

5980 N BAY ROAD RENOVATIONS

MIAMI BEACH, FLORIDA 33140

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SEAL:



COVER

MAR. 07, 2022



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SITE LOCATION

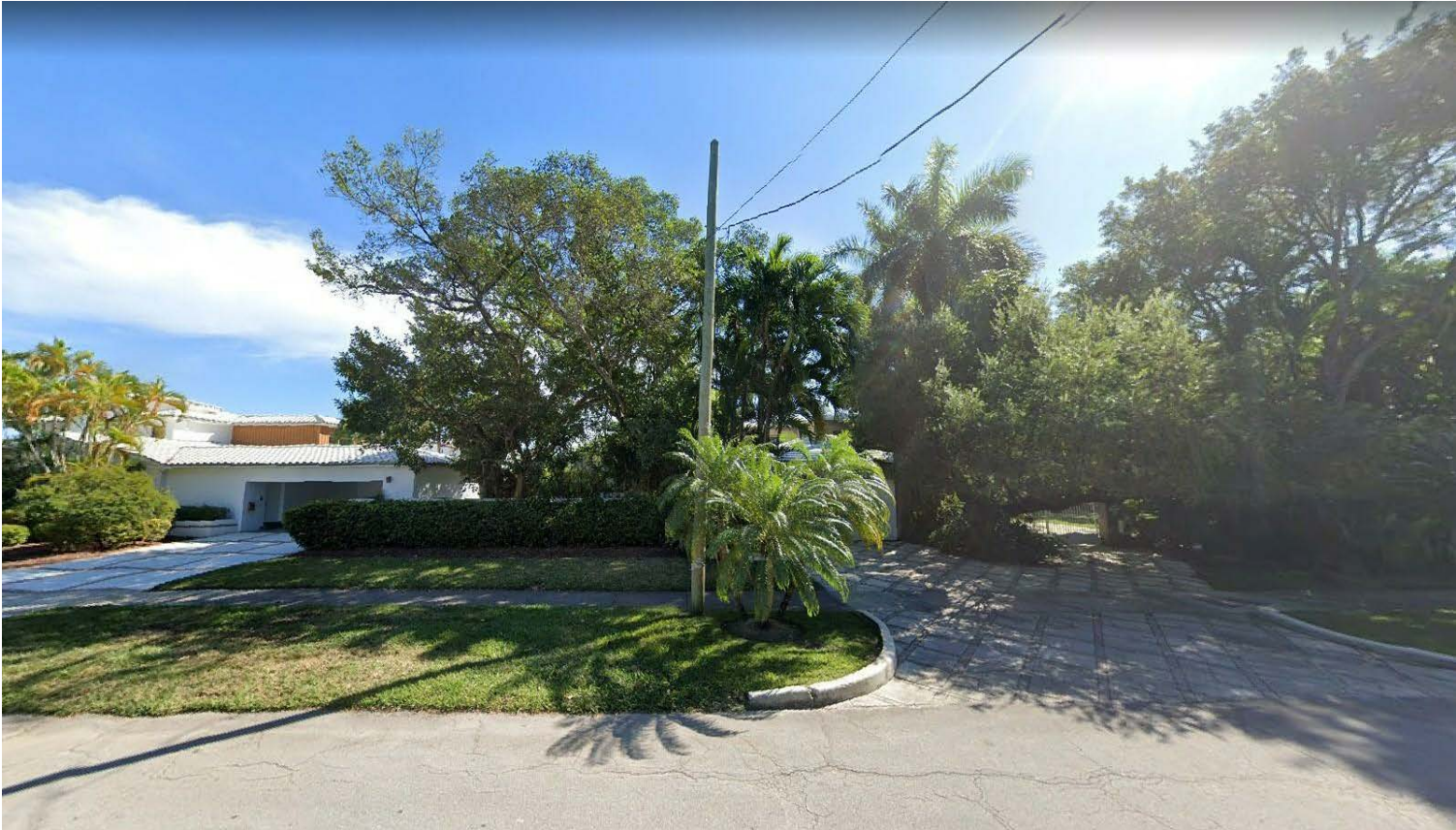
MAR. 07, 2022

5980 N BAY ROAD RENOVATIONS



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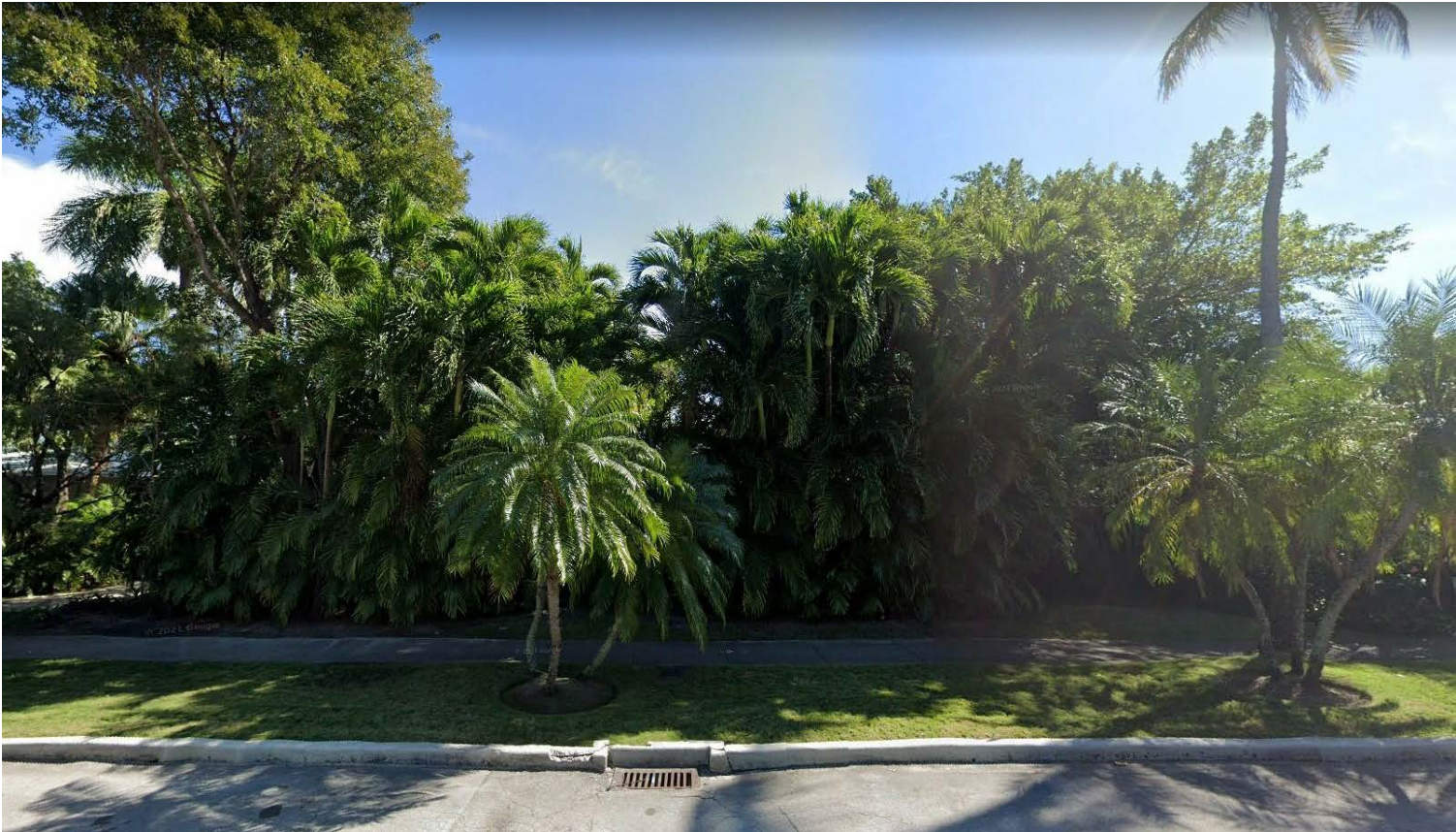
A



B



C



D

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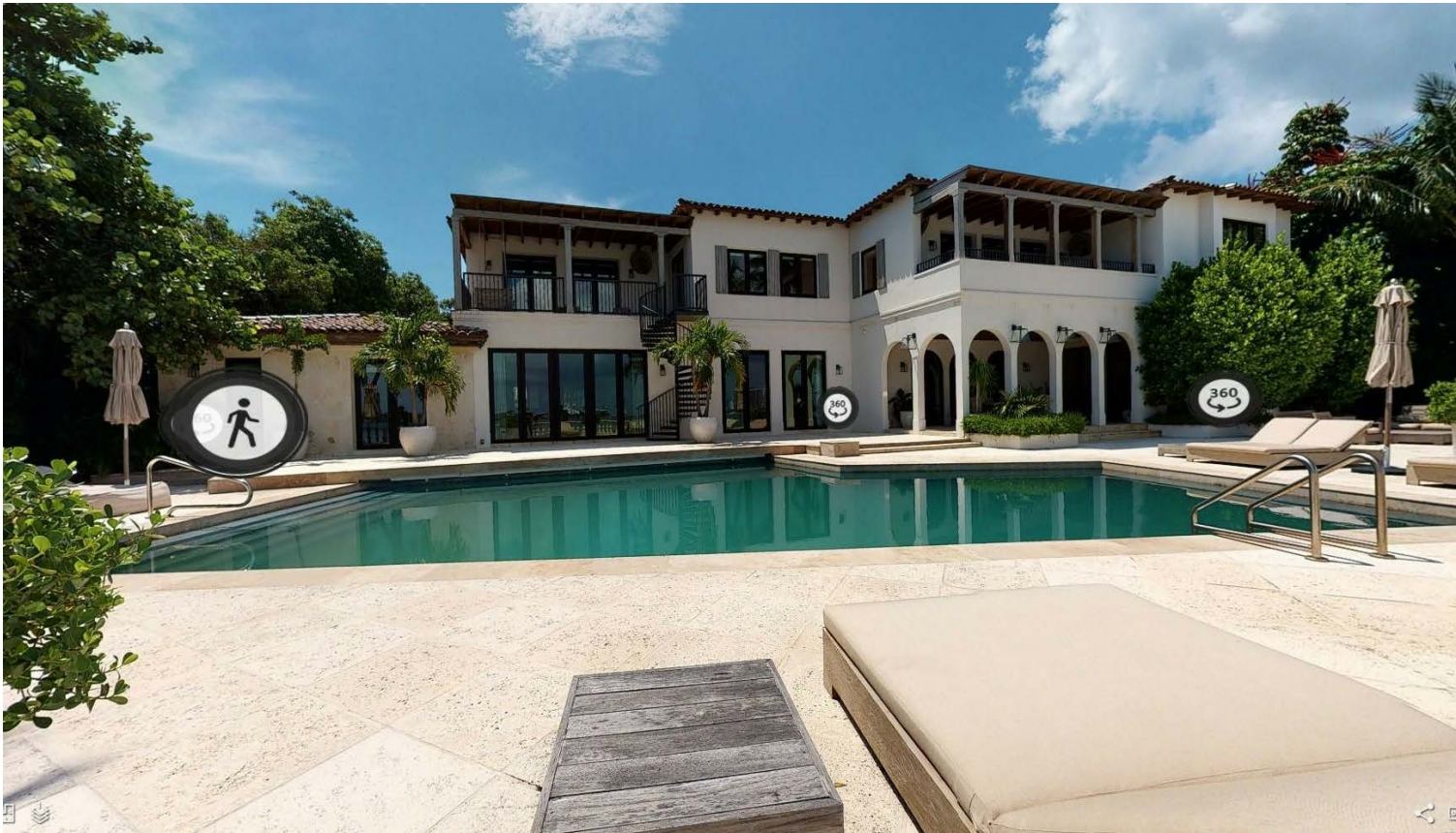
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NEIGHBOUR HOUSE IMAGES

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E



E



E



E

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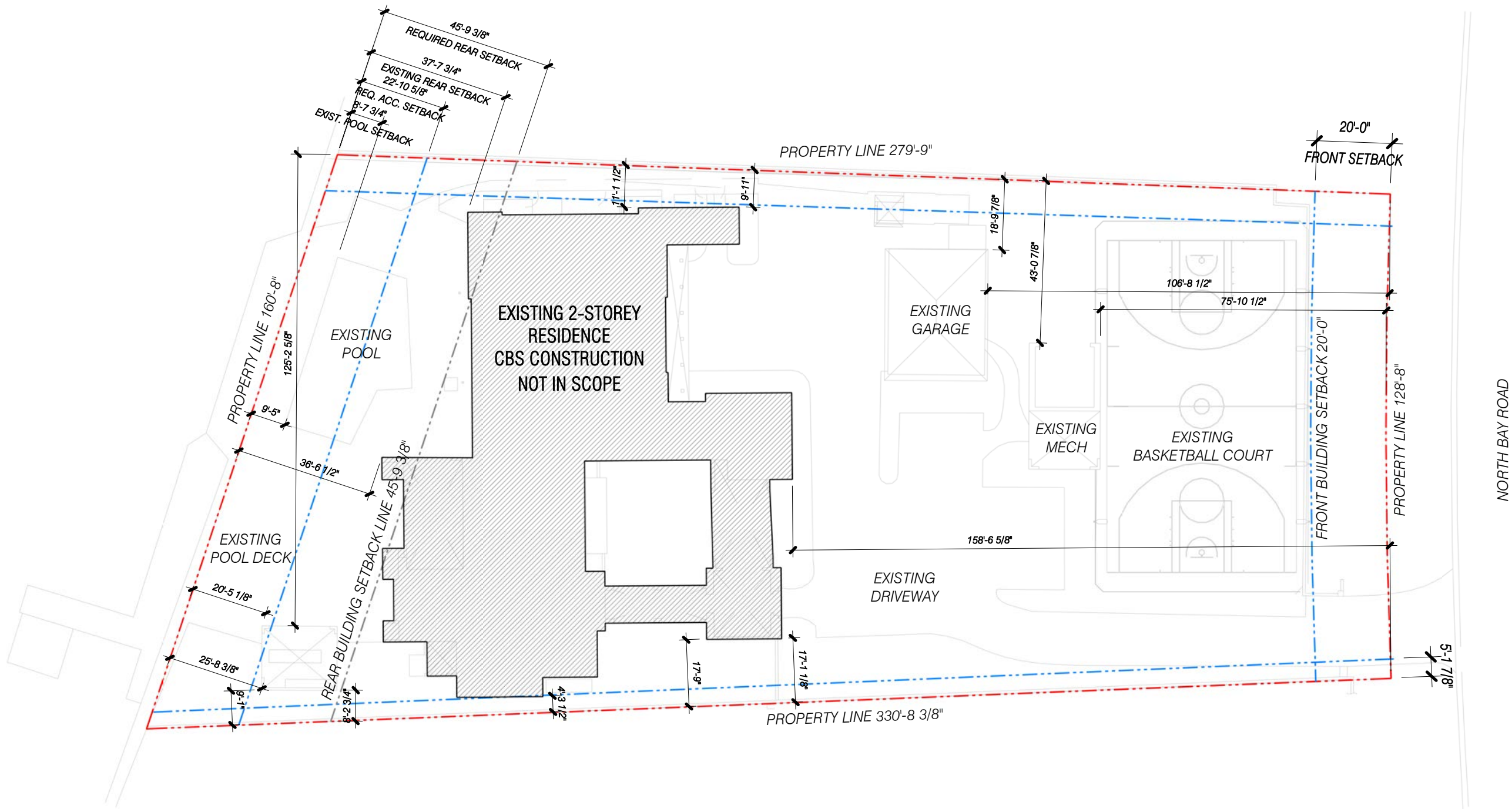
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EXISTING SITE IMAGES

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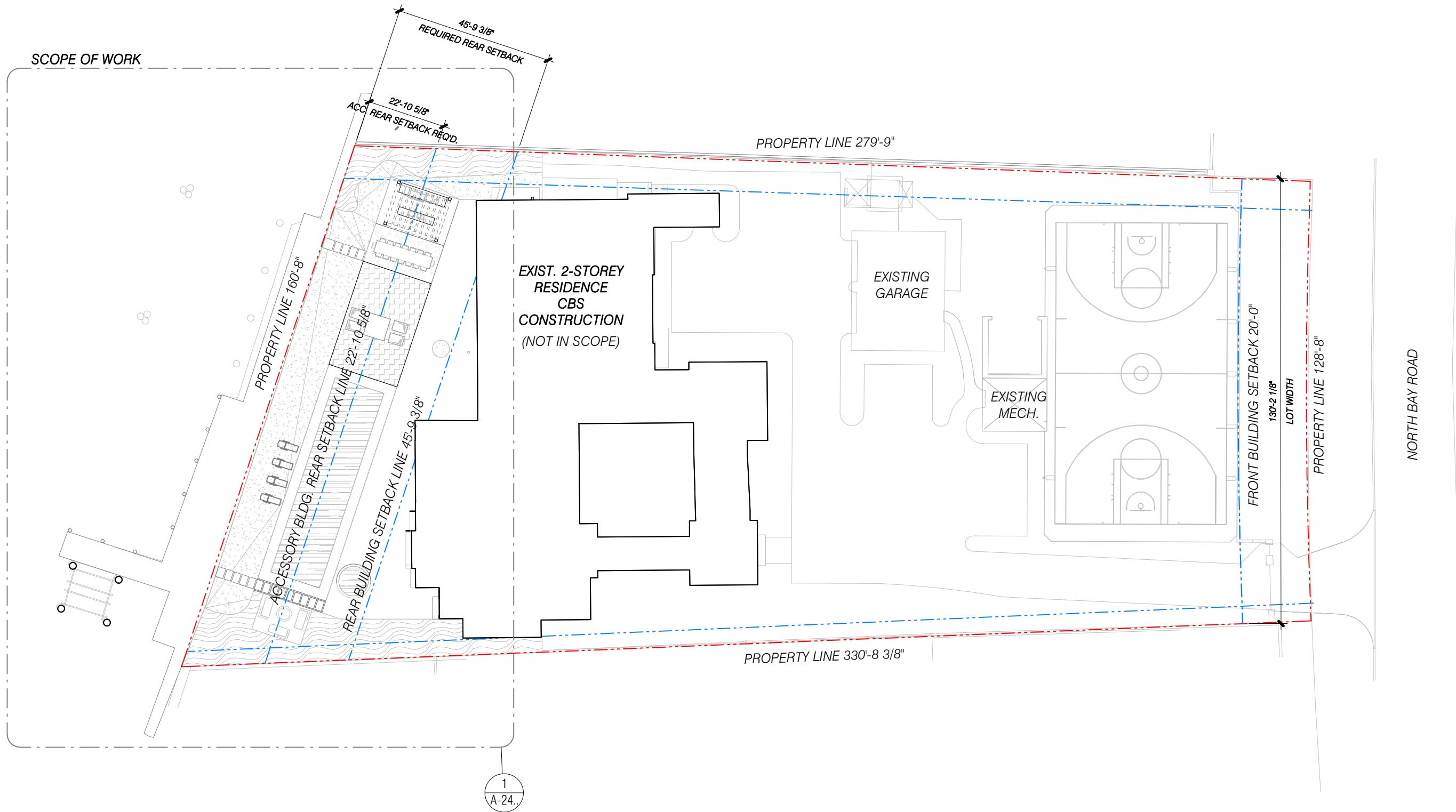
SEAL:



EXISTING SITE PLAN

1" = 30'-0"

MAR. 07, 2022



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PROPOSED SITE PLAN

1" = 30'-0"

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FINAL SUBMITTAL | DRB22-0794

A-23



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PROPOSED RENDER

MAR. 07, 2022

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EXISTING PHOTO - REAR

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RENDERING - PROPOSED

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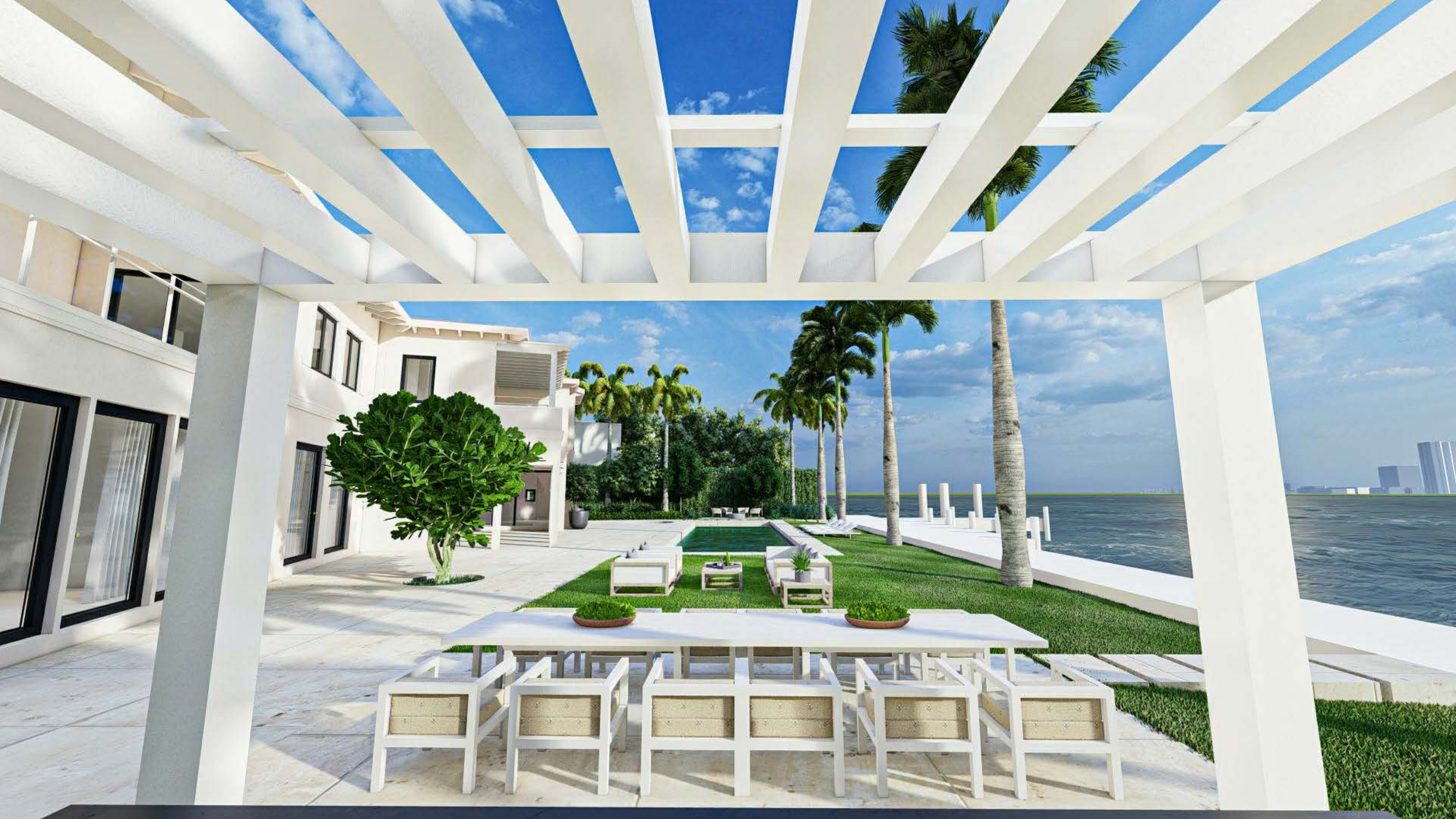
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EXISTING PHOTO - REAR 4

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SEAL:



FRONT ELEVATIONS

MAR. 07, 2022



EXISTING REAR ELEVATION
 Scale: 1/16" = 1'-0"



PROPOSED REAR ELEVATION
 Scale: 1/16" = 1'-0"

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REAR ELEVATIONS

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SEAL:



SOUTHWEST (SIDE)
ELEVATIONS

MAR. 07, 2022



EXISTING NORTH-EAST ELEVATION
Scale: 1/16" = 1'-0"



PROPOSED NORTH-EAST ELEVATION
Scale: 1/16" = 1'-0"

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SEAL:



NORTHEAST (SIDE)
ELEVATIONS

MAR. 07, 2022



WHITE STUCCO



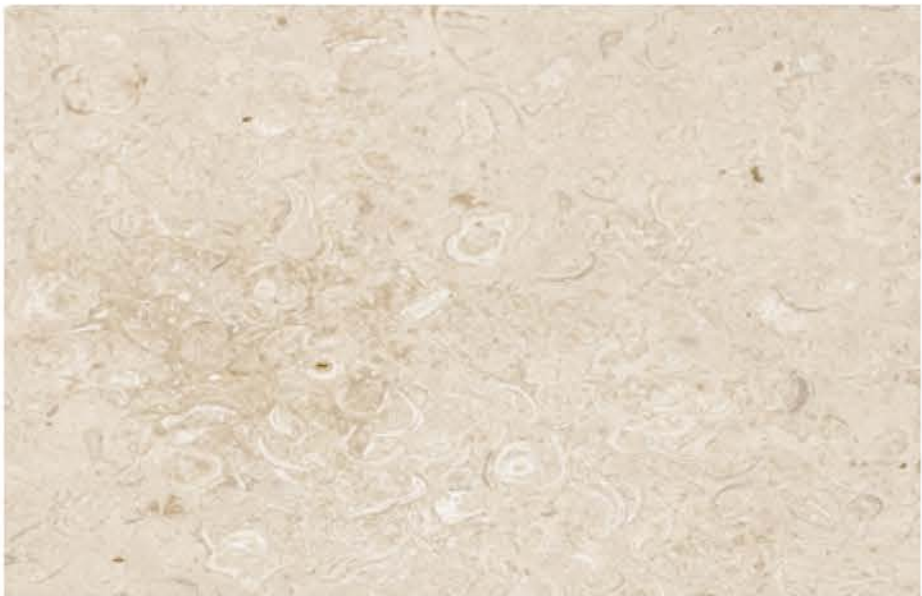
TERRACOTTA CLAY TILE ROOF ON THE TOWER



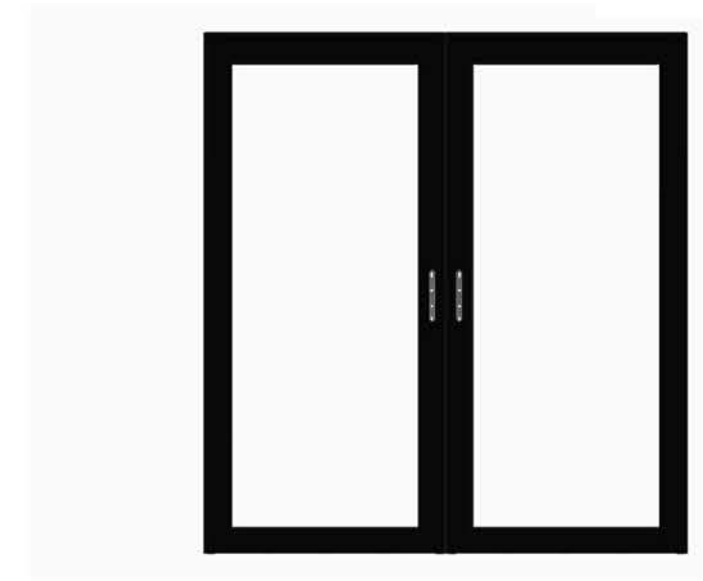
GLASS HANDRAILS



WHITE ALUMINUM FOR THE NEW PERGOLA



COQUINA LIMESTONE FOR THE POOL DECK



BLACK METAL DOOR FOR THE TOWER

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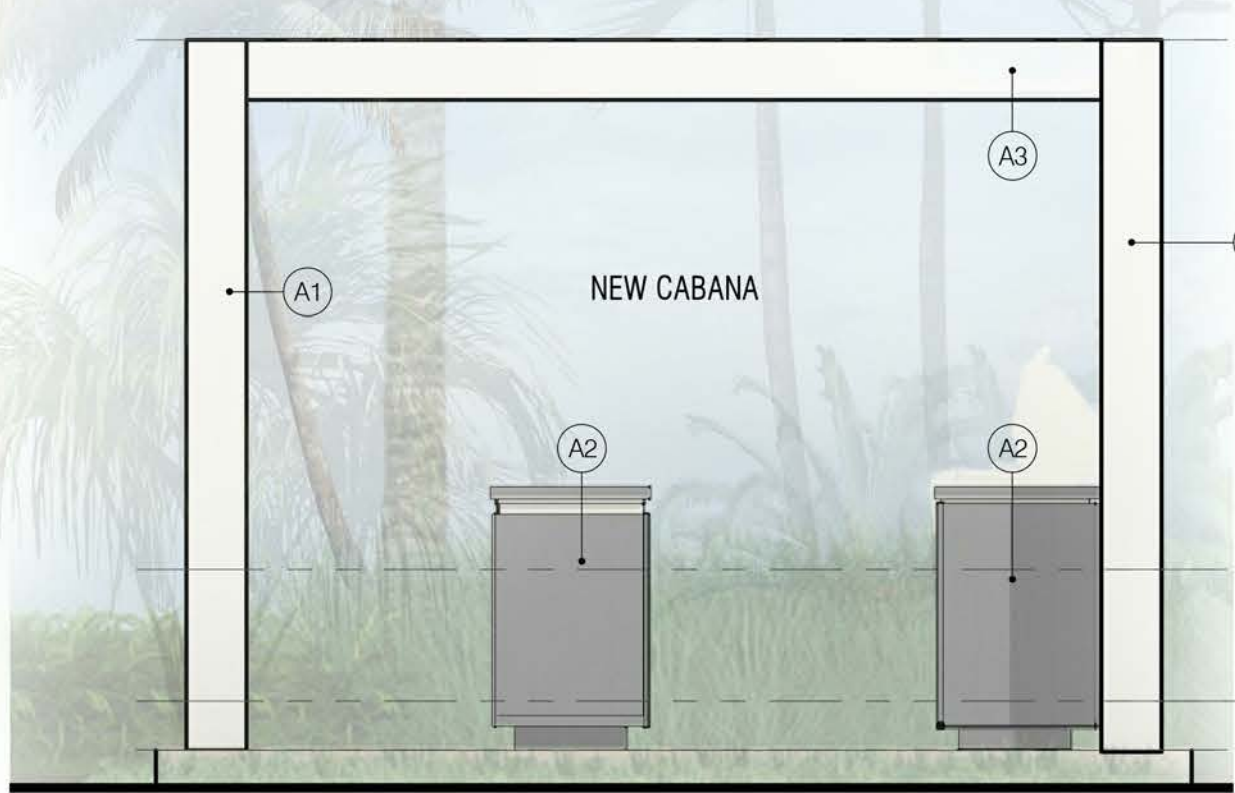


MATERIAL BOARD

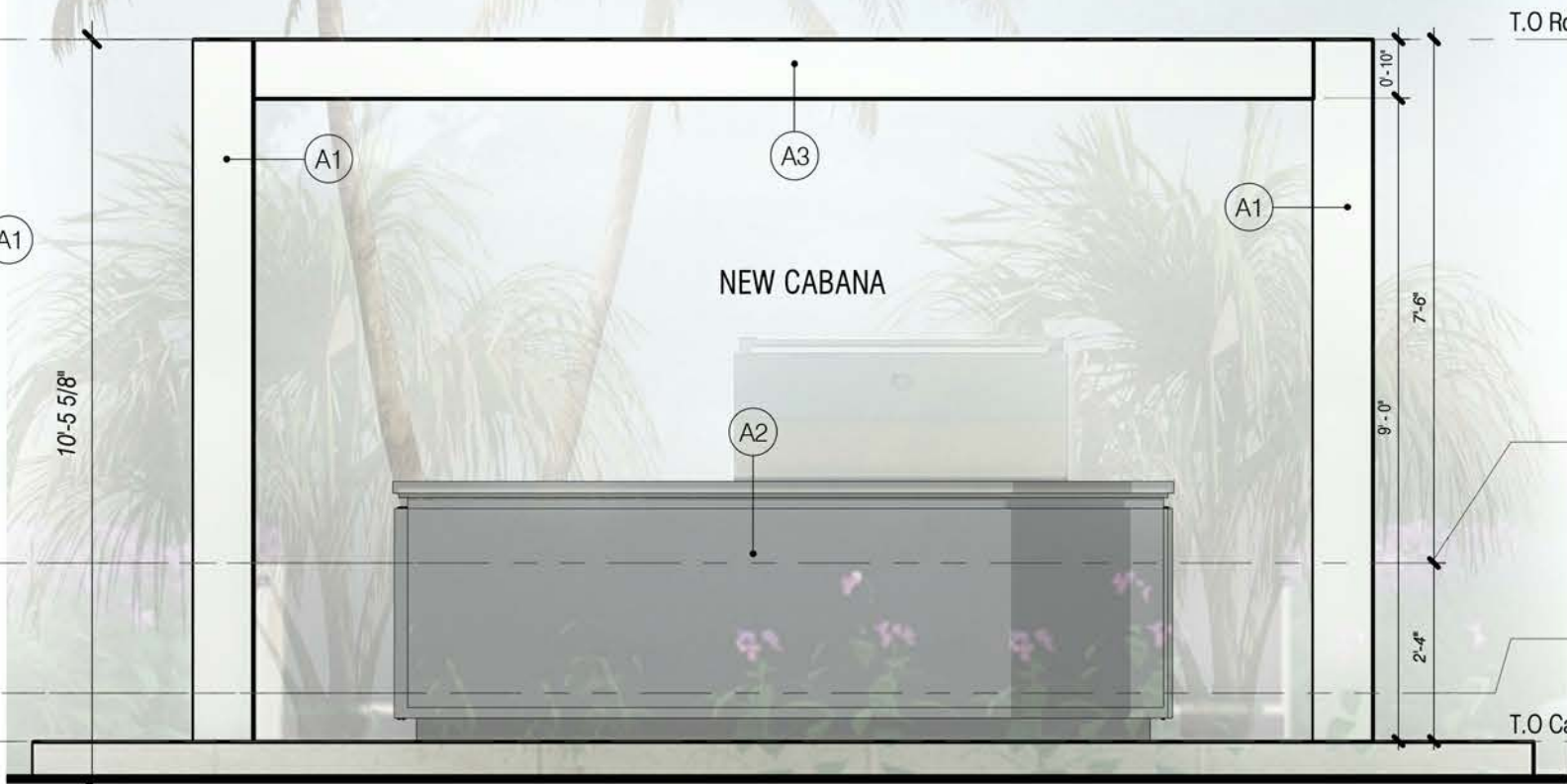
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ELEVATION NOTES:

- A1 ALUMINIUM WHITE PERGOLA
- A2 CASEWORK
- A3 ALUMINIUM WHITE ROOF



ELEVATION 1
Scale: 3/8" = 1'-0"



ELEVATION 2
Scale: 3/8" = 1'-0"



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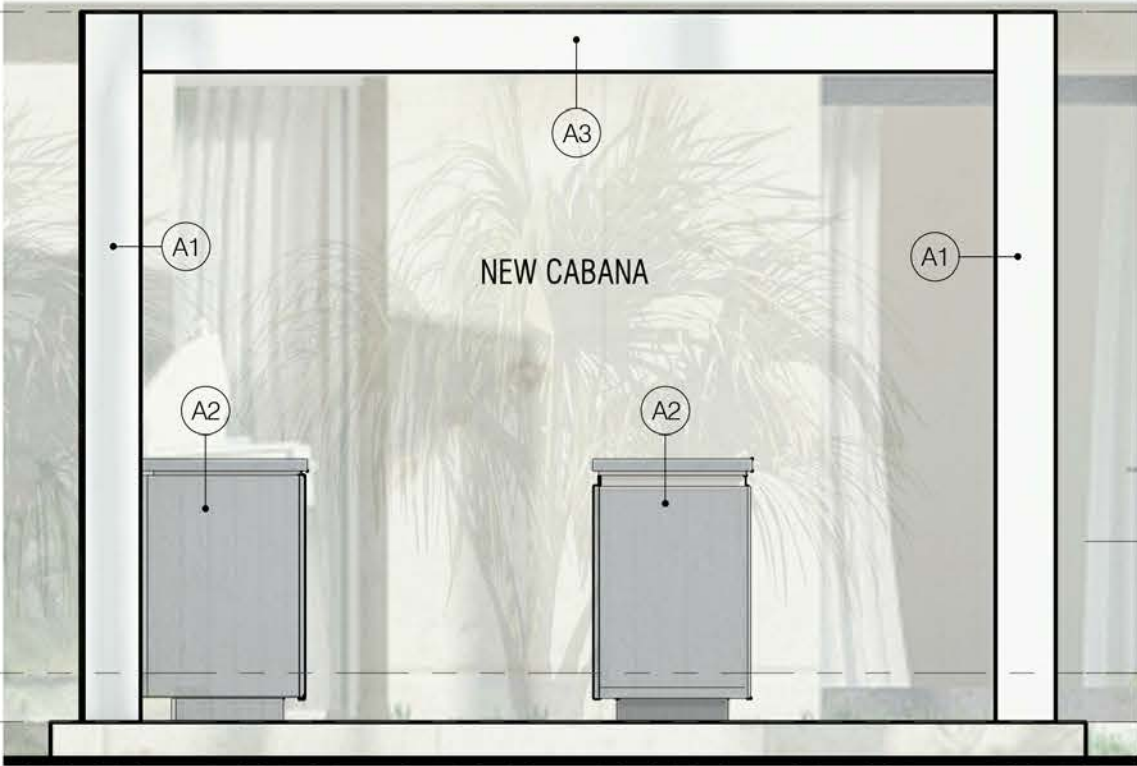
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SEAL:



POOL CABANA ELEVATIONS

MAR. 07, 2022



ELEVATION 3
Scale: 3/8" = 1'-0"



ELEVATION 4
Scale: 3/8" = 1'-0"

- ELEVATION NOTES:**
- A1 ALUMINIUM WHITE PERGOLA
 - A2 CASEWORK
 - A3 ALUMINIUM WHITE ROOF

- T.O Roof Cabana(9' - 3 13/16")
16' - 6" NGVD
- BFE +1(1' - 9 13/16")
9' - 0" NGVD
- EXIST. FIN. FLR(0' - 0")
7' - 2 5/32" NGVD
- T.O Cabana Slab.(-0' - 6 3/16")
6' - 8" NGVD
- Adjusted Grade(-1' - 3 27/32")
5' - 10 5/16" NGVD

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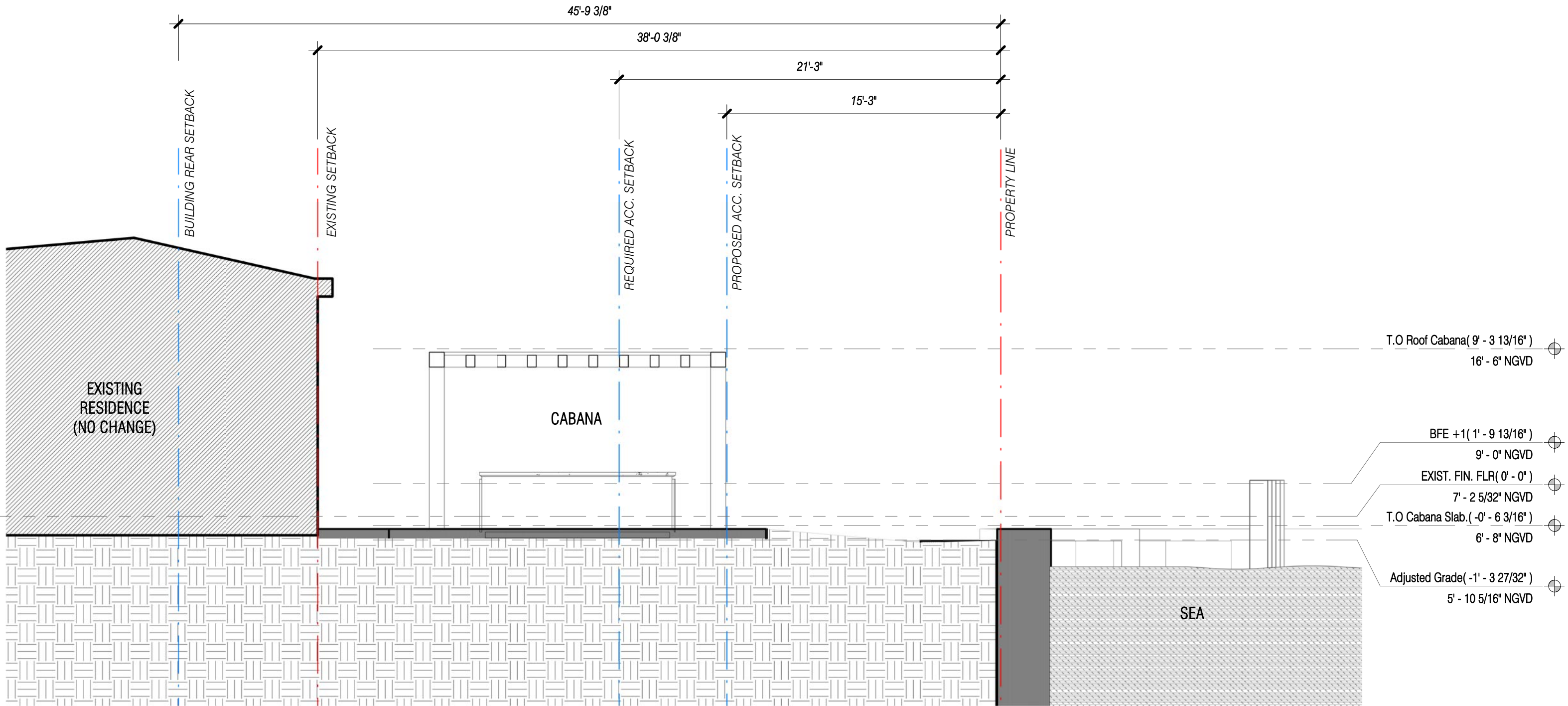
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POOL CABANA ELEVATIONS

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SECTION 3 - CABANA
Scale: 3/16" = 1'-0"

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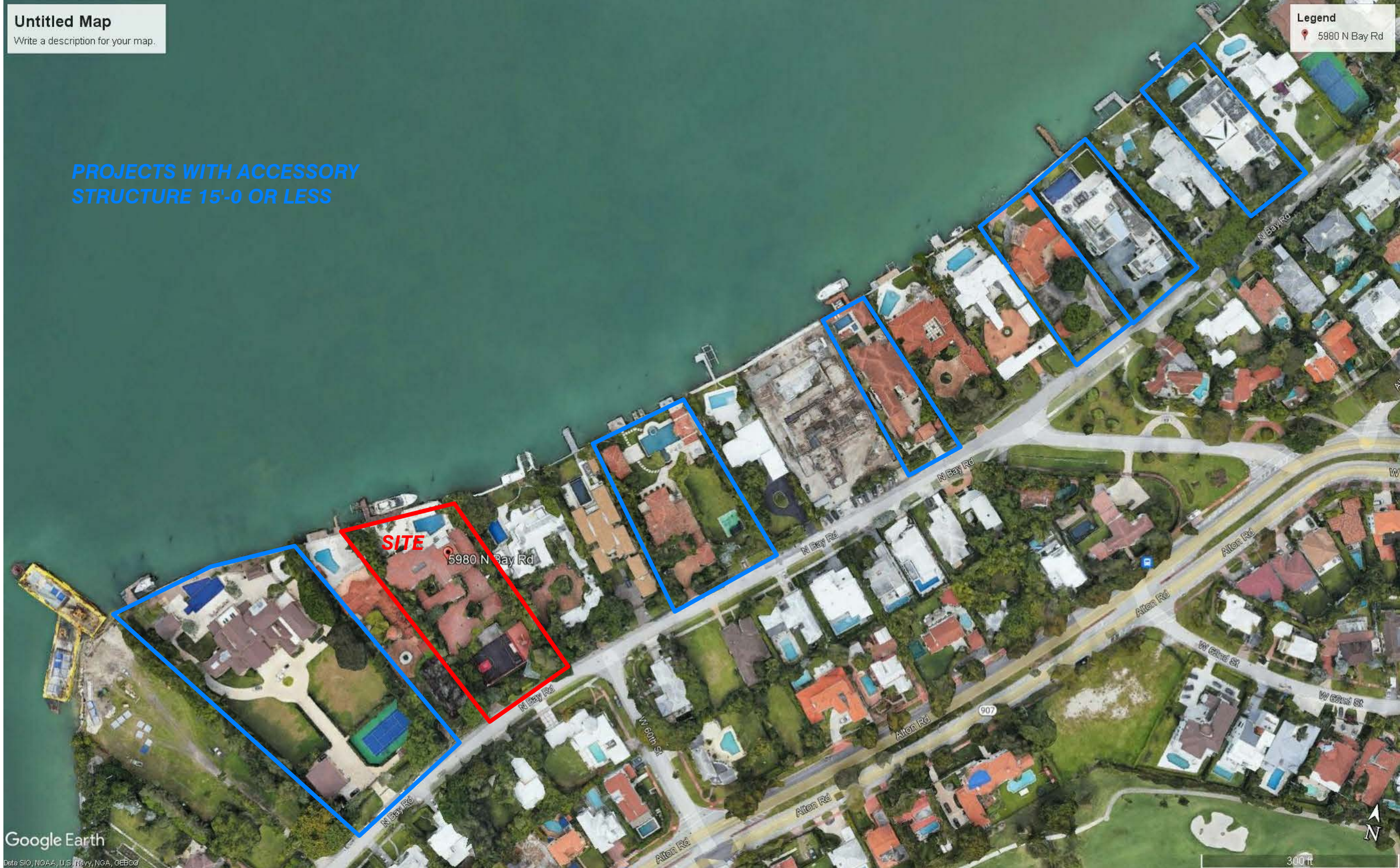
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POOL & CABANA SECTIONS

3/16" = 1'-0"

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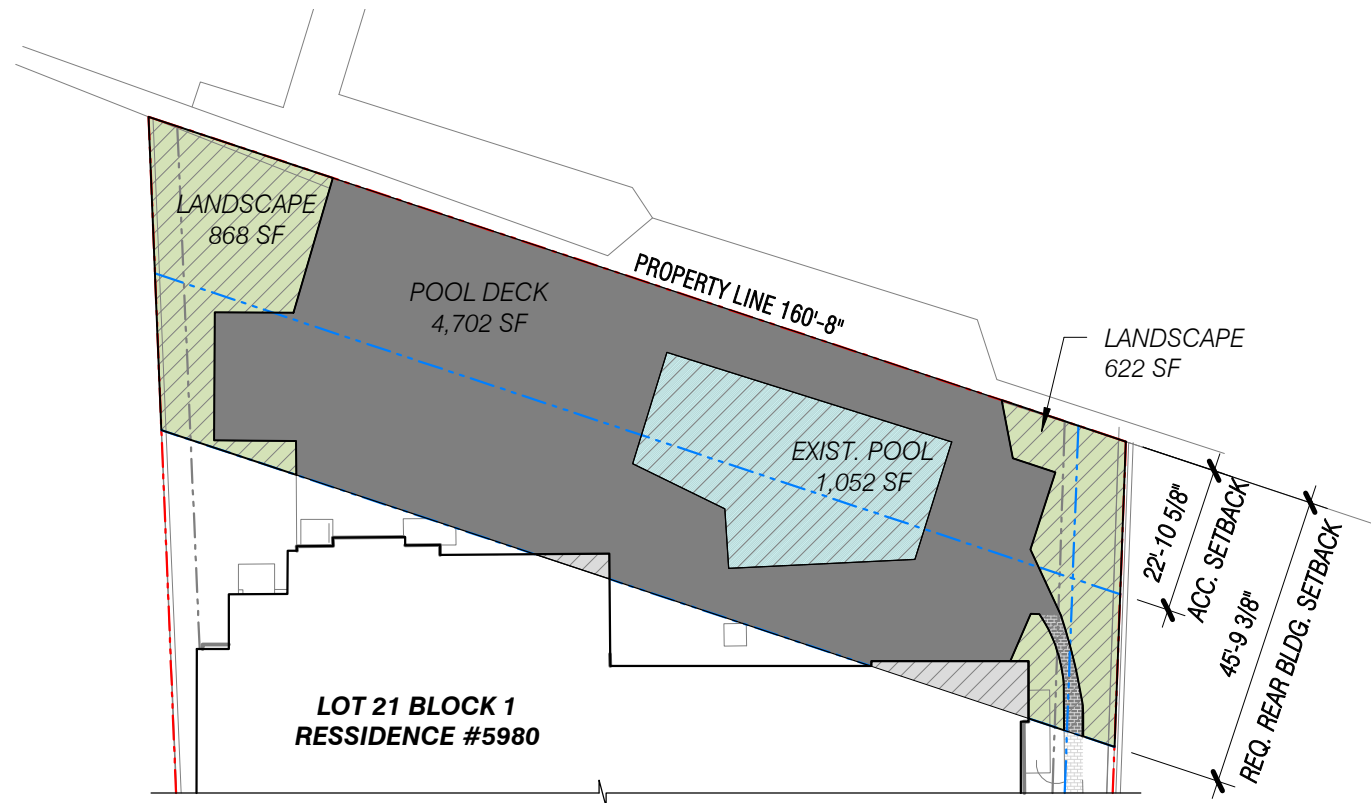
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ACC. STRUCTURE WITH 15'

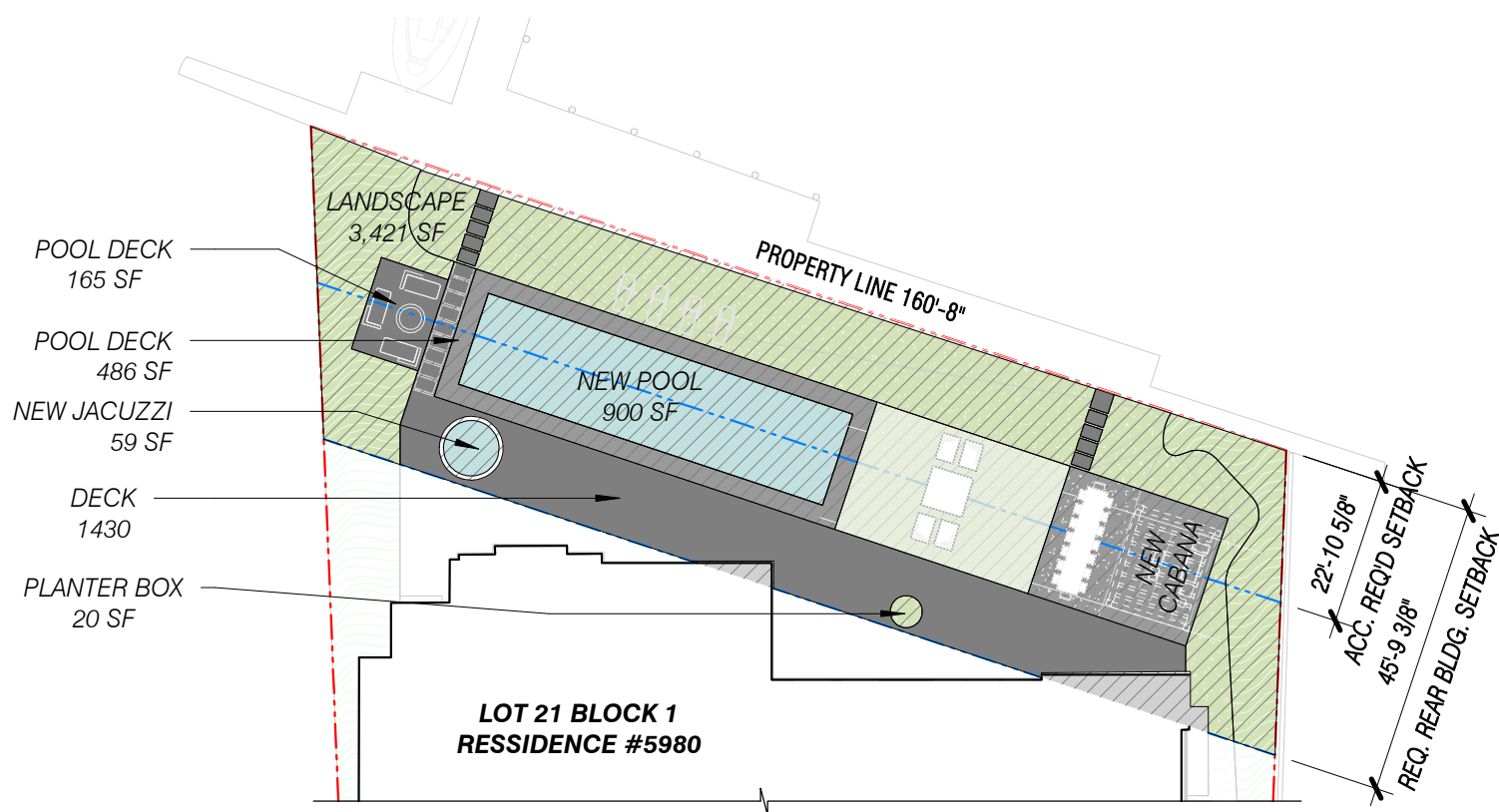
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EXISTING REAR YARD CALC

Scale: 1" = 30'-0"

	EXISTING REAR YARD AREA	(100%)	7,265 SF
	DECK/ ACCESSORY BLDG. AREA	(65%)	4,744 SF
	LANDSCAPE/POOL AREA (A + B)	(27%)	2,016 SF
	A-LANDSCAPE	(20%)	1,490 SF
	POOL AREA	(15%)	1,052 SF
	B- 50% POOL AREA		526 SF



PROPOSED REAR YARD CALC

Scale: 1" = 30'-0"

	PROPOSED REAR YARD AREA	(100%)	7,265 SF
	DECK/ ACCESSORY BLDG. AREA	(38%)	2,758 SF
	LANDSCAPE/POOL AREA (A + B + C)	(49%)	3,584.5 SF
	A-LANDSCAPE	(38.2%)	2,772.5 SF
	POOL & JACUZZI AREA	(13.2%)	956 SF
	ASTROTURF	(9%)	668 SF
	B- 50% POOL & JACUZ. AREA		478 SF
	C- 50% ASTROTURF AREA		334 SF



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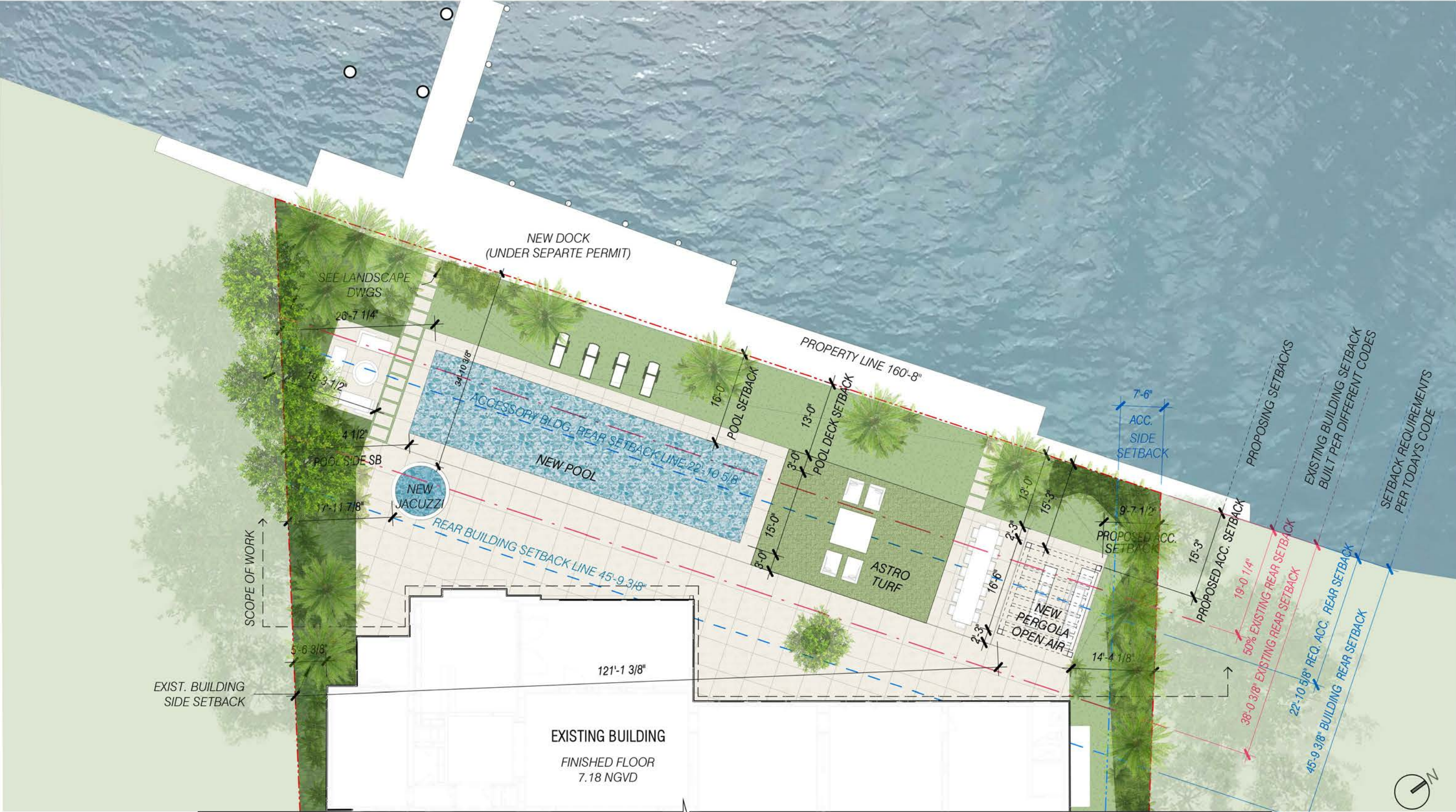
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IMPERVIOUS DIAGRAM -
REAR YARD

As indicated

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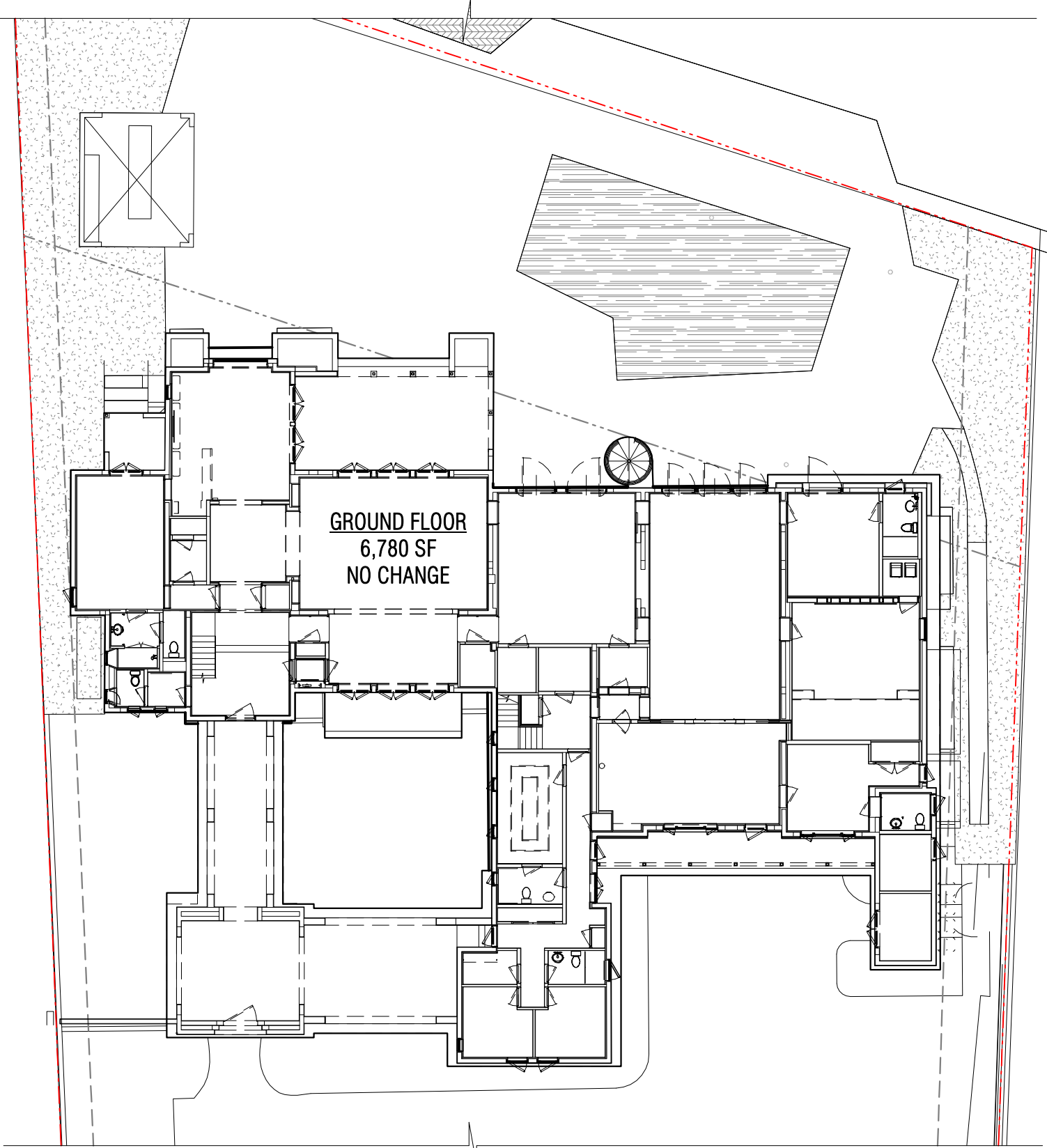
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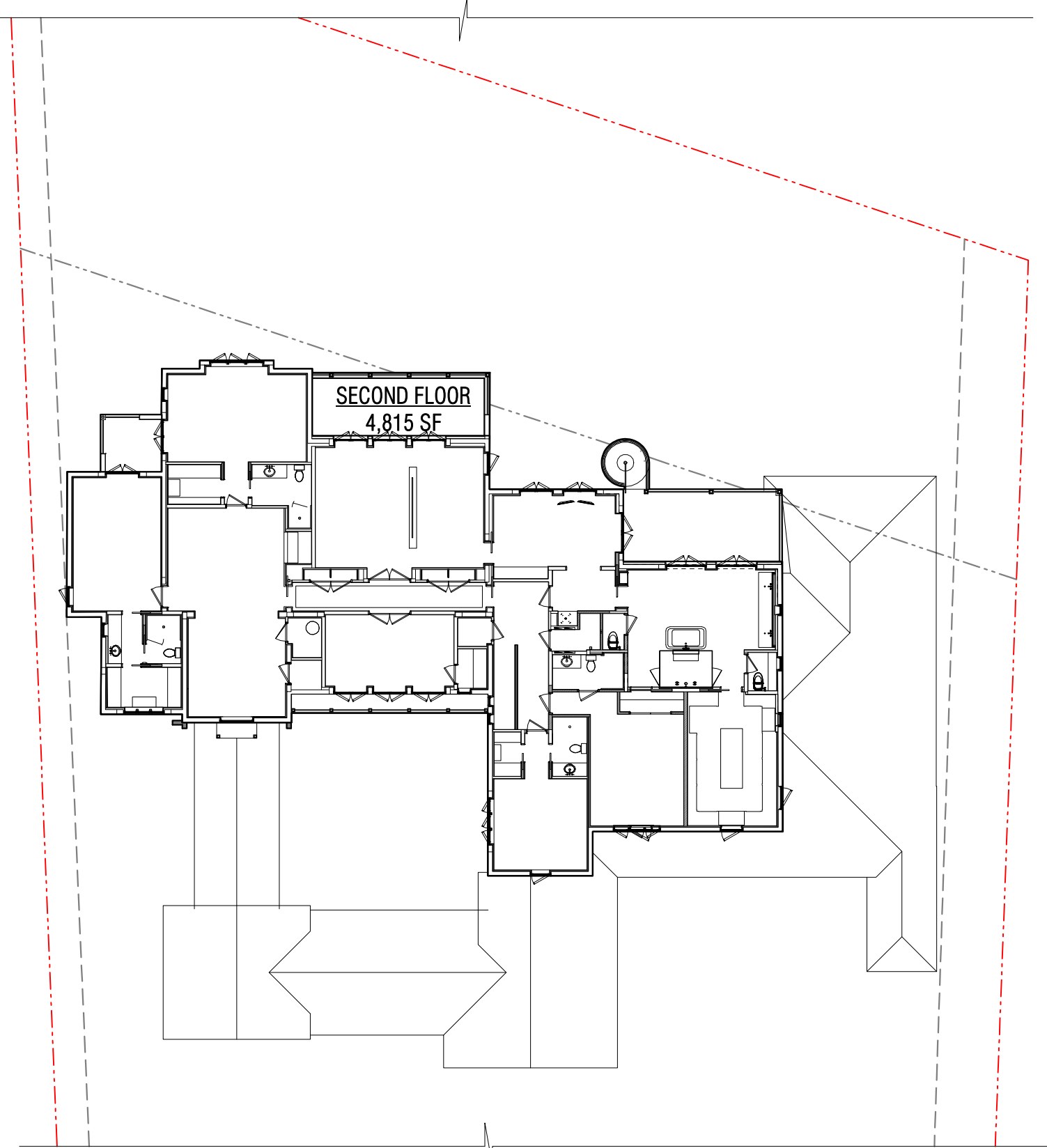


PROPOSED REAR YARD

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EXISTING 1ST FLOOR
Scale: 1" = 20'-0"



EXISTING SECOND FLOOR PLAN
Scale: 1" = 20'-0"

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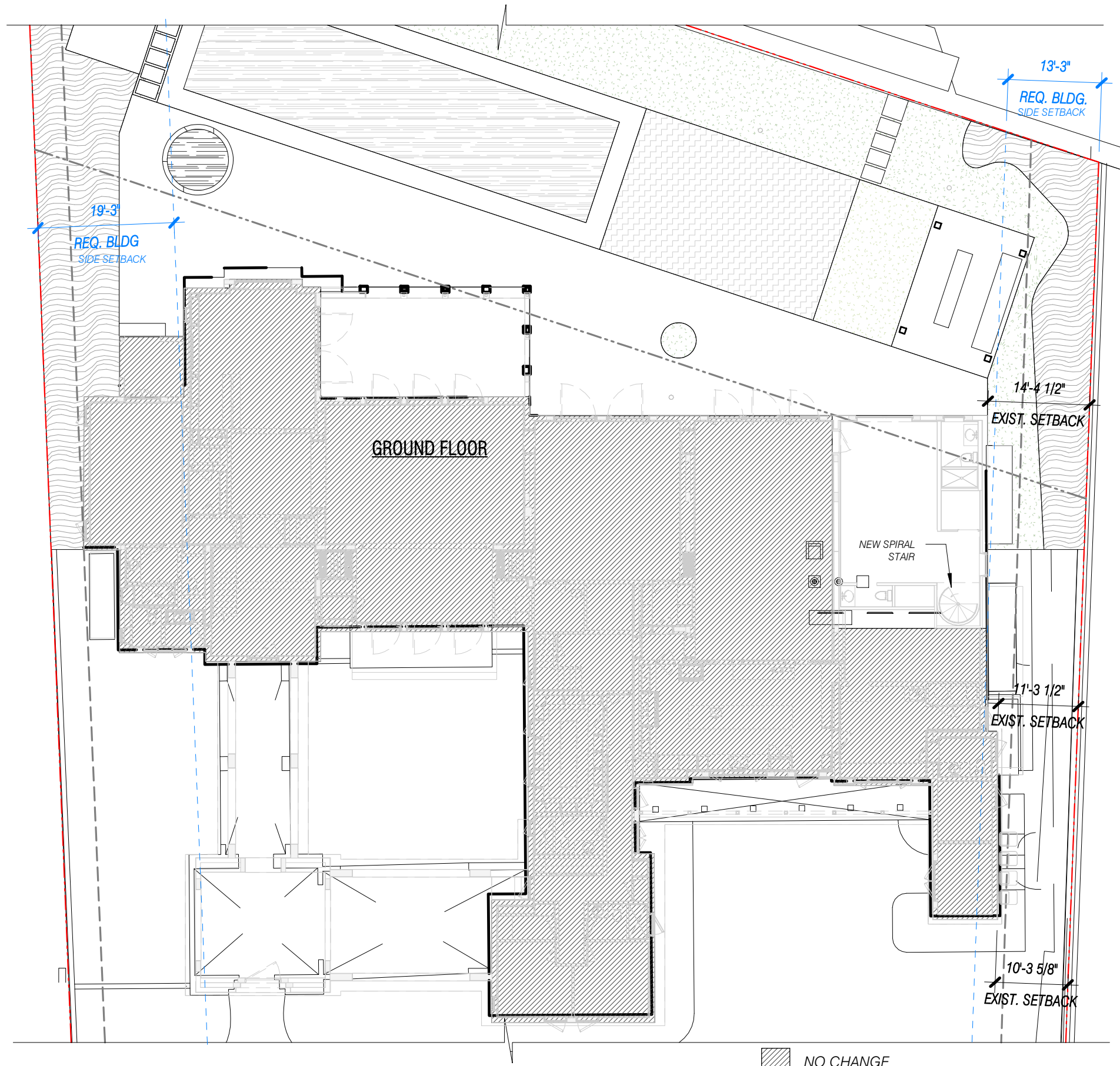
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EXISTING FIRST & SECOND
FLOOR PLAN

1" = 20'-0"

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NO CHANGE

PROPOSED FIRST FLOOR
PLAN

PROPOSED 1ST FLOOR

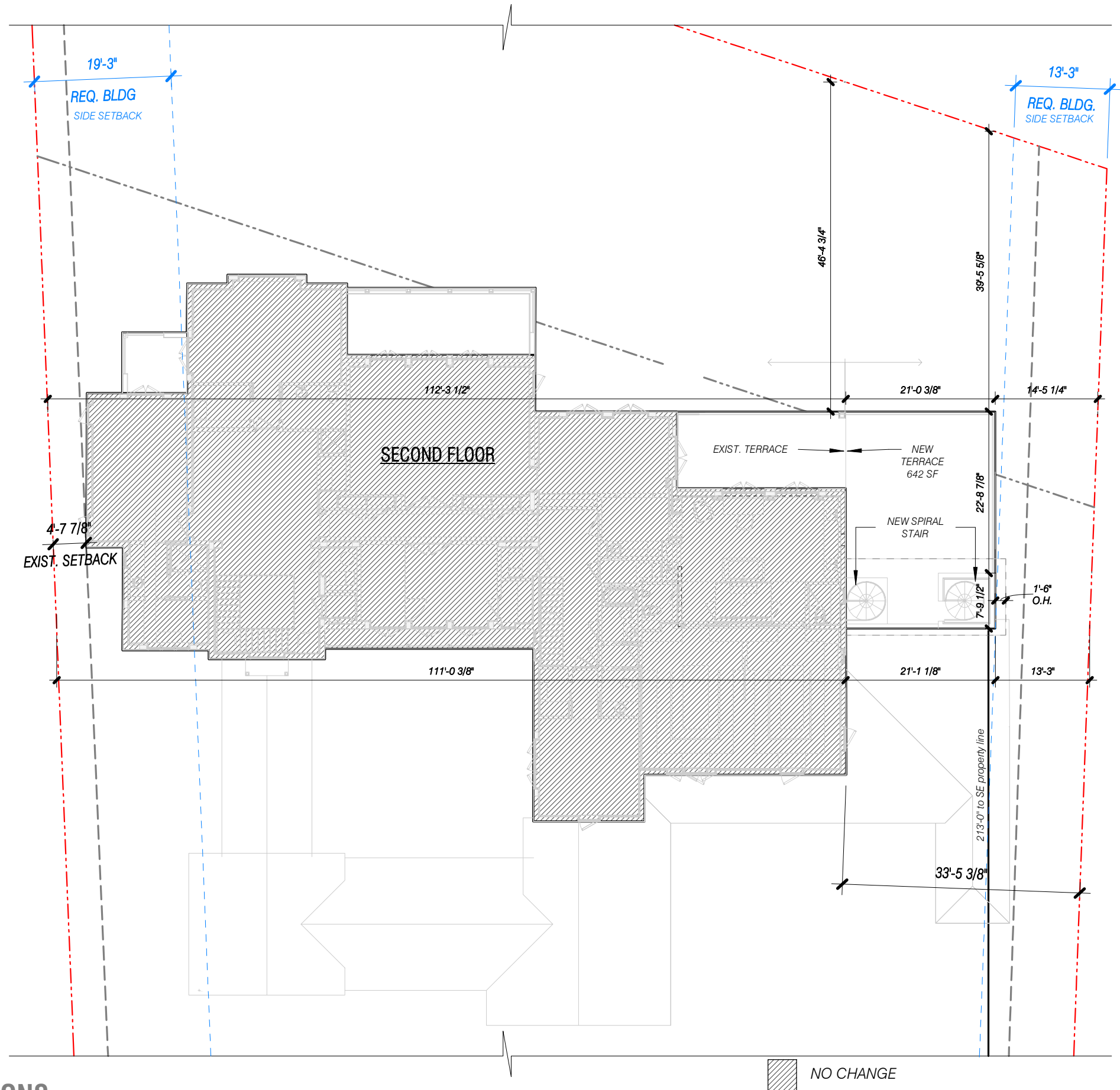
Scale: 1/16" = 1'-0"

1/16" = 1'-0"

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A-16



LOT WIDTH =	130' 2 - 1/8"
MIN. BUILDING SIDE SETBACK (10% OF LOT WIDTH)	13'-3"
PROVIDED	13'-3"

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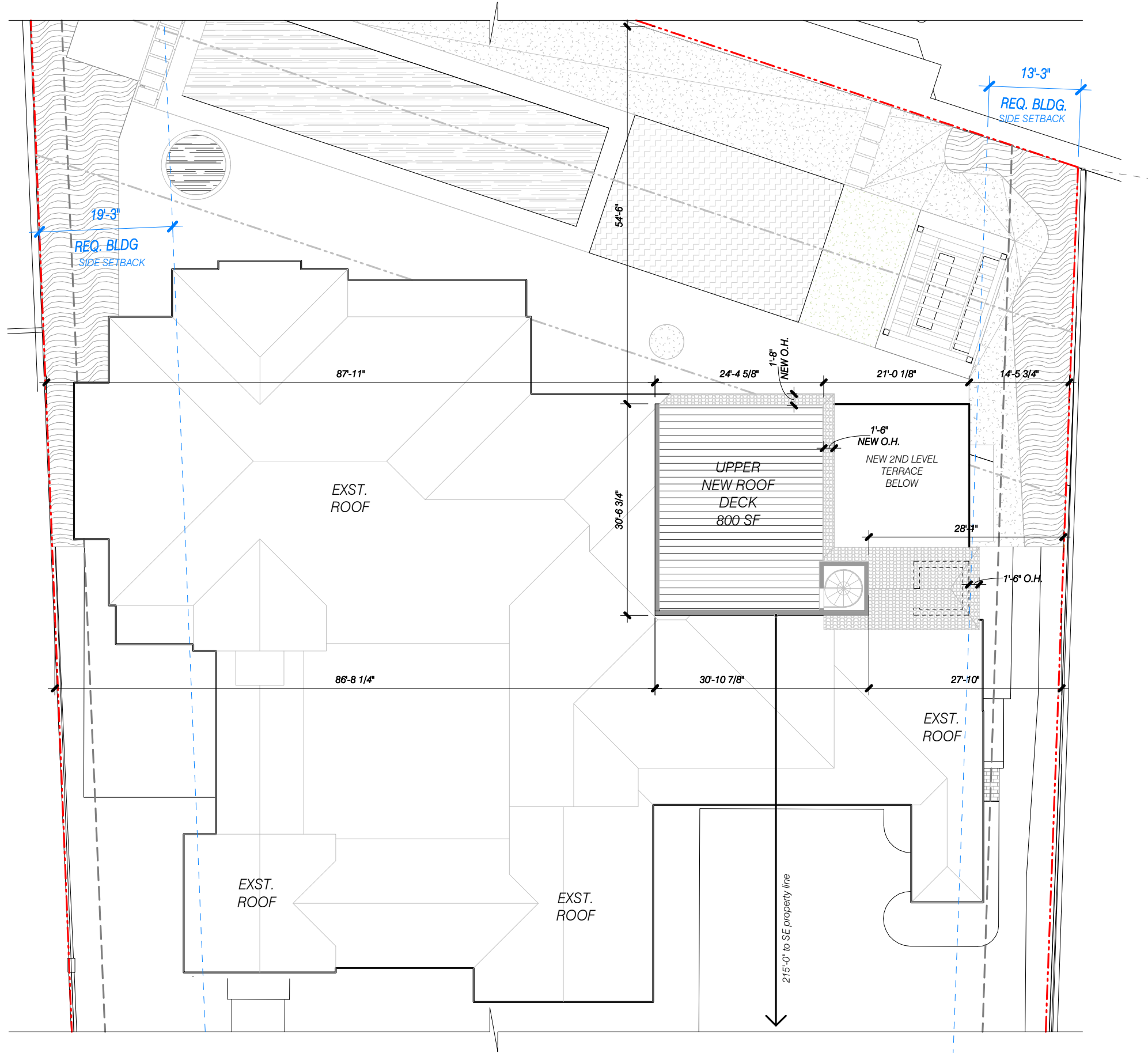
PROPOSED SECOND FLOOR
PLAN

1/16" = 1'-0"

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PROPOSED ROOF DECK

1/16" = 1'-0"

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A-18

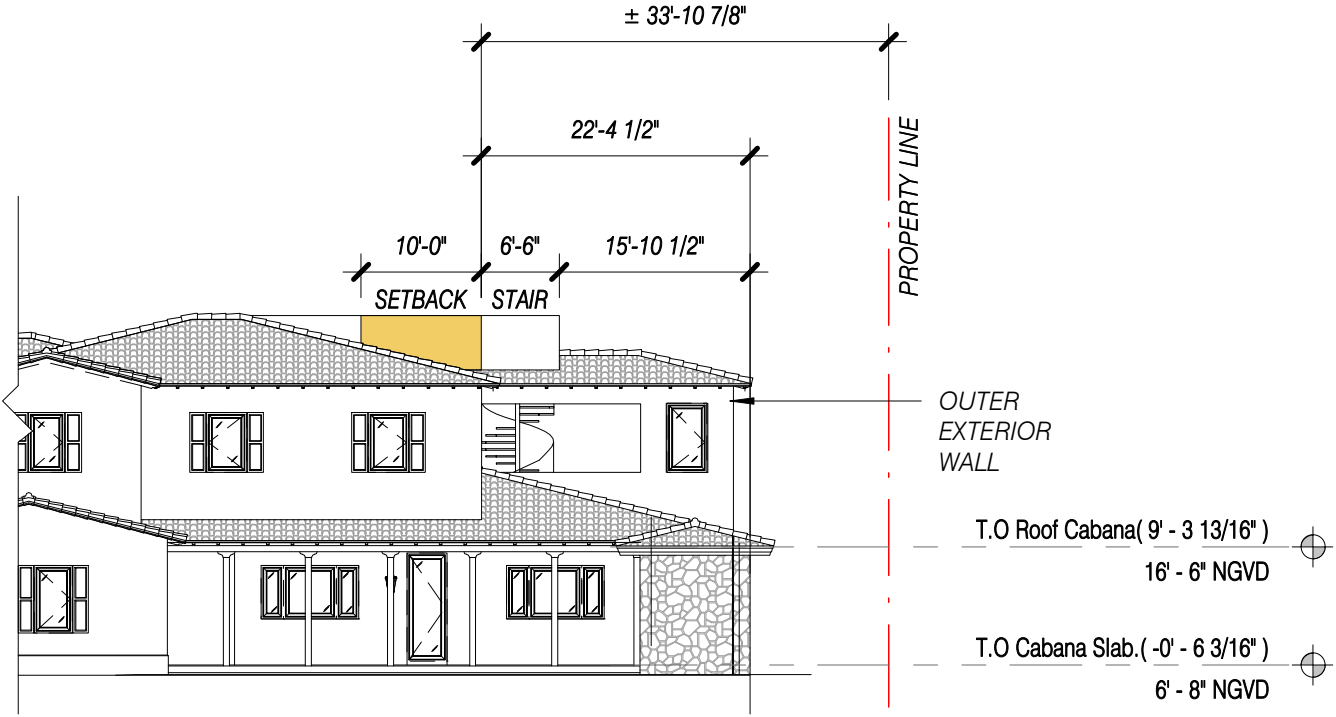
EXISTING CONDITION

CODE REFERENCE

142-105.6 ROOF DECK
Roof decks shall be setback a minimum of **ten feet from each side of the exterior outer walls**, when located along a front or **side elevation**, and from the rear elevation for non-waterfront lots.

REQUEST ING

Requesting to eliminate second story roof deck setback. We have a roof below that sets this roof deck 33± from property line.



ELEVATION

Scale: 1/16" = 1'-0"

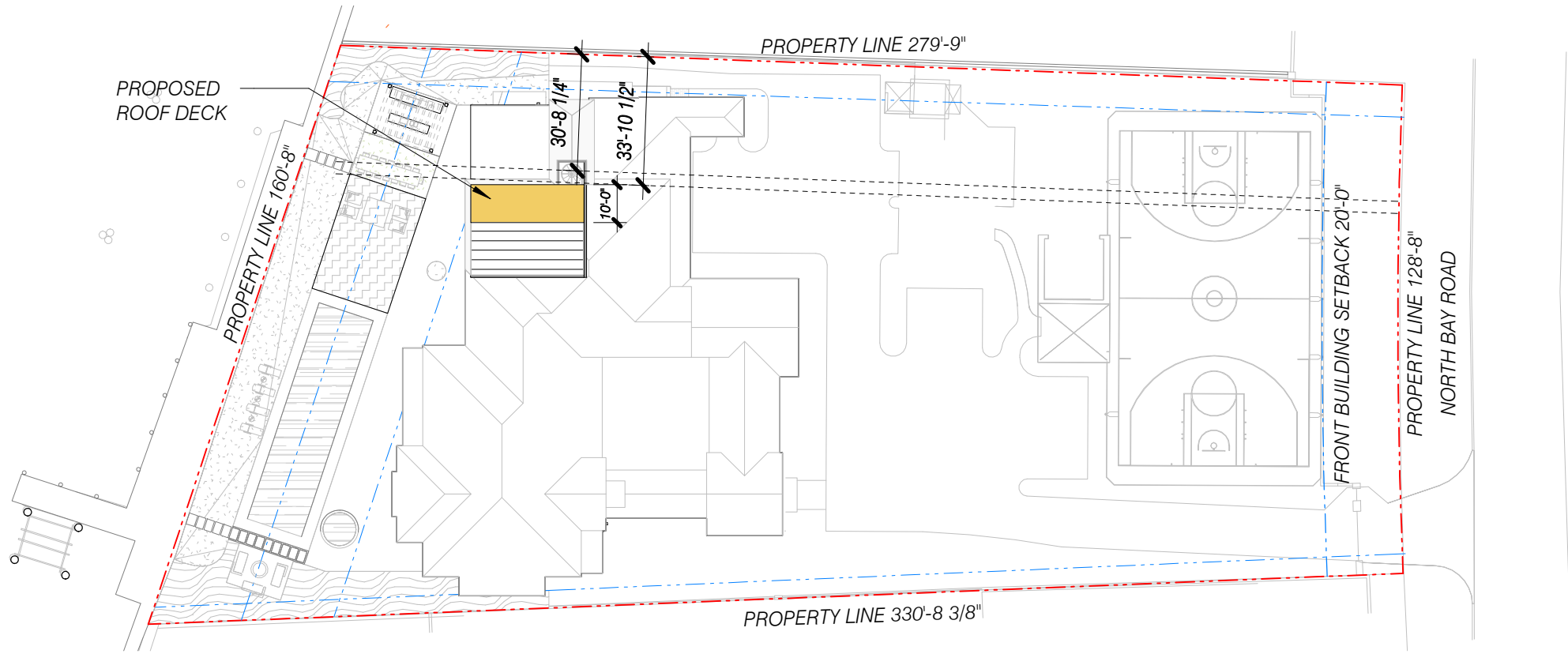


DIAGRAM - SITE PLAN

Scale: 1" = 40'-0"

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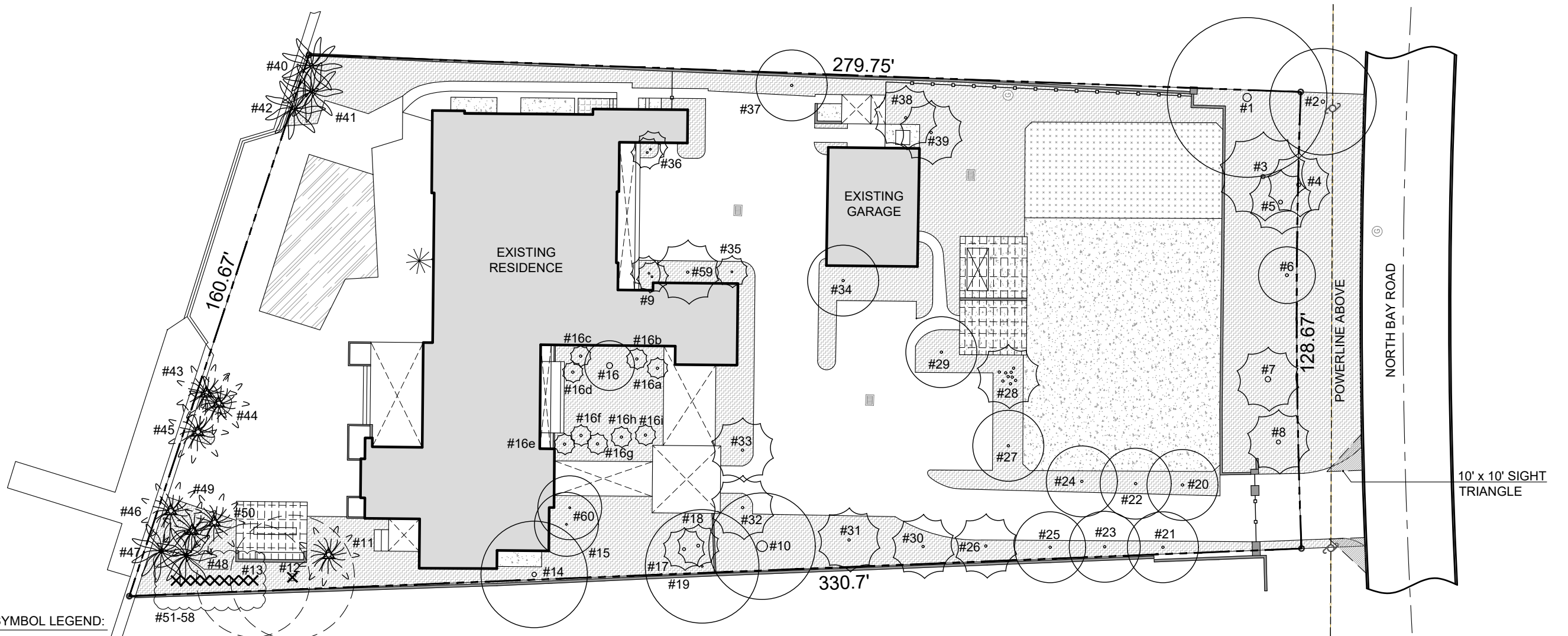
VARIANCE DIAGRAM - ROOF
DECK SETBACK

As indicated

MAR. 07, 2022

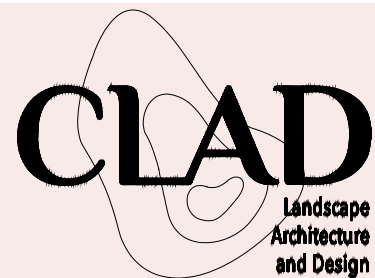
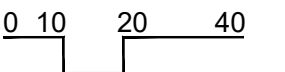
FINAL SUBMITTAL | DRB22-0794

A-33



TREE DISPOSITION SYMBOL LEGEND:

- TREE TO REMAIN
- TREE TO REMOVE
- PALM TO REMAIN
- PALM TO RELOCATE



LANDSCAPE ARCHITECT:

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8020 NE 4TH AVE, STUDIO 103
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

DRAWING TITLE:


TREE DISPOSITION PLAN

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:


CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:

1/32"=1'-0"

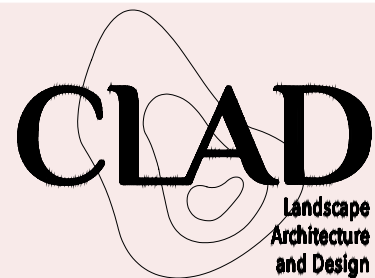
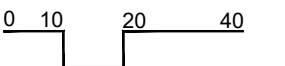
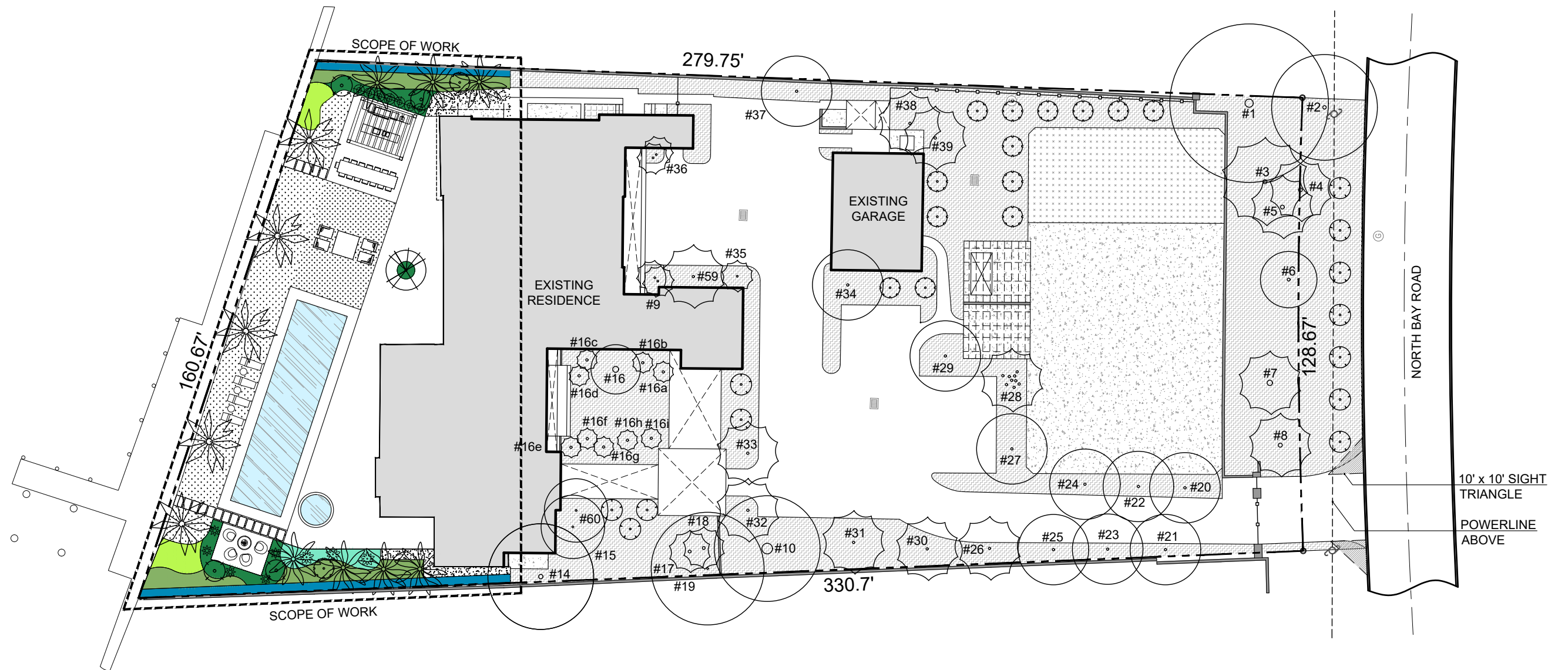


PROJ. N°: 2134

SHEET N°:

L-1

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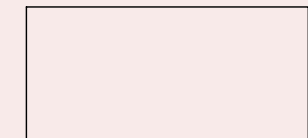
OVERALL SITE PLAN

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:



CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:

1/32"=1'-0"

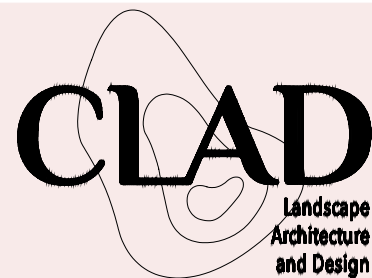
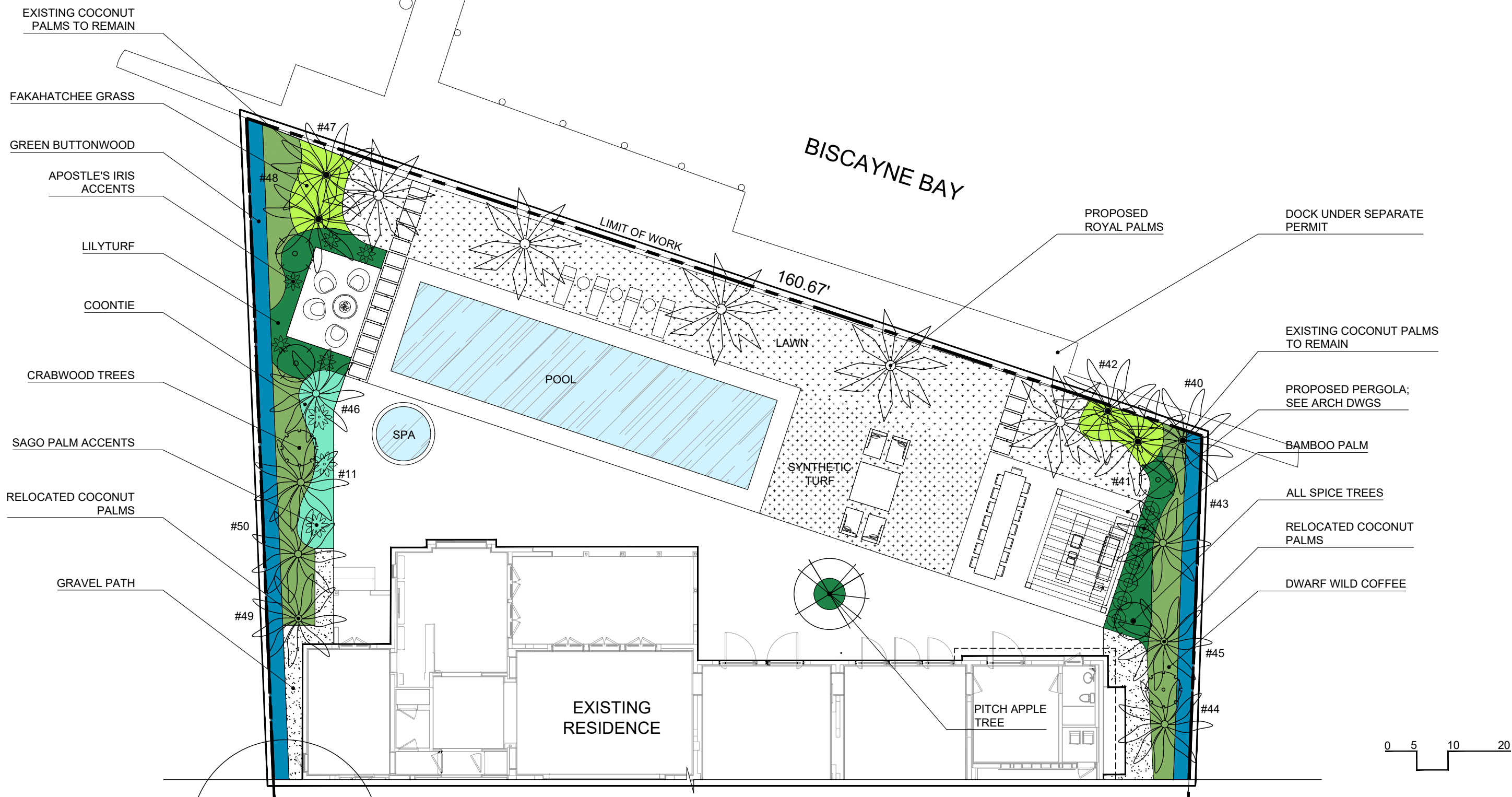


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DRAWING TITLE:

SITE PLAN - REAR YARD
ENLARGEMENT

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:

CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:
1/16"=1'-0"

PROJ. N°: 2134

SHEET N°:
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5980 N BAY ROAD RENOVATIONS

MIAMI BEACH, FLORIDA 33140

CFZ DESIGN

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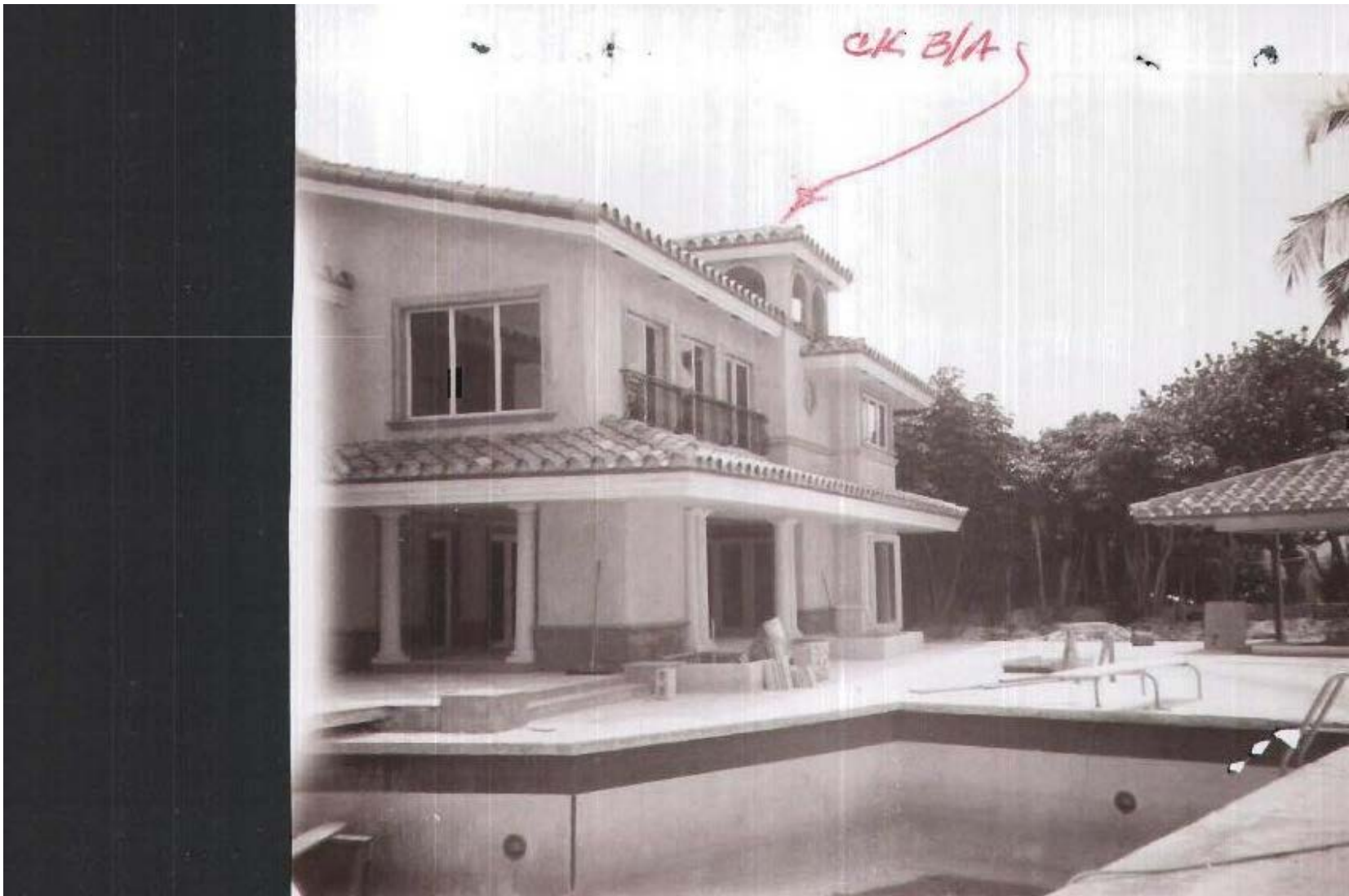
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RENDERING - PROPOSED 5

MAR. 07, 2022



REAR SHOWING SQUARE OPENINGS

JAN 9 1970



REAR SHOWING SQUARE OPENINGS

JUL 7 1964

5980 N BAY ROAD RENOVATIONS

MIAMI BEACH, FLORIDA 33140

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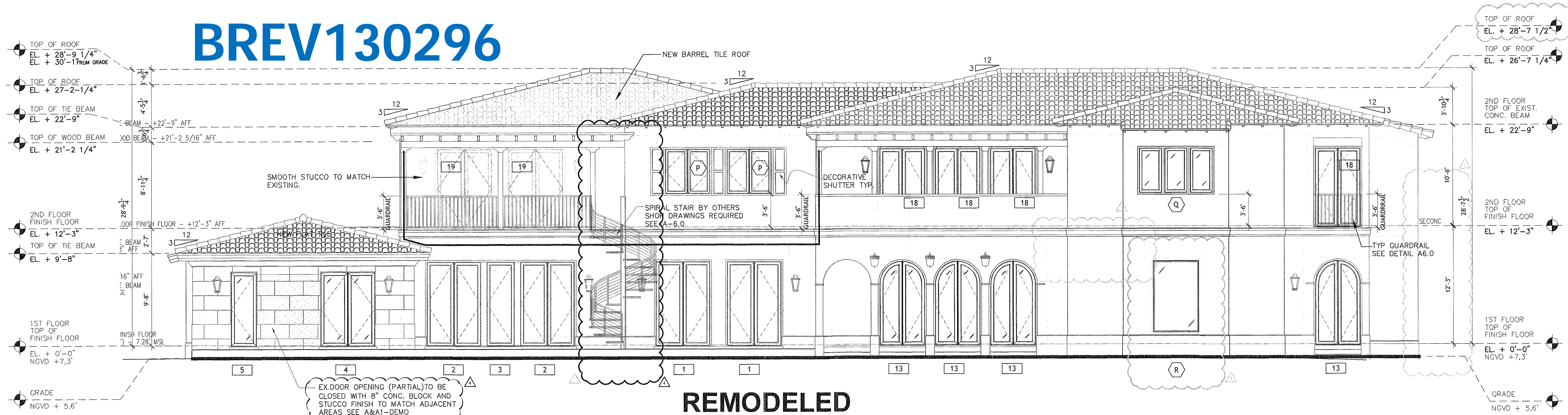
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HISTORICAL IMAGE - TAX
RECORDS

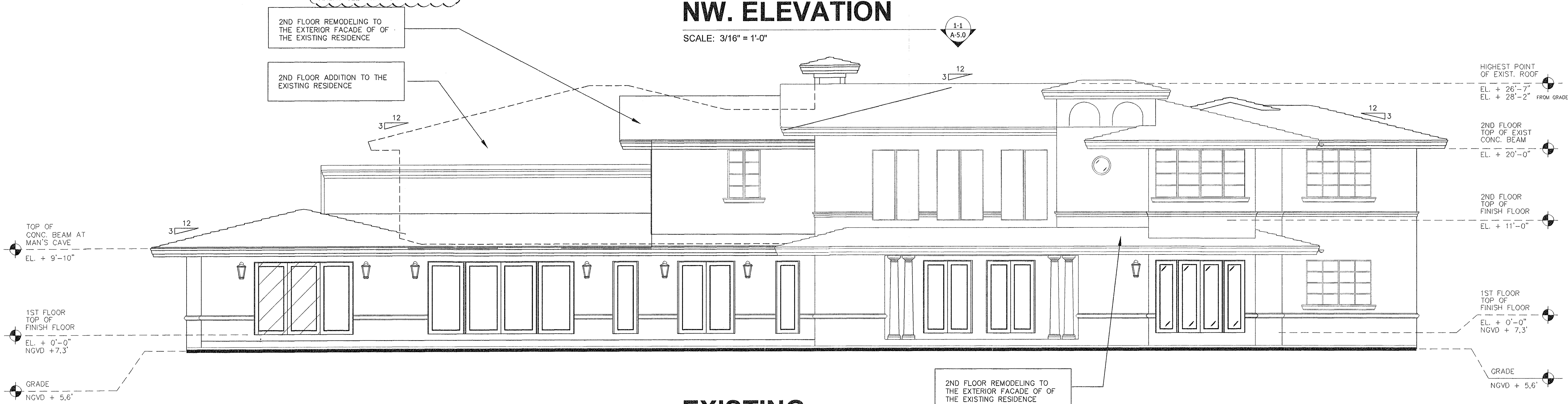
MAR. 07, 2022

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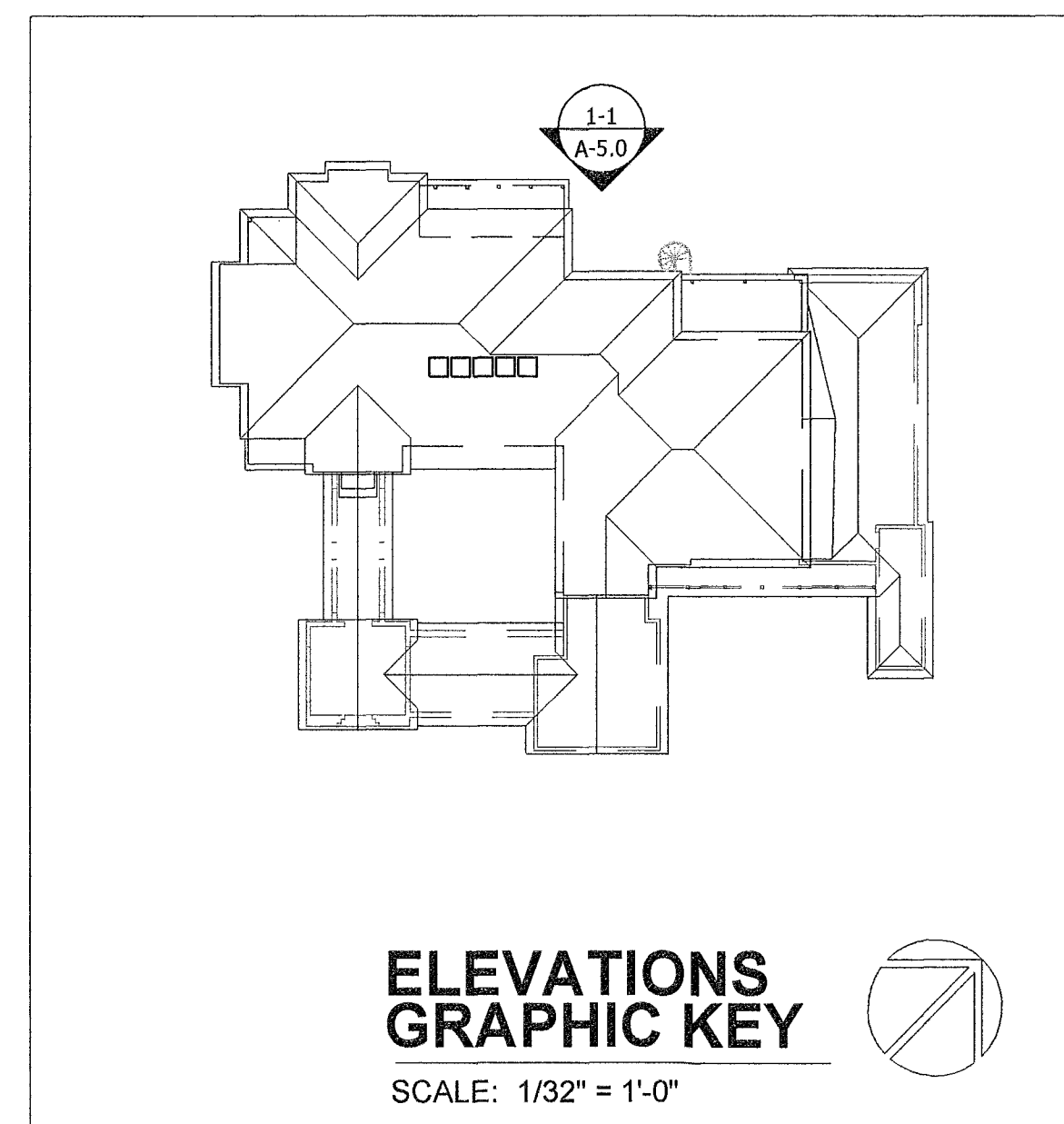
REMODELED
NW. ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING
NW. ELEVATION

SCALE: 3/16" = 1'-0"



DRAWN BY:	
REVISIONS:	
1-1-12	REVISED COMMENTS
2-1-12	REVISED COMMENTS
3-1-12	REVISED COMMENTS
4-1-12	REVISED COMMENTS
5-1-12	REVISED COMMENTS
6-1-12	REVISED COMMENTS
7-1-12	REVISED COMMENTS
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28-1-12	REVISED COMMENTS
29-1-12	REVISED COMMENTS
30-1-12	REVISED COMMENTS

AAC000569
ANTHONY LEON
0016/12

3
DESIGN
ARCHITECTURE

4300 Biscayne Blvd. #G-04, Miami, FL 33137
P: 305.438.9377 | F: 305.438.9379

RESIDENTIAL
REMODELING & ADDITION
5980 NORTH BAY ROAD
MIAMI BEACH, FL
33140

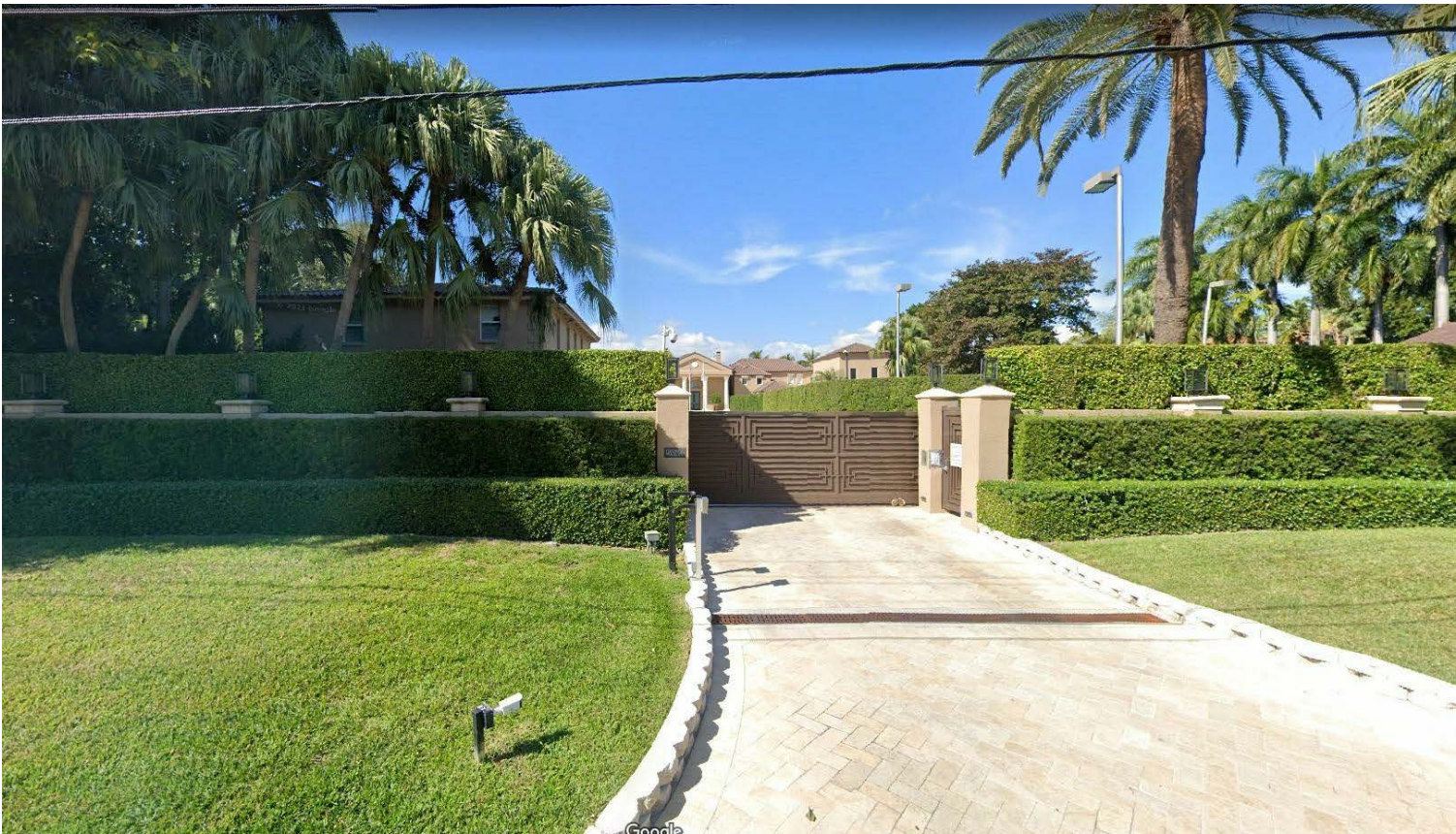
1-1-12
3-13-12

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DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

A5.0
NW ELEVATIONS



E



F

5980 N BAY ROAD RENOVATIONS

MIAMI BEACH, FLORIDA 33140

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SEAL:



NEIGHBOUR HOUSE IMAGES

MAR. 07, 2022

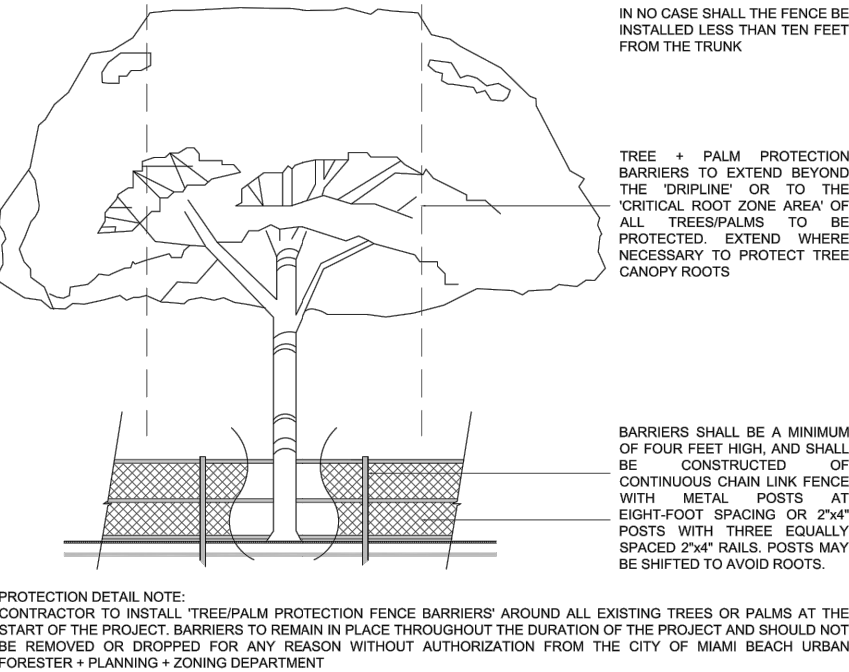
TREE DISPOSITION SCHEDULE - 5980 NORTH BAY ROAD										
#	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	NOTES	DBH (IN) REMOVED	PALMS REMOVED
1	<i>Peltophorum pterocarpum</i>	YELLOW POINCIANA	28	50	45	MODERATE	REMAIN			
2	<i>Ficus nitida</i>	INDIAN LAUREL	N/A	40	20	MODERATE	REMAIN			
3	<i>Bismarckia nobilis</i>	BISMARCK PALM	16	30	18	GOOD	REMAIN			
4	<i>Bismarckia nobilis</i>	BISMARCK PALM	12	25	18	GOOD	REMAIN			
5	<i>Bismarckia nobilis</i>	BISMARCK PALM	15	20	18	MODERATE	REMAIN			
6	<i>Quercus virginiana</i>	LIVE OAK	10	20	16	GOOD	REMAIN			
7	<i>Roystonea regia</i>	ROYAL PALM	18	60	18	GOOD	REMAIN			
8	<i>Phoenix sylvestris</i>	SYLVESTER PALM	14	22	18	GOOD	REMAIN			
9	<i>Adonidia merillii</i>	DOUBLE CHRISTMAS PALM	6,6	18	10	GOOD	REMAIN			
10	<i>Tabebuia ssp.</i>	TRUMPET TREE	36	50	30	MODERATE	REMAIN			
11	<i>Cocos nucifera</i>	COCONUT PALM	7	25	16	MODERATE	RELOCATE			
12	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	12,8,14,8	30	16	GOOD	REMOVE	INVASIVE		
13	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	8,6,5	30	16	GOOD	REMOVE	INVASIVE		
14	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	9,11	35	25	GOOD	REMAIN	INVASIVE		
15	<i>Pandanus utilis</i>	SCREW PINE	9,6	30	15	MODERATE	REMAIN			
16	<i>Pandanus utilis</i>	SCREW PINE	10	20	15	MODERATE	REMAIN			
16a	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	3	30	6	GOOD	REMAIN			
16b	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	4	30	4	MODERATE	REMAIN			
16c	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	4	30	6	GOOD	REMAIN			
16d	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	4	30	6	GOOD	REMAIN			
16e	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	3	30	6	GOOD	REMAIN			
16f	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	4	30	6	GOOD	REMAIN			
16g	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	4	30	6	GOOD	REMAIN			
16h	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	4	30	6	GOOD	REMAIN			
16i	<i>Ptychosperma elegans</i>	SOLITAIRE PALM	4	25	6	MODERATE	REMAIN			
17	<i>Sabal palmetto</i>	CABBAGE PALM	8	30	12	GOOD	REMAIN			
18	<i>Sabal palmetto</i>	CABBAGE PALM	8	30	12	GOOD	REMAIN			
19	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	8	25	16	GOOD	REMAIN	INVASIVE		
20	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	7	25	20	GOOD	REMAIN			
21	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	7	25	20	GOOD	REMAIN			
22	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	8	25	20	GOOD	REMAIN			
23	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	8	25	20	GOOD	REMAIN			
24	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	8	25	20	GOOD	REMAIN			
25	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	9	25	20	GOOD	REMAIN			
26	<i>Phoenix canariensis</i>	CANARY DATE PALM	18	20	16	GOOD	REMAIN			
27	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	8	22	18	MODERATE	REMAIN			
28	<i>Phoenix reclinata</i>	SENEGAL DATE PALM	5,7,5,7,6,5,5	18	12	GOOD	REMAIN			
29	<i>Bulnesia arborea</i>	VERAWOOD	8	18	10	MODERATE	REMAIN			
30	<i>Phoenix canariensis</i>	CANARY DATE PALM	18	35	16	MODERATE	REMAIN			
31	<i>Phoenix canariensis</i>	CANARY DATE PALM	18	40	16	MODERATE	REMAIN			
32	<i>Phoenix sylvestris</i>	SYLVESTER PALM	16	25	18	GOOD	REMAIN			
33	<i>Phoenix sylvestris</i>	SYLVESTER PALM	16	30	18	GOOD	REMAIN			
34	<i>Terminalia ivorensis</i>	IVORY COAST ALMOND	10	22	18	GOOD	REMAIN			
35	<i>Phoenix roebelenii</i>	PYGMY DATE PALM	5	6	12	GOOD	REMAIN			
36	<i>Adonidia merillii</i>	DOUBLE CHRISTMAS PALM	6,6	18	9	GOOD	REMAIN			
37	<i>Tabebuia ssp.</i>	TRUMPET TREE	16	35	30	MODERATE	REMAIN			
38	<i>Cocos nucifera</i>	COCONUT PALM	8	25	20	GOOD	REMAIN			
39	<i>Cocos nucifera</i>	COCONUT PALM	8	25	20	GOOD	REMAIN			
40	<i>Cocos nucifera</i>	COCONUT PALM	9	32	15	MODERATE	REMAIN			
41	<i>Cocos nucifera</i>	COCONUT PALM	10	40	16	MODERATE	REMAIN			
42	<i>Cocos nucifera</i>	COCONUT PALM	12	35	16	MODERATE	REMAIN			
43	<i>Cocos nucifera</i>	COCONUT PALM	11	23	15	MODERATE	RELOCATE			
44	<i>Cocos nucifera</i>	COCONUT PALM	11	35	15	MODERATE	RELOCATE			
45	<i>Cocos nucifera</i>	COCONUT PALM	9	35	15	MODERATE	RELOCATE			
46	<i>Cocos nucifera</i>	COCONUT PALM	11	40	15	MODERATE	RELOCATE			
47	<i>Cocos nucifera</i>	COCONUT PALM	10	40	15	MODERATE	REMAIN			
48	<i>Cocos nucifera</i>	COCONUT PALM	9	35	15	MODERATE	REMAIN			
49	<i>Cocos nucifera</i>	COCONUT PALM	9	18	15	MODERATE	RELOCATE			
50	<i>Cocos nucifera</i>	COCONUT PALM	9	18	15	MODERATE	RELOCATE			

51	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
52	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
53	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
54	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
55	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
56	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
57	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
58	<i>Schefflera actinopylla</i>	AUSTRALIAN UMBRELLA TREE	CLUSTER	35	12	GOOD	REMOVE	INVASIVE		
59	<i>Phoenix canariensis</i>	CANARY DATE PALM	24	18	10	MODERATE	REMAIN			
60	<i>Pandanus utilis</i>	SCREW PINE	9	35	10	MODERATE	REMAIN			
TOTAL REMOVED:									0	0

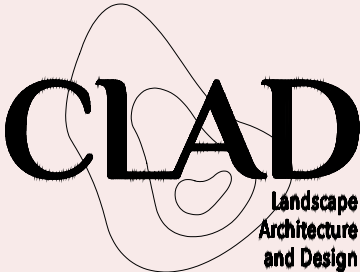
TREE DISPOSITION SUMMARY				
	TOTAL	REMAIN	REMOVE	RELOCATE
TREES	29	19	10	0
PALMS	40	33	0	7
**TREES TO BE REMOVED ARE INVASIVE.				

TREE/ PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES/PALMS THAT ARE 'TO REMAIN, BE PROTECTED OR BE RELOCATED'

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC.



C.M.B. TREE / PALM PROTEC. DETAIL



LANDSCAPE ARCHITECT:

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DRAWING TITLE:

TREE DISPOSITION SCHEDULE

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:



CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:
N/A

PROJ. N°: 2134

SHEET N°:

L-1.1

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Royal Palm
(*Roystonea regia*)



Existing
Coconut Palm
(*Cocos nucifera*)



Pitch Apple
(*Clusia rosea*)



Allspice
(*Pimenta dioica*)



Crabwood
(*Gymnanthes lucida*)



Simpson's Stopper
(*Myrcianthes fragrans*)



LANDSCAPE ARCHITECT:

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DRAWING TITLE:

PROPOSED PLANTING IMAGES

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:

CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:
N/A

PROJ. N°: 2134

SHEET N°:
L-2.2

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Green Buttonwood
(*Conocarpus erectus*)



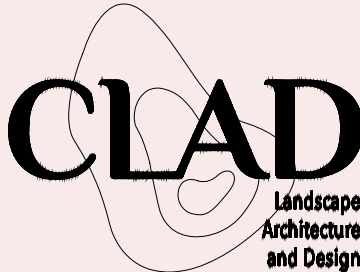
Bamboo Palm
(*Chamaedorea seifrizii*)



Dwarf Wild Coffee
(*Psychotria nervosa* 'Little Psycho')



Fakahatchee Grass
(*Tripsacum dactyloides*)



LANDSCAPE ARCHITECT:

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DRAWING TITLE:

PROPOSED PLANTING IMAGES

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:

CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:
N/A

PROJ. N°: 2134

SHEET N°:

L-2.3

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Sago Palm
(*Cycas revoluta*)



Apostle's Iris
(*Neomarica caerulea* 'Regina')



Coontie
(*Zamia pumila*)



Lilyturf
(*Liriope muscari*)



LANDSCAPE ARCHITECT:

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DRAWING TITLE:

PROPOSED PLANTING IMAGES

PROJECT NAME:

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5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:

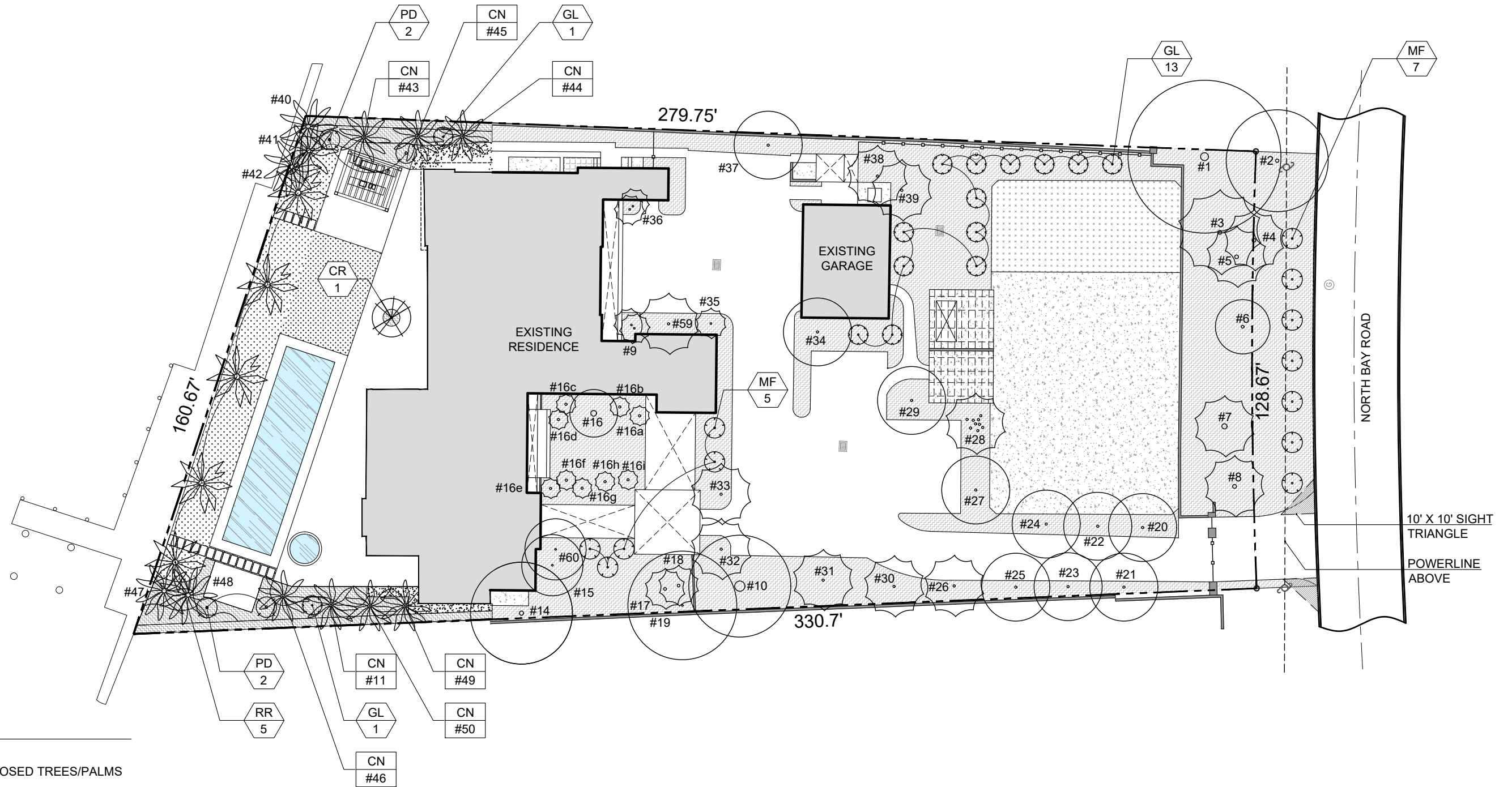
CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:
N/A

PROJ. N°: 2134

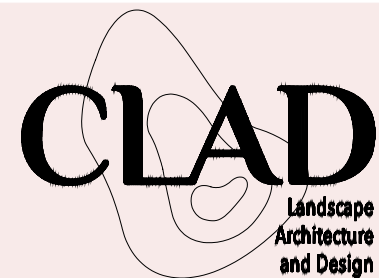
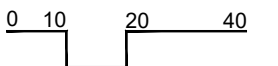
SHEET N°:
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SYMBOL LEGEND:

XX XX	PROPOSED TREES/PALMS
XX XX	RELOCATED PALMS



LANDSCAPE ARCHITECT:

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DRAWING TITLE:

CANOPY PLANTING PLAN

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:

CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:

1/32"=1'-0"

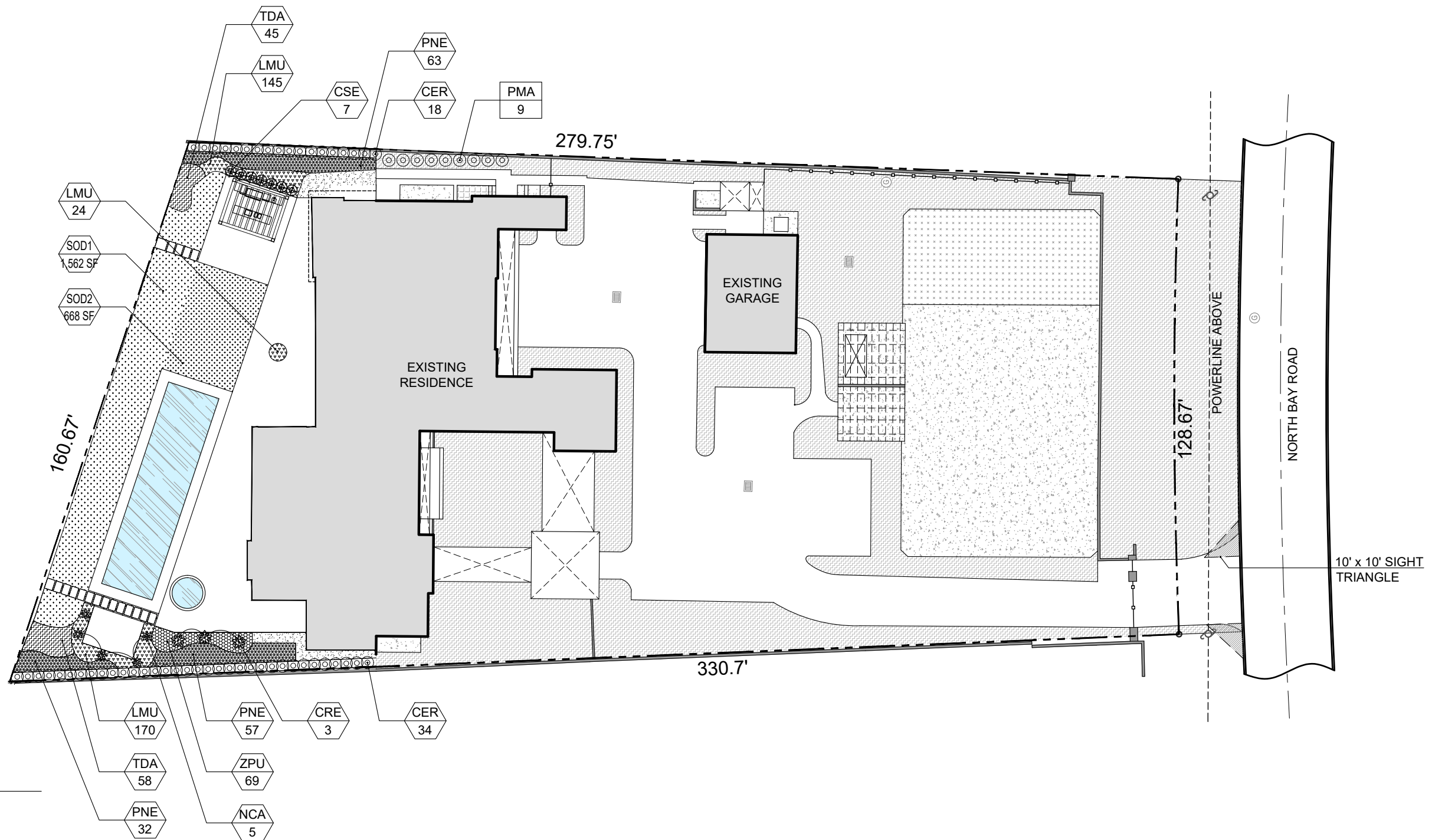


PROJ. N°: 2134

SHEET N°:

L-5

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SYMBOL LEGEND:



PROPOSED SHRUBS & ACCENTS



EXISTING LARGE SHRUBS



GENERAL EXISTING SHRUBS



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MIAMI, FL 33138
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DRAWING TITLE:

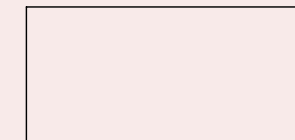
UNDERSTORY PLANTING PLAN

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:



CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:

1/32"=1'-0"



PROJ. N°: 2134

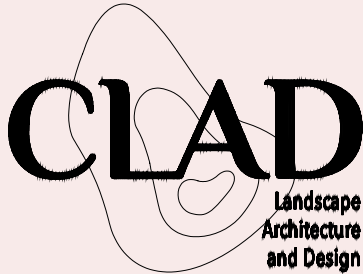
SHEET N°:

L-5.1

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LANDSCAPE SCHEDULE - CANOPY SITE				
STREET TREES				
MF	7	Myrcianthes fragrans	14' HT, MIN 3" DBH, 4' CT	Y
		SIMPSON'S STOPPER	MULTI-TRUNK	
TREES				
CR	1	Clusia rosea	16' HT, 8' SP, SPECIMEN	Y
		PITCH APPLE TREE	FG, MULTI TRUNK	
GL	15	Gymnanthes lucida	14'-16' HT, 8' SP, MIN 2" DBH	Y
		CRABWOOD TREE	FG	
PD	4	Pimenta dioica	14'-16' HT, 8' SP, MIN 2" DBH	N
		ALLSPICE TREE	FG	
MF	5	Myrcianthes fragrans	14'-16' HT, 8' SP, MIN 2" DBH	N
		SIMPSON'S STOPPER	MULTI-TRUNK	
PALMS				
RR	5	Roystonea regia	20' GW	Y
		ROYAL PALM	FG	

LANDSCAPE SCHEDULE - UNDERS TORY SITE				
EXISTING LARGE SHRUBS				
PMA	9	<i>Podocarpus macrophyllus</i>	6'-8' HT APPRX	N
		PODOCARPUS		
PROPOSED LARGE SHRUBS				
CER	52	<i>Conocarpus erectus</i>	6' HT, FULL TO BASE	Y
		GREEN BUTTONWOOD	15G	
PROPOSED SHRUBS				
PNE	152	<i>Psychotria nervosa 'Little Psycho'</i>	24" HT, 24" O.C	Y
		DWARF WILD COFFEE	7G	
ZPU	95	<i>Zamia pumila</i>	18"-24" HT, 18" O.C	Y
		COONTIE	7G	
TDA	103	<i>Tripsacum dactyloides</i>	24" HT, 18" O.C	Y
		FAKAHATCHEE GRASS	3G	
LMU	339	<i>Liriope muscari</i>	18" HT, 12" O.C	N
		LILYTURF	3G	
PROPOSED ACCENTS				
CSE	7	<i>Chamaedorea seifrizii</i>	6'-8' HT	N
		BAMBOO PALM	15G	
CRE	3	<i>Cycas revoluta</i>	3' X 3', AS SHOWN	N
		KING SAGO PALM	7G	
NCA	5	<i>Neomaria caerulea 'Regina'</i>	3' HT, 2' SP	N
		APOSTLÉS IRIS	7G	
PROPOSED SOD				
SOD1	1,562 SF	<i>Zoysia ssp.</i>	STAGGERED AND BUTTED JOINTS	N
		GEO ZOYSIA		
SOD2	668 SF			N/A
		SYNTHETIC TURF	TBD	



LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 103
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

DRAWING TITLE:

PLANTING SCHEDULES

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:

CAROLINA MONTEIRO DA SILVA
LA6667311

SCALE:

PROJ. N°: 2134

SHEET N°:

L-5.2

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CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District RS-2 Lot Area 42,720 Acres 0.98

OPEN SPACE

A. Square feet of required Open Space as indicated on site plan:

Lot Area = 42,750 s.f.x 50 % = 21,375 s.f.

B. Square feet of parking lot open space required as indicated on site pl

Number of parking spaces _____ x 10 s.f. parking space =

C. Total square feet of landscaped open space required: A+B=

LAWN AREA CALCULATION

A. Square feet of landscaped open space required

B. Maximum lawn area (sod) permitted= 50 % x 21,375 s.f.

TREES

A. Number of trees required per lot or net lot acre=

5 trees + 37 net lot acres =

B. Number of trees required per lot or net lot acre, less existing
number of trees meeting minimum requirements = 42 trees -
number of existing trees 17 =

C. % Natives required: Number of trees provided x 50% =

D. % Low maintenance / drought and salt tolerant required:

Number of trees provided x 50%=

E. Street Trees (maximum average spacing of 20' o.c.)

129 linear feet along street divided by 20' =

F. Street tree species allowed directly beneath power lines:

(maximum average spacing of 20' o.c.):

129 linear feet along street divided by 20' =

G. Number of total trees required (lot + street) =

SHRUBS

A. Number of shrubs required: Sum of lot and street trees required x 12:

B. % Native shrubs required: Number of shrubs provided x 50%=

LARGE SHRUBS OR SMALL TREES

A. Number of large shrubs or small trees required: Number of required
shrubs x 10%=

B. % Native large shrubs or small trees required: Number of large
shrubs or small trees provided x 50%=

NOTE:

Tree species diversity (31 to more) (7 Existing, 4 Proposed)

REQUIRED/
ALLOWED

PROVIDED

21,375 33,300

N/A N/A

21,375 33,300

21,375 33,300

10,688 1,562

42

25 25

13 21

13 21

7 7

7

7 7

49

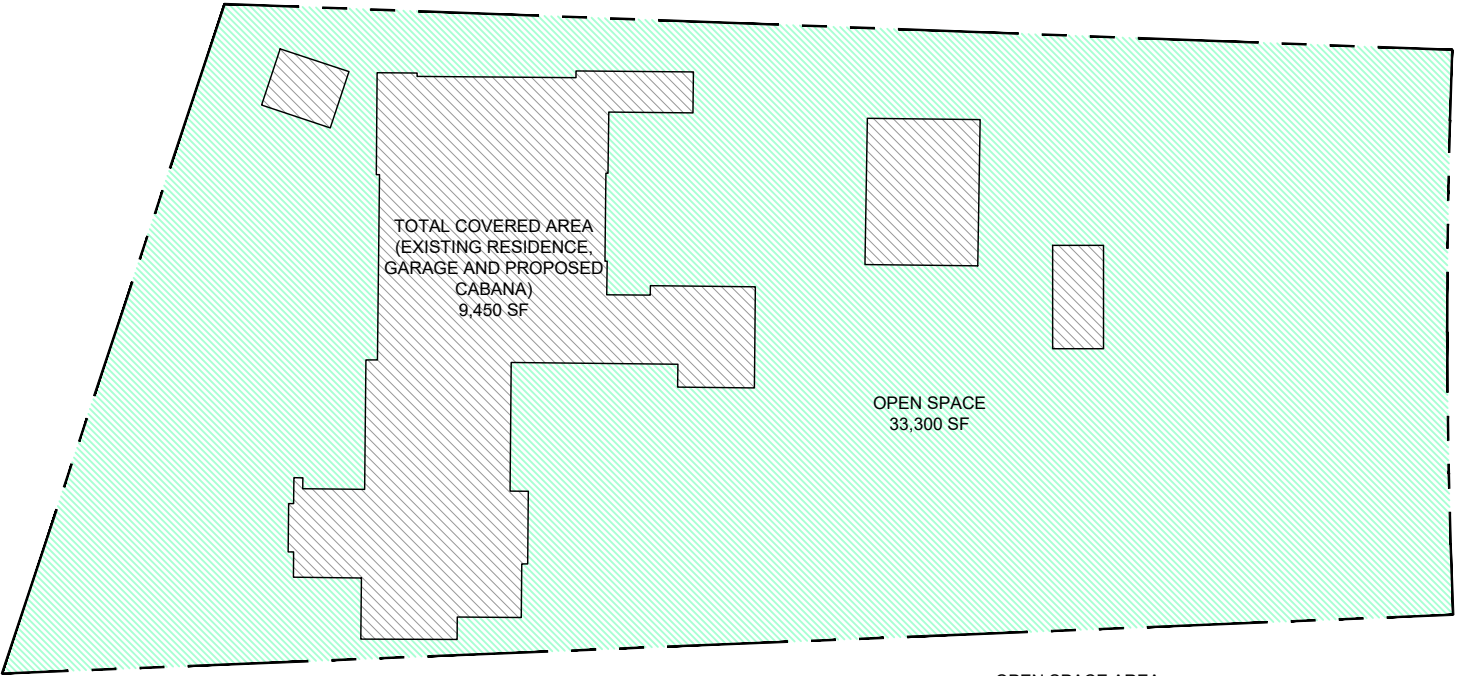
588 689

345 350

59 61

31 52

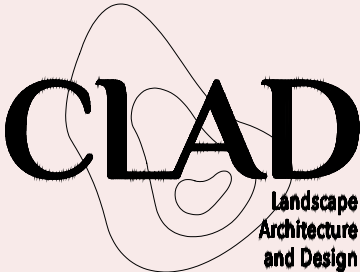
7 11



OPEN SPACE DIAGRAM

OPEN SPACE AREA:

LOT AREA: 42,720 SF
OPEN SPACE REQUIRED: 21,375 SF (LOT AREA X 50%)
OPEN SPACE PROVIDED: 33,300 SF (64%)



LANDSCAPE ARCHITECT:

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8020 NE 4TH AVE, STUDIO 103
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INFO@CLADLANDSCAPE.COM

DRAWING TITLE:

LANDSCAPE LEGEND +
OPEN SPACE DIAGRAM

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:



CAROLINA MONTEIRO DA SILVA
LA6667311

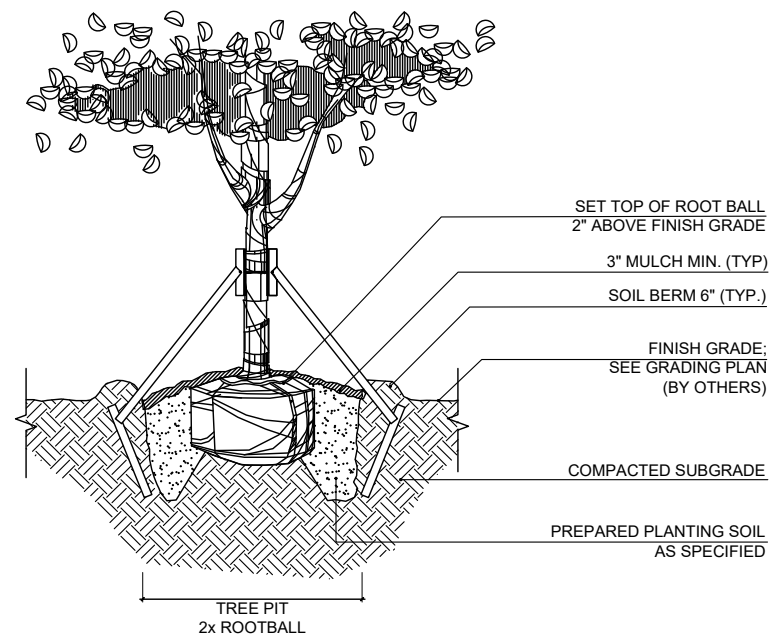
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PROJ. N°: 2134

SHEET N°:

L-5.3

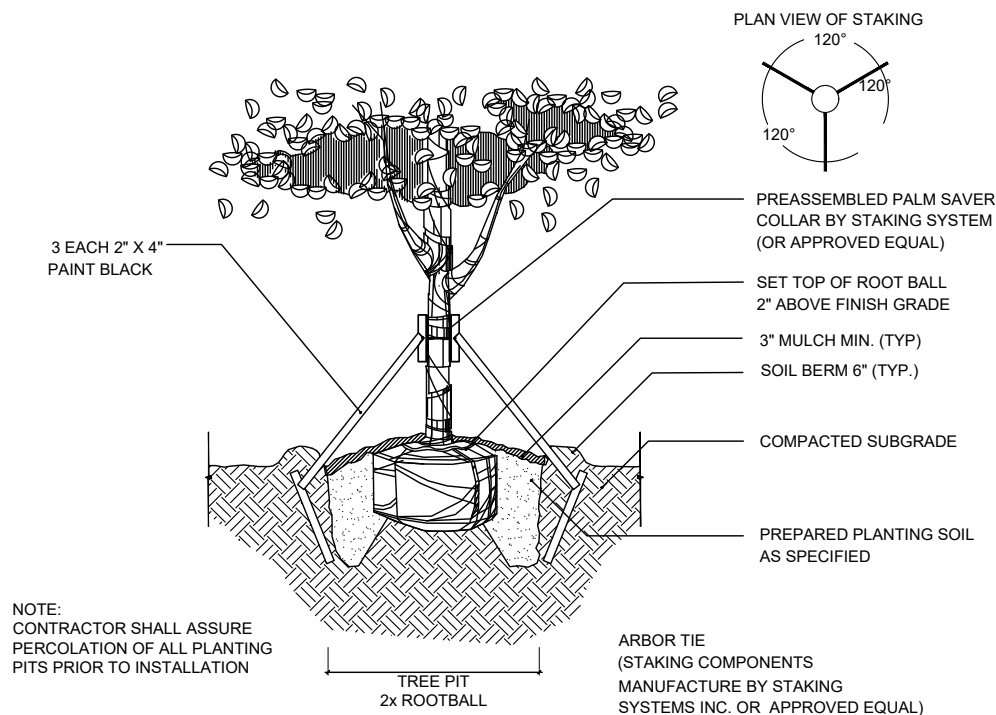
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NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION

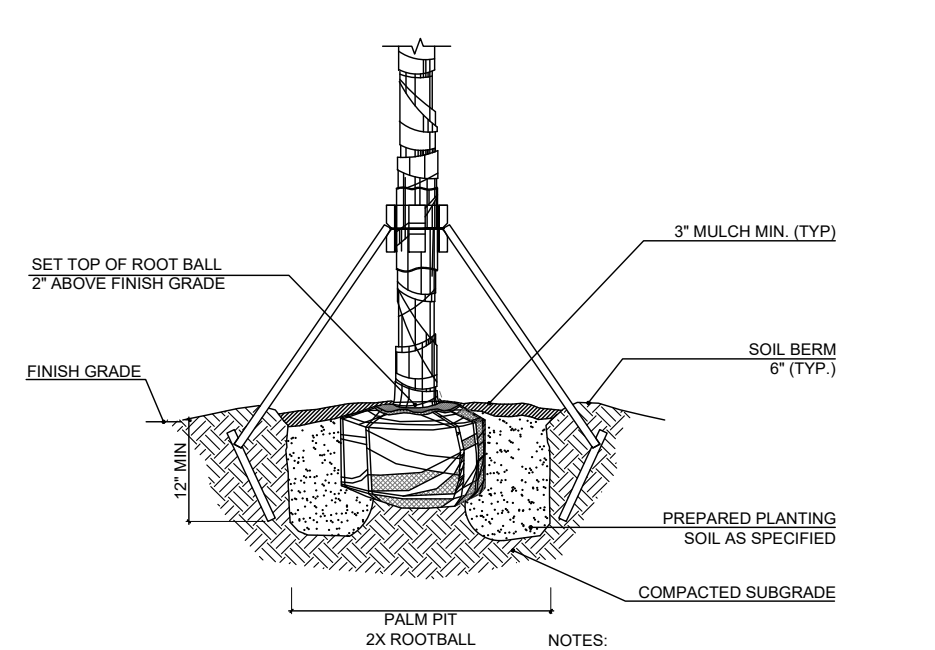
1 SPECIMEN TREE PLANTING DETAIL

SCALE: N.T.S.



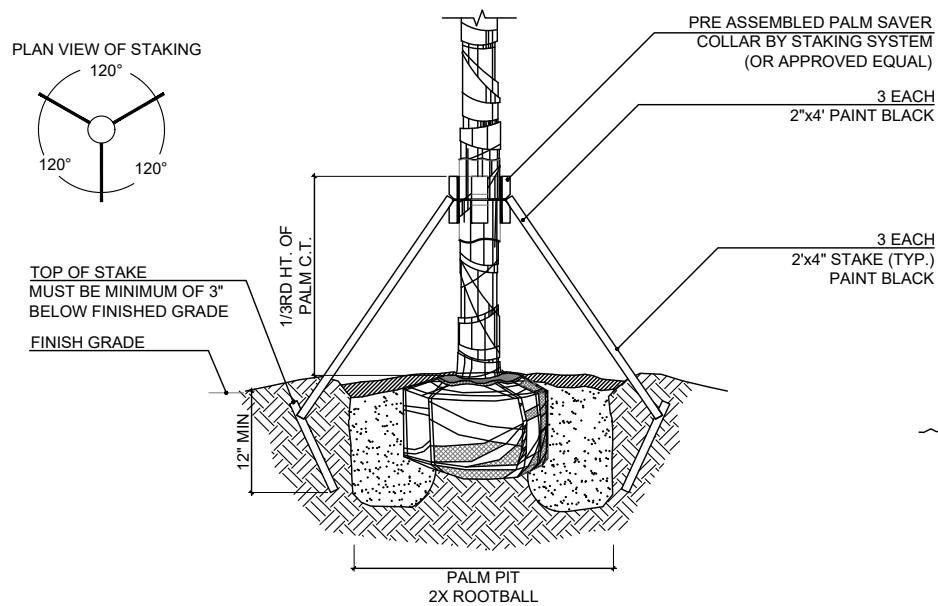
2 SPECIMEN TREE STAKING DETAIL

SCALE: N.T.S.



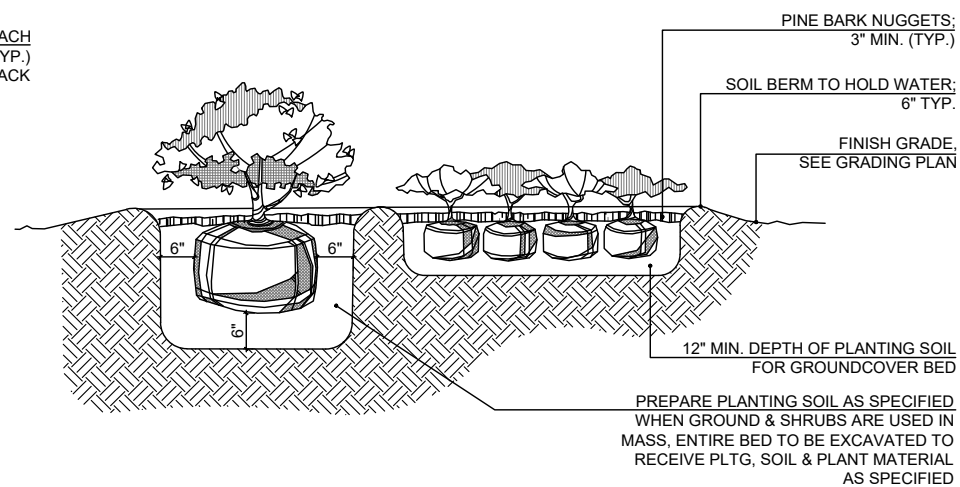
3 PALM PLANTING DETAIL

SCALE: N.T.S.



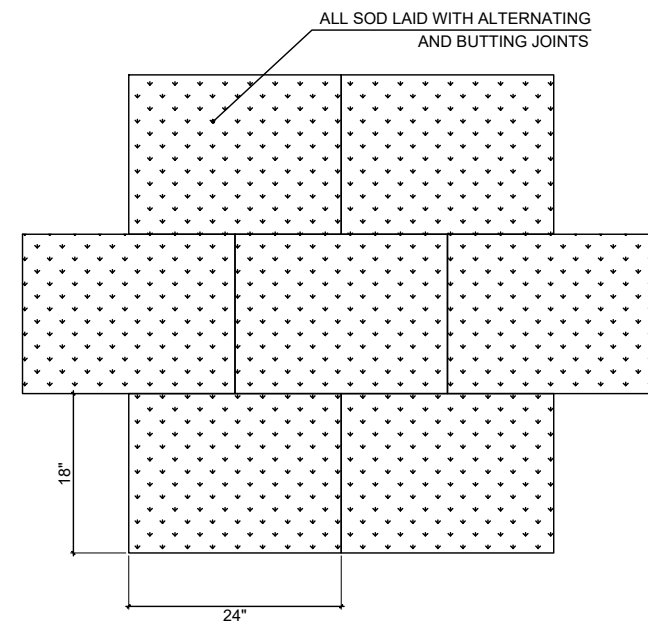
4 PALM STAKING DETAIL

SCALE: N.T.S.



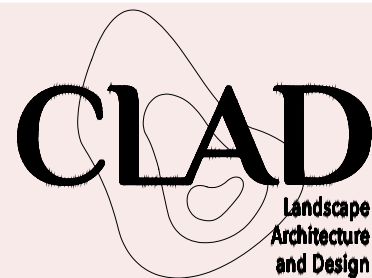
5 SHRUB AND GROUND COVER PLANTING DETAIL

SCALE: N.T.S.



6 SOD PLANTING DETAIL

SCALE: N.T.S.



LANDSCAPE ARCHITECT:

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DRAWING TITLE:

PLANTING DETAILS

PROJECT NAME:

5980 NBR RESIDENCE

5980 NORTH BAY ROAD
MIAMI BEACH, FL 33141

SEAL:

CAROLINA MONTEIRO DA SILVA
LA6667311

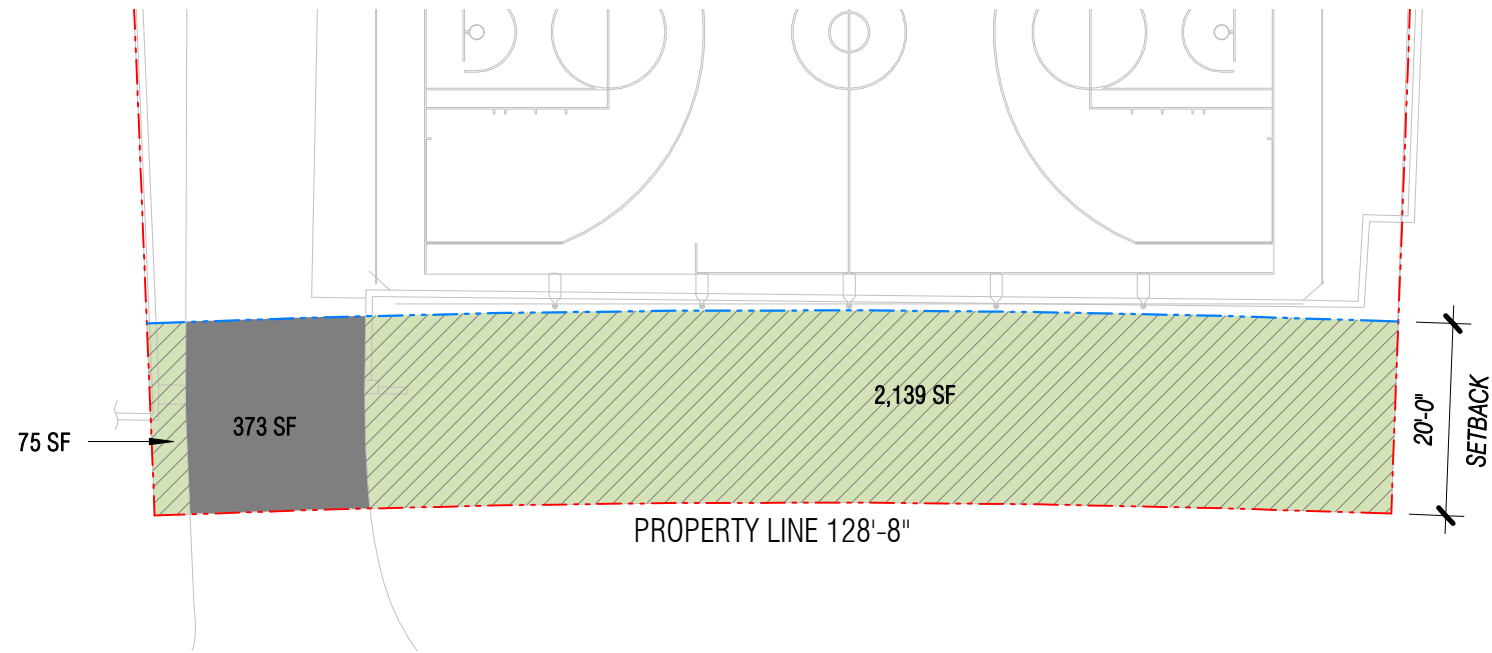
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SHEET N°:




L-5.4

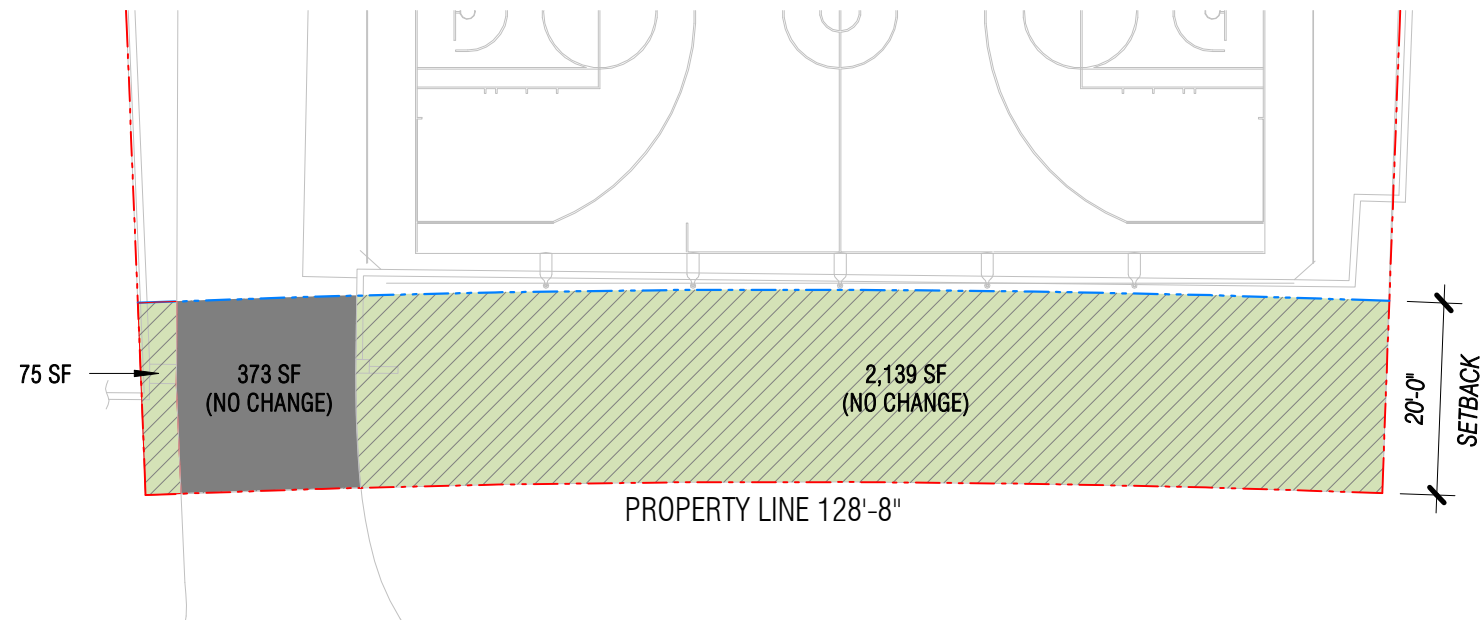
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EXISTING FRONT YARD CALC




Scale: 1" = 20'-0"

	FRONT YARD AREA		2,588 SF
	DRIVEWAY	(14%)	373 SF
	LANDSCAPE	(86%)	2,214 SF



PROPOSED FRONT YARD CALC

Scale: 1" = 20'-0"

	FRONT YARD AREA		2,588 SF
	DRIVEWAY (NO CHANGE)	(14%)	373 SF
	LANDSCAPE (NO CHANGE)	(86%)	2,214 SF

5980 N BAY ROAD RENOVATIONS

MIAMI BEACH, FLORIDA 33140

CFZ DESIGN

ARCHITECTURE & INTERIOR DESIGN
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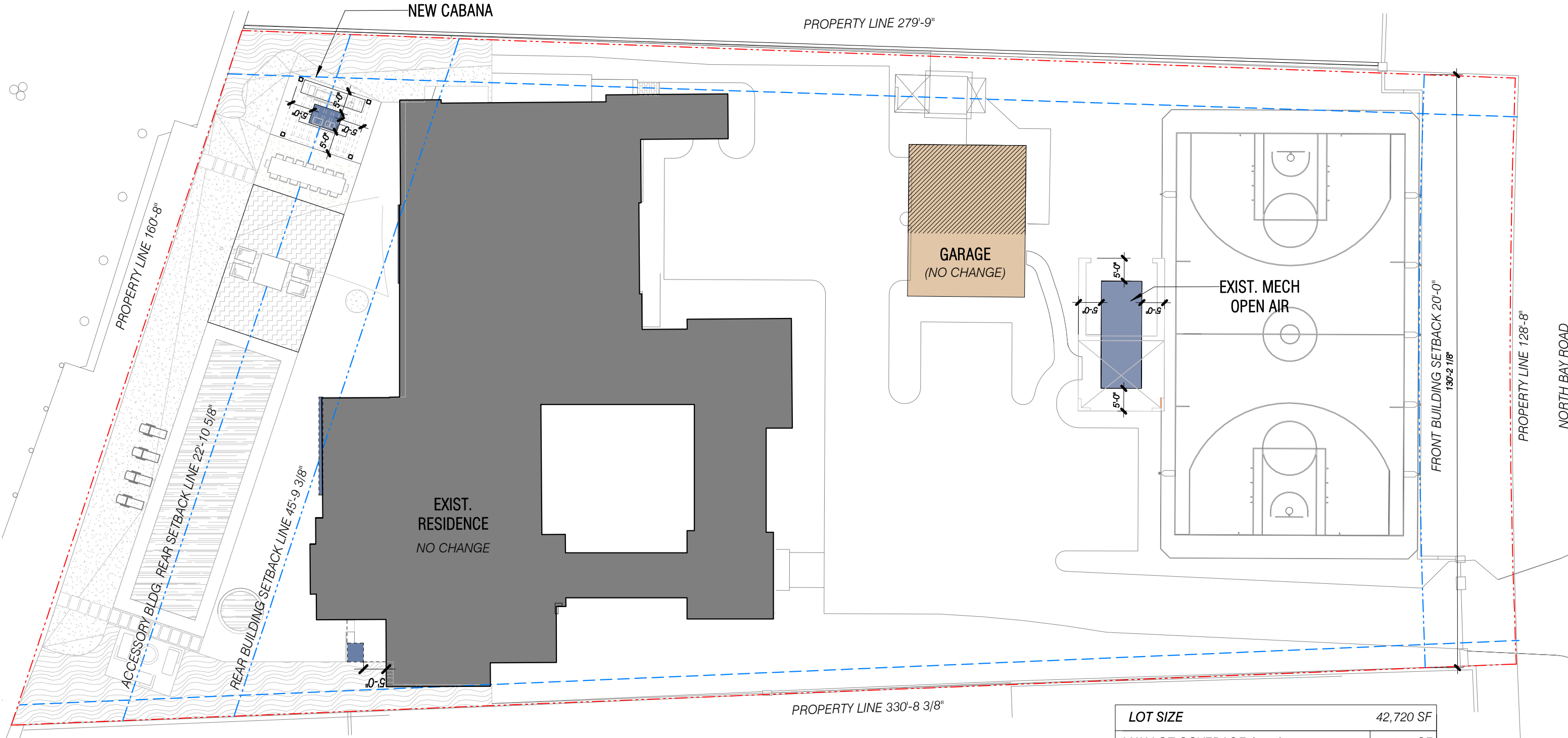


IMPERVIOUS DIAGRAM -
FRONT YARD

As indicated

MAR. 07, 2022





LOT SIZE	42,720 SF
MAX LOT COVERAGE (30%)	12,816 SF
<div></div> A. MAIN RESIDENCE (20%)	8,315 SF
<div></div> B. OVERHANGS (.6%)	280 SF
<div></div> GARAGE	855 SF
<div></div> C. Garage Deduction -500 (.8%)	355 SF
TOTAL A + B + C (21%)	8,950 SF

-42 LESS THAN EXISTING

5980 N BAY ROAD RENOVATIONS

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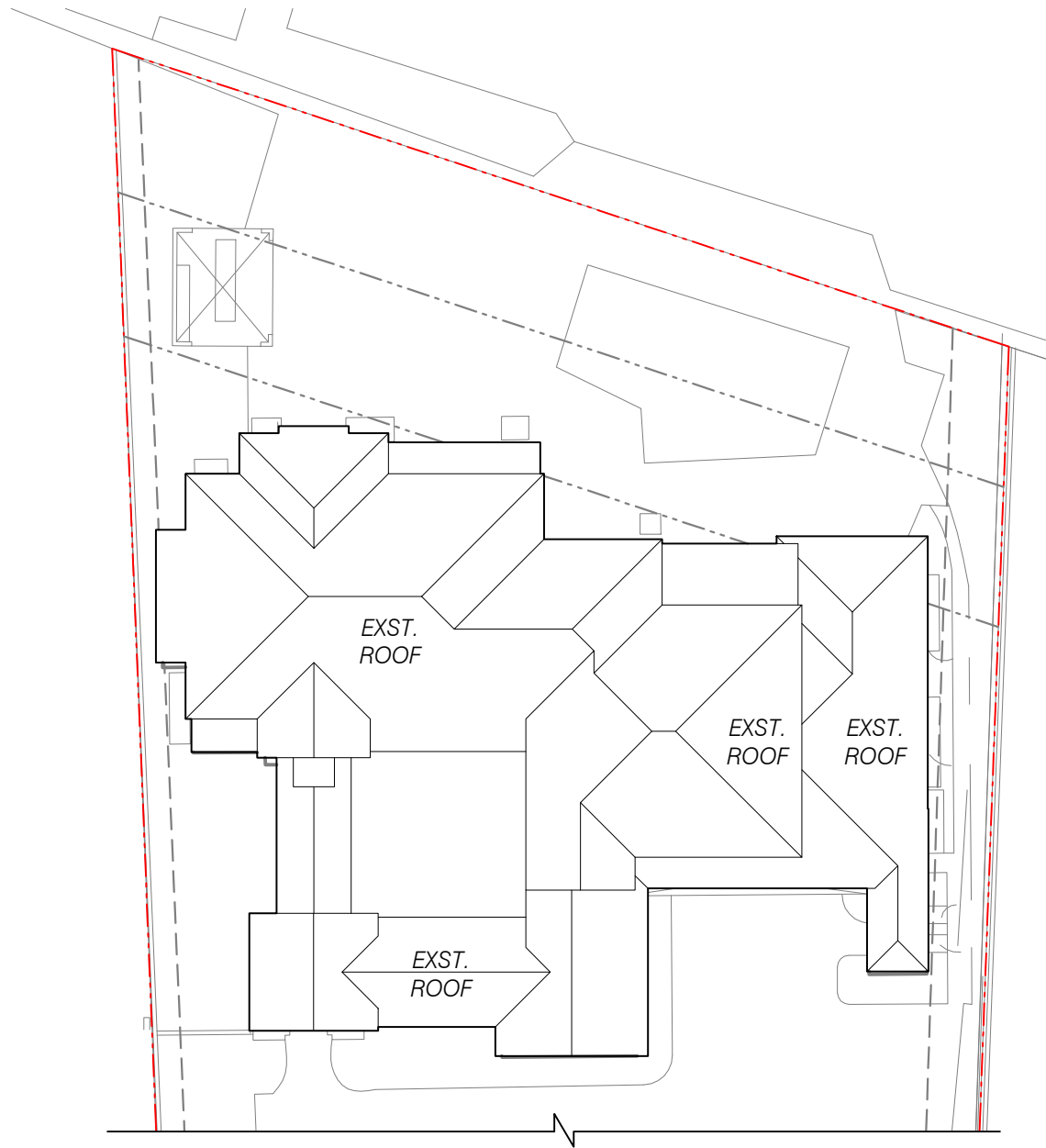
SEAL:



LOT COVERAGE -
PROPOSED

As indicated

MAR. 07, 2022

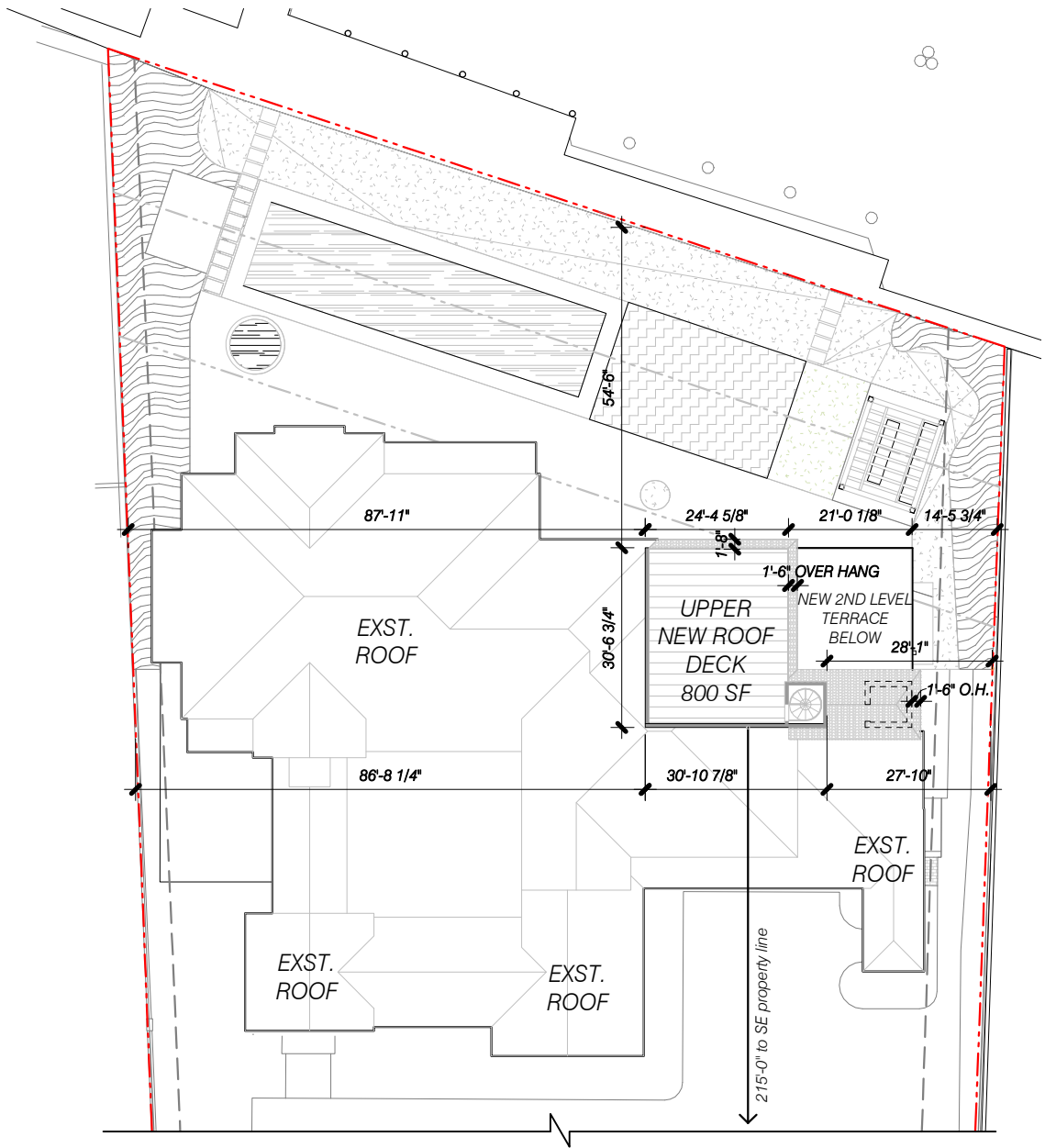


EXISTING ROOF DECK

Scale: 1" = 30'-0"

EXISTING ROOF LEVEL

SECOND LEVEL		4,815 SF
MAX ROOF DECK ALLOWED	(25%)	1,203 SF
ROOF DECK PROVIDED		0 SF
MAX SHADE STRUCTURE	(20%)	963 SF
ROOF DECK PROVIDED	(0%)	0 SF



PROPOSED ROOF DECK

Scale: 1" = 30'-0"

PROPOSED ROOF LEVEL

SECOND LEVEL		4,815 SF
MAX ROOF DECK ALLOWED	(25%)	1,203 SF
ROOF DECK PROVIDED	(16.6%)	800 SF
MAX SHADE STRUCTURE	(20%)	963 SF
SHADE PROVIDED	(0%)	0 SF

5980 N BAY ROAD RENOVATIONS

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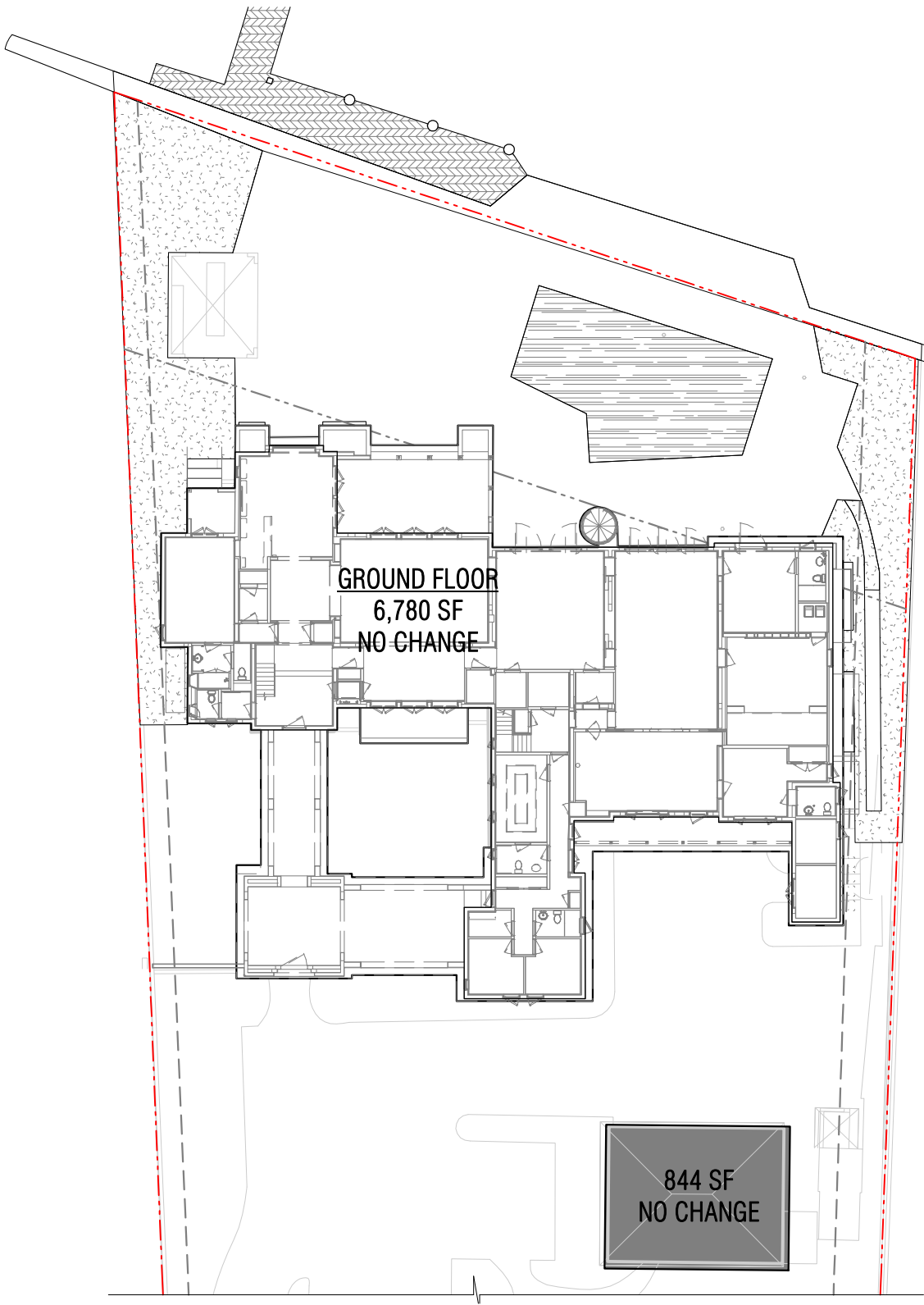
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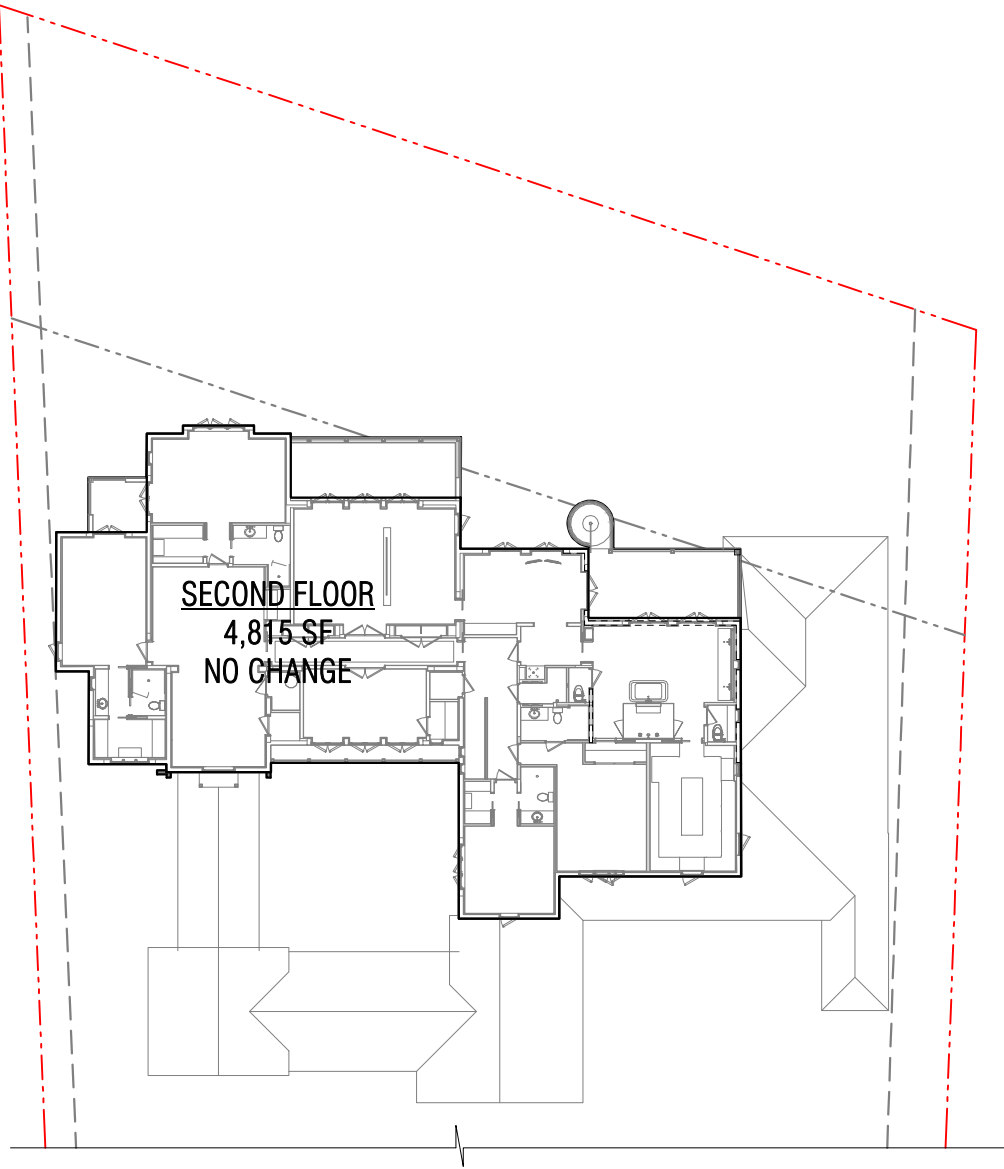
ROOF DECK

As indicated

MAR. 07, 2022



EXISTING UNIT SIZE 1ST FLOOR
Scale: 1" = 30'-0"



EXISTING UNIT SIZE 2ND FLOOR
Scale: 1" = 30'-0"

EXISTING UNIT SIZE		
LOT SIZE		42,720.5 SF
MAX UNIT SIZE ALLOWED	(50%)	21,360.2 SF
EXISTING UNIT SIZE	(27.9%)	11,939 SF
GROUND LEVEL		7,624 SF
SECOND LEVEL		4,815 SF
GARAGE CREDIT		-500 SF



5980 N BAY ROAD RENOVATIONS

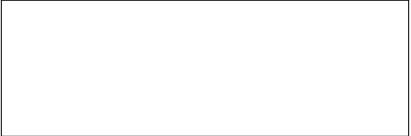
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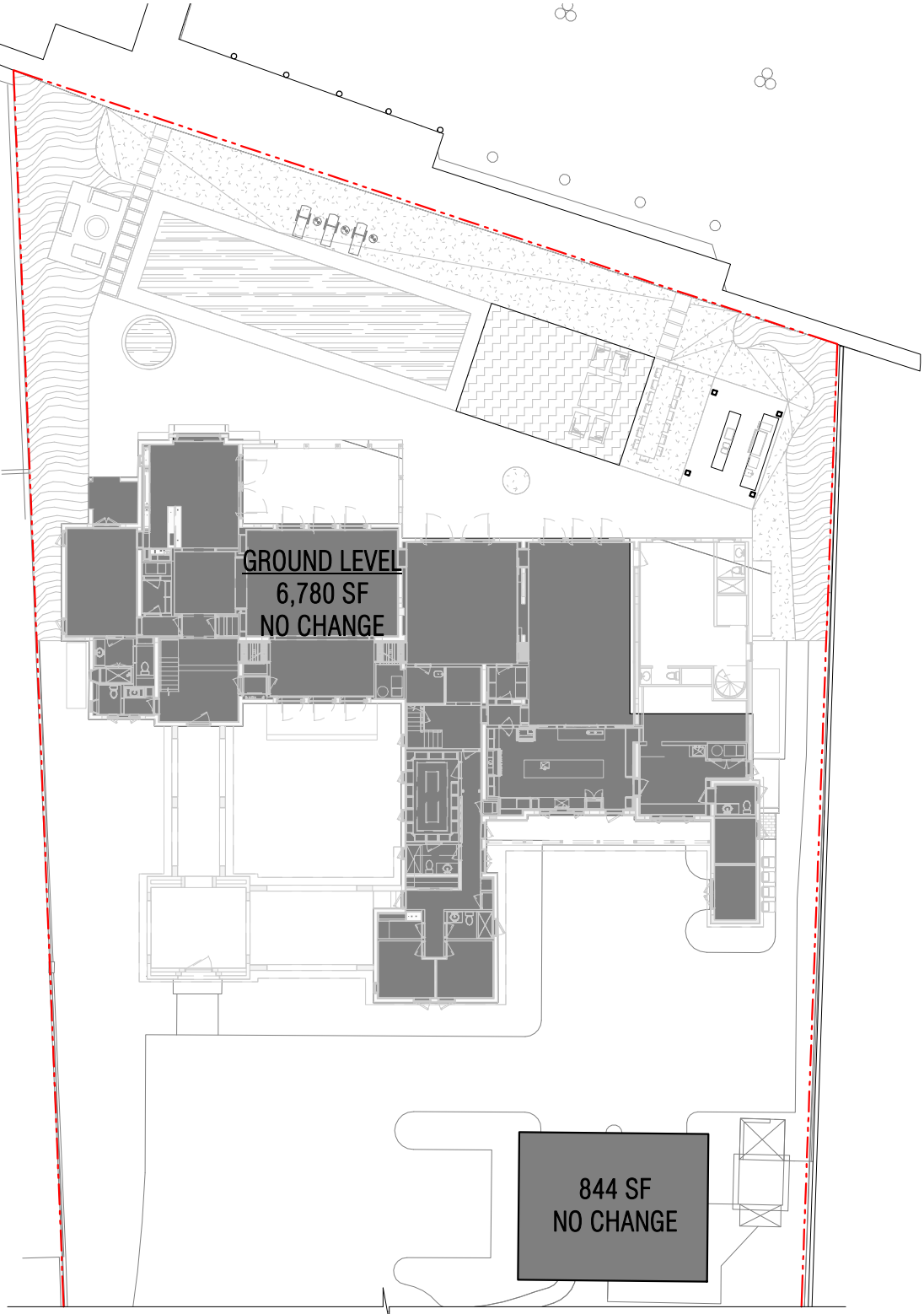


UNIT SIZE EXISTING 1ST &
2ND FLOOR

As indicated

MAR. 07, 2022

PROPOSED UNIT SIZE		
LOT SIZE		42,720.5 SF
MAX UNIT SIZE ALLOWED	(50%)	21,360.2 SF
PROPOSED UNIT SIZE	(28%)	11,999 SF
GROUND LEVEL		7,624 SF
SECOND LEVEL		4,880 SF
GARAGE CREDIT		-500 SF



PROPOSED UNIT SIZE 1ST FLOOR PLAN
Scale: 1" = 30'-0"

5980 N BAY ROAD RENOVATIONS

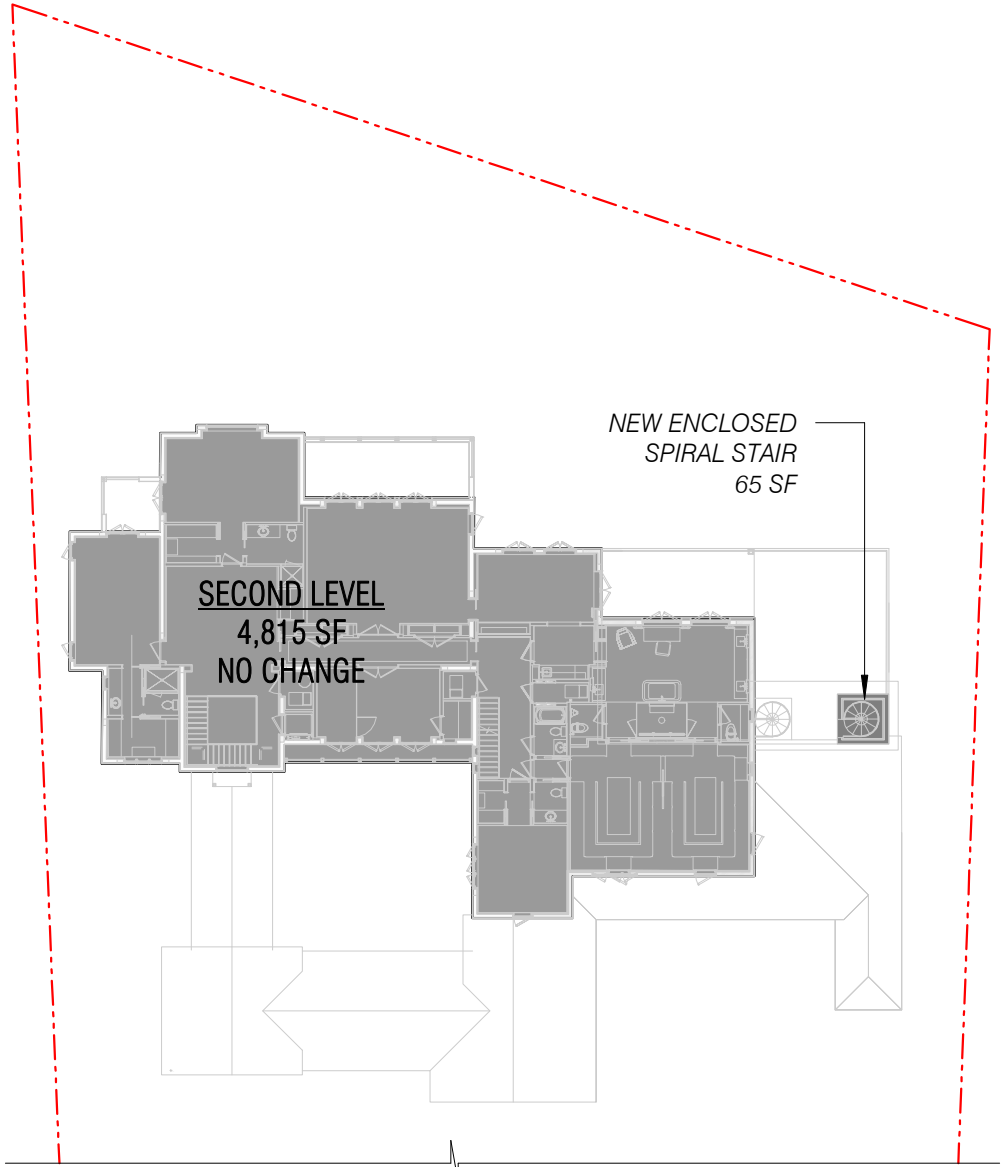
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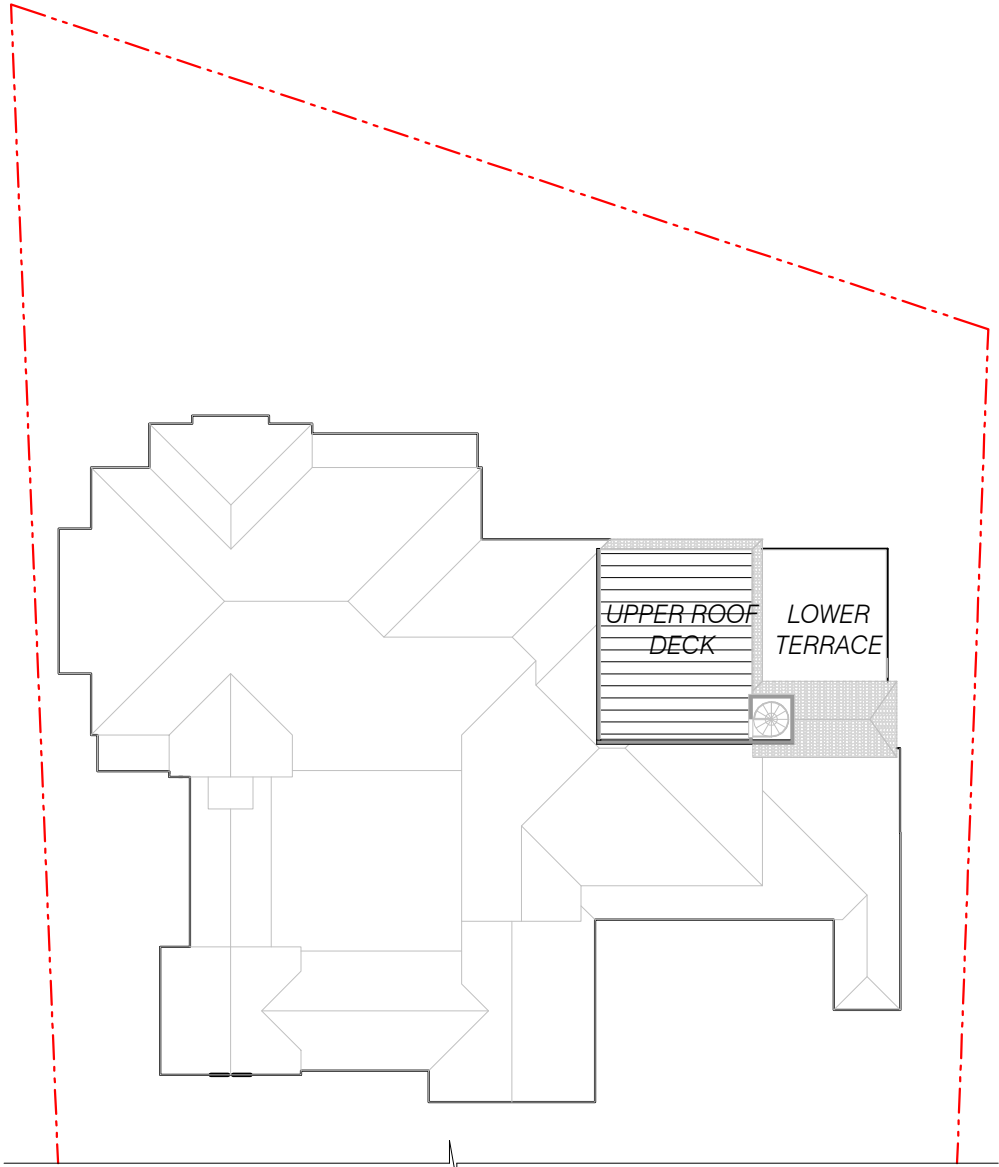
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SEAL:



PROPOSED UNIT SIZE 2ND FLOOR
Scale: 1" = 30'-0"



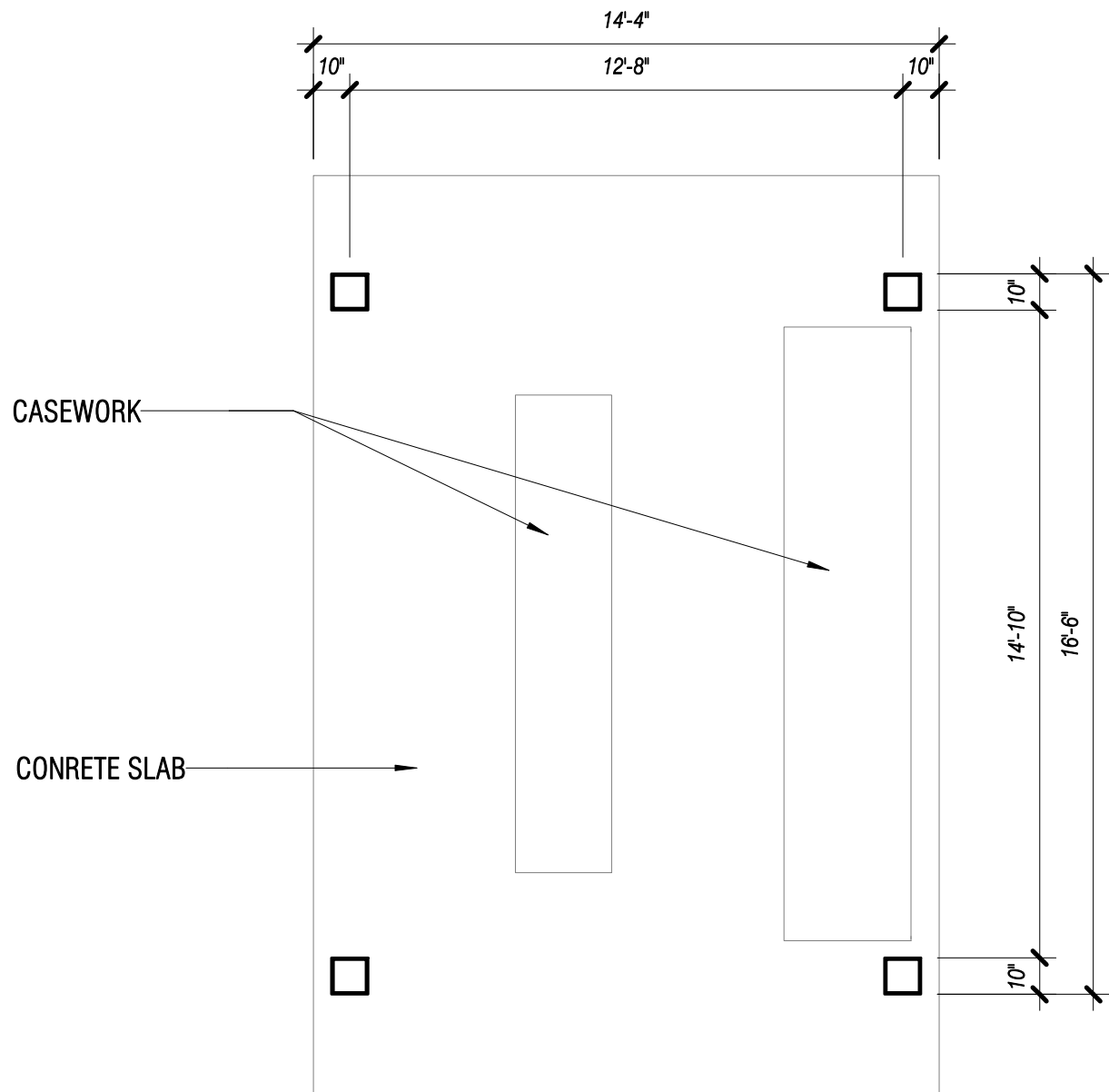
PROPOSED UNIT SIZE ROOF FLOOR
Scale: 1" = 30'-0"

UNIT SIZE PROPOSED 1ST,
2ND & ROOF FLOOR

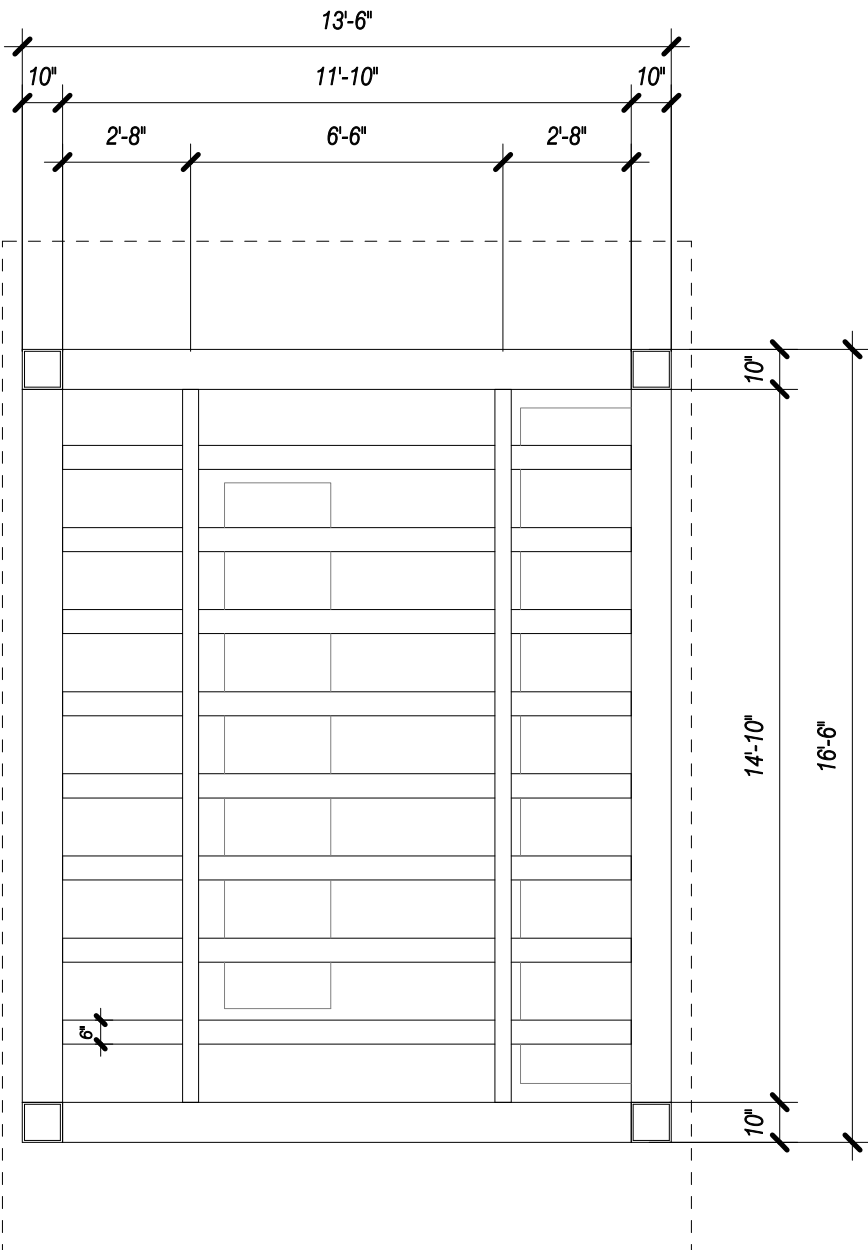
As indicated

MAR. 07, 2022





POOL CABANA PLAN
Scale: 1/4" = 1'-0"



POOL CABANA ROOF PLAN
Scale: 1/4" = 1'-0"

5980 N BAY ROAD RENOVATIONS

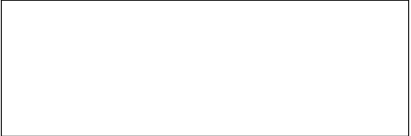
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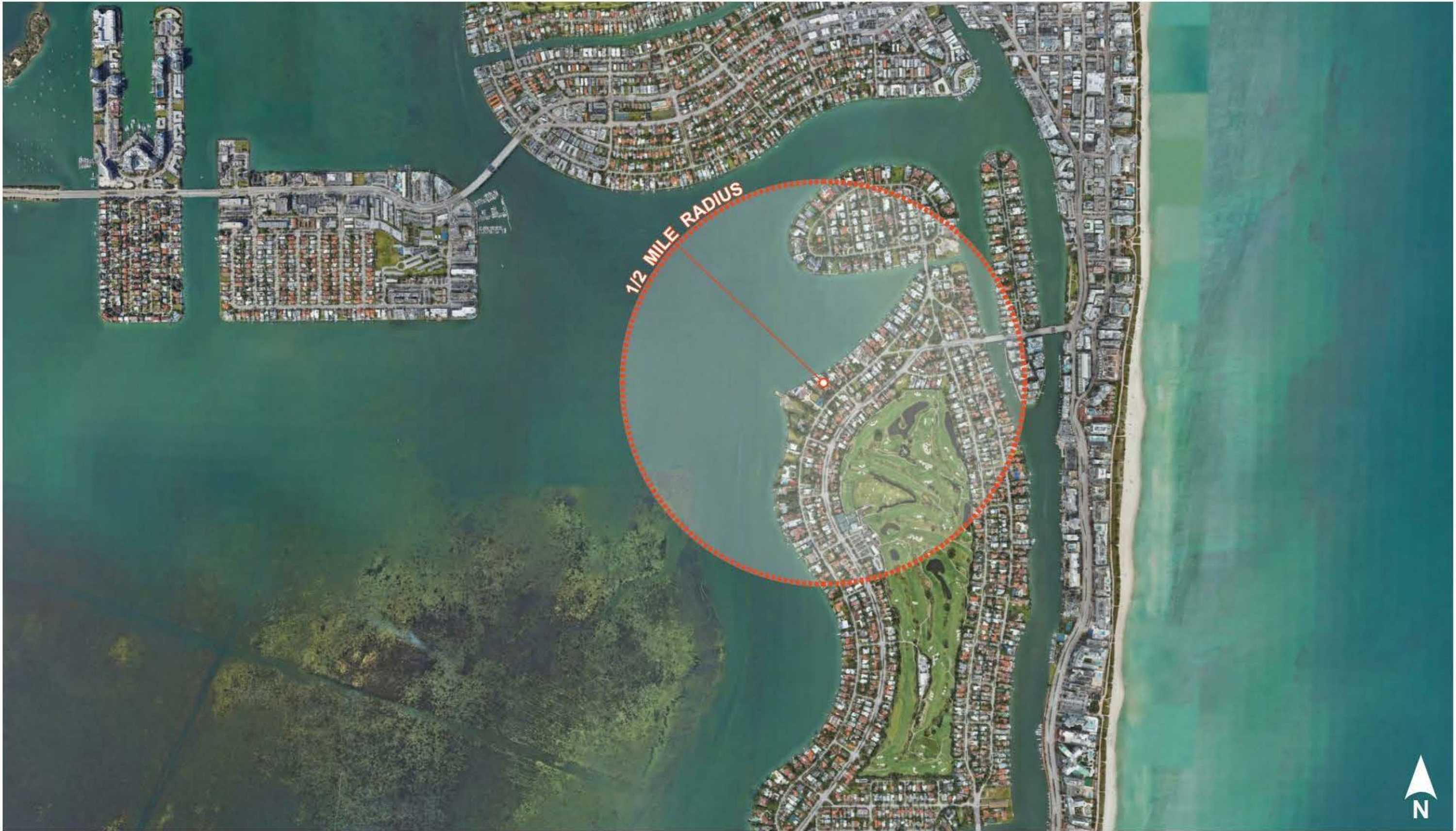
SEAL:



POOL CABANA PLANS

1/4" = 1'-0"

MAR. 07, 2022



5980 N BAY ROAD RENOVATIONS

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SEAL:



CONTEXT LOCATION MAP

NOT TO SCALE

MAR. 07, 2022

ITEM # Zoning Information					
1	Address:	5980 North Bay Road, Miami Beach, FL, 33140			
2	Folio number(s):	02-3215-003-0190			
3	Board and file numbers:	N/A			
4	Year built:	Multiple (1940-2006-2015)	Zoning District:	RS-2	
5	Based Flood Elevation:	8'-0" NGVD	Grade value in NGVD:	3.72 NGVD	
6	Adjusted grade (Flood+Grade/2):	5.86 NGVD	Free board:	N/A	
7	Lot Area:	42,720 SF			
8	Lot Width:	130' 2 - 1/8"	Lot Depth:	330' & 280'. AVG = 305'	
9	Max Lot Coverage SF and %:	12,816 SF (30%)	Proposed Lot Coverage SF and %:	8,950 SF (21%)	
10	Existing Lot Coverage SF and %:	8,992 SF (21%)	Lot coverage deducted (garage-storage) SF:	8,060 SF	
11	Front Yard Open Space SF and %:	2,588 SF (86%)	Rear Yard Open Space SF and %:	3,584.5 SF (49%)	
12	Max Unit Size SF and %:	21,360.2 SF (50%)	Proposed Unit Size SF and %:	11.999 SF (28%)	
13	Existing First Floor Unit Size:	7,624 SF	Proposed First Floor Unit Size:	7,624 SF (EXIST. NO CHANGE)	
14	Existing Second Floor Unit Size:	4,815 SF	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of first floor of the main home require DRB Approval)	4,8880 SF	
15			Proposed Second Floor Unit Size SF and %:	4,880 SF	
16			Proposed Roof Deck Unit Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	800 SF (16.6%)	
		Required	Existing	Proposed	Deficiencies
17	Height:		28' - 2"	NO CHANGE	
18	Setbacks:				
19	Front First Level:	20'-0"	75'-10 1/2"	NO CHANGE	
20	Front Second Level:	40'-0"	158'-6 5/8"		
21	Side 1 NORTH-EAST:	16'-3"	9' - 11"	NO CHANGE	
22	Side 2 SOUTH-WEST:	16'-3"	4' - 3"	NO CHANGE	
23	Rear:	45'-9 3/8"	36'-6 1/2"	NO CHANGE	
	Accessory Structure Side 1:	7'-6"	125' - 2-5/8'''	121'-1 3/8"	
24	Accessory Structure Side 2 or (facing street):	7'-6"	9' - 1"	9'-7 1/2"	
25	Accessory Structrure Rear:	22'- 10 5/8"	20' - 5 1/2"	15'-3"	5'- 1 1/2"
26	Sum of Side Yard:	32'-6"	14' - 2"	NO CHANGE	
27	Location within a Local Historic District ?	Yes or <input type="radio"/> No			
28	Designated as an individual Historic Single Family Residence Site?	Yes or <input type="radio"/> No			
29	Determined to be Architecturally Significant?	Yes or <input type="radio"/> No			

Notes:

If not applicable write N/A
All other data information should be presented like the above format.

5980 N BAY ROAD RENOVATIONS

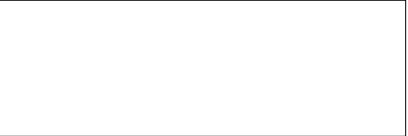
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SEAL:



PROJECT DATA / DRAWING
INDEX & GENERAL NOTES

1/8" = 1'-0"

MAR. 07, 2022

		Required	Existing	Proposed	Deficiencies
	NEW SECOND FLOOR TERRACE				
30	Front First Level:	20'-0"	75'-10 1/2"	NO CHANGE	
31	Side 1 NORTH-EAST:	13'-3"	9' - 11"	13'-3"	
32	Side 2 SOUTH-WEST:	13'-3"	4' - 3"	NO CHANGE	
33	Rear:	45'-9 3/8"	36'-6 1/2"	NO CHANGE	
34	Sum of Side Yard:	32'-6"	14' - 2"	17'-7" **	15'-0"

**VARIANCE REQUIRED

INDEX OF DRAWINGS.	
A-0	COVER
A-1	PROJECT DATA / DRAWING INDEX & GENERAL NOTES
A-2	SURVEY
A-3	CONTEXT LOCATION MAP
A-4	SITE LOCATION
A-5	IMAGE KEY PLAN
A-6	NEIGHBOUR HOUSE IMAGES
A-7	NEIGHBOUR HOUSE IMAGES
A-8	EXISTING SITE IMAGES
A-9	EXISTING AERIAL
A-10	PROPOSED RENDER
A-11	IMPERVIOUS DIAGRAM - FRONT YARD
A-12	IMPERVIOUS DIAGRAM - REAR YARD
A-13	LOT COVERAGE - EXISTING
A-14	LOT COVERAGE - PROPOSED
A-15	EXISTING FIRST & SECOND FLOOR PLAN
A-16	PROPOSED FIRST FLOOR PLAN
A-17	PROPOSED SECOND FLOOR PLAN
A-18	PROPOSED ROOF DECK
A-19	ROOF DECK
A-20	UNIT SIZE EXISTING 1ST & 2ND FLOOR
A-21	UNIT SIZE PROPOSED 1ST, 2ND & ROOF FLOOR
A-22	EXISTING SITE PLAN
A-23	PROPOSED SITE PLAN
A-24	PROPOSED REAR YARD
A-25	POOL CABANA PLANS
A-26	POOL CABANA ELEVATIONS
A-27	POOL CABANA ELEVATIONS
A-28	POOL & CABANA SECTIONS
A-29	FRONT ELEVATIONS
A-30	REAR ELEVATIONS
A-31	SOUTHWEST (SIDE) ELEVATIONS
A-32	NORTHEAST (SIDE) ELEVATIONS
A-33	VARIANCE DIAGRAM - ROOF DECK SETBACK
A-34	EXISTING PHOTO - REAR
A-35	RENDERING - PROPOSED
A-36	EXISTING PHOTO - REAR 2
A-37	RENDERING - PROPOSED 2
A-38	EXISTING PHOTO - REAR 3
A-39	RENDERING - PROPOSED 3
A-40	EXISTING PHOTO - REAR 4

INDEX OF DRAWINGS.	
A-41	RENDERING - PROPOSED 4
A-42	RENDERING - PROPOSED 5
A-43	ACC. STRUCTURE WITH 15'
A-44	MATERIAL BOARD
A-45	HISTORICAL IMAGE - TAX RECORDS



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)

LEGEND:

A/C	-AIR CONDITIONER
AL	-ARC LENGTH
(C)	-CALCULATED
D.E	-DRAINAGE EASEMENT
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCING
P.B.	-PLAT BOOK
P.G.	-PAGE
P.U.E.	-PUBLIC UTILITY EASEMENT
R	-RADIUS
(C)	-RECORD
U.E.	-UTILITY EASEMENT
WM	-WATER METER
#	-FENCE
-	-NUMBER
-	-ASPHALT
-	-CONCRETE
-	-PAVER/BRICK
-	-WOOD
-	-LIGHT POLE
-	-WELL
-	-WATER VALVE
-	-CENTER LINE
-	-CATCH BASIN
-	-FIRE HYDRANT
-	-POLE
-	-MANHOLE
-	-TOPOGRAPHIC ELEVATION

GENERAL NOTES:

- 1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929)
- 7) BENCHMARK REFERENCE: NGS PID # D-113 DESCRIBED AS PK NAIL AND BRASS WASHER IN CONCRETE CATCH BASIN. ELEVATION: 3.71 FEET, NGVD 1929.
- 8) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- 9) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)
- 10) I HEREBY CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



Curve #	Length	Radius	Delta
C1	128.65'	1651.00'	4° 27' 53"
C2	33.35'	1651.00'	1° 09' 27"
C3	76.10'	1651.00'	2° 38' 27"
C4	79.30'	1651.00'	2° 45' 07"
C5	49.35'	1651.00'	1° 42' 45"



SCALE: 1" = 30'

SURVEYOR NOTES:

- DRIVEWAY CROSSES THE BOUNDARY LINE ON SOUTHEASTERLY SIDE OF LOT AS SHOWN.
- WALLS CROSS THE BOUNDARY LINES ON NORTHEASTERLY AND SOUTHWESTERLY SIDES OF LOT AS SHOWN.
- WOOD DOCK AND CONCRETE SURFACE CROSS THE BOUNDARY LINE ON NORTHWESTERLY SIDE OF LOT AS SHOWN.

REVISIONS:

- ON 09/22/2021 ADDED TOPOGRAPHY (L.C.)

LEGAL DESCRIPTION:

LOT 21, AND A PORTION OF LOT 20, BLOCK 1, LAGORCE-GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; SAID PORTION OF LOT 20 IN SAID BLOCK 1 BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE DIVIDING LINE BETWEEN LOTS 20 AND 21 OF SAID BLOCK 1, LAGORCE-GOLF SUBDIVISION, WITH THE NORTHWESTERLY LINE OF NORTH BAY ROAD, RUN IN A NORTHWESTERLY DIRECTION ALONG THE DIVIDING LINE BETWEEN SAID LOTS 20 AND 21, A DISTANCE OF 298.28 FEET TO THE MEAN HIGH WATER LINE ON THE WATER FACE OF THE CONCRETE BULKHEAD ON THE SOUTHEASTERLY SHORE OF BISCAYNE BAY; THENCE RUN IN A NORTHEASTERLY DIRECTION ALONG THE MEAN HIGH WATER LINE OR THE WATER FACE OF SAID CONCRETE BULKHEAD, A DISTANCE OF 60 FEET TO A POINT 10 FEET NORTHEASTERLY FROM THE MID-POINT OF SAID LOT 20; THENCE IN A SOUTHEASTERLY DIRECTION A DISTANCE OF 281.92 FEET ALONG A STRAIGHT LINE TERMINATING AT A POINT ON THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD, SAID POINT BEING 49.35 FEET, AS MEASURED NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD FROM THE DIVIDING LINE BETWEEN SAID LOTS 20 AND 21 AND THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD, SAID POINT ALSO BEING 8.0 FEET NORTHEASTERLY OF THE INTERSECTION OF THE MID-POINT OF SAID LOT 20 WITH THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD; THENCE RUN IN A SOUTHWESTERLY DIRECTION ALONG THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD A DISTANCE OF 49.35 FEET TO THE POINT OF BEGINNING.

CERTIFIED TO:

FLOOD ZONE:

12086C0309L
ZONE: AE
ELEV: 8 FT
EFF: 09/11/2009



5980 N BAY ROAD RENOVATIONS

MIAMI BEACH, FLORIDA 33140

CFZ DESIGN

ARCHITECTURE & INTERIOR DESIGN
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SEAL:



SURVEY

MAR. 07, 2022



OK B/A





