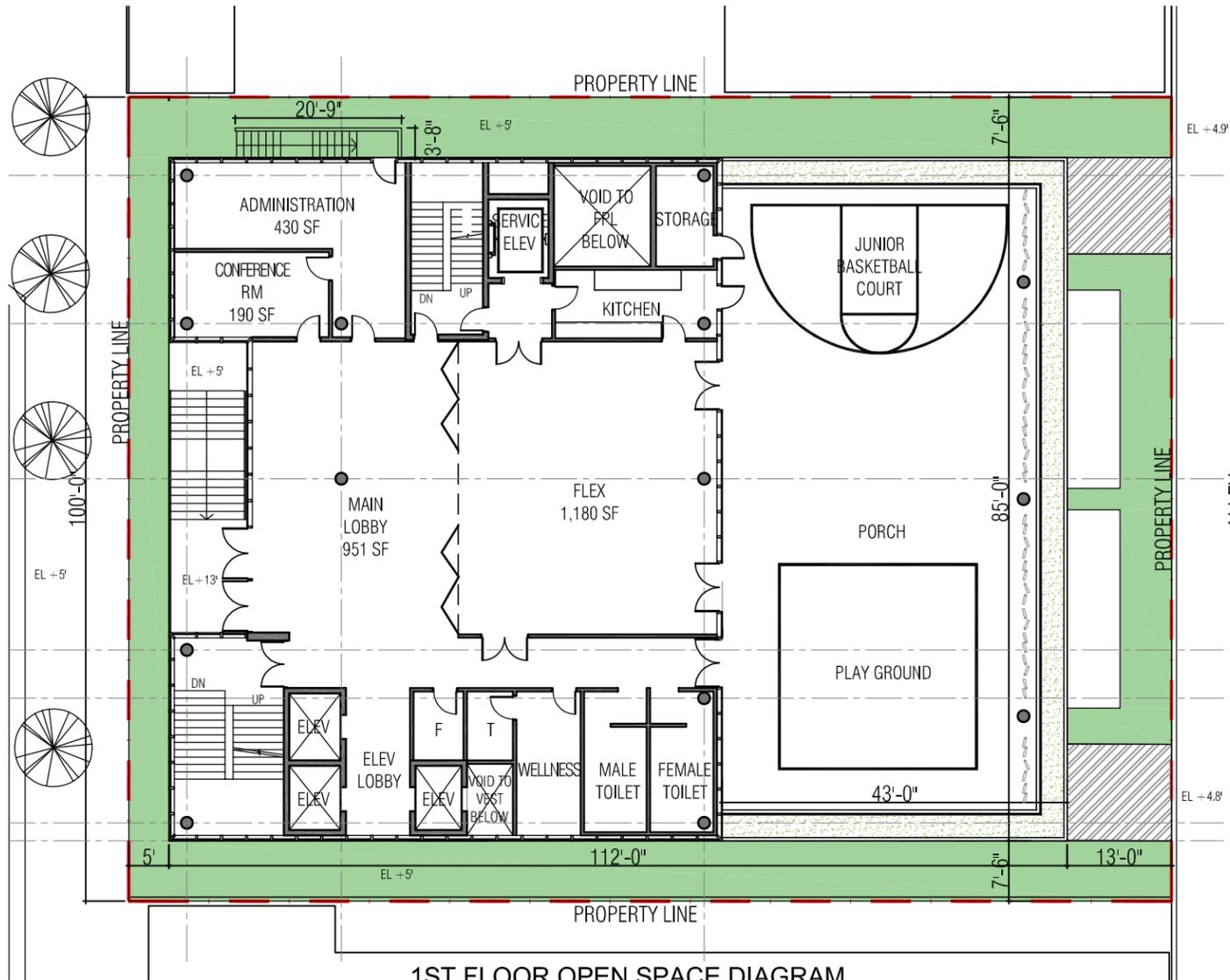
**Base Camp 305**  
Historic Preservation Board Submission  
251 Washington Avenue, Miami Beach, Fl 33139

DRAWING: WASHINGTON AVE PEDESTRIAN LEVEL RENDERING

SCALE:

DATE: APRIL 11, 2022

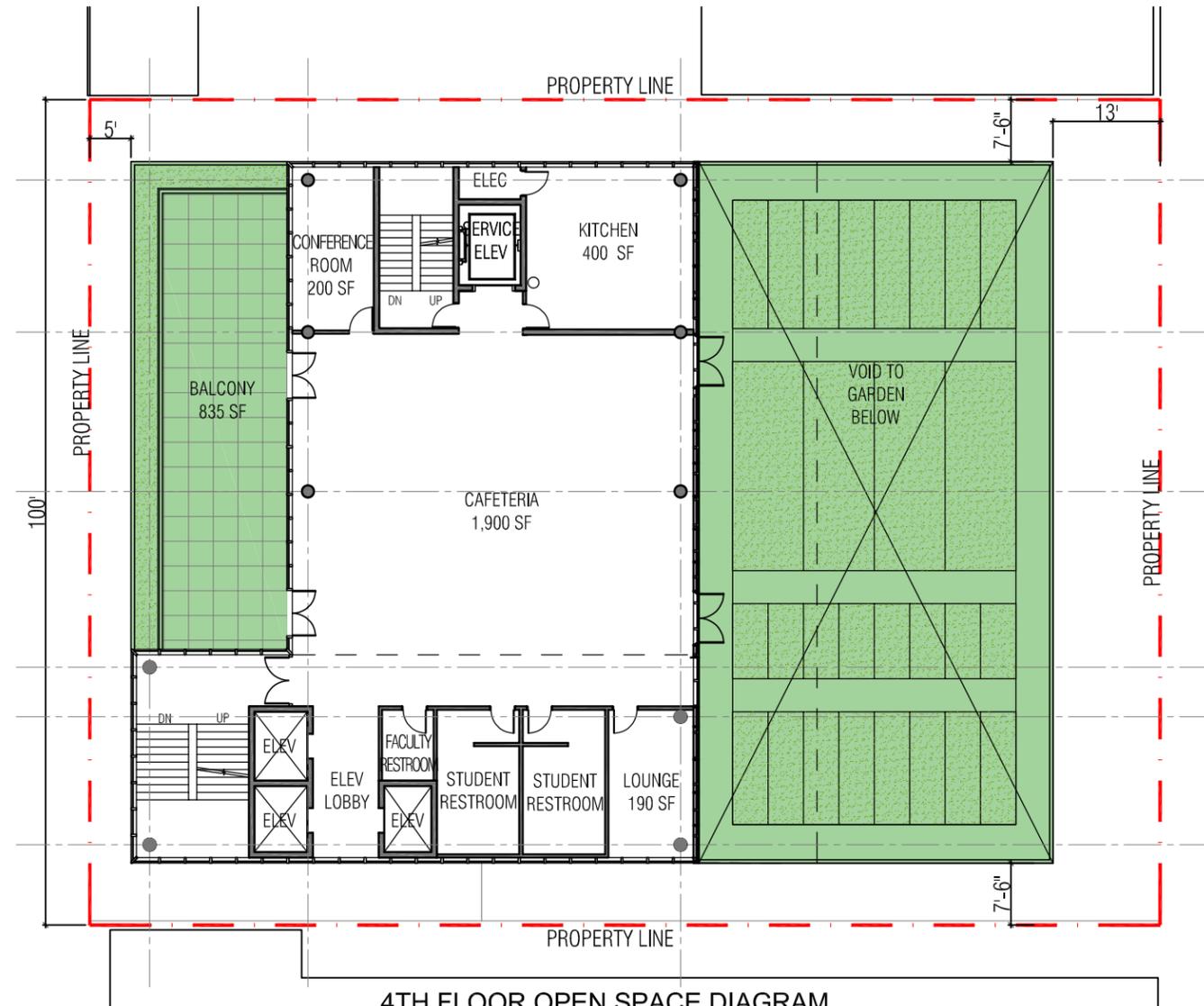
**A16.0**



**1ST FLOOR OPEN SPACE DIAGRAM**

- OPEN SPACE AT GRADE LEVEL
- DRIVEWAY

**OPEN SPACE AT GRADE LEVEL:**  
 LOT SIZE: 13,000 SF  
 MIN. OPEN SPACE AT GRADE LEVEL AREA REQUIRED: 2,800 SF  
 OPEN SPACE AT GRADE LEVEL AREA PROVIDED: 2,805 SF

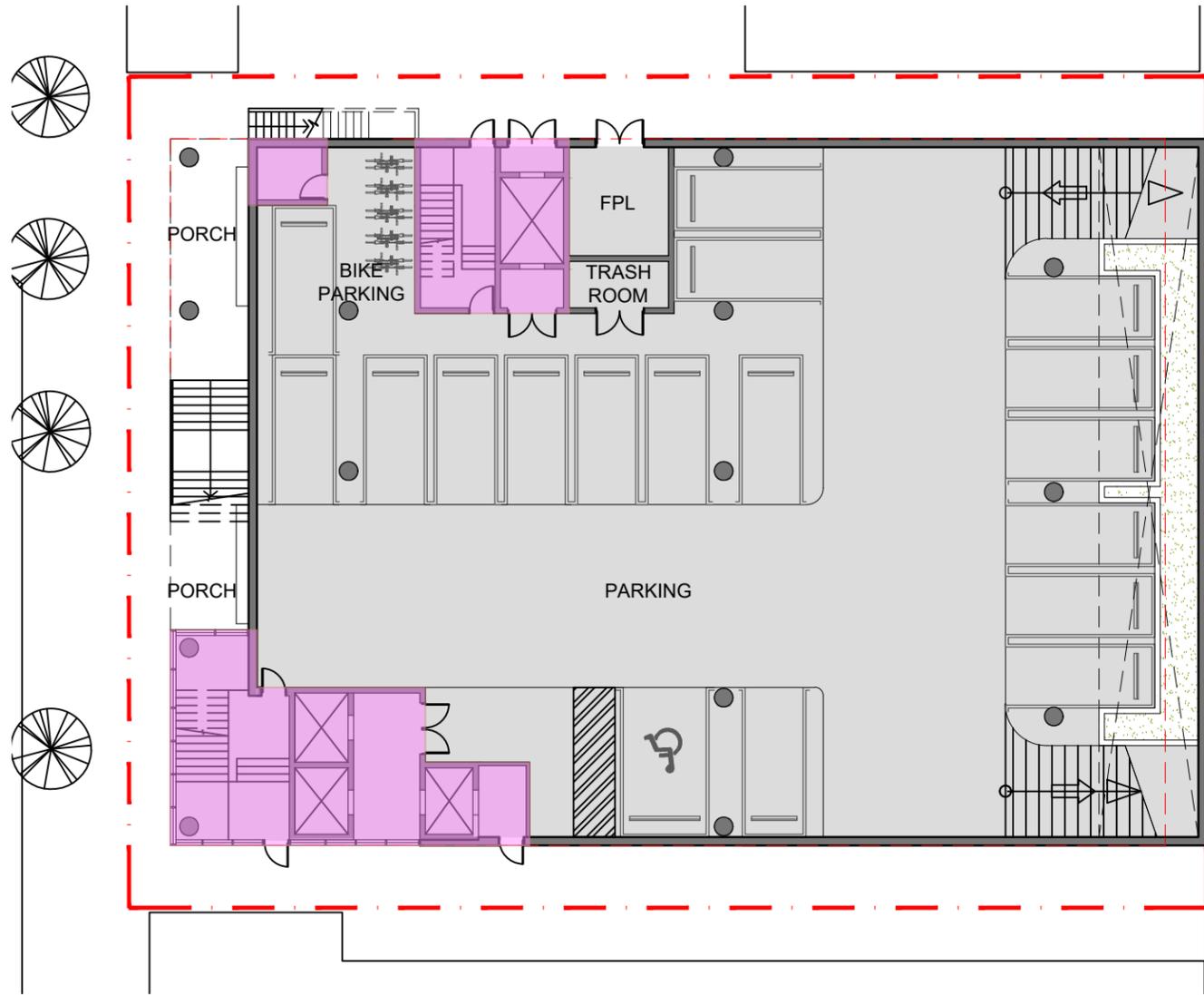


**4TH FLOOR OPEN SPACE DIAGRAM**

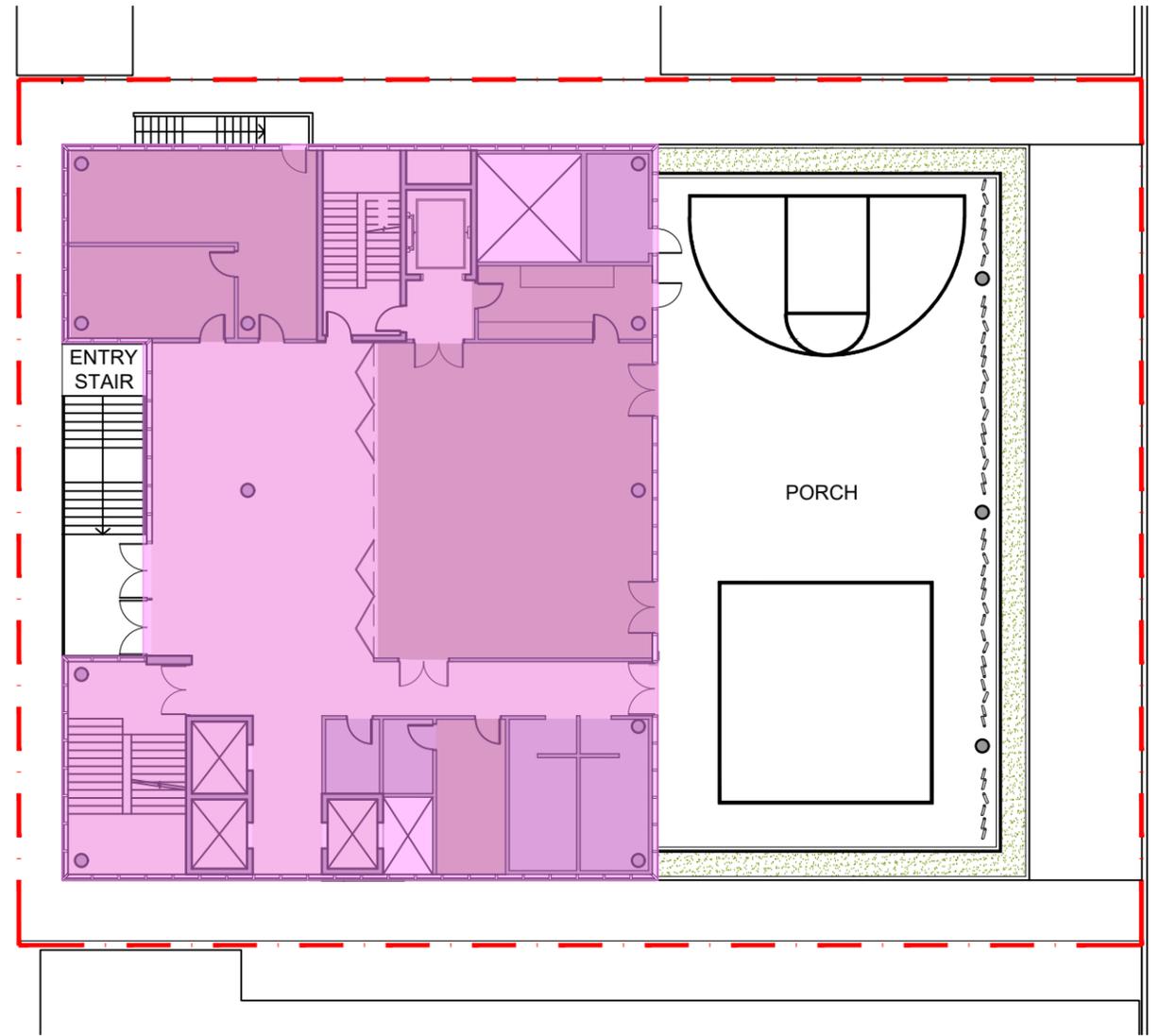
- OPEN SPACE BELOW 50'

**OPEN SPACE BELOW 50':**  
 LOT SIZE: 13,000 SF  
 MIN. OPEN SPACE AREA REQUIRED: 6,295 SF  
 OPEN SPACE AREA PROVIDED: 4,777 SF  
 OPEN SPACE BALANCE: 1,518 SF

BALANCE OF OPEN SPACE REQUIREMENT TO BE PROVIDED BY APPLICANT THROUGH PAYMENT-IN-LIEU PURSUANT WITH THE OPEN SPACE REQUIREMENT SECTION 142-704 (b)(4)



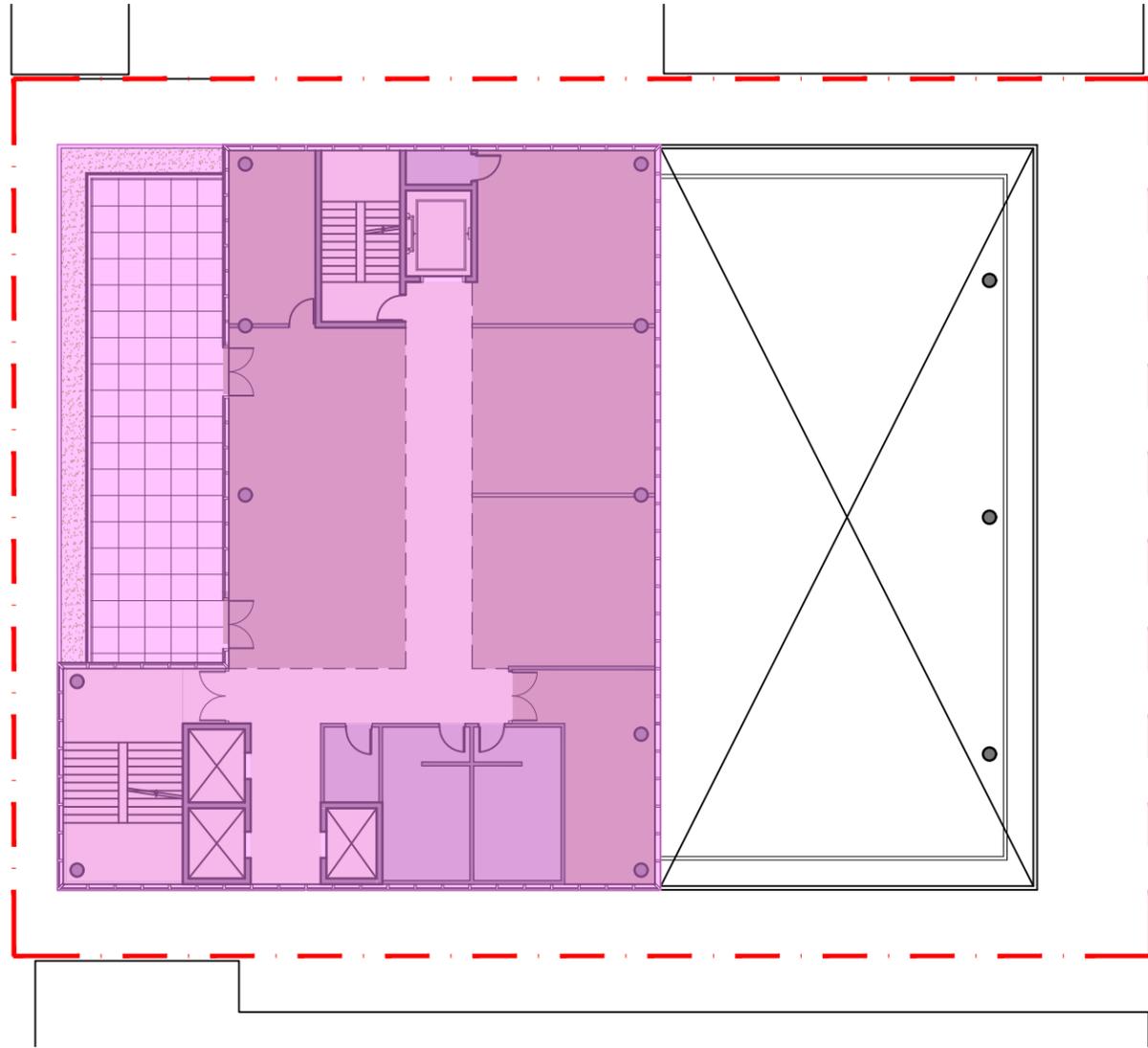
LOWER LEVEL PLAN FAR = 1,250 SF  
SCALE: 1/20"=1'-20"



1st FLOOR PLAN FAR = 5,526 SF  
SCALE: 1/20"=1'-20"

- FAR PERMITTED = 22,750 SF

-FAR PROPOSED  
 ROOF FAR = 370 SF  
 4th FL FAR = 4,743 SF  
 3rd FL FAR = 4,743 SF  
 2nd FL FAR = 5,865 SF  
 1st FL FAR = 5,526 SF  
 LOWER LEVEL FAR = 1,250 SF  
 22,497 SF



2nd FLOOR PLAN FAR = 5,865 SF  
 1/20"=1'-20" SCALE:



3rd LEVEL PLAN FAR = 4,743 SF  
 SCALE: 1/20"=1'-20"



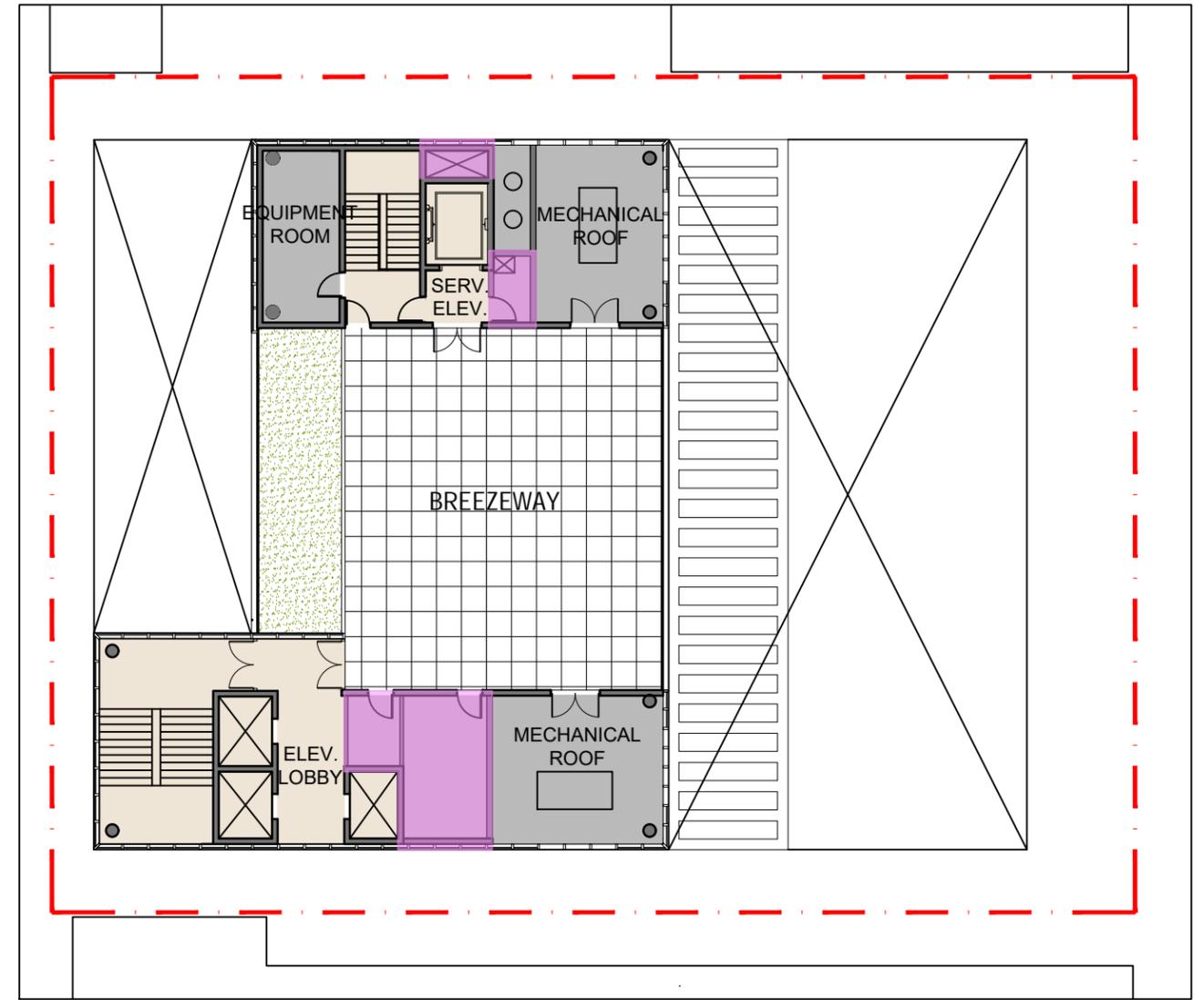
- FAR PERMITTED = 22,750 SF

-FAR PROPOSED

ROOF FAR	=	370 SF
4th FL FAR	=	4,743 SF
3rd FL FAR	=	4,743 SF
2nd FL FAR	=	5,865 SF
1st FL FAR	=	5,526 SF
LOWER LEVEL FAR	=	1,250 SF
		22,497 SF



4th FLOOR PLAN FAR = 4,743 SF  
SCALE: 1/20"=1'-20"



ROOFTOP PLAN FAR = 370 SF  
SCALE: 1/20"=1'-20"



- FAR PERMITTED = 22,750 SF

-FAR PROPOSED

ROOF FAR = 370 SF  
4th FL FAR = 4,743 SF  
3rd FL FAR = 4,743 SF  
2nd FL FAR = 5,865 SF  
1st FL FAR = 5,526 SF

LOWER LEVEL FAR = 1,250 SF

22,497 SF

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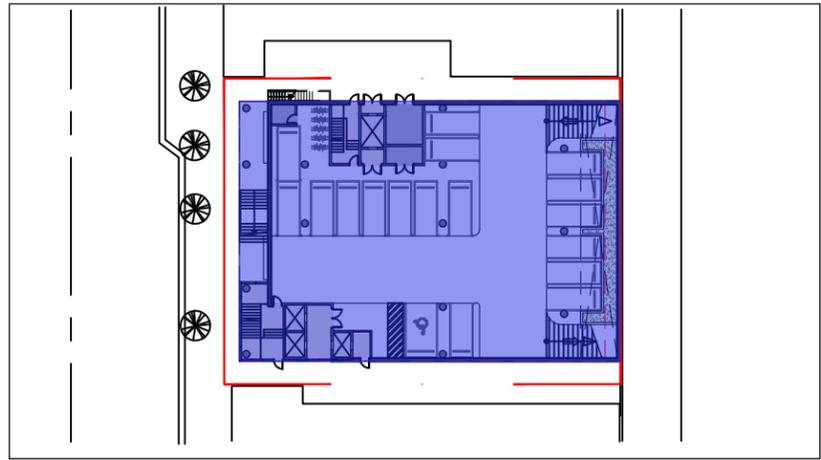
Base Camp 305  
HISTORIC PRESERVATION BOARD SUBMISSION  
251 Washington Avenue, Miami Beach, FL 33139

DRAWING: FAR DIAGRAMS

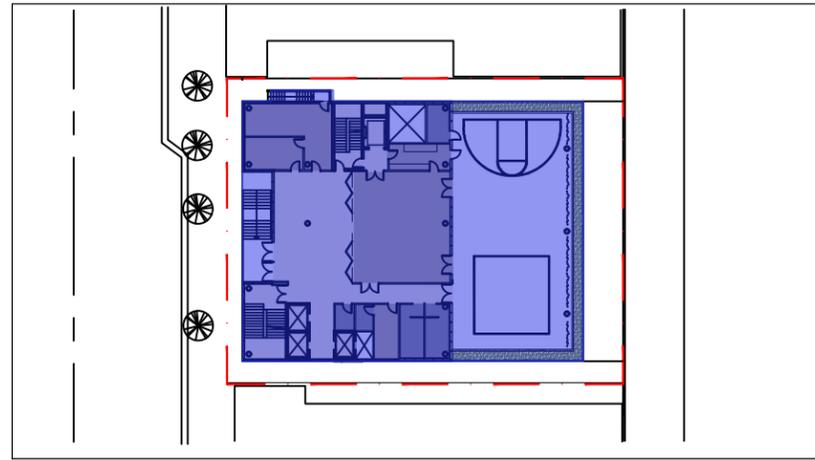
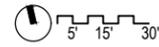
SCALE:

DATE: April 11, 2022

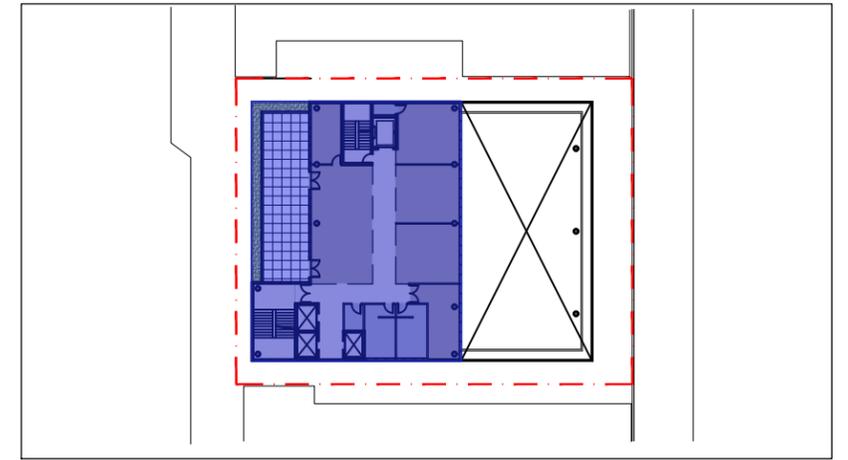
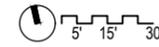
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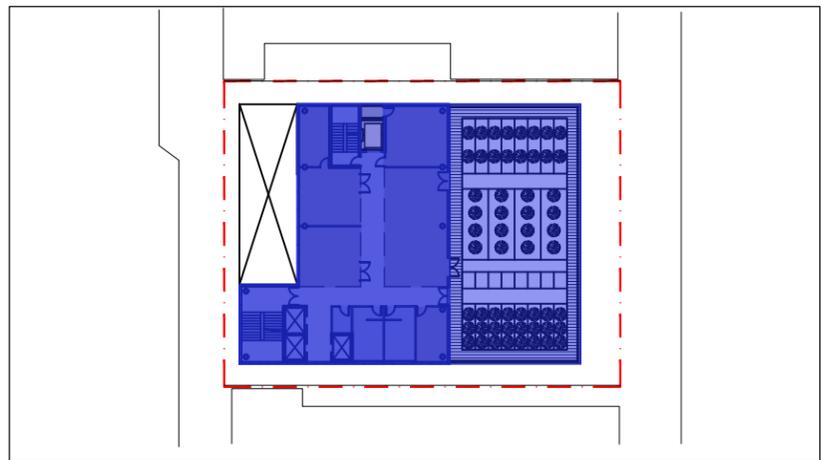
LOWER LEVEL PLAN GROSS = 10,625 SF  
SCALE: 1/60"=1'-60"



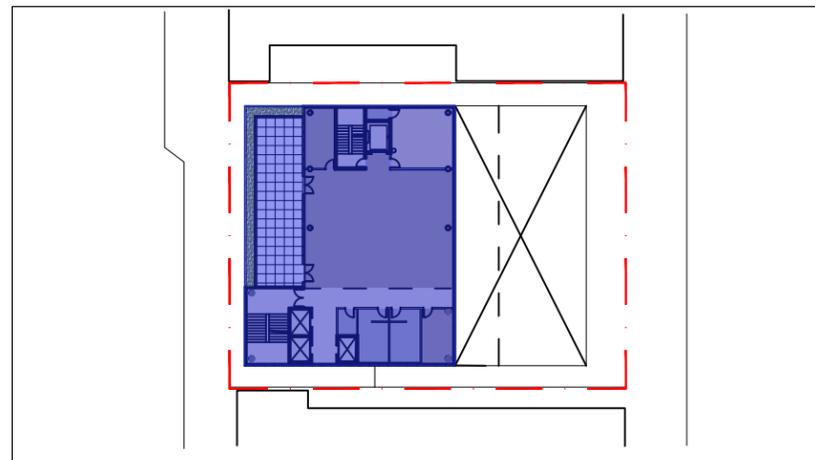
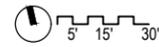
1st FLOOR PLAN GROSS = 9,595 SF  
SCALE: 1/60"=1'-60"



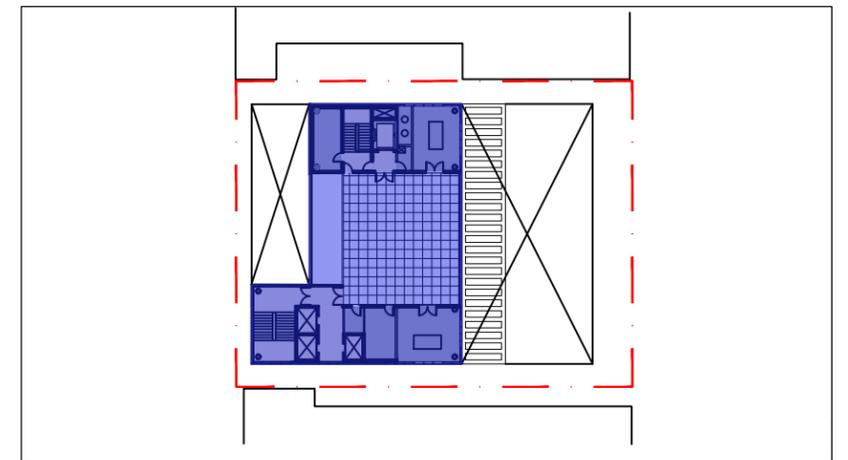
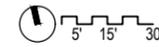
2nd FLOOR PLAN GROSS = 5,865 SF  
SCALE: 1/60"=1'-60"



3rd LEVEL PLAN GROSS = 8,397 SF  
SCALE: 1/60"=1'-60"



4th FLOOR PLAN GROSS = 5,865 SF  
SCALE: 1/60"=1'-60"



ROOFTOP PLAN GROSS = 4,742 SF  
SCALE: 1/60"=1'-60"



-GROSS CONSTRUCTION AREA

ROOF	=	4,742 SF
4th FL	=	5,865 SF
3rd FL	=	8,397 SF
2nd FL	=	5,865 SF
1st FL	=	9,595 SF
LOWER LEVEL	=	10,625 SF
		<hr/>
		45,089 SF

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DRAWING: GROSS FLOOR AREA DIAGRAMS

SCALE: 1:60

DATE: April 11, 2022

A21.0

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