

NEW RESIDENCE - DRB FINAL CSS SUBMITTAL

DESIGN REVIEW BOARD (DRB22-0798)

4520 MERIDIAN AVE

MIAMI BEACH, FL 33140

CLIENT

**
4520 MERIDIAN AVENUE,
MIAMI BEACH FL 33140

ARCHITECT OF RECORD

ARTEHOMES
1025 92ND ST,
BAY HARBOR ISLANDS, FL
O:786-218-3072

WWW.ARTEHOMES.COM

LANDSCAPING

ALL LANDSCAPE DATA INC.

4459 NW 97TH CT,
DORAL FL 33178
O: 305.303.7059
WWW.ALLLANDSCAPEDATA.COM

SCOPE OF WORK

- ALTERATION OF FRONT, REAR, AND SIDE FACADE.
INTERIOR REMODELATION.
- WAIVER TO RECEDE WITH 35% OF THE SECOND
FLOOR ALONG THE FRONT ELEVATION; ONLY
17.93% OF THE SECOND FLOOR ALONG THE FRONT
ELEVATION IS SET BACK 5' FROM THE MINIMUM
REQUIRED SETBACK.

CS-0.0	COVER SHEET
EX-1.0	SURVEY
EX-2.0	LOCATION PLAN
EX-2.1	NEIGHBORHOOD ANALYSIS - KEY PLAN
EX-2.2	NEIGHBORHOOD ANALYSIS - EXISTING EXTERIOR
EX-2.3	NEIGHBORHOOD ANALYSIS - CONTEXT
EX-2.4	NEIGHBORHOOD ANALYSIS - CONTEXT
EX-2.5	NEIGHBORHOOD ANALYSIS - CONTEXT
EX-2.6	NEIGHBORHOOD ANALYSIS - CONTEXT
A-0.0	ZONING DATA SHEET
A-1.0	PROPOSED BUILDING - SITE PLAN
A-1.1	EXISTING BUILDING - FIRST FLOOR PLAN
A-1.2	PROPOSED BUILDING - FIRST FLOOR PLAN
A-1.3	EXISTING BUILDING - SECOND FLOOR PLAN
A-1.4	PROPOSED BUILDING - SECOND FLOOR PLAN
A-1.5	EXISTING BUILDING - ROOF PLAN
A-1.6	PROPOSED BUILDING - ROOF PLAN
A-2.0	ZONING DIAGRAM - LOT COVERAGE
A-2.1	ZONING DIAGRAM - UNIT SIZE FIRST FLOOR
A-2.2	ZONING DIAGRAM - UNIT SIZE SECOND FLOOR
A-2.3	ZONING DIAGRAM - OPEN SPACE
A-2.4	ZONING DIAGRAM - AXONOMETRIC
A-3.0	MATERIAL BOARD
A-4.0	ELEVATIONS - NORTH
A-4.1	COLOR ELEVATIONS - NORTH
A-4.2	ELEVATIONS - SOUTH
A-4.3	COLOR ELEVATIONS - SOUTH
A-4.4	ELEVATIONS - EAST
A-4.5	COLOR ELEVATIONS - EAST
A-4.6	ELEVATIONS - WEST
A-4.7	COLOR ELEVATIONS - WEST
A-5.0	SECTIONS - TRANSVERSE A
A-5.1	SECTIONS - LONGITUDINAL B
A-6.0	RENDERING - FRONT FACADE
A-6.1	RENDERING - REAR FACADE



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PROJECT:
4520 MERIDIAN AVE,
MIAMI BEACH, FL 33140

FOLIO NUMBER:
02-3222-010-0740

DATE:
PROJECT NO

03/7/22

REVISION	

DATE:
DRAFTED BY:
SCALE:

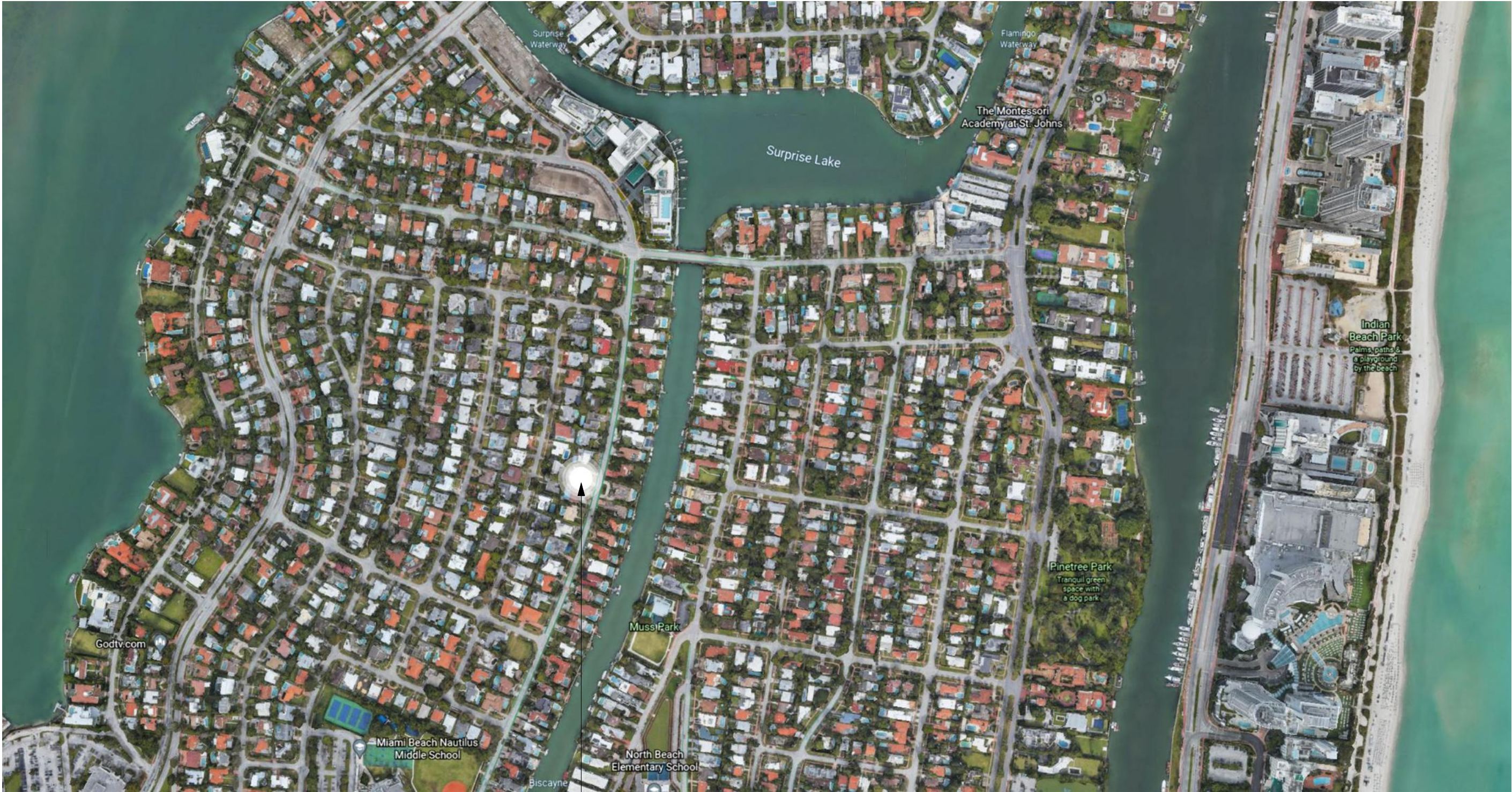
COVER SHEET

ARCHITECT OF RECORD

J. ALFREDO GAMARRA
LIC. # AR0017394

CS-0.0

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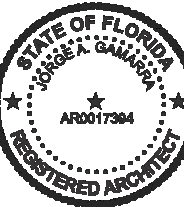
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LOCATION PLAN

ARCHITECT OF RECORD



J. ALFREDO GAMARRA
LIC. # AR0017394

EX-2.0

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SITE
4520 MERIDIAN AVE

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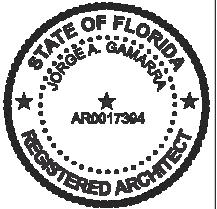
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NEIGHBORHOOD
ANALYSIS - KEY PLAN

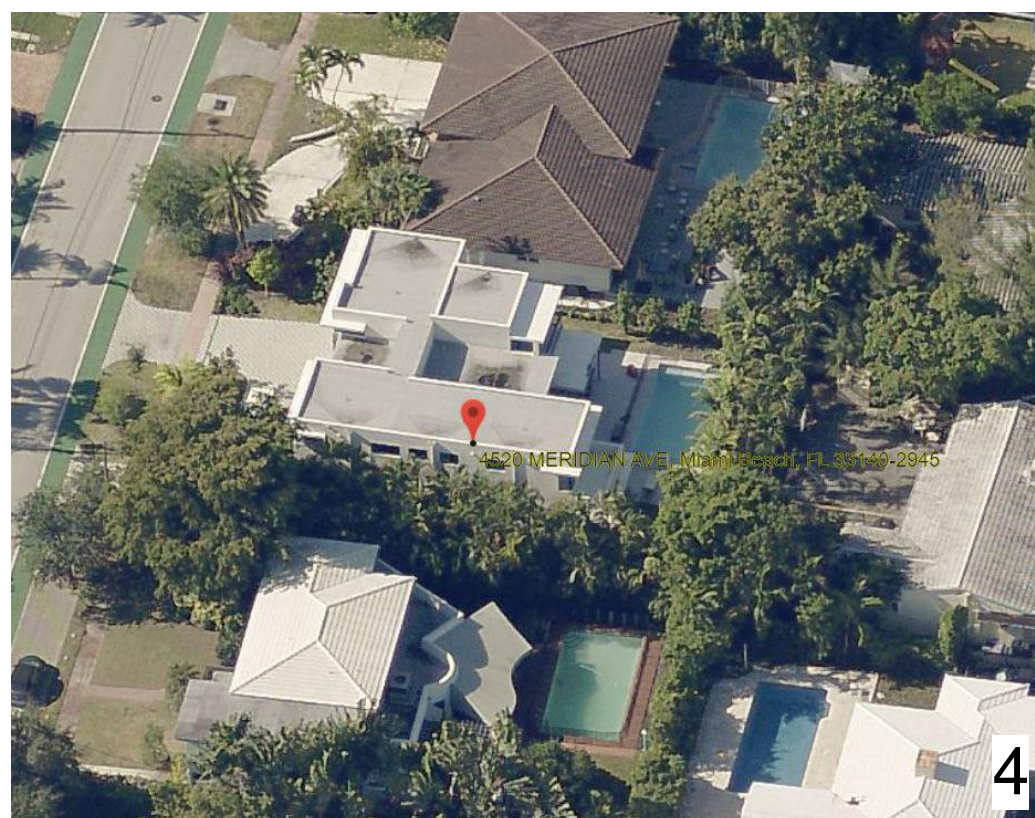
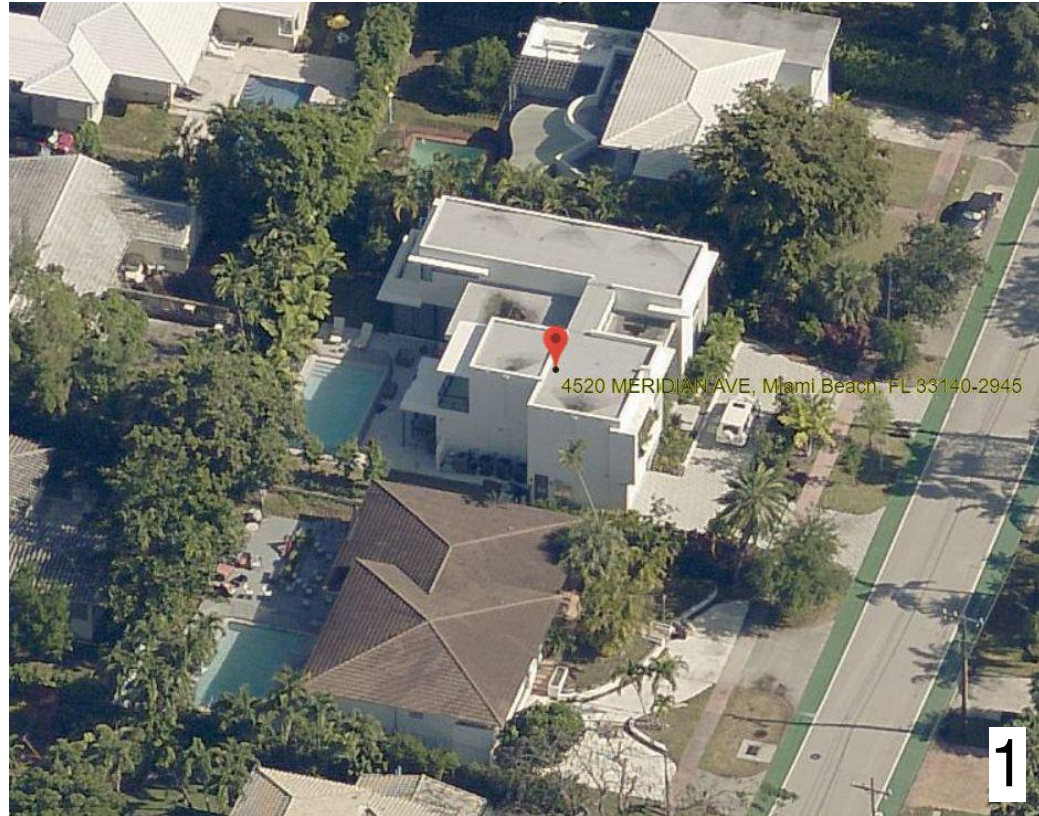
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EX-2.1

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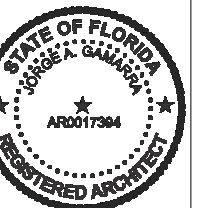
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NEIGHBORHOOD
ANALYSIS - EXISTING
EXTERIOR

ARCHITECT OF RECORD



ALFREDO GAMARRA
AR0017394

EX-2.2

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4500 MERIDIAN AVE



4510 MERIDIAN AVE



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NEIGHBORHOOD
ANALYSIS - EXISTING
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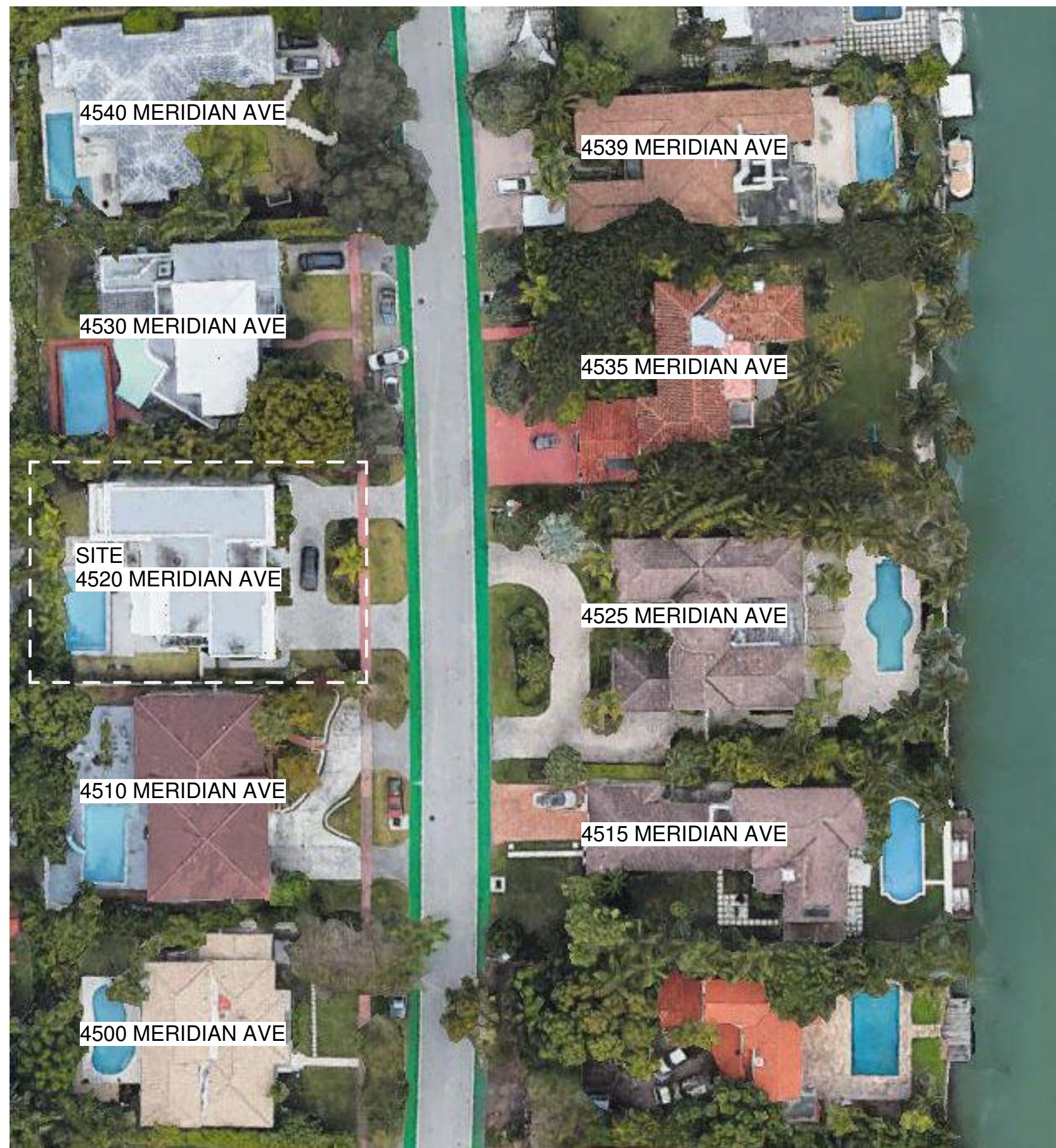
ARCHITECT OF RECORD

STATE OF FLORIDA
JOSÉ A. GAMARRA
AR0017394
REGISTERED ARCHITECT

J. ALFREDO GAMARRA
LIC. # AR0017394

EX-2.3

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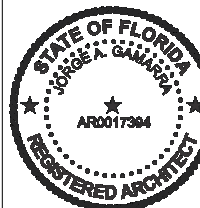
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NEIGHBORHOOD ANALYSIS - EXISTING EXTERIOR

ARCHITECT OF RECORD



J. ALFREDO GAMARRA
LIC. # AR0017394

EX-2.4

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PROJECT:
100 MERIDIAN AVE,
MIAMI BEACH, FL 33140
PHONE NUMBER:
3222-010-0740
DATE: 03/7/22
PROJECT NO

REVISION	

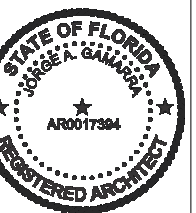
DATE: _____

DRAFTED BY: _____

SCALE: _____

NEIGHBORHOOD
ANALYSIS - EXISTING
EXTERIOR

ARCHITECT OF RECORD



LFREDO GAMARRA
AR0017394

EX-2.6

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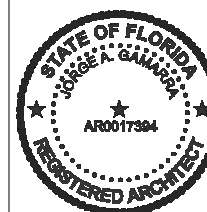
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NEIGHBORHOOD ANALYSIS - EXISTING EXTERIOR

ARCHITECT OF RECORD



J. ALFREDO GAMARRA
LIC. # AR0017394

EX-2.6

DRAWN BY:

F.S

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	4520 MERIDIAN AVENUE			
2	Folio number(s):	02-3222-010-0740			
3	Board and file number(s) :	DRB22-0798			
4	Year built:2019	Zoning District:	RS-4		
5	Located within a Local Historic District (Yes or No):	NO			
6	Individual Historic Single Family Residence Site (Yes or No):	NO			
7	Home determined Architecturally Significant by CMB (Yes or No):	NO			
8	Base Flood Elevation:	+8.00' N.G.V.D	Grade value in NGVD:	+5.00' N.G.V.D	
9	Adjusted grade (Flood+Grade/2):	+6.50' N.G.V.D	Free board:	5'-0"	
10	30" above grade:	+7.50' N.G.V.D	Lot Area:	9,556 SF	
11	Lot width:	83.64'	Lot Depth:	115'	
12	Max Lot Coverage SF and %:	2,867 SF (30.0%)	Proposed Lot Coverage SF and %:	2,866 SF (29.9%)	
13	Existing Lot Coverage SF and %:	2,843SF (29.75%)	Net Lot coverage (garage-storage)		
14	Front Yard Open Space SF and %:	1,260 SF (50.08%)	Rear Yard Open Space SF and %:	1,219 SF (74.05%)	
15	Max Unit Size SF and %:	4,778 SF (50.0%)	Proposed Unit Size SF and %:	4,777 SF (49.99%)	
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	2,711 SF	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	NO	
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	24'-0"	23'-10"	23'-10"	
	Front Setbacks:				
20	Front First level:	20'-0"	30'-0"	30'-0"	
	Front second level:	30'-0"	30'-0"	30'-0"	
	Front second level if lot coverage is 25% or greater:				
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	29.27' (35.0%)	15.00' (17.72%)	15.00' (17.72%)	
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.				
22	Sum of side yard :	21'-0"	21'-2"	21'-2"	
23	Side 1:	10'-0"	10'-0"	10'-0"	
24	Side 2 or (facing street):	11'-0"	11'-2"	11'-2"	
25	Rear:	20'-0"	20'-7"	20'-7"	
26	Accessory Structure Side 1:	N/A	N/A	N/A	
27	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	
28	Accessory Structure Rear:	N/A	N/A	N/A	
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.

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MIAMI BEACH, FL 33140

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SCALE:

ZONING DATA SHEET

ARCHITECT OF RECORD

STATE OF FLORIDA

JOSÉ A. GAMARRA

★

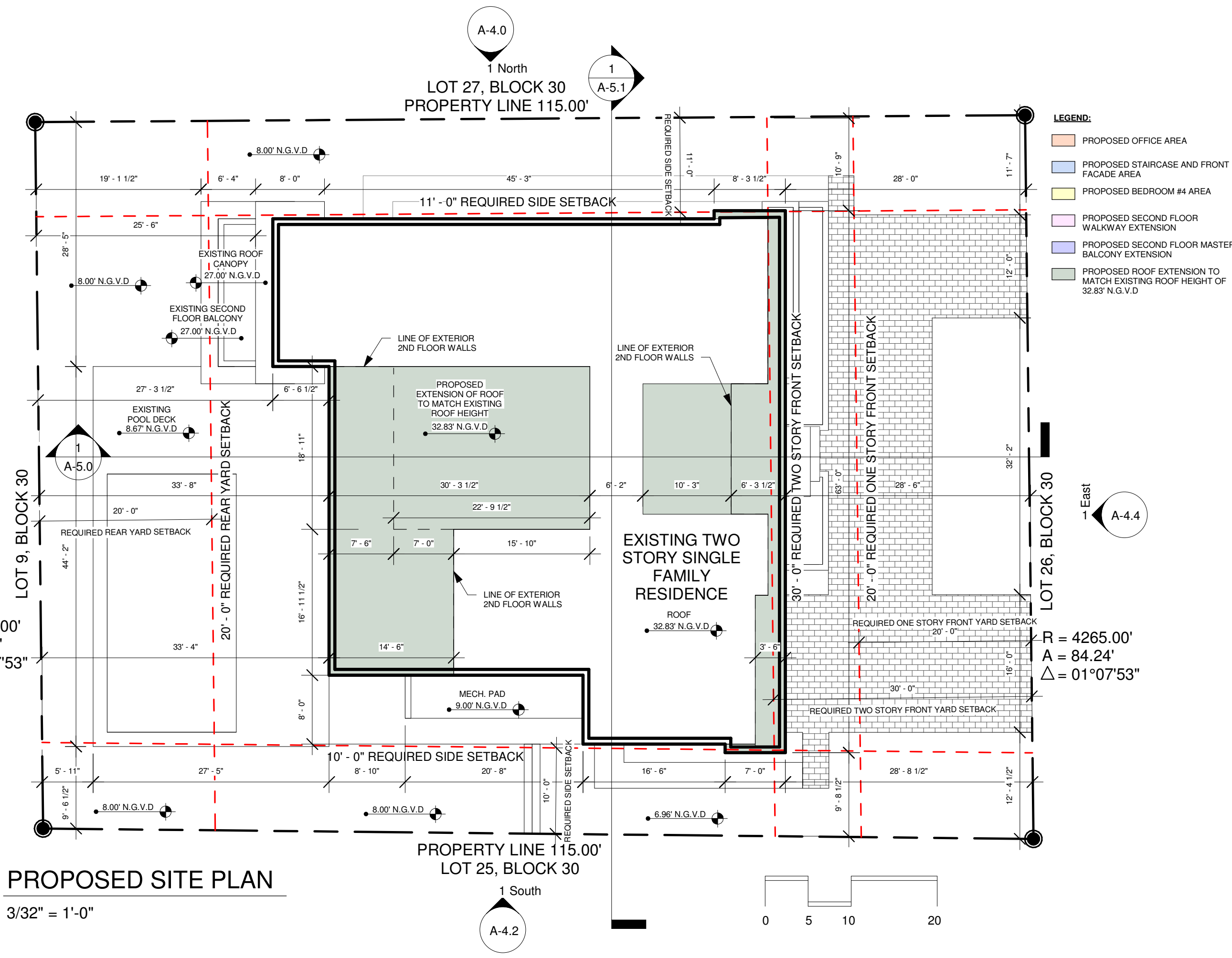
AR0017394

REGISTERED ARCHITECT

J. ALFREDO GAMARRA
LIC. # AR0017394

A-0.0

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- LEGEND:**
- PROPOSED OFFICE AREA
 - PROPOSED STAIRCASE AND FRONT FACADE AREA
 - PROPOSED BEDROOM #4 AREA
 - PROPOSED SECOND FLOOR WALKWAY EXTENSION
 - PROPOSED SECOND FLOOR MASTER BALCONY EXTENSION
 - PROPOSED ROOF EXTENSION TO MATCH EXISTING ROOF HEIGHT OF 32.83' N.G.V.D

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PROPOSED BUILDING
SITE PLAN

ARCHITECT OF RECORD

STATE OF FLORIDA
JOSÉ A. GAMARRA
AR0017394
REGISTERED ARCHITECT

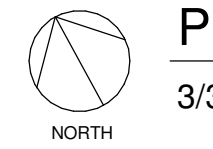
J. ALFREDO GAMARRA
LIC. # AR0017394

A-1.0

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A-4.6
1 West

R = 4150.00'
A = 81.97'
Δ = 01°07'53"



PROPOSED SITE PLAN

3/32" = 1'-0"

A-4.0
1 North

LOT 27, BLOCK 30
PROPERTY LINE 115.00'

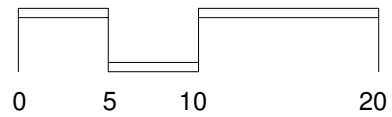
A-5.1
1

A-4.4
1 East

R = 4265.00'
A = 84.24'
Δ = 01°07'53"

A-4.2
1 South

LOT 25, BLOCK 30
PROPERTY LINE 115.00'



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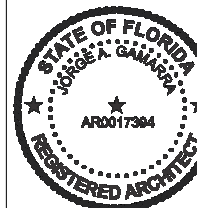
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EXISTING BUILDING
FIRST FLOOR

ARCHITECT OF RECORD



J. ALFREDO GAMARRA
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A-1.1

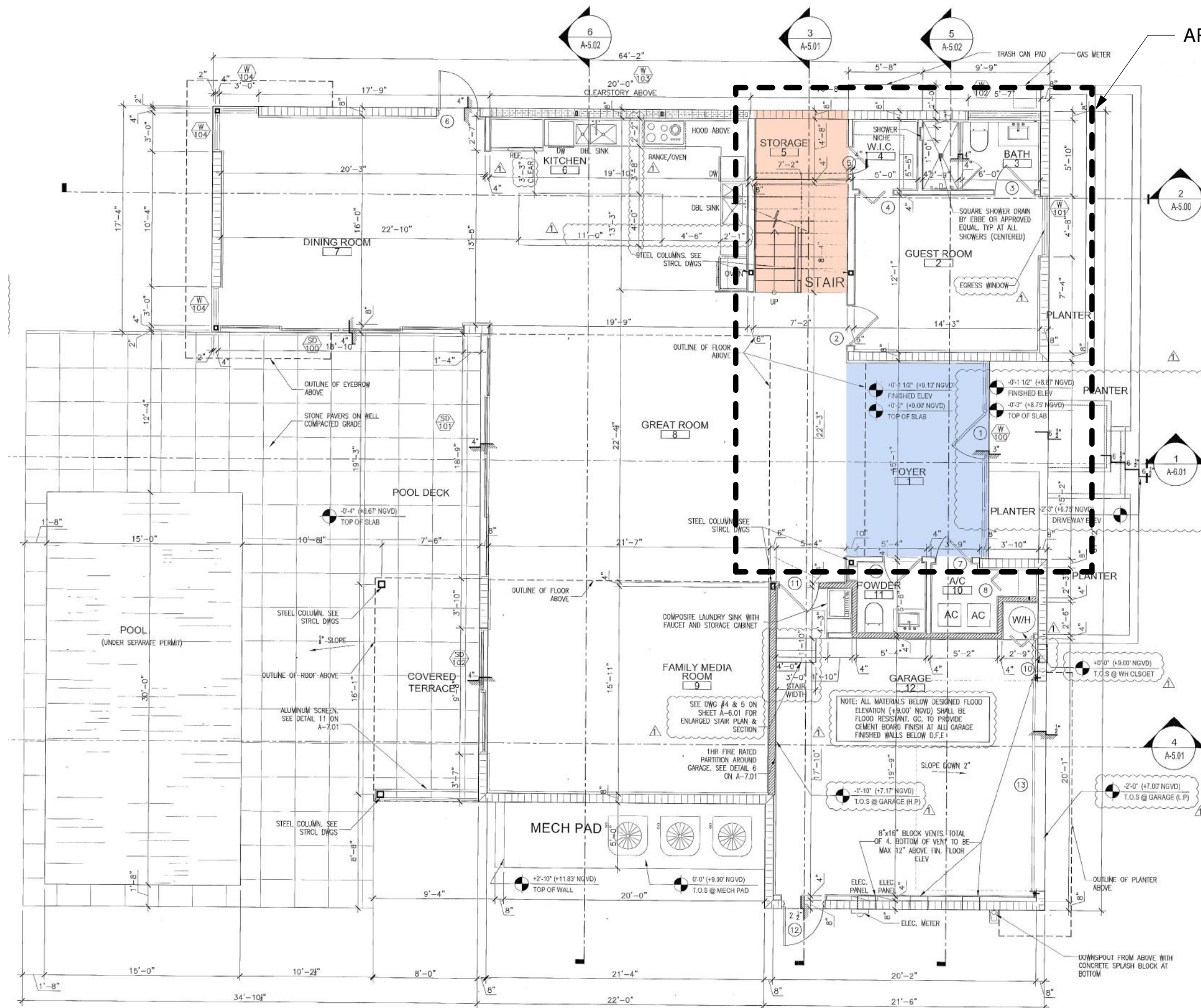
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AREA OF RENOVATION

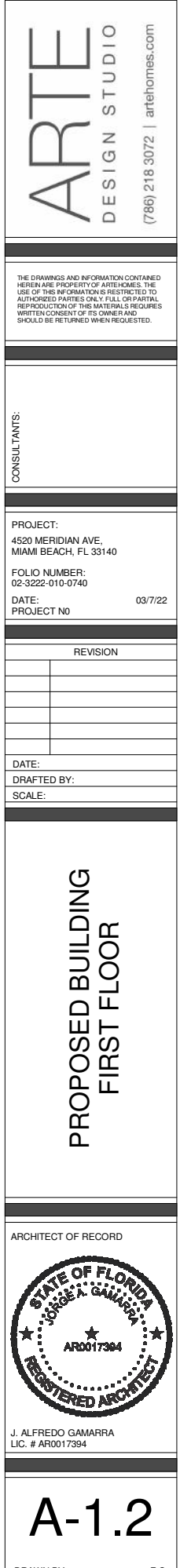
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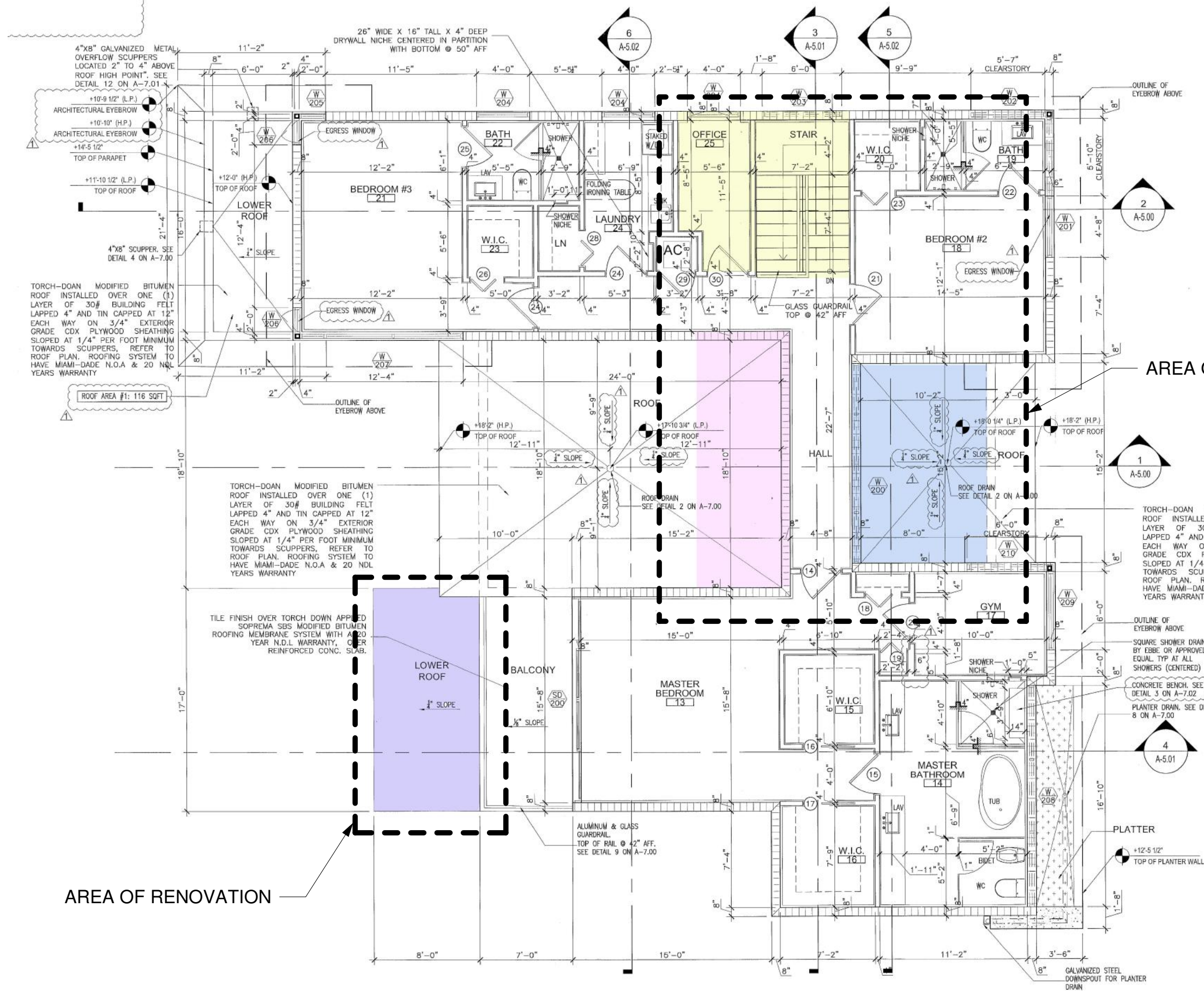
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EXISTING FIRST FLOOR PLAN

N.T.S





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AREA OF RENOVATION

AREA OF RENOVATION



EXISTING SECOND FLOOR PLAN

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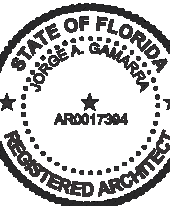
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EXISTING BUILDING SECOND FLOOR PLAN

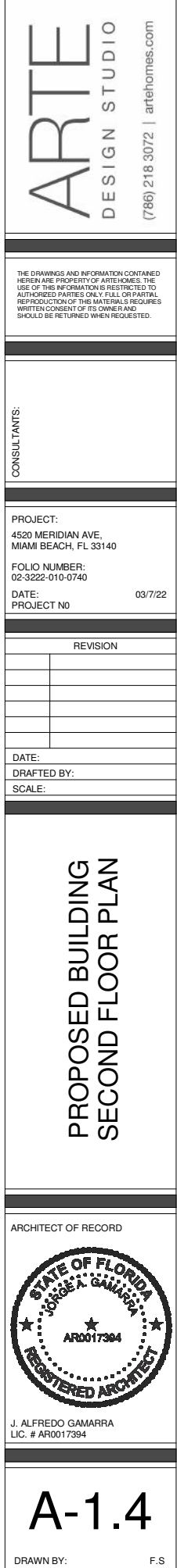
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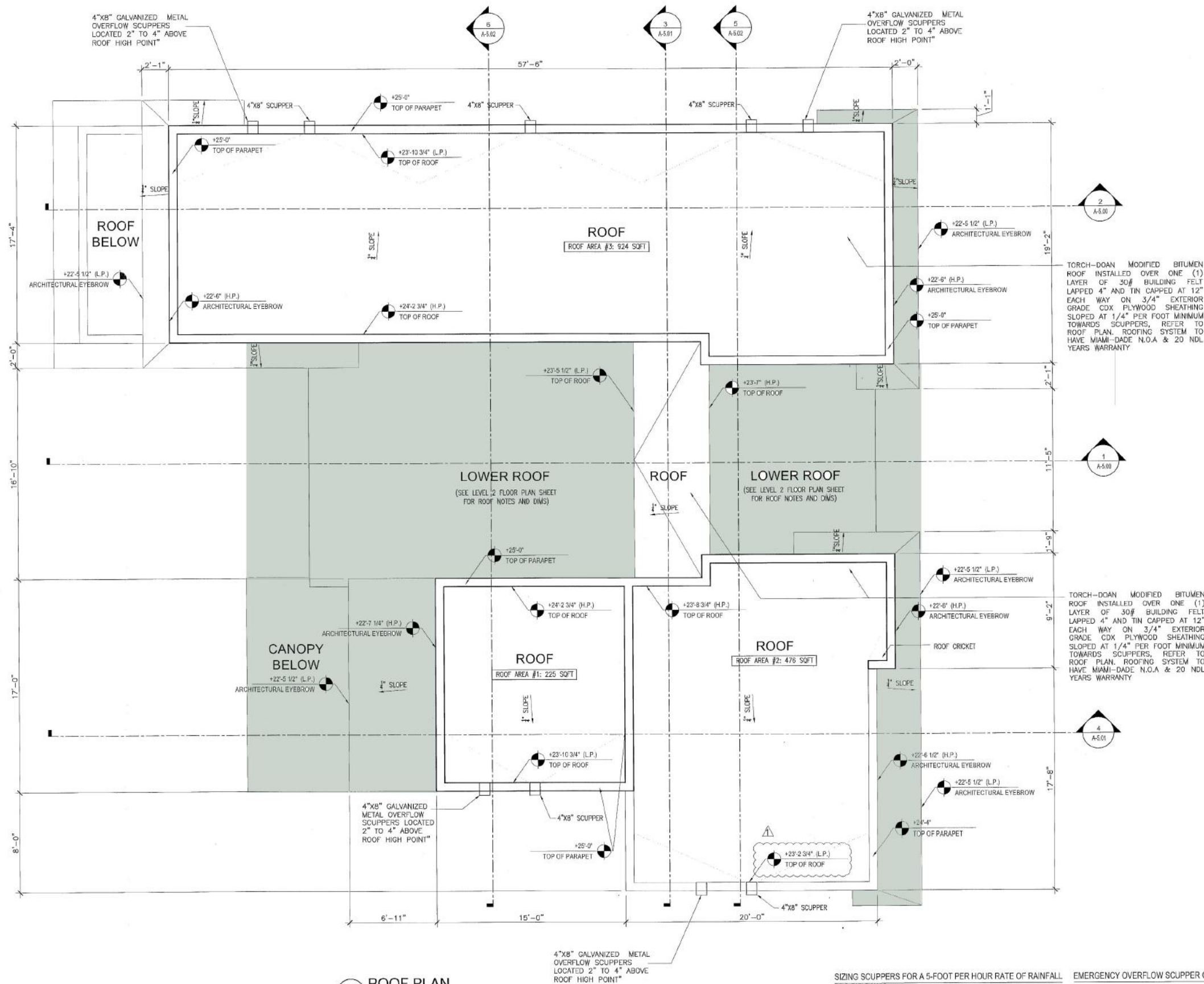


J. ALFREDO GAMARRA
LIC. # AR0017394

A-1.3

DRAWN BY: F.S





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TORCH-DOAN MODIFIED BITUMEN ROOF INSTALLED OVER ONE (1) LAYER OF 30# BUILDING FELT LAPPED 4" AND TIN CAPPED AT 12" EACH WAY ON 3/4" EXTERIOR GRADE CDX PLYWOOD SHEATHING SLOPED AT 1/4" PER FOOT MINIMUM TOWARDS SCUPPERS. REFER TO ROOF PLAN, ROOFING SYSTEM TO HAVE MIAMI-DADE N.O.A & 20 NDL YEARS WARRANTY

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1 ROOF PLAN

1/4" = 1'-0"

SIZING SCUPPERS FOR A 5-FOOT PER HOUR RATE OF RAINFALL
F.B.C. TABLE 1106.7

HEAD IN INCHES	HORIZONTALLY PROJECTED ROOF AREA (SQUARE FEET)							
	LENGTH OF WEIR IN INCHES							
	4	6	8	12	16	20	24	
1	230	346	461	692	923	1153	1384	
2	641	961	1282	1923	2564	3205	3846	
3	1153	1730	2307	3461	4615	5769	6923	
4	1754	2632	3509	5264	7019	8774	10529	

EMERGENCY OVERFLOW SCUPPER CALCULATION:

ROOF AREA	AREA	HEAD	LENGTH OF WEIR OPENING	OVERFLOW SCUPPER PROVIDED
ROOF AREA 1:	225 SF	±2"	4" REQUIRED	4" x 8"
ROOF AREA 2:	476 SF	±2"	4" REQUIRED	4" x 8"
ROOF AREA 3:	924 SF	±2"	6" REQUIRED	4" x 8"



EXISTING ROOF PLAN

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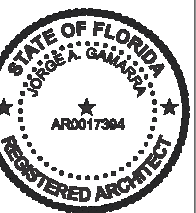
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DATE:
PROJECT NO 03/7/22

REVISION	

DATE:
DRAFTED BY:
SCALE:

EXISTING BUILDING ROOF PLAN

ARCHITECT OF RECORD



J. ALFREDO GAMARRA
LIC. # AR0017394

A-1.5

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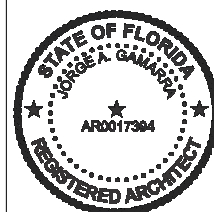
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ZONING DIAGRAM - LOT
COVERAGE

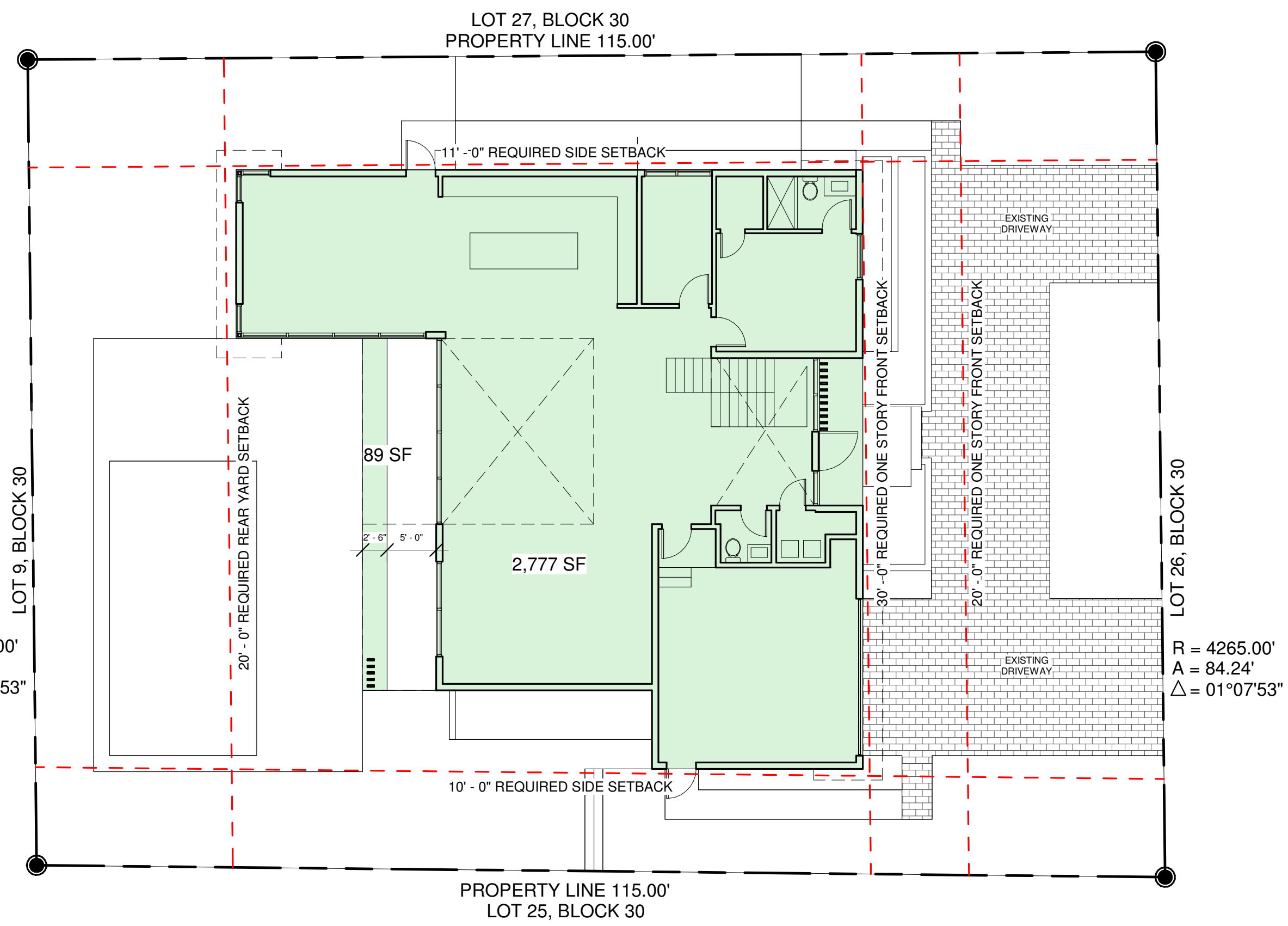
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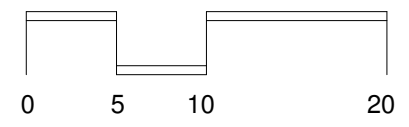
A-2.0

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LOT COVERAGE

3/32" = 1'-0"



LOT SIZE: 9,556 SF

ALLOWED LOT COVERAGE: 2,867 SF (30.0%)
PROPOSED LOT COVERAGE: 2,777 SF+89 SF = 2,866 SF (29.99%)

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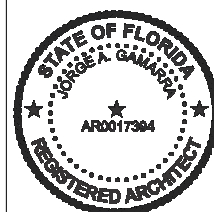
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ZONING DIAGRAM - UNIT
SIZE FIRST FLOOR

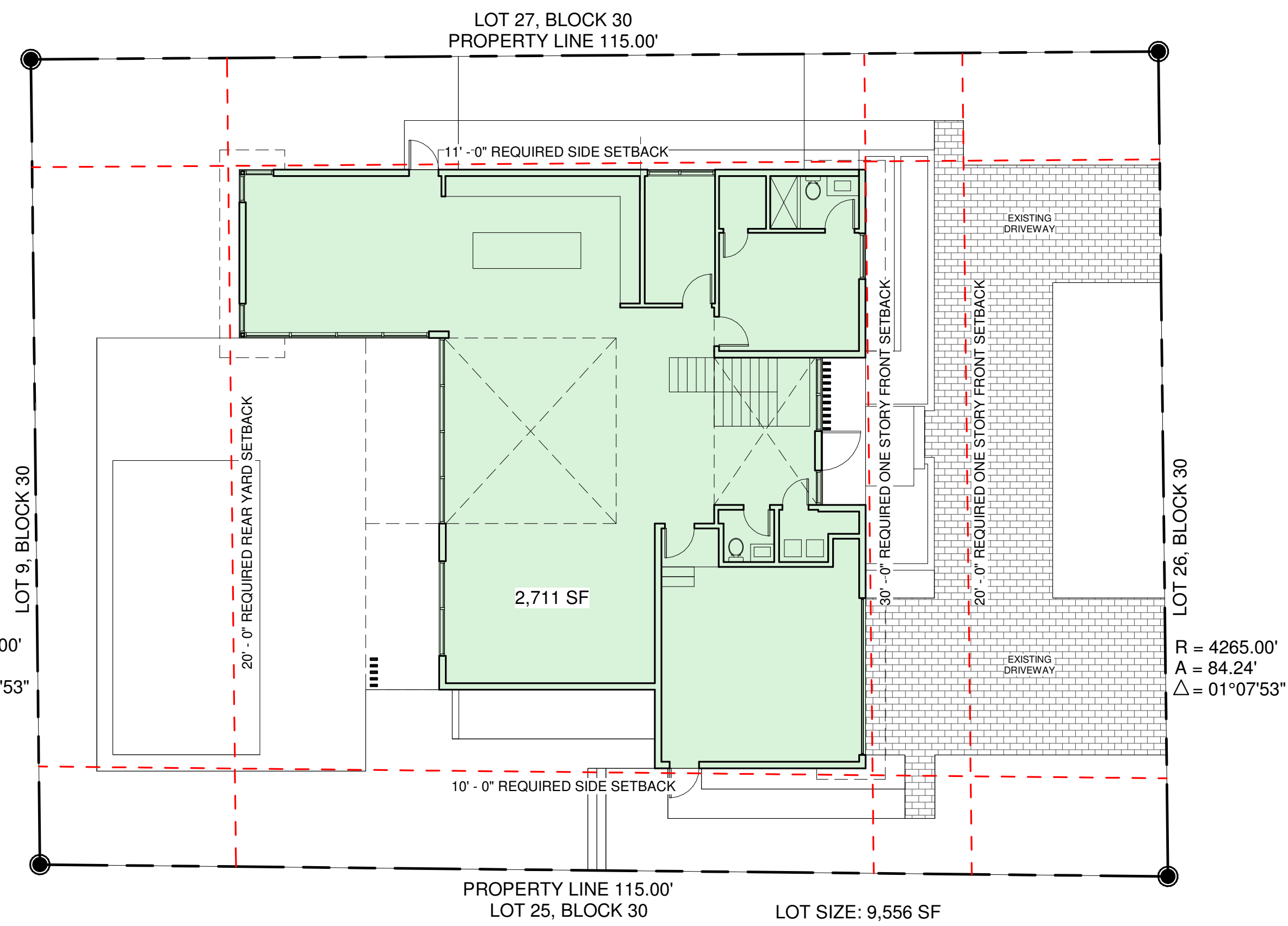
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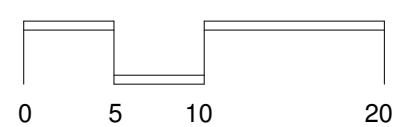
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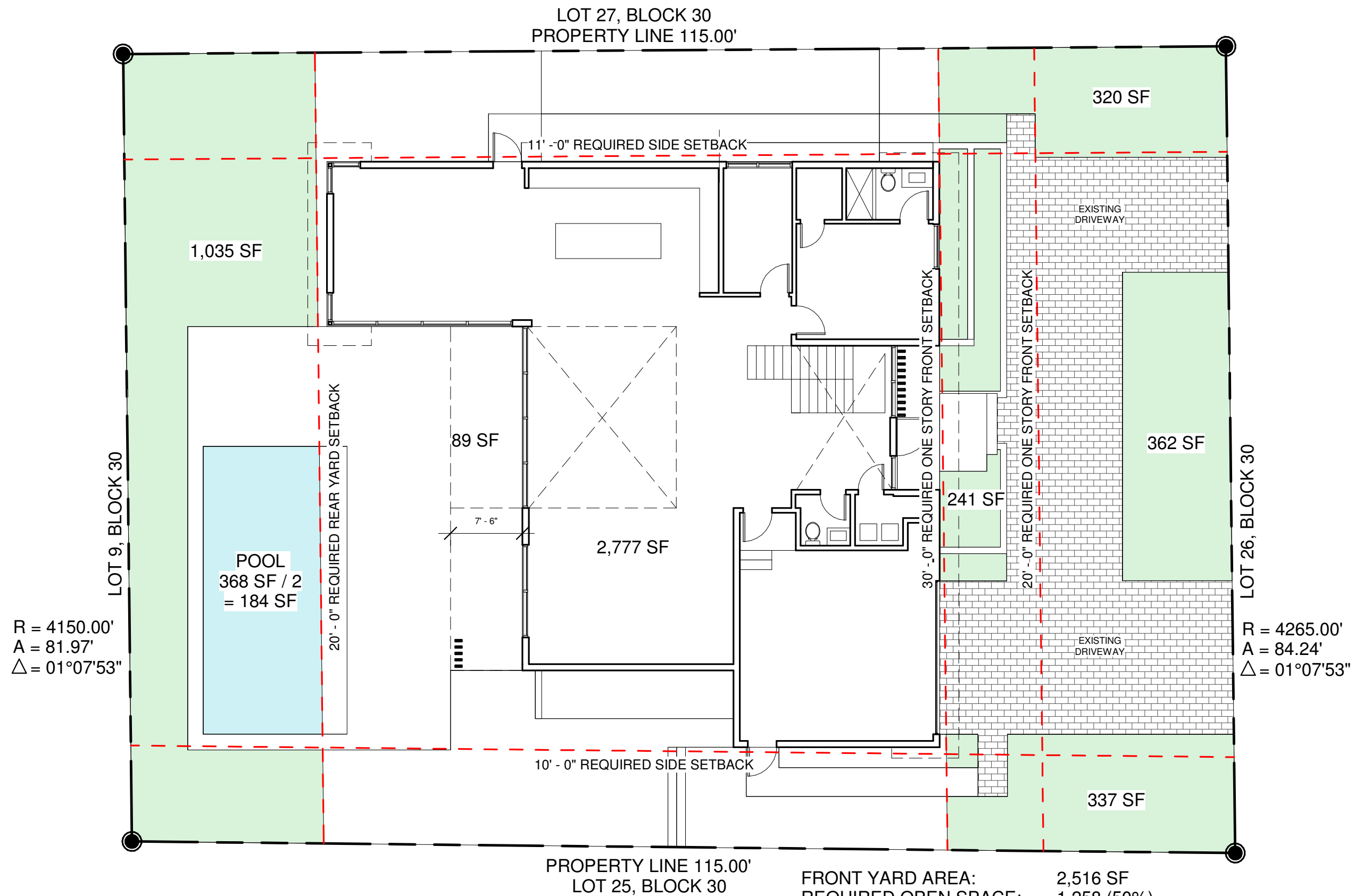
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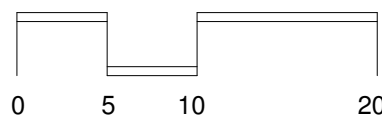
FIRST FLOOR PLAN - UNIT SIZE

3/32" = 1'-0"





OPEN SPACE

$$3/32'' = 1'-0''$$


PROPERTY LINE 115.00'
LOT 25, BLOCK 30

FRONT YARD AREA: 2,516 SF
 REQUIRED OPEN SPACE: 1,258 (50%)
 PROPOSED OPEN SPACE: 337 SF+362 SF+320 SF+241 SF
 = 1,260 (50.08%)

REAR YARD AREA: 1,646 SF
 REQUIRED OPEN SPACE: 1,152 SF (70.0%)
 PROPOSED OPEN SPACE: 1,035 SF+184 SF = 1,219 SF (74.05%)

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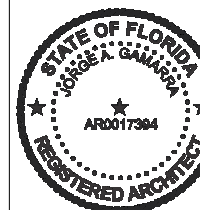
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ZONING DIAGRAM - OPEN SPACE

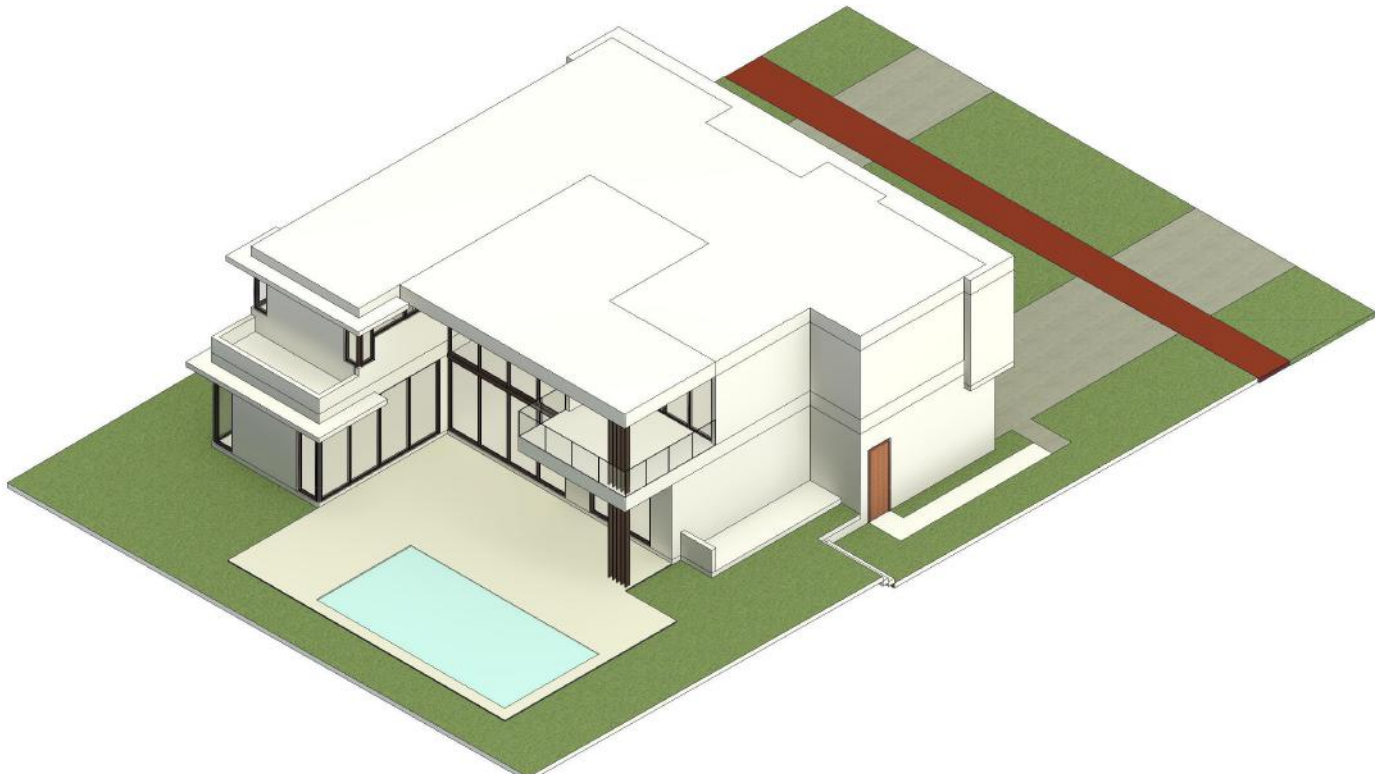
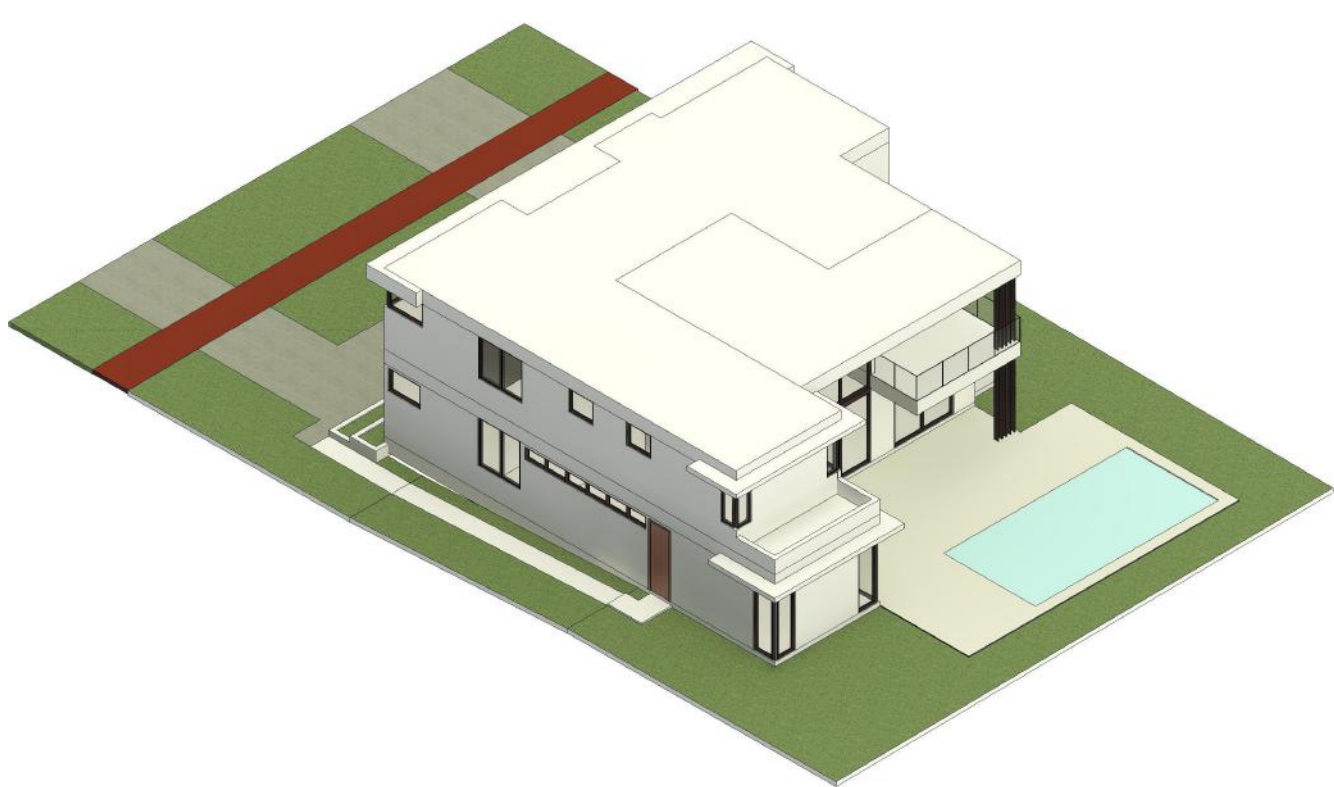
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A-2.3

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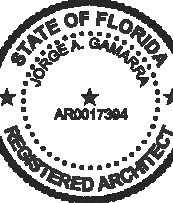
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ZONING DIAGRAM -
AXONOMETRIC

ARCHITECT OF RECORD



J. ALFREDO GAMARRA
LIC. # AR0017394

A-2.4

DRAWN BY: F.S

MT1
ALUMINUM- BRONZE FINISH



WD1
ALUMINUM PANEL CLADDING- WOOD
FINISH



ST1
STONE EXTERIOR CLADDING
BUSH-HAMMERED FINISH



GL1
CLEAR GLAZING



PS1
PAINTED STUCOO EXTERIOR FINISH



WD2
ALUMINUM SLAT CLADDING- WOOD
FINISH

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SCALE:	

MATERIAL BOARD

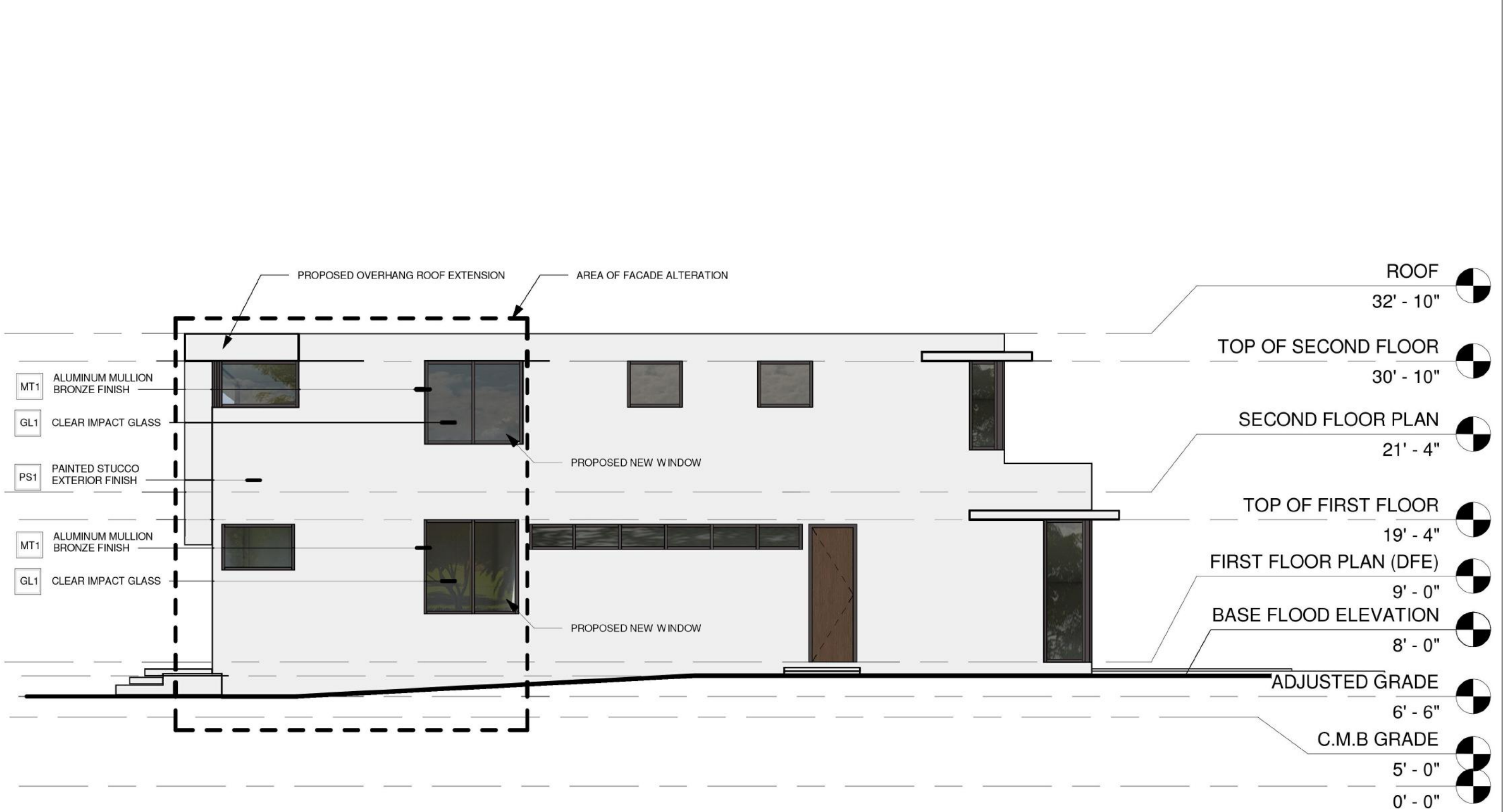
ARCHITECT OF RECORD

STATE OF FLORIDA
JOSÉ A. GAMARRA
★
AR0017394
★
REGISTERED ARCHITECT

J. ALFREDO GAMARRA
LIC. # AR0017394

A-3.0

DRAWN BY: F.S



1

NORTH ELEVATION
N.T.S

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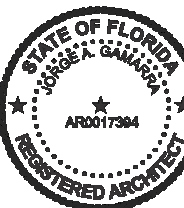
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DATE:
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SCALE:

COLORED ELEVATION -
NORTH

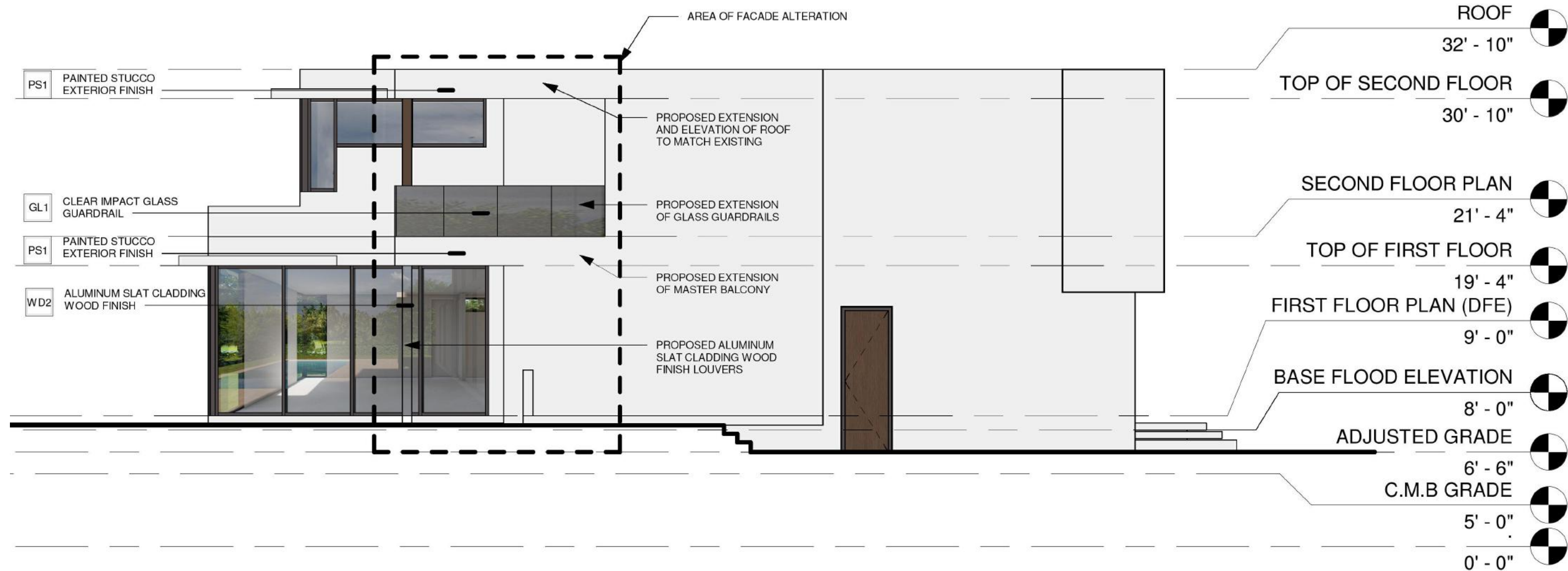
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A-4.1

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1 SOUTH ELEVATION
N.T.S

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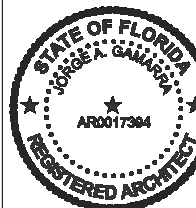
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SCALE:

COLORED ELEVATION -
SOUTH

ARCHITECT OF RECORD



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A-4.3

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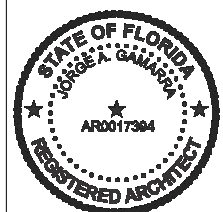
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SCALE:

COLORED ELEVATION -
EAST

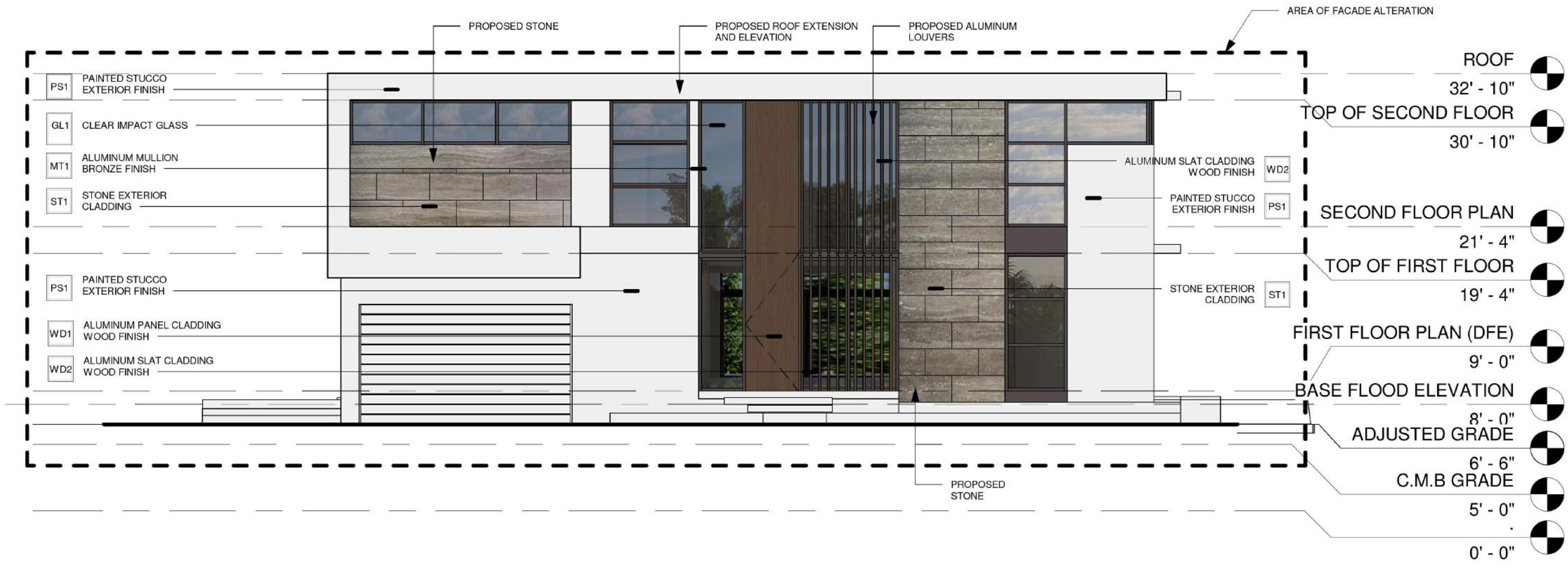
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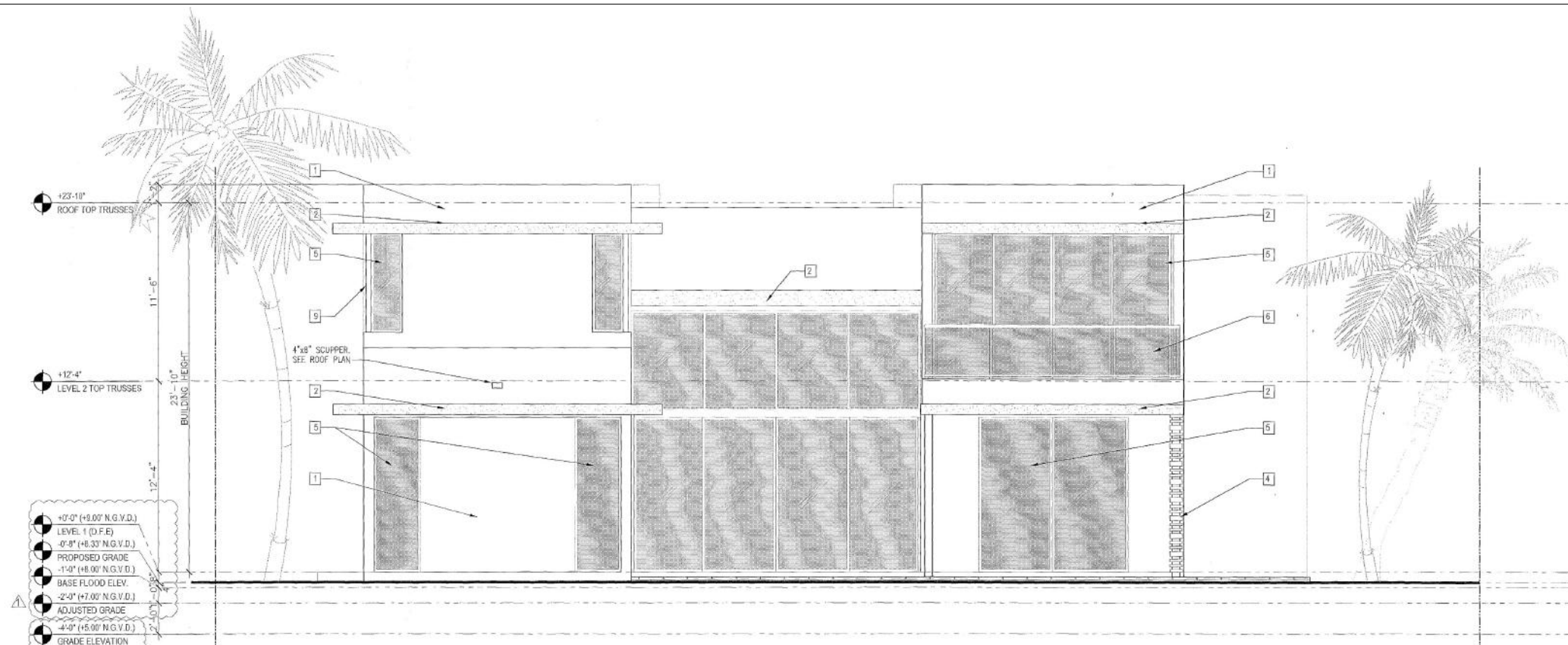
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A-4.5

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1 EAST ELEVATION
N.T.S



EXISTING WEST ELEVATION

N.T.S

AREA OF FACADE ALTERATION

PROPOSED ROOF EXTENSION AND ELEVATION TO MATCH WITH EXISTING

PROPOSED ALUMINUM LOUVERS

ROOF

32' - 10"

TOP OF SECOND FLOOR

30' - 10"

SECOND FLOOR PLAN

21' - 4"

TOP OF FIRST FLOOR

19' - 4"

FIRST FLOOR PLAN (DFE)

9' - 0"

BASE FLOOD ELEVATION

8' - 0"

ADJUSTED GRADE

6' - 6"

C.M.B GRADE

5' - 0"

0' - 0"

PS1 PAINTED STUCCO EXTERIOR FINISH

GL1 CLEAR IMPACT GLASS GUARDRAIL

MT1 ALUMINUM MULLION BRONZE FINISH

GL1 CLEAR IMPACT GLASS

PS1 PAINTED STUCCO EXTERIOR FINISH

WD2 ALUMINUM SLAT CLADDING WOOD FINISH

1

PROPOSED WEST ELEVATION

1/8" = 1'-0"

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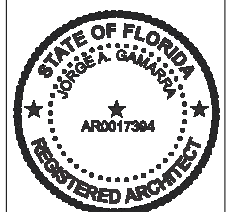
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ELEVATION - WEST

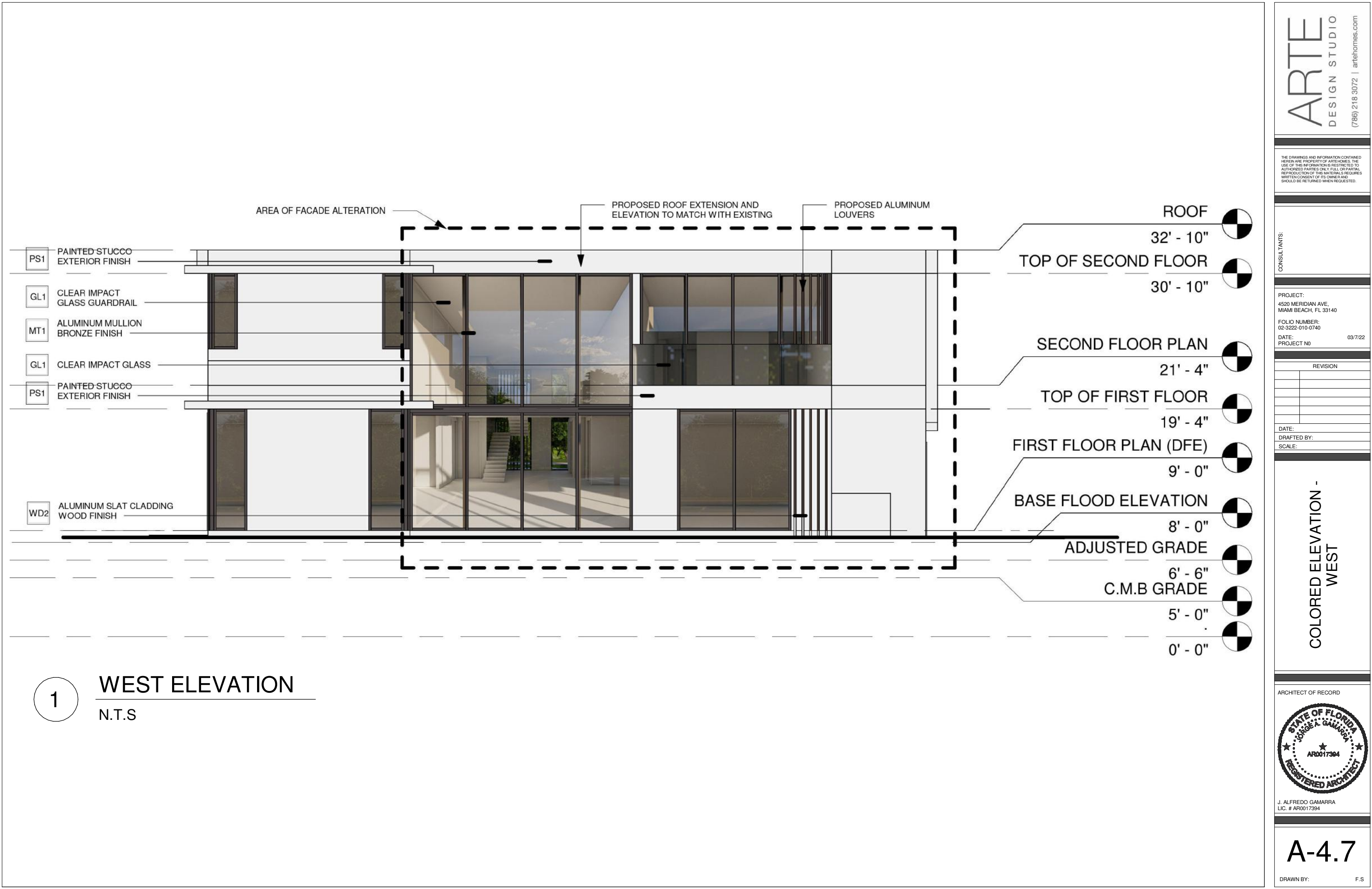
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COLORED ELEVATION -
WEST

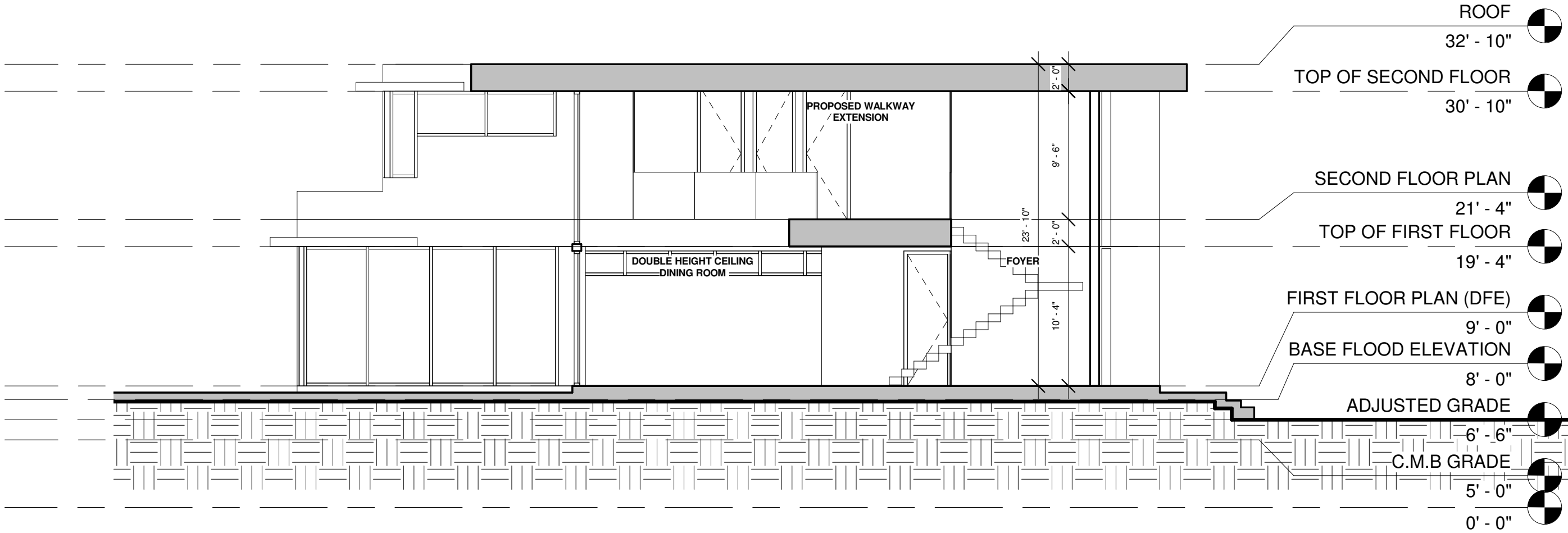
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Jorge A. GAMARRA
AR0017394
REGISTERED ARCHITECT

J. ALFREDO GAMARRA
LIC. # AR0017394

A-4.7

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1 TRANSVERSE SECTION
1/8" = 1'-0"

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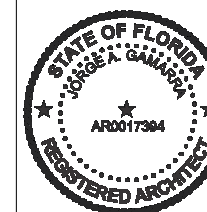
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A-5.0

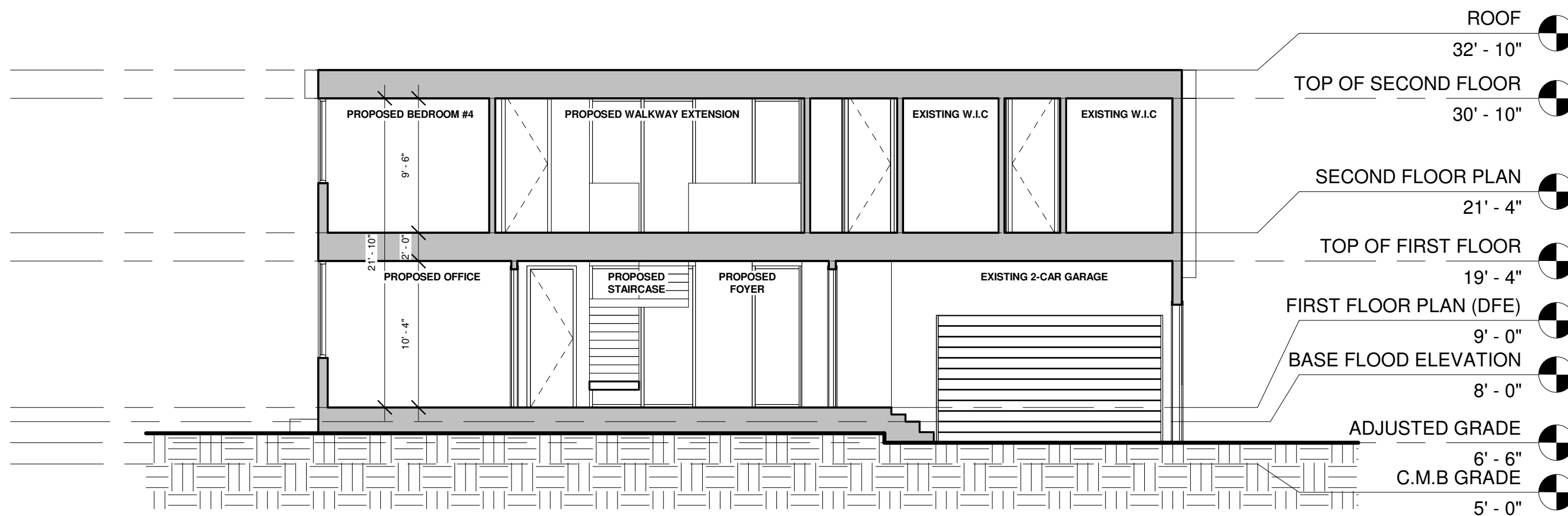
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LONGITUDINAL SECTION



A-5.1



1

LONGITUDINAL SECTION

$$3/16'' = 1'-0''$$

