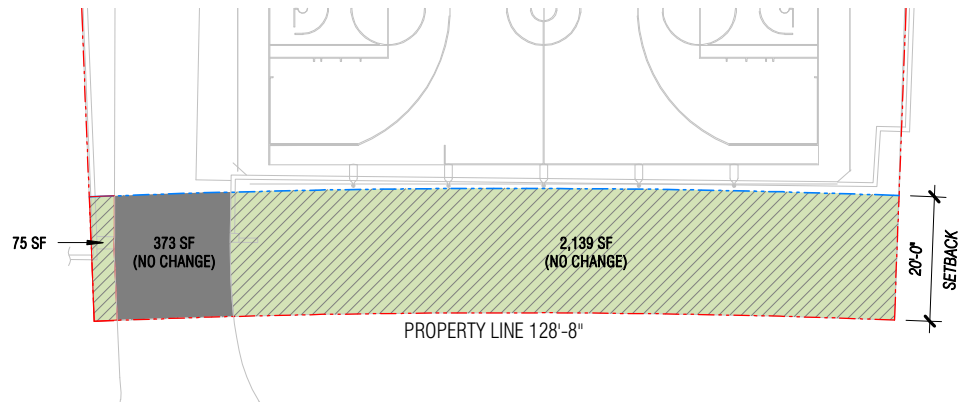


EXISTING FRONT YARD CALC

Scale: 1" = 20'-0"

FRONT YARD AREA		2,588 SF
DRIVEWAY	(14%)	373 SF
LANDSCAPE	(86%)	2,214 SF



PROPOSED FRONT YARD CALC

Scale: 1" = 20'-0"

FRONT YARD AREA		2,588 SF
DRIVEWAY (NO CHANGE)	(14%)	373 SF
LANDSCAPE (NO CHANGE)	(86%)	2,214 SF

5980 N BAY ROAD RENOVATIONS

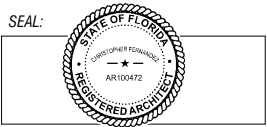
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IMPERVIOUS DIAGRAM -
FRONT YARD

As indicated

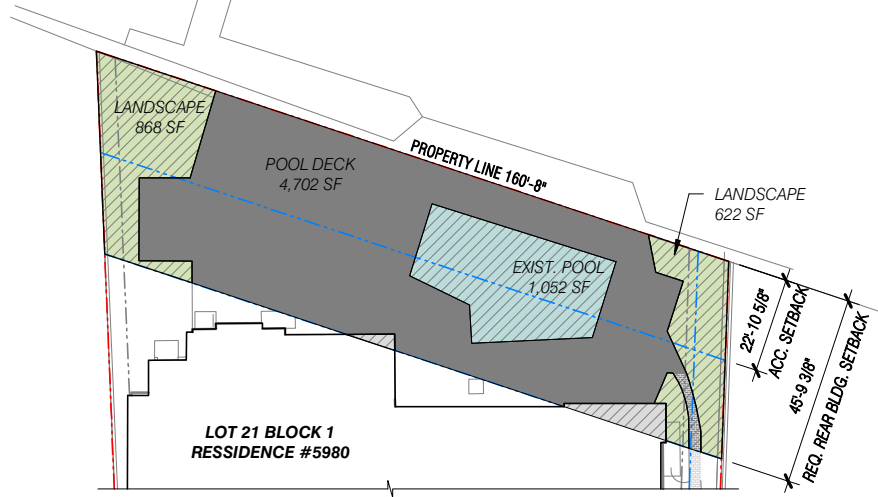
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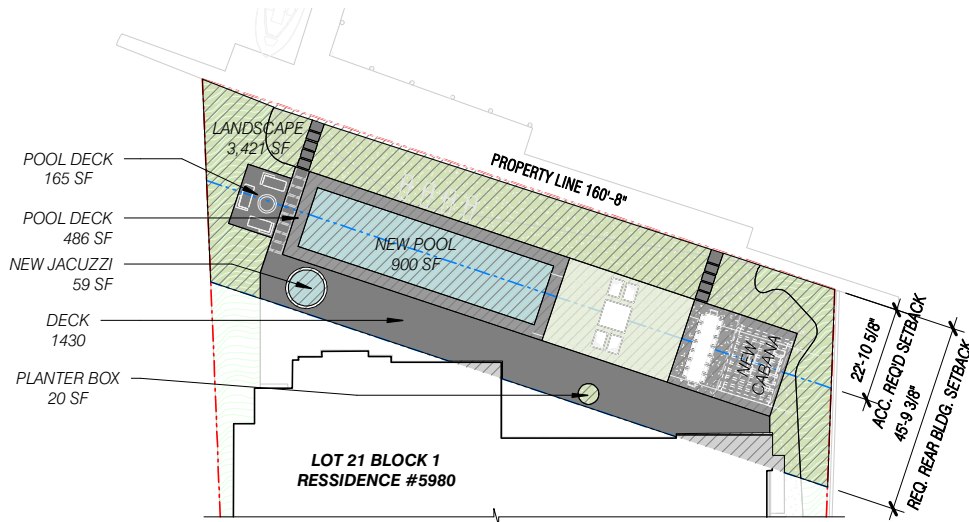
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EXISTING REAR YARD CALC

Scale: 1" = 30'-0"

	EXISTING REAR YARD AREA	(100%)	7,265 SF
	DECK/ ACCESSORY BLDG. AREA	(65%)	4,744 SF
	LANDSCAPE/POOL AREA (A + B)	(27%)	2,016 SF
	A-LANDSCAPE	(20%)	1,490 SF
	POOL AREA	(15%)	1,052 SF
	B- 50% POOL AREA		526 SF



PROPOSED REAR YARD CALC

Scale: 1" = 30'-0"

	PROPOSED REAR YARD AREA	(100%)	7,265 SF
	DECK/ ACCESSORY BLDG. AREA	(38%)	2,758 SF
	LANDSCAPE/POOL AREA (A + B + C) (49%)		3,584.5 SF
	A-LANDSCAPE	(38.2%)	2,772.5 SF
	POOL & JACUZZI AREA	(13.2%)	956 SF
	ASTROTURF	(9%)	668 SF
	B- 50% POOL & JACUZ. AREA		478 SF
	C- 50% ASTROTURF AREA		334 SF



5980 N BAY ROAD RENOVATIONS

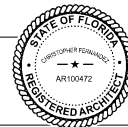
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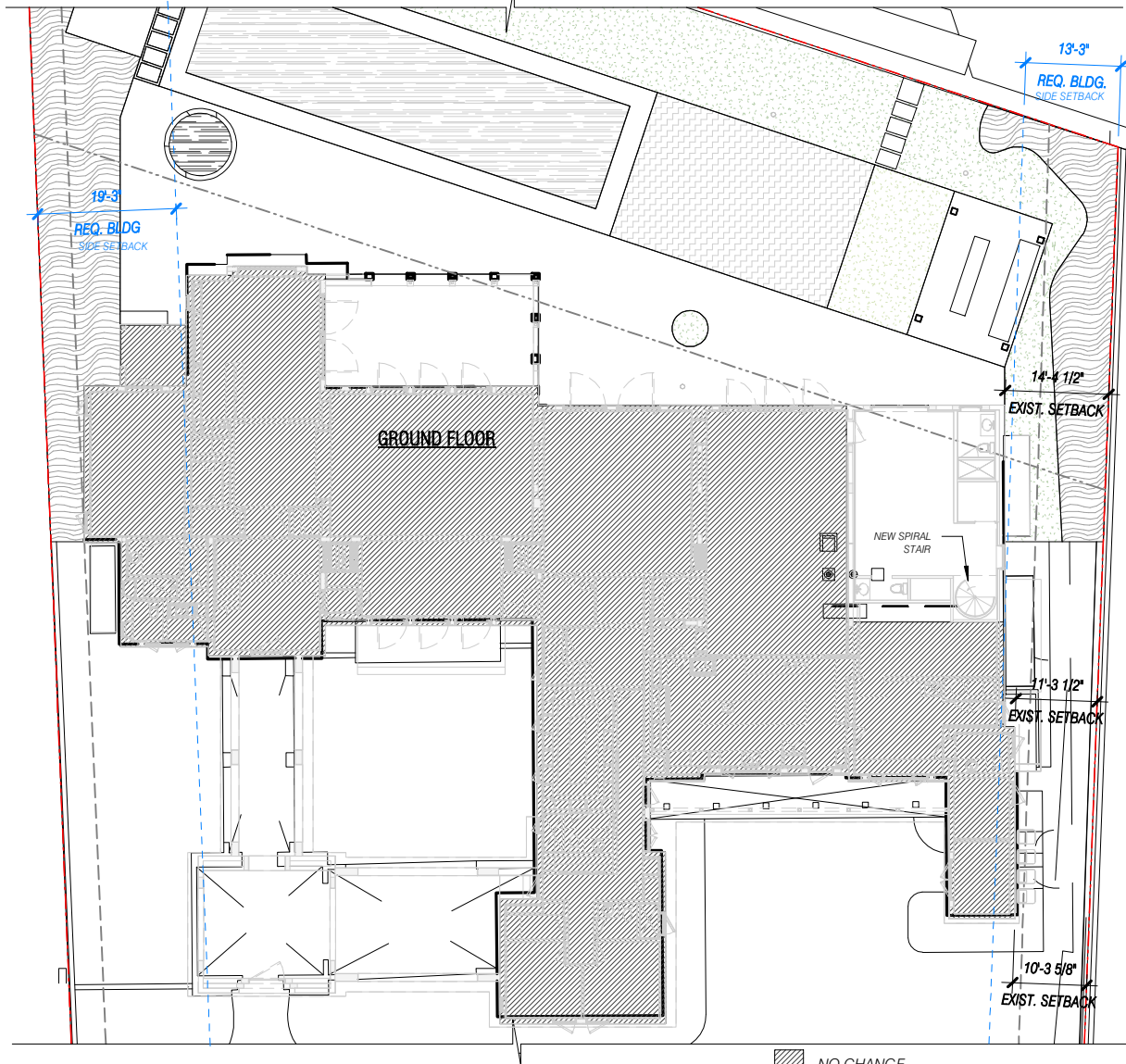
IMPERVIOUS DIAGRAM -
REAR YARD

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SEAL:



PROPOSED 1ST FLOOR

Scale: 1/16" = 1'-0"

PROPOSED FIRST FLOOR
PLAN

1/16" = 1'-0"

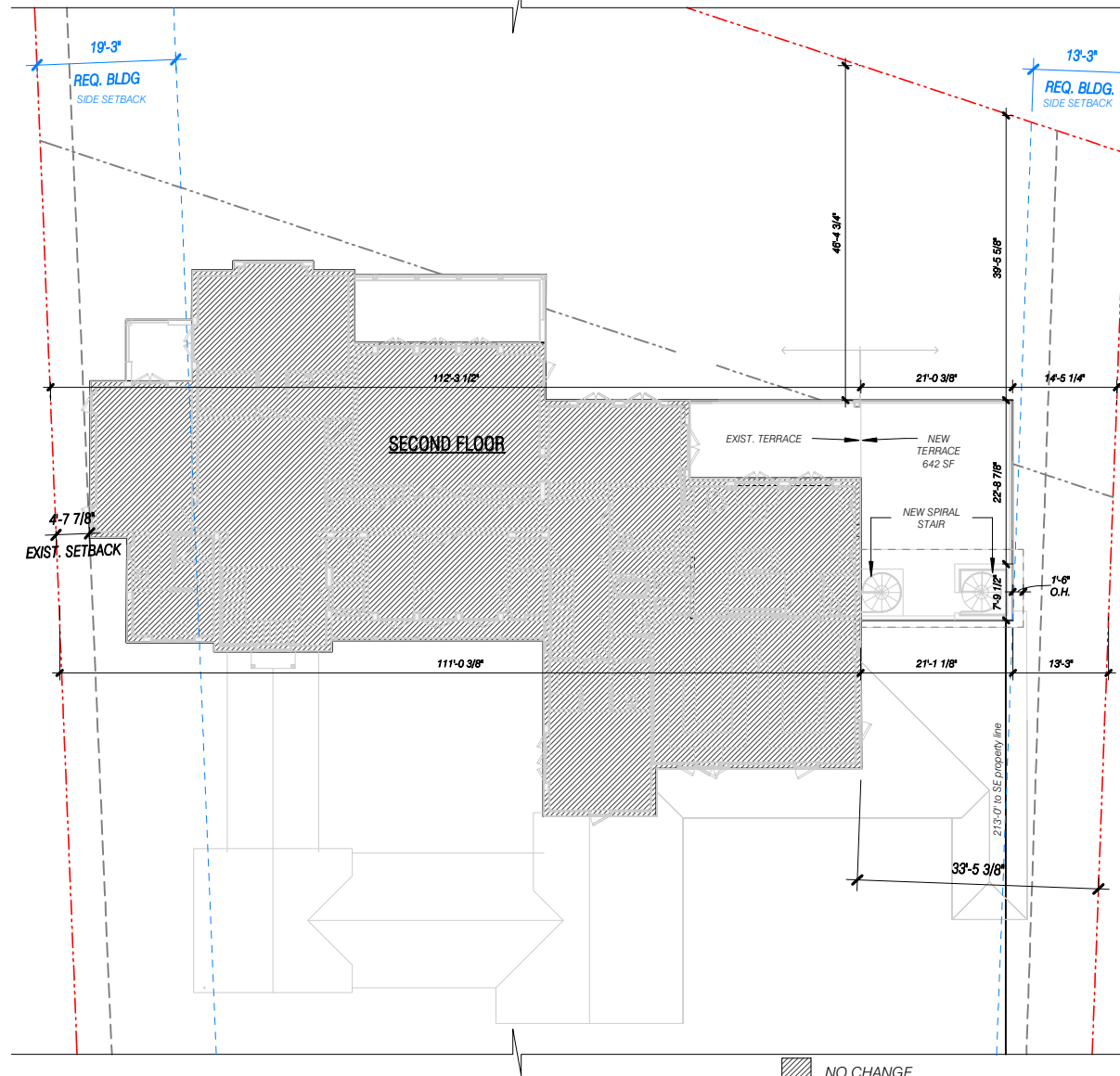
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LOT WIDTH = 130' 2 - 1/8"
 MIN. BUILDING SIDE SETBACK (10% OF LOT WIDTH) 13'-3"
 PROVIDED 13'-3"

5980 N BAY ROAD RENOVATIONS

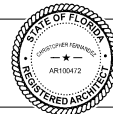
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SEAL:



NO CHANGE

PROPOSED SECOND FLOOR
 PLAN

1/16" = 1'-0"

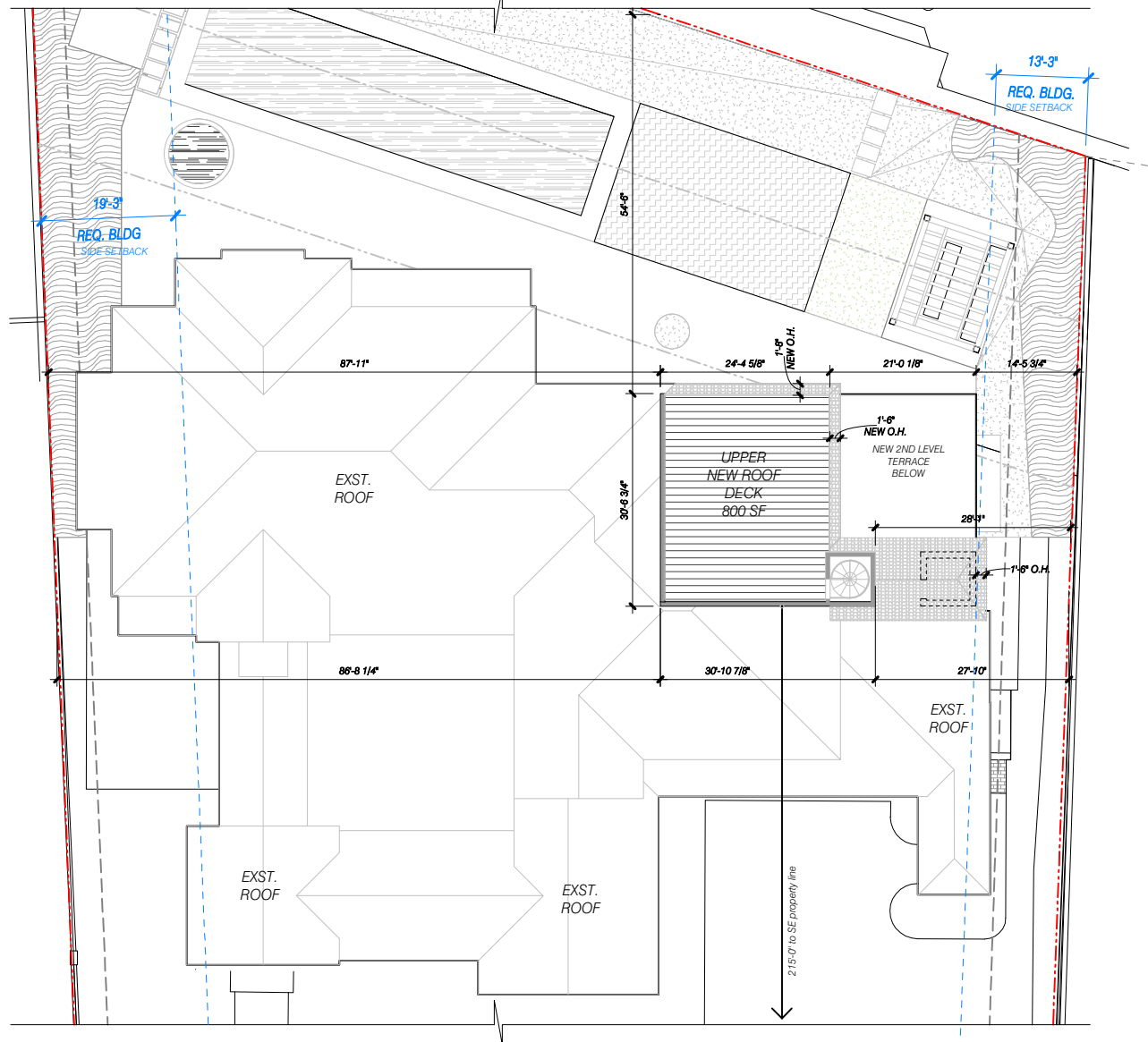
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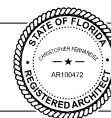
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SEAL:



PROPOSED ROOF DECK

1/16" = 1'-0"

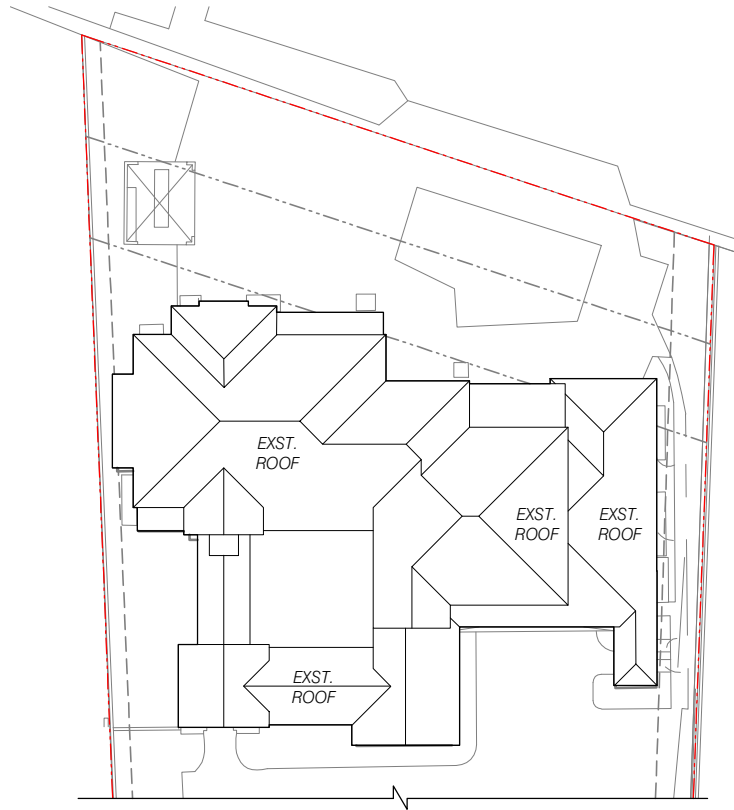
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A-18

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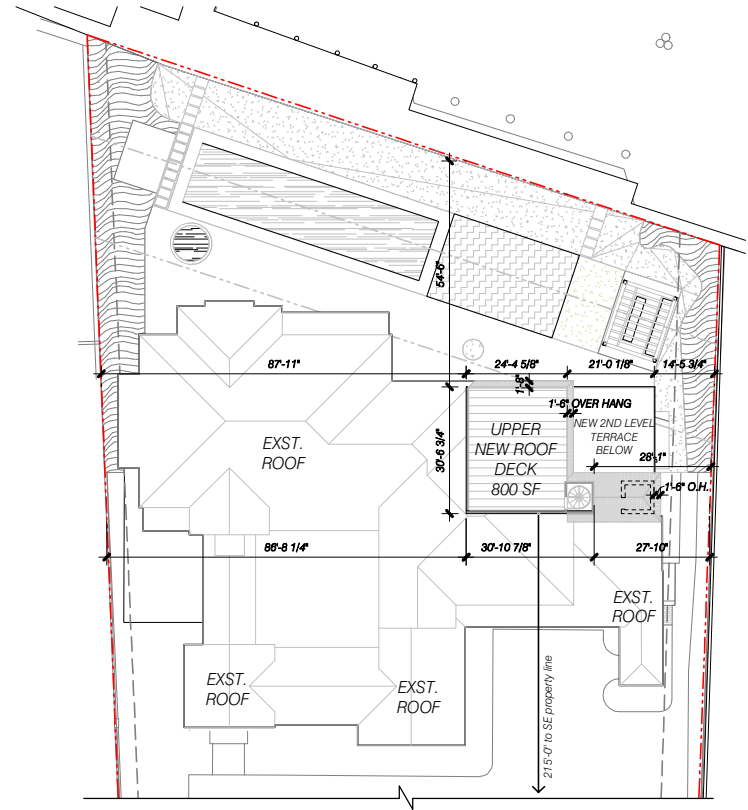


EXISTING ROOF DECK

Scale: 1" = 30'-0"

EXISTING ROOF LEVEL

SECOND LEVEL		4,815 SF
MAX ROOF DECK ALLOWED (25%)		1,203 SF
ROOF DECK PROVIDED		0 SF
MAX SHADE STRUCTURE (20%)		963 SF
ROOF DECK PROVIDED (0%)		0 SF



PROPOSED ROOF DECK

Scale: 1" = 30'-0"

PROPOSED ROOF LEVEL

SECOND LEVEL		4,815 SF
MAX ROOF DECK ALLOWED (25%)		1,203 SF
ROOF DECK PROVIDED (16.6%)		800 SF
MAX SHADE STRUCTURE (20%)		963 SF
SHADE PROVIDED (0%)		0 SF

5980 N BAY ROAD RENOVATIONS

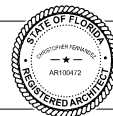
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SEAL:



ROOF DECK

As indicated

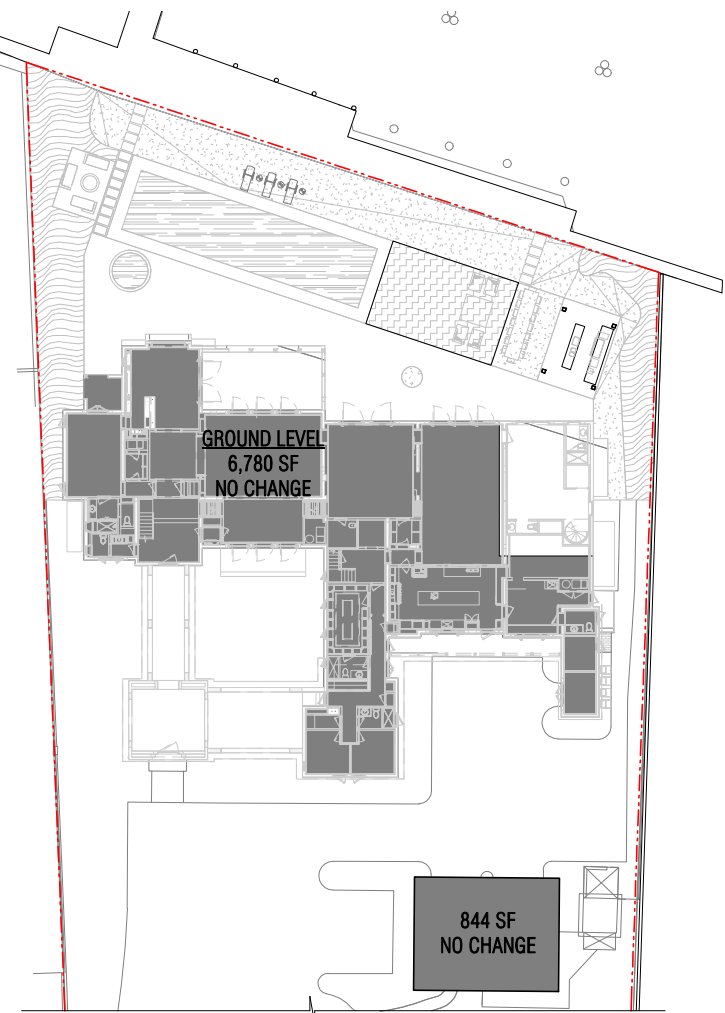
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PROPOSED UNIT SIZE

LOT SIZE		42,720.5 SF
MAX UNIT SIZE ALLOWED (50%)		21,360.2 SF
PROPOSED UNIT SIZE (28%)		11,999 SF
GROUND LEVEL		7,624 SF
SECOND LEVEL		4,880 SF
GARAGE CREDIT		-500 SF



PROPOSED UNIT SIZE 1ST FLOOR PLAN

Scale: 1" = 30'-0"

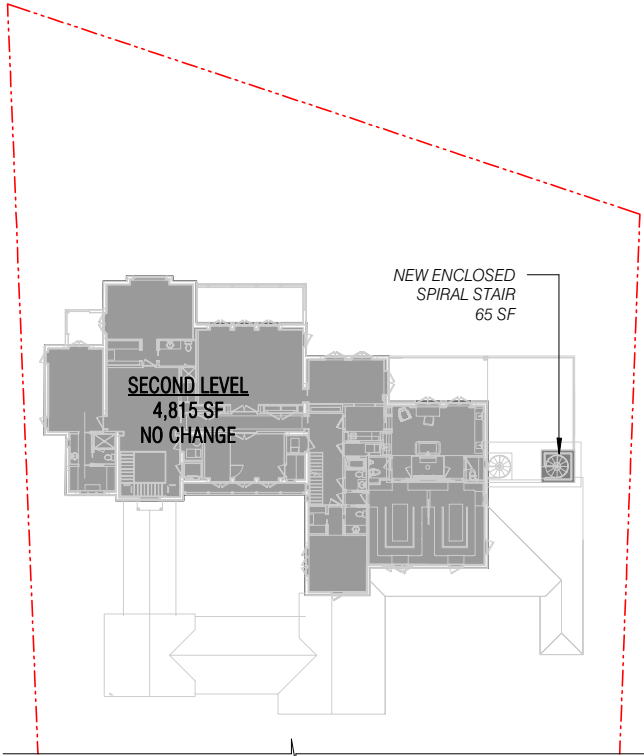
5980 N BAY ROAD RENOVATIONS

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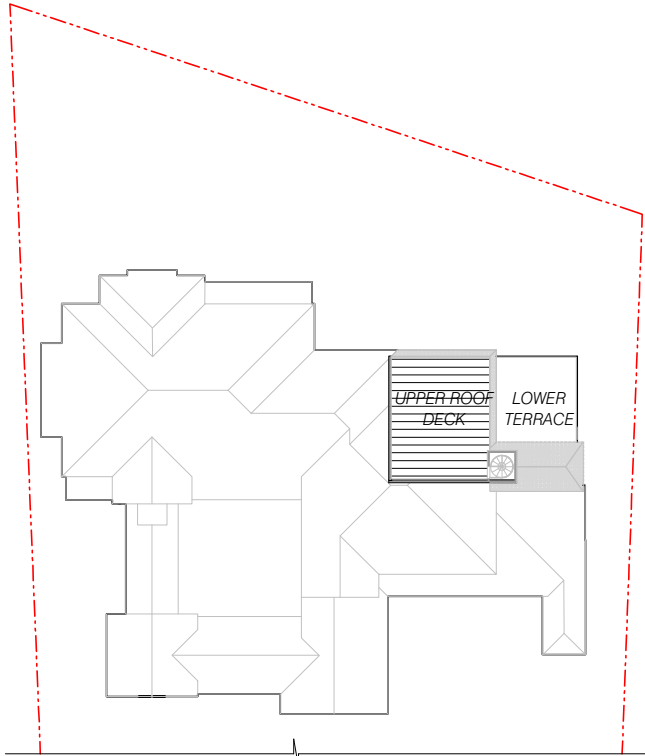
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PROPOSED UNIT SIZE 2ND FLOOR

Scale: 1" = 30'-0"



PROPOSED UNIT SIZE ROOF FLOOR

Scale: 1" = 30'-0"

SEAL:

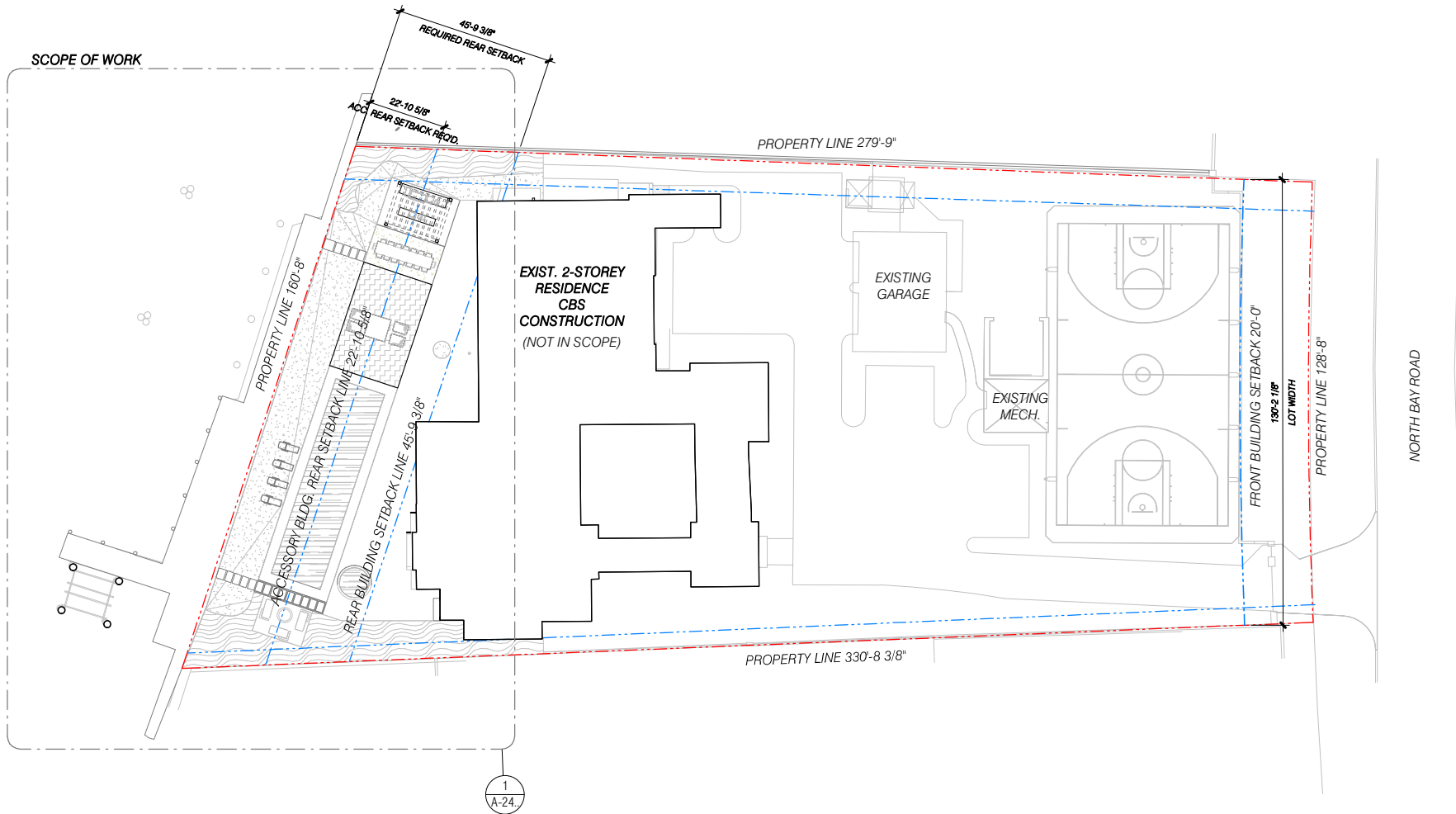


UNIT SIZE PROPOSED 1ST,
2ND & ROOF FLOOR

As indicated

MAR. 07, 2022





5980 N BAY ROAD RENOVATIONS

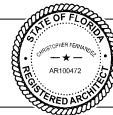
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SEAL:



PROPOSED SITE PLAN

1" = 30'-0"


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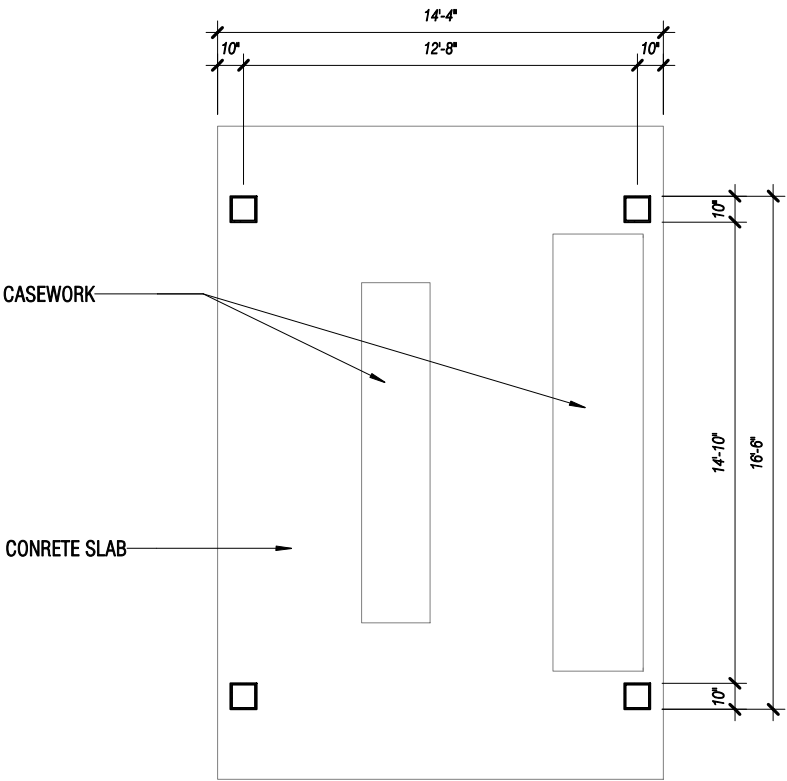
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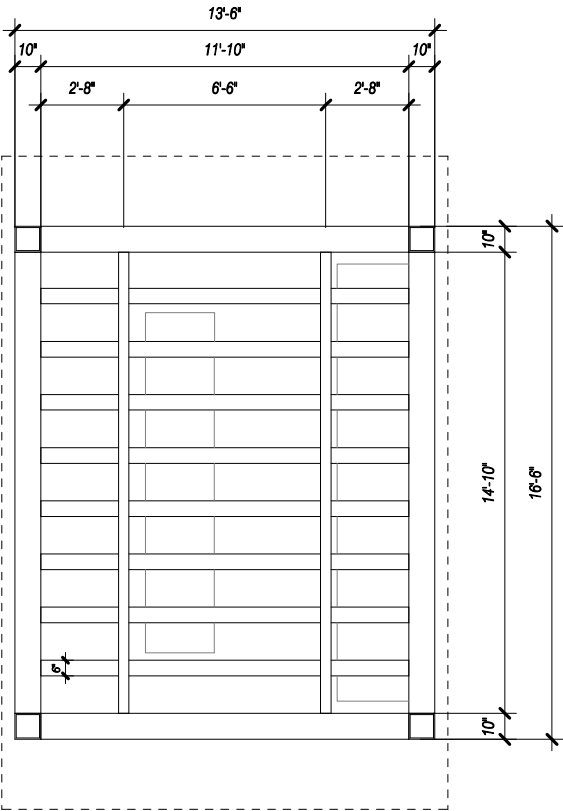
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POOL CABANA PLAN
Scale: 1/4" = 1'-0"



POOL CABANA ROOF PLAN
Scale: 1/4" = 1'-0"

5980 N BAY ROAD RENOVATIONS
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POOL CABANA PLANS

1/4" = 1'-0"

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A-25

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Date: 2022.03.07 11:32:58-05'00'

ELEVATION NOTES:

- A1 ALUMINIUM WHITE PERGOLA
- A2 CASEWORK
- A3 ALUMINIUM WHITE ROOF



ELEVATION 1
Scale: 3/8" = 1'-0"



ELEVATION 2
Scale: 3/8" = 1'-0"

- T.O Roof Cabana(9' - 3 13/16")
16' - 6" NGVD
- BFE +1(1' - 9 13/16")
9' - 0" NGVD
- EXIST. FIN. FLR(0' - 0")
7' - 2 5/32" NGVD
- T.O Cabana Slab.(-0' - 6 3/16")
6' - 8" NGVD
- Adjusted Grade(-1' - 3 27/32")
5' - 10 5/16" NGVD

5980 N BAY ROAD RENOVATIONS

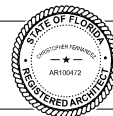
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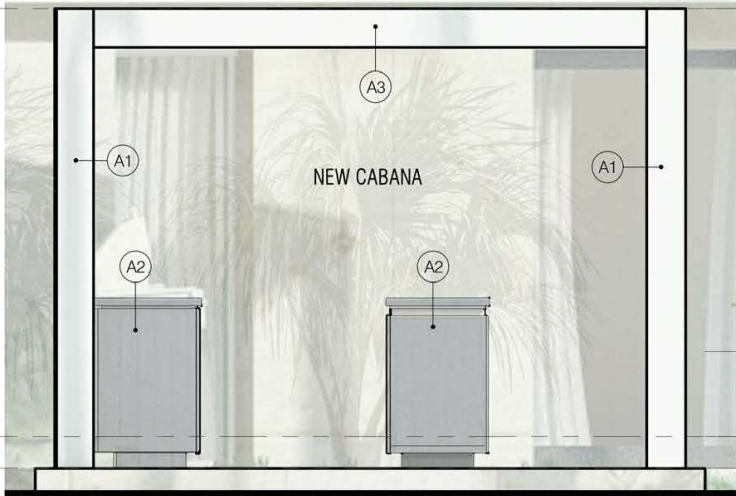
POOL CABANA ELEVATIONS

MAR. 07, 2022

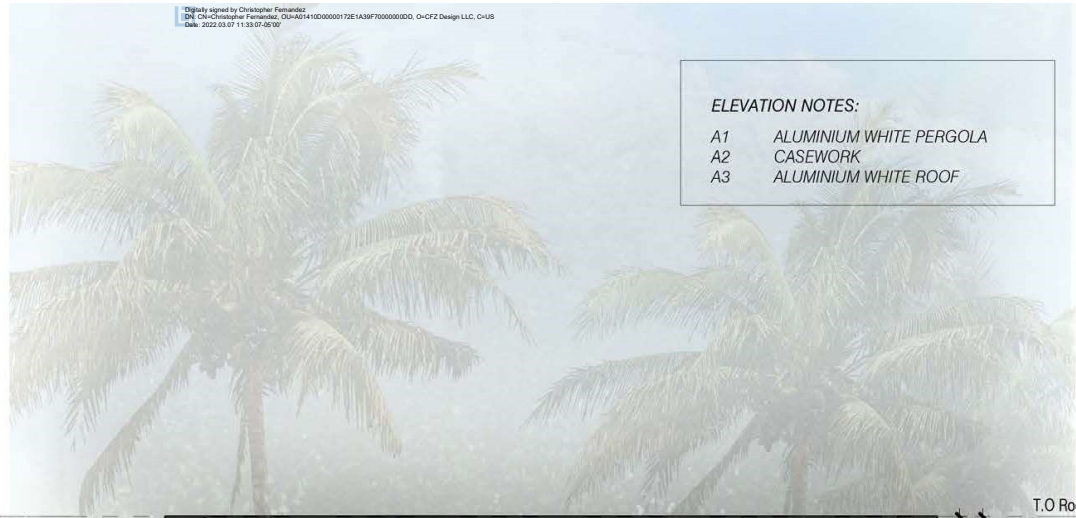
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A-26

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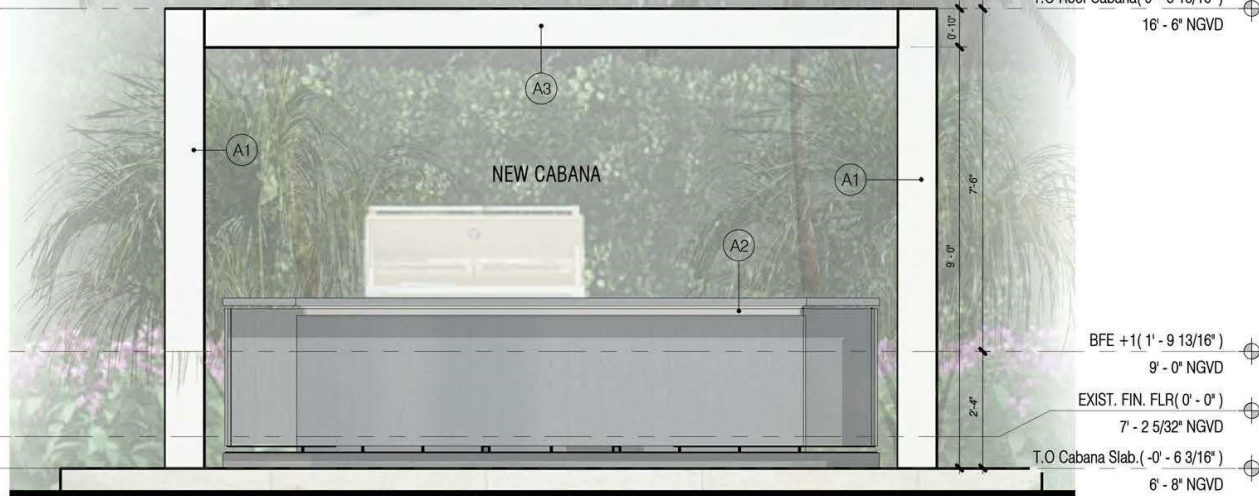


ELEVATION 3
Scale: 3/8" = 1'-0"



ELEVATION NOTES:

- A1 ALUMINIUM WHITE PERGOLA
- A2 CASEWORK
- A3 ALUMINIUM WHITE ROOF



ELEVATION 4
Scale: 3/8" = 1'-0"

5980 N BAY ROAD RENOVATIONS

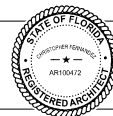
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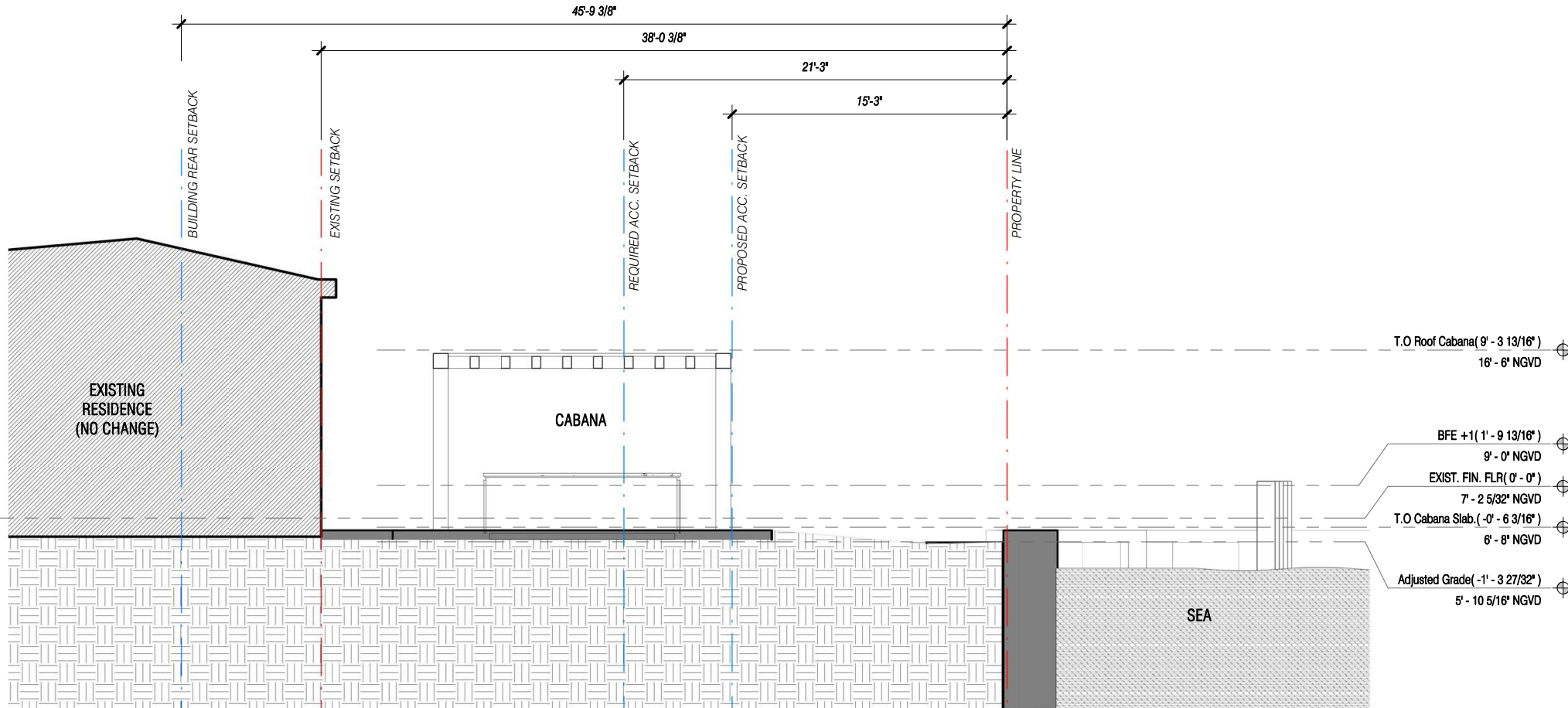


POOL CABANA ELEVATIONS

MAR. 07, 2022

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SECTION 3 - CABANA

Scale: 3/16" = 1'-0"

5980 N BAY ROAD RENOVATIONS

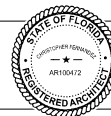
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SEAL:



POOL & CABANA SECTIONS

3/16" = 1'-0"

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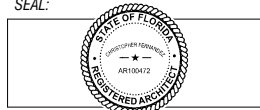
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SEAL:



FRONT ELEVATIONS

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