

REQUEST FOR DRB APPROVAL FOR:
YOSHIMURA RESIDENCE

HEARING APR. 5, 2022
FEBRUARY 2022 AGENDA

5440 LaGorce Drive, Miami Beach, Florida

DRB21-0750

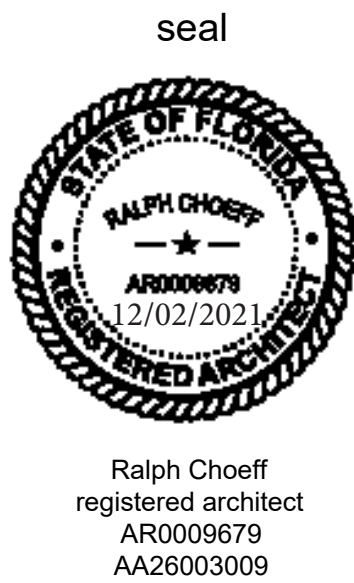


CLIENT
JUSTIN YOSHIMURA

ARCHITECT
CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAIYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE ARCHITECT
CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC
780 NE 69TH ST. STE 1106
MIAMI, FL 33138
(305) 979-1585

PARDO RESIDENCE
6300 ALLISON RD
MIAMI BEACH, FLORIDA, 33141



comm no.
2154

date:
2/24/2022

revised:

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY
LOCATED AT
5440 LaGorce Drive, Miami Beach, FL 33140

VARIANCE REQUEST:
• 1'-0" TOTAL HEIGHT WAIVER TO ALLOW ADEQUATE
HEADROOM IN UNDERSTORY SPACE.

1
sheet no.

A-0.0

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PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



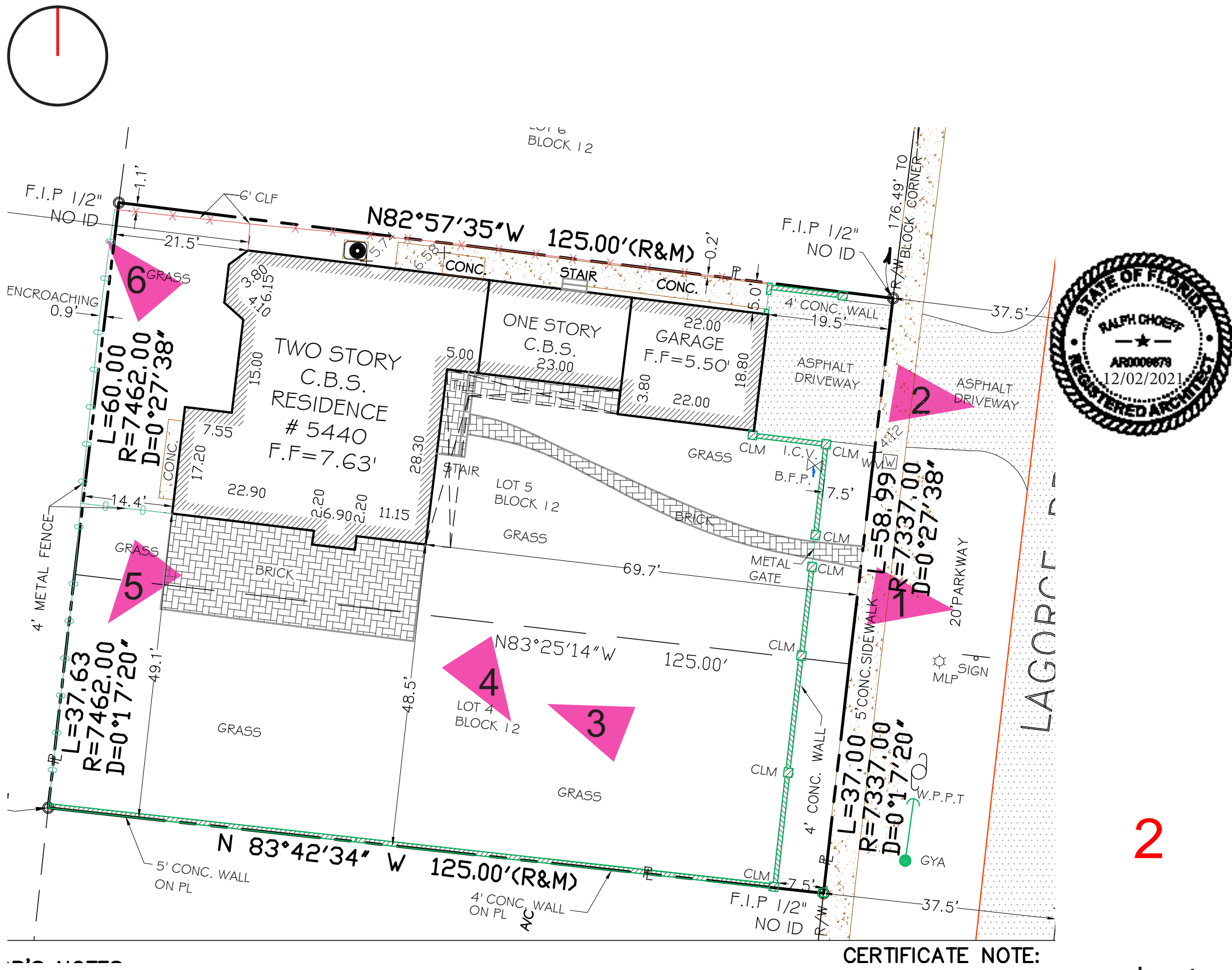
PHOTOGRAPH 4



PHOTOGRAPH 5



PHOTOGRAPH 6



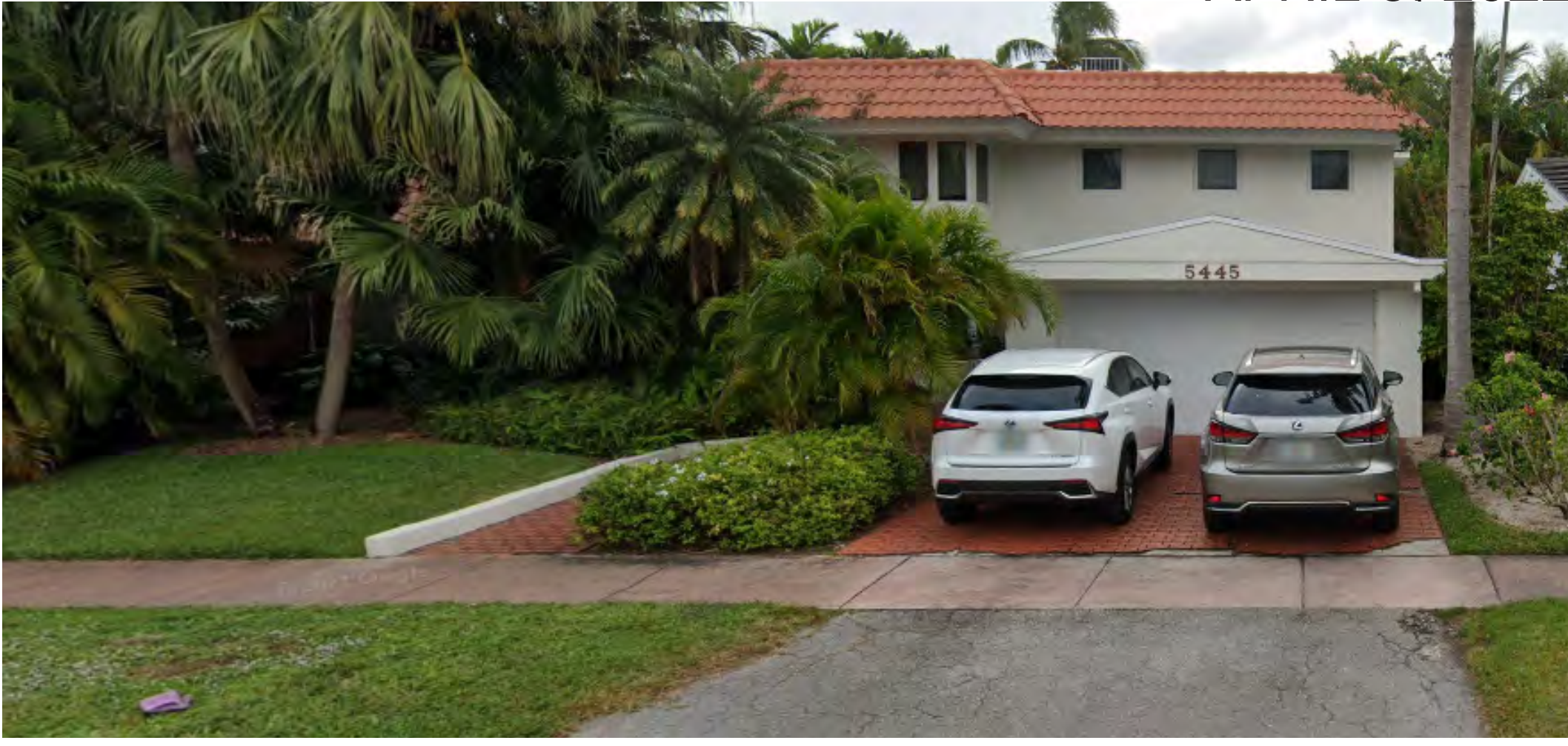
SITE PHOTOGRAPHS



SUBJECT PROPERTY 1 (5440 LA GORCE DR)



RESIDENCE 1



RESIDENCE 2



aerial photograph with proposed residence inserted

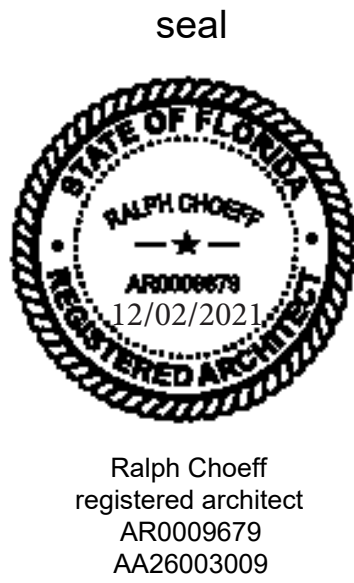


CONTEXT ANALYSIS

ITEM #	New Construction Floodplain Management Data		
1	Flood Zone:	AE + 8'	
2	FIRM Map Number	12086C0309L	
3	Base Flood Elevation (BFE):	8.00' NGVD	
4	Proposed Flood Design Elevation:	XX.xx' NGVD	
5	Crown of Road Elevation:		
6	Classification of Structure:	Category II	
7	Building Use:	Single-Family Residence	
8	Lowest Elev. of Equip		
9	Lowest Adjacent Grade		
10	Highest Adjacent Grade		

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	5440 LA GORCE DRIVE, MIAMI BEACH, FL 33140			
		Legal Description: LOT 5, and the North 37.0 feet of Lot 4, Block 12, of BEACH VIEW SUBDIVISION, according to the Plat thereof, recorded in Plat Book 9, Page 158, of the Public Records of MIAMI-DADE County, Florida			
2	Folio number(s):	02-3214-003-1490			
3	Board and file numbers :				
4	Year built:	1936	Zoning District:		RS-4
5	Based Flood Elevation:	AE 8.00	Grade value in NGVD:		4.12' NGVD
6	Adjusted grade (Flood+Grade/2):	6.06' NGVD	Free board:		8' (SEE ELEVATIONS)
7	Lot Area:	12,100 SF			
8	Lot width (AVG.):	96.81'	Lot Depth:		125.00'
9	Max Lot Coverage SF and %:	3,630 SF (30%)	Proposed Lot Coverage SF and %:		3,487.9 SF (28.7%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:		0 SF
11	Front Yard Open Space SF and %:	2,023.8 SF (70.2%)	Rear Yard Open Space SF and %:		1,831.2 SF (93.9%)
12	Max Unit Size SF and %:	6,050 SF (50%)	Proposed Unit Size SF and %:		6,047.7 (49.9%)
13	Existing First Floor Unit Size:	N/A	Proposed UnderStory Unit Size:		325.8 SF
			Proposed First Floor Unit Size:		3,019.3 SF
14			Proposed Second Floor Unit Size:		2,702.6 SF
			Proposed Roof Deck Unit Size:		N/A
15					
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):		N/A
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" (28')		23'-3" (25'-0" from BFE +5')	1' VARIANCE REQUESTED
18	Setbacks:				
19	Front First level:	20'-0"		31'-9"	
20	Front Second level:	30'-0"		31'-9"	
21	Side 1:	12'-2"		12'-6"	
22	Side 2:	12'-2"		12'-8"	
23	Rear:	20'-0"		20'-2"	
24	Accessory Structure Side 1:	N/A		N/A	
25	Accessory Structure Side 2 :	N/A		N/A	
26	Accessory Structure Rear:	N/A		N/A	
27	Sum of Side yard :	24'-4"		24'-6"	
28	Located within a Local Historic District?		No		
29	Designated as an individual Historic Single Family Residence Site?		No		
30	Determined to be Architecturally Significant?		No		
Notes:					

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APPLICABLE CODE NOTE:

APPLICABLE CODE: FBC 2020 RESIDENTIAL, 11TH EDITION. ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2020 RESIDENTIAL, 11TH EDITION.

WALL LEGEND

CONC. WALL
CONC. BLOCK WALL
SOUND INSULATED INTERIOR PARTITION

NOTE:

STEEL STUDS SUPPORTING WALL HUNG FIXTURES & CABINETS SHALL BE DOUBLE OR NOT LESS THAN 20 GAUGE AS PER 4414.3.1, FBCR.

GLASS SHOWER ENCLOSURE

ALL GLAZING IN BATH & SHOWER ENCLOSURES SHALL BE FULL HEIGHT, CATEGORY II SAFETY GLAZING AS PER FBCR R309.4.5 AND TABLE R309.3.1(1). SHOWER ACCESS SHALL BE A MINIMUM 22" WIDE CLEAR, PER FBCR 2108.1(1).

EXTERIOR DECK/BALCONY SLOPE

EXTERIOR DECKS AND BALCONIES SHALL BE SLOPED A MINIMUM OF 1/8" PER FOOT TO SAFEGUARD AGAINST FLOODING WATER.

INTERIOR FRAMED WALL NOTE

ALL INTERIOR FRAMED WALLS SHALL BE 1 1/2" BY 3 1/2" 20 GA MTL STUDS @ 16" O.C. w/ FULL THICK SOUND BATT INSULATION AT ALL WALLS WITHOUT EXCEPTION TO RECEIVE 5/8" GWS EACH SIDE & NON-CEMENTITIOUS TILE BACKER BOARD AT ALL WET WALLS. (TYP. THROUGHOUT)

CEILING NOTE

ALL CEILINGS SHALL BE FINISHED w/ 5/8" GWS WITH LEVEL-5 FINISH (TYP. THROUGHOUT)

SLAB & BEAM PENETRATION NOTE:

ALL SLAB & BEAM PENETRATIONS ARE TO BE SLEEVED PER STRUCTURAL DRAWINGS

SLAB EDGE WATERPROOFING NOTE:

ALL CONCRETE SLAB EDGES & BEAMS SUPPORTING EXTERIOR WALLS SHALL BE RECESSED 1/4" BELOW TOP OF SLAB FOR A WIDTH OF THE EXTERIOR WALL

FLOOR DRAINS NOTE:

FLOOR DRAINS SHALL BE PROVIDED WITH ACCESS PER FBCR F2119.1

RAILING NOTE:

ALL GUARDRAILS TO BE 3'-6" ABOVE FINISHED FLOOR AND HANDRAILS TO BE 34'-36" ABOVE FINISHED FLOOR. RAILING SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 100 LBS. APPLIED AT ANY POINT IN ANY DIRECTION. GLASS RAILINGS TO BE SEAMLESS TEMPERED SAFETY GLASS PER TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING FOR ARCHITECT'S & BUILDING DEPT'S. APPROVALS (TYPICAL).

EXTERIOR BLOCK WALLS

INTERIOR FINISH:
1-5/8" MTL FURR @ 16" O.C. WITH 5/8" GWS (PENGSHIELD TILE BACKER BOARD AT WET WALLS). PROVIDE R-4 MIN BOARD INSULATION (TYP. R OR EQUAL). (TYPICAL)

TERRACE WATERPROOFING

TILE FINISH w/ MORTAR BED OVER TREMCO VULKEM 360-NP FLUID APPLIED WATERPROOFING MEMBRANE OVER CONC. SLAB - (SEE PER SPEC'S)

VAPOR RETARDER NOTE:

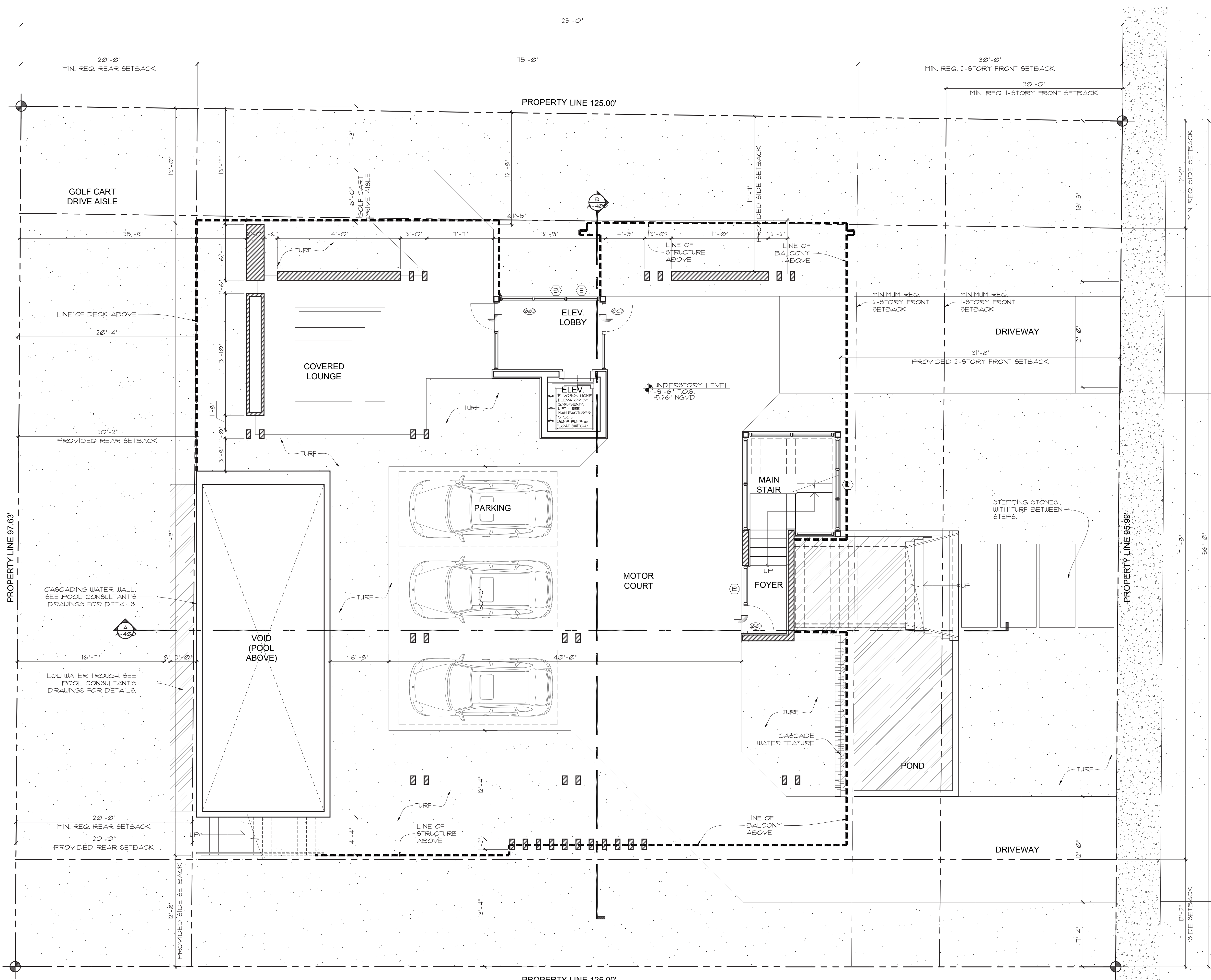
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ELEVATION NOTE:

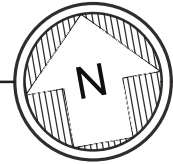
UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE SHALL BE SUBMITTED (FBC 2020, BUILDING SECTION 110.3)

ELEVATION CERTIFICATE NOTE:

A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE WE CAN ISSUE ANY CO, TO, OR RCO.



1 UNDER CARRIAGE PLAN
Scale: 3/16" = 1'-0"





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WALL LEGEND

CONG. WALL
CONG. BLOCK WALL
SOUND INSULATED INTERIOR PARTITION

NOTE:

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TERRACE WATERPROOFING

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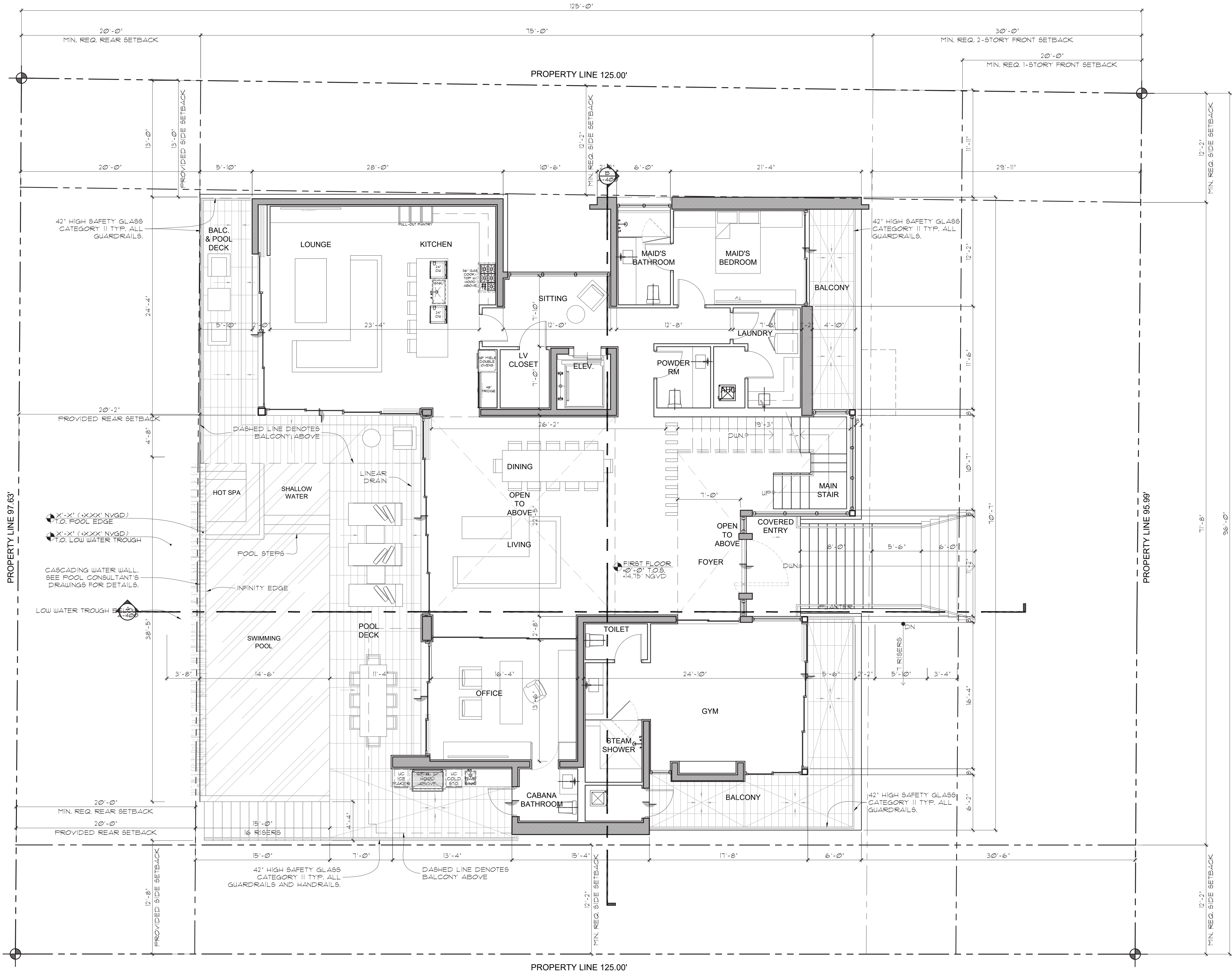
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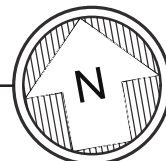
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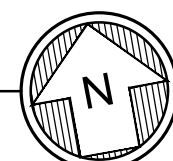
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1 FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"



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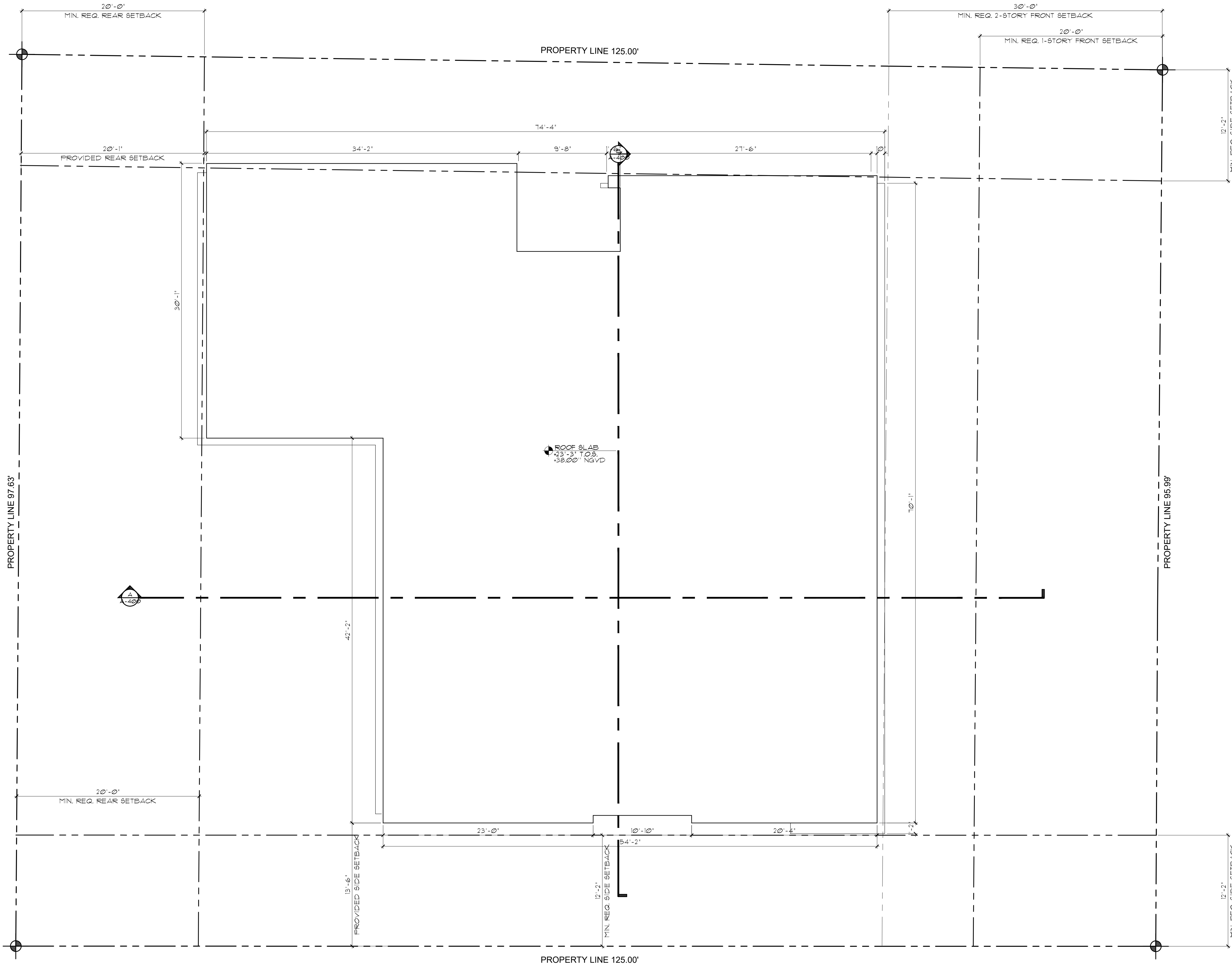
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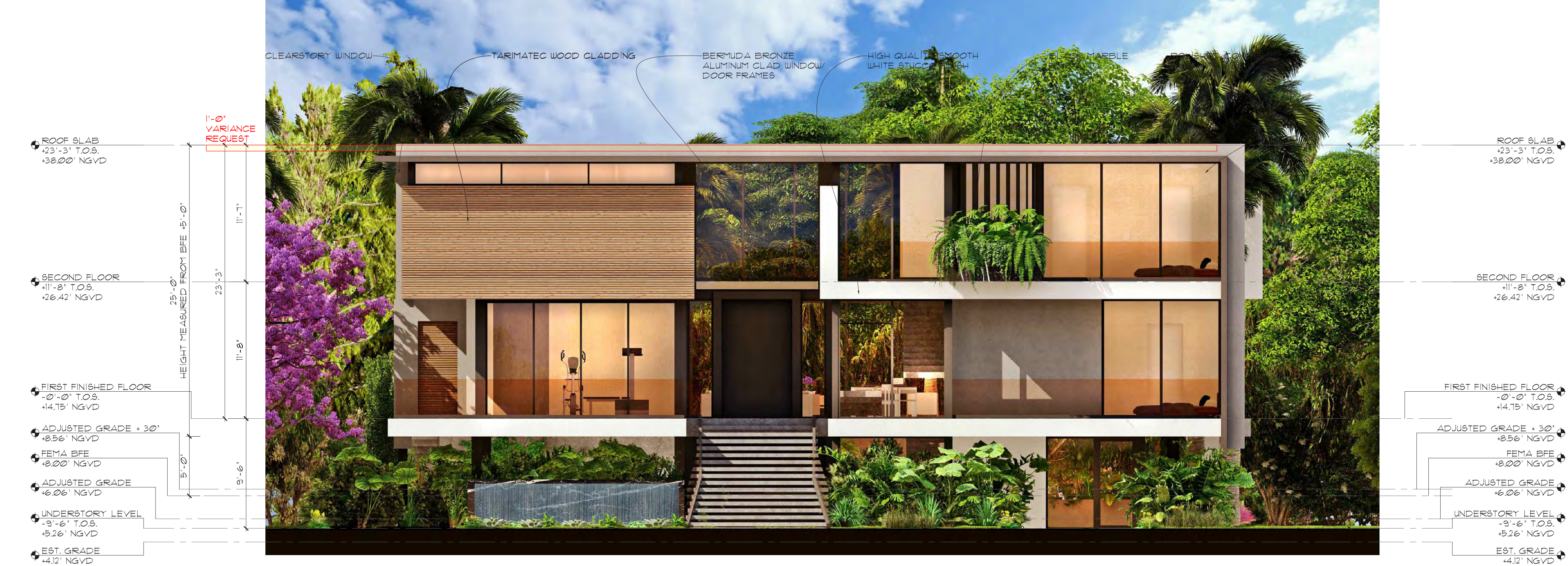
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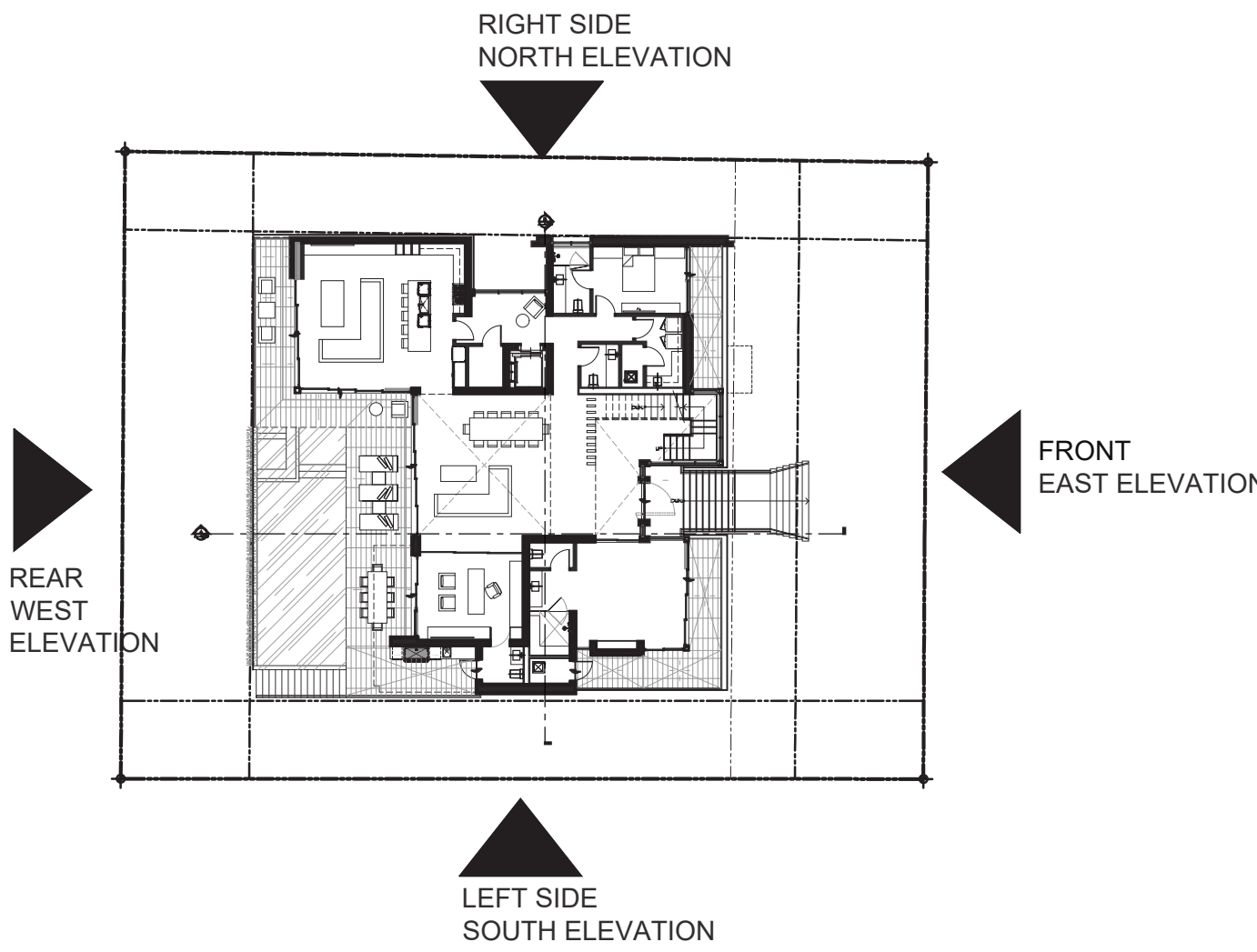
1 ROOF PLAN
Scale: 3/16" = 1'-0"



2 ELEVATIONS
FRONT (EAST)
A-350 Scale: 3/16" = 1'-0"



1 ELEVATIONS
RIGHT (NORTH)
A-350 Scale: 3/16" = 1'-0"



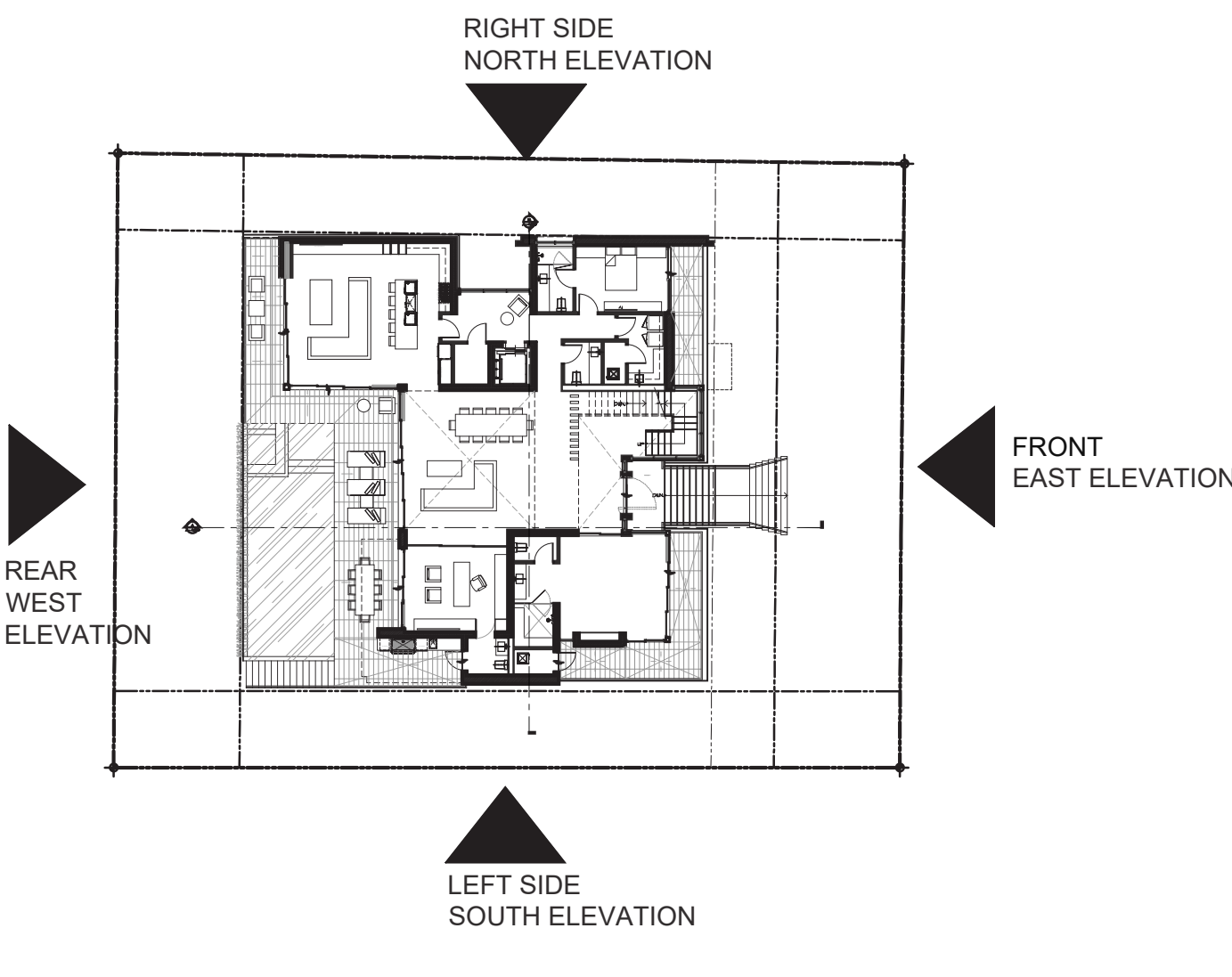
3 ELEVATIONS
KEY PLAN
A-351 Scale: N.T.S.



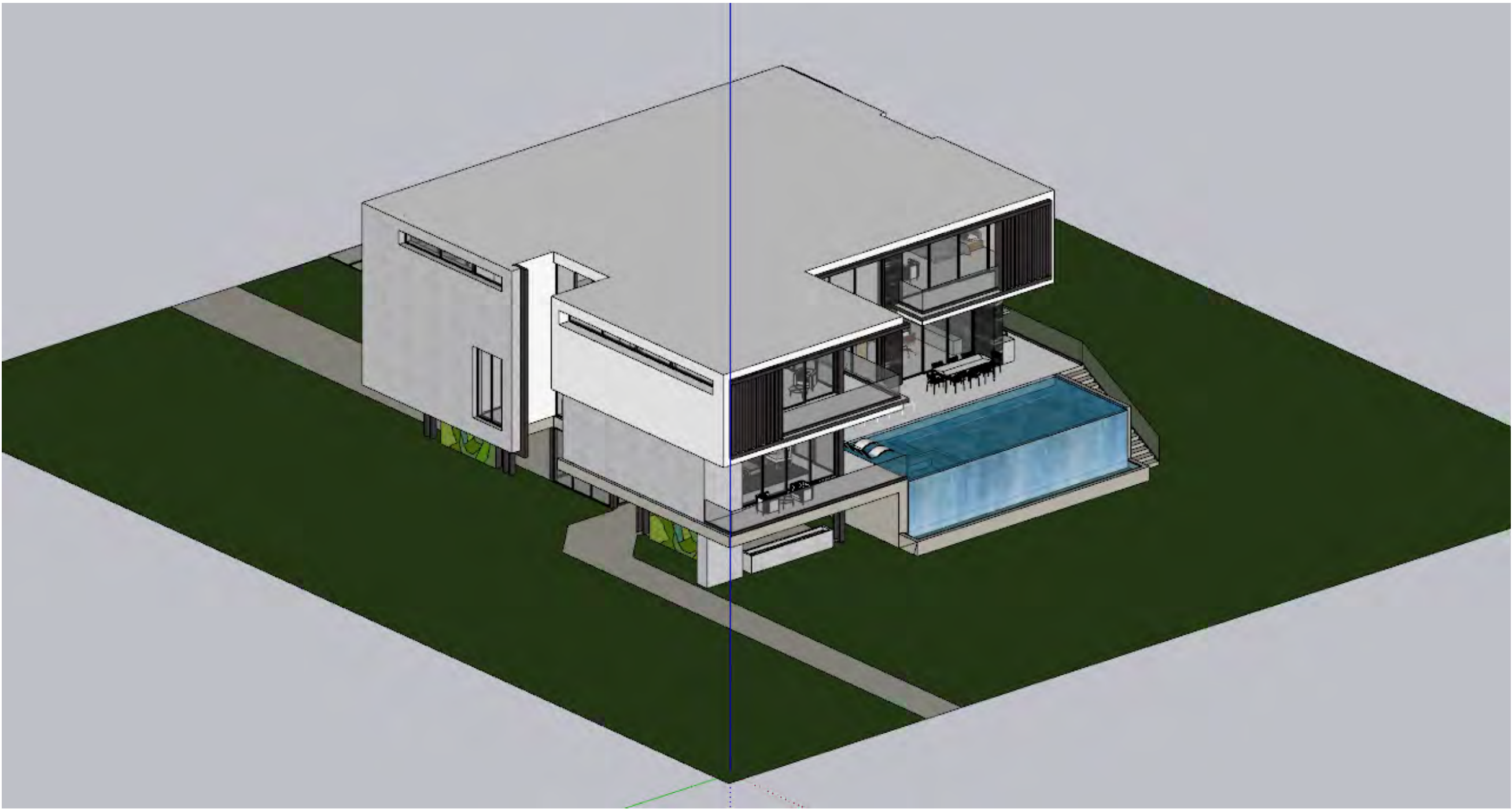
2
A-351
ELEVATIONS
REAR (WEST)
Scale: 3/16" = 1'-0"



1
A-351
ELEVATIONS
LEFT (SOUTH)
Scale: 3/16" = 1'-0"



3
A-351
ELEVATIONS
KEY PLAN
Scale: N.T.S.



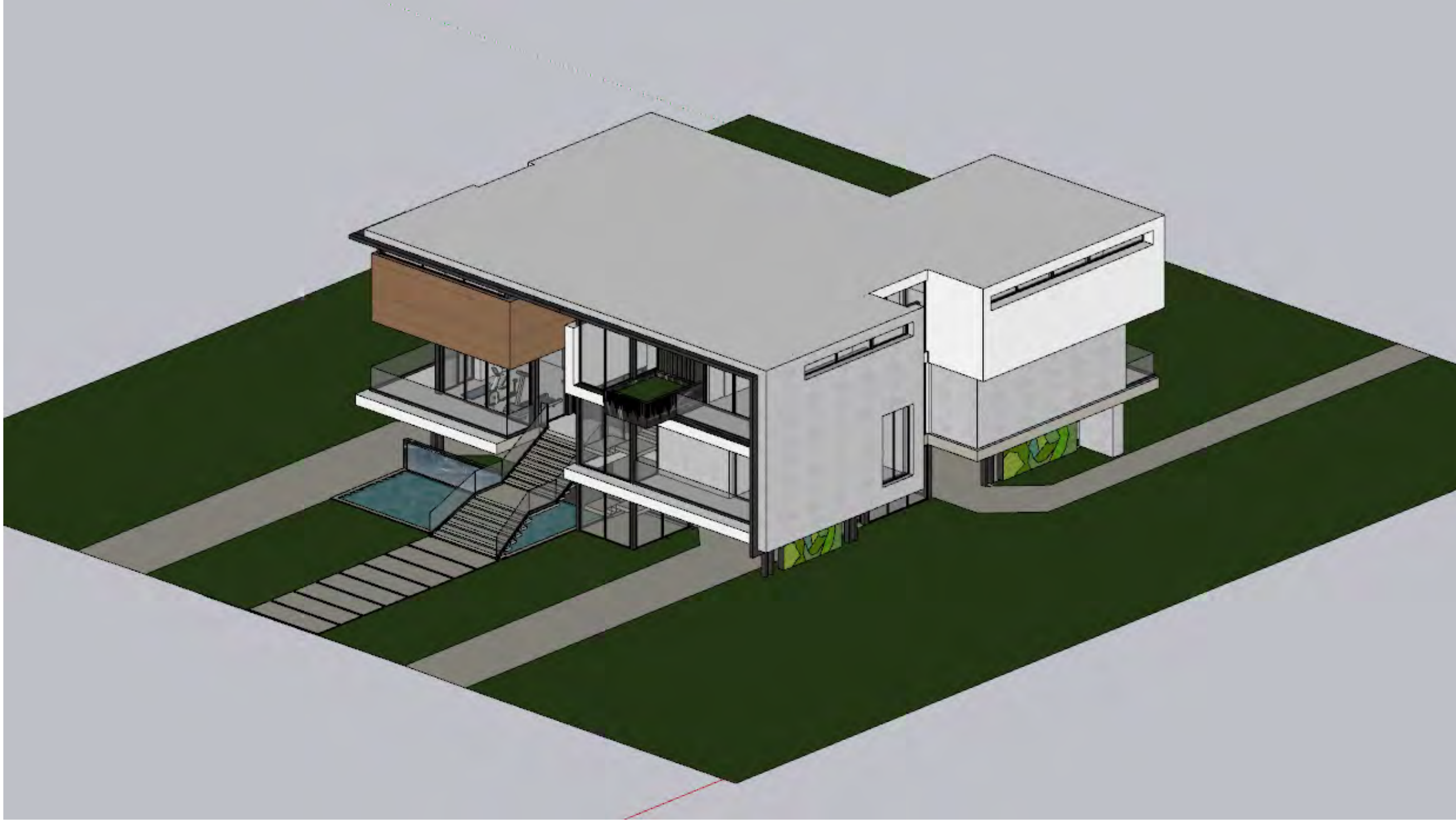
SOUTHEAST BIRD'S EYE VIEW



NORTHEAST BIRD'S EYE VIEW



NORTHWEST BIRD'S EYE VIEW



SOUTHWEST BIRD'S EYE VIEW

3D AXONOMETRICS

GARZA RESIDENCE
297 NORTH COCONUT LANE
MIAMI BEACH, FL 33139



Ralph Choeff
registered architect
AR0006678
AA26003009

comm no.
2010

date:
06/04/2020

revised:

11

sheet no.

sheet no.
G-1.0



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Ralph Choeff
registered architect
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12

sheet no.
sheet no.
G-2.1



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seal



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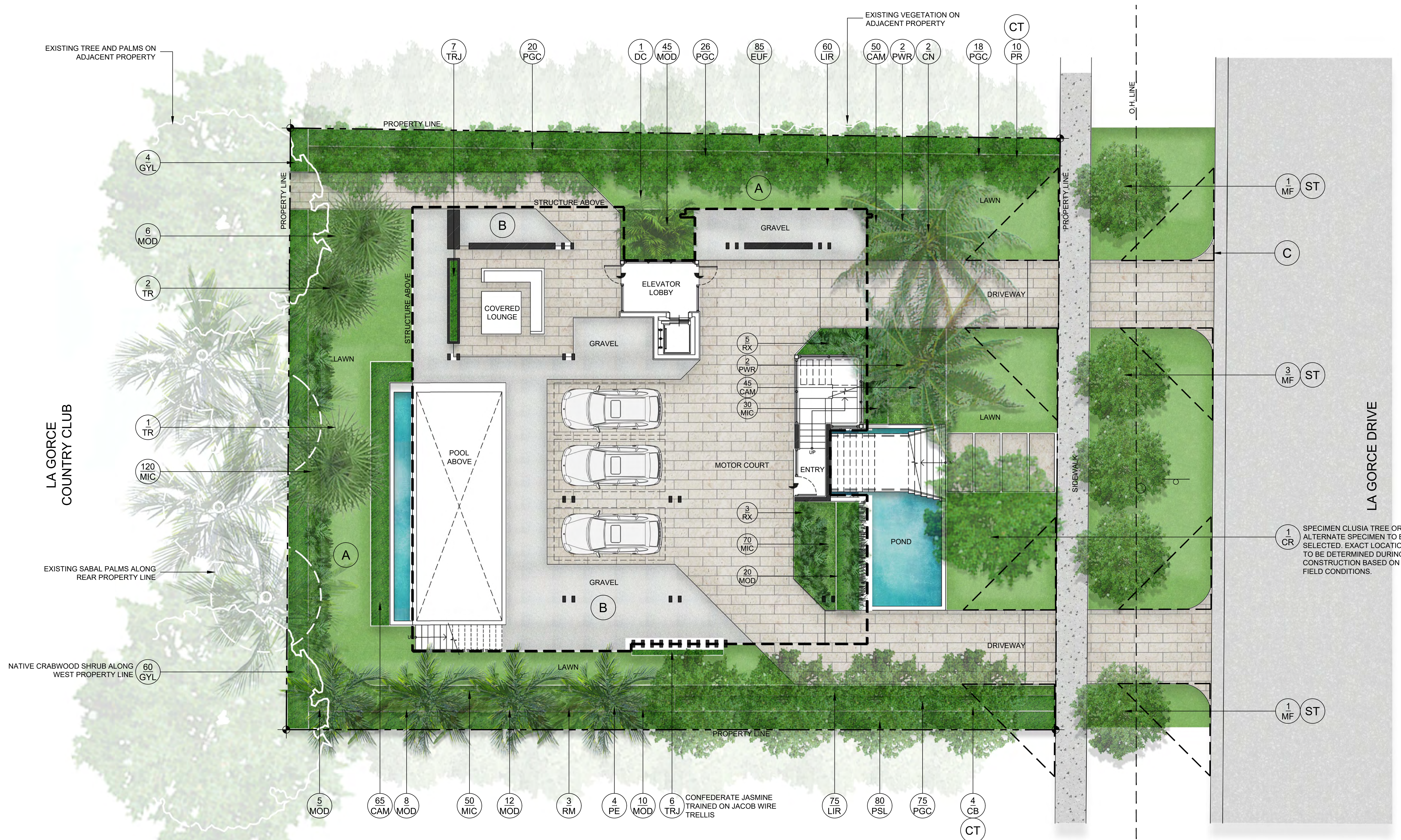
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13

sheet no.
sheet no.
G-2.3



LANDSCAPE PLAN LEGEND

- | | | | |
|-----|--|------|-------------|
| (A) | NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS | (CT) | CODE TREE |
| (B) | 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC | (ST) | STREET TREE |
| (C) | 15' VISIBILITY SITE TRIANGLE AS PER C.M.B. REGULATIONS | | |

RENDERED UNDERCARRIAGE LANDSCAPE PLAN



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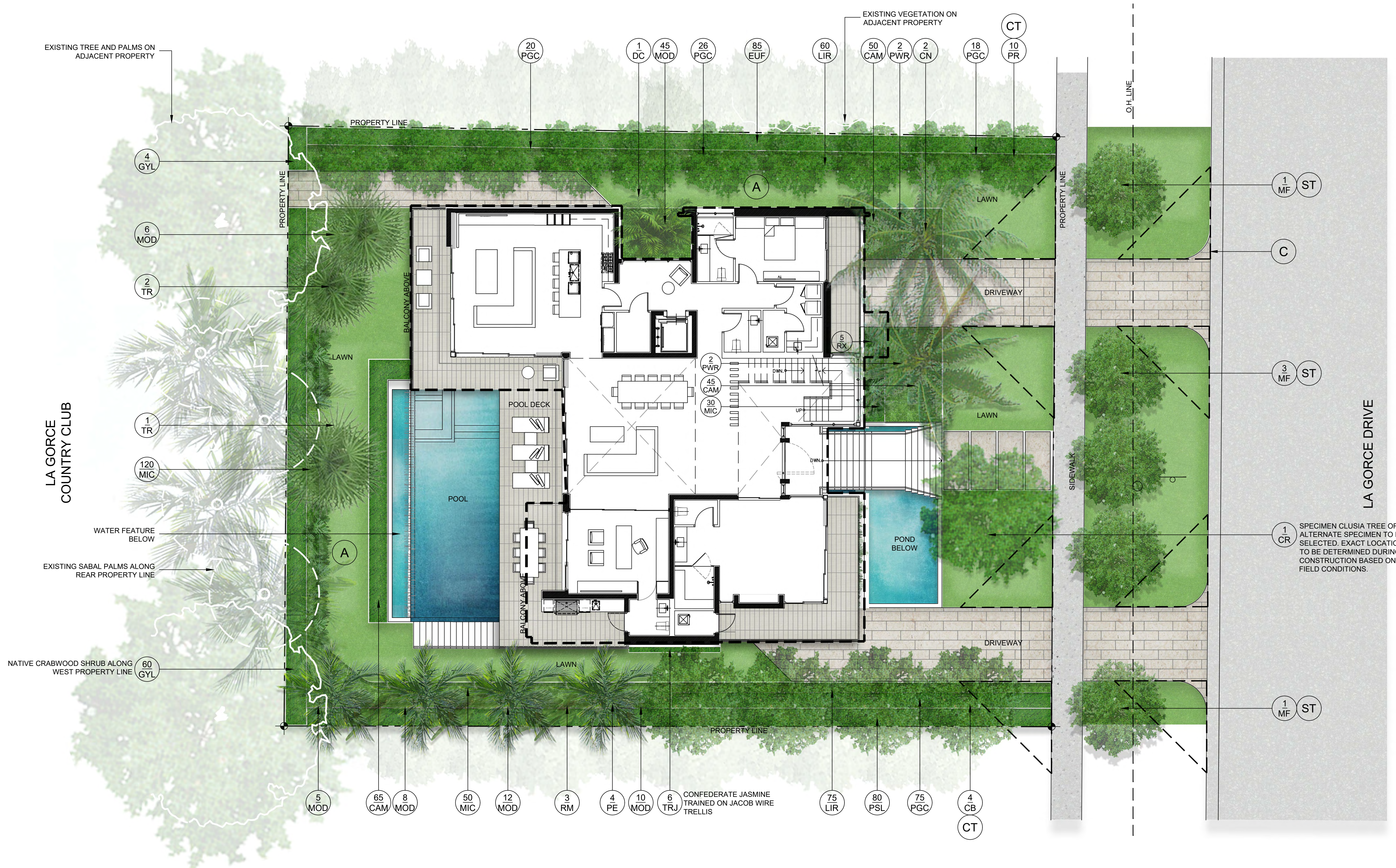
CHRISTOPHER
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7700 NE 18th Street, Suite 200 Miami, Florida 33138
(305) 434-8338
CHRISTOPHER@CAWLEY.COM | L.C. 20000000

YOSHIMURA RESIDENCE
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MIAMI BEACH, FLORIDA, 33140

seal

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14
sheet no.
L-200

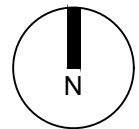


LANDSCAPE PLAN LEGEND

- (A) NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS
- (B) 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC
- (C) 15' VISIBILITY SITE TRIANGLE AS PER C.M.B. REGULATIONS

- (CT) CODE TREE
- (ST) STREET TREE

RENDERED FIRST FLOOR LANDSCAPE PLAN



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15

sheet no.

L-201

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seal