

Christopher Fernandez



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Date: 2022.03.07 11:19:25-05'00'

BOUNDARY SURVEY

Date Of Field Work - 05/17/2021 Drawn By - A.M.L.C. Order #: 100000150541

5980 N BAY ROAD, MIAMI BEACH, FL. 33140

561.508.5472

5601 CORPORATE WAY | SUITE 103
WEST PALM BEACH, FL 33407

www.PinnacleSurveying.net | LB 8218



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)

GENERAL NOTES:

- 1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929).
- 7) BENCHMARK REFERENCE: NG8 P.D. # D-113 DESCRIBED AS PK NAIL AND BRASS WASHER IN CONCRETE CATCH BASIN, ELEVATION: 3.71 FEET, NGVD 1929.
- 8) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- 9) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR).
- 10) I HEREBY CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PER CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

LEGEND:

- A/C -AIR CONDITIONER
- AL -ARC LENGTH
- (C) -CALCULATED
- D.E -DRAINAGE EASEMENT
- (M) -MEASURED
- P.O.B. -POINT OF BEGINNING
- P.O.C. -POINT OF COMMENCING
- P.B. -PLAT BOOK
- P.G. -PAGE
- P.U.E. -PUBLIC UTILITY EASEMENT
- R -RADIUS
- (C) -RECORD
- U.E -UTILITY EASEMENT
- WM -WATER METER
- # -FENCE
- NUMBER
- ASPHALT
- CONCRETE
- PAVER/BRICK
- WOOD
- LIGHT POLE
- WELL
- WATER VALVE
- CENTER LINE
- CATCH BASIN
- FIRE HYDRANT
- POLE
- MANHOLE
- TOPOGRAPHIC ELEVATION

Curve Table			
Curve #	Length	Radius	Delta
C1	128.69	1661.00	4° 27' 53"
C2	33.30	1661.00	1° 09' 27"
C3	76.10	1661.00	2° 38' 27"
C4	79.30	1661.00	2° 45' 07"
C5	49.30	1661.00	1° 42' 45"

ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

LEGAL DESCRIPTION:

LOT 21, AND A PORTION OF LOT 20, BLOCK 1, LAGORCE-GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; SAID PORTION OF LOT 20 IN SAID BLOCK 1 BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE DIVIDING LINE BETWEEN LOTS 20 AND 21 OF SAID BLOCK 1, LAGORCE-GOLF SUBDIVISION, WITH THE NORTHWESTERLY LINE OF NORTH BAY ROAD, RUN IN A NORTHWESTERLY DIRECTION ALONG THE DIVIDING LINE BETWEEN SAID LOTS 20 AND 21, A DISTANCE OF 298.28 FEET TO THE MEAN HIGH WATER LINE ON THE WATER FACE OF THE CONCRETE BULKHEAD ON THE SOUTHEASTERLY SHORE OF BISCAYNE BAY; THENCE RUN IN A NORTHEASTERLY DIRECTION ALONG THE MEAN HIGH WATER LINE OR THE WATER FACE OF SAID CONCRETE BULKHEAD, A DISTANCE OF 80 FEET TO A POINT 10 FEET NORTHEASTERLY FROM THE MID-POINT OF SAID LOT 20; THENCE IN A SOUTHERLY DIRECTION A DISTANCE OF 281.52 FEET ALONG A STRAIGHT LINE TERMINATING AT A POINT ON THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD, SAID POINT BEING 49.35 FEET, AS MEASURED NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD FROM THE DIVIDING LINE BETWEEN SAID LOTS 20 AND 21 AND THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD, SAID POINT ALSO BEING 8.0 FEET NORTHEASTERLY OF THE INTERSECTION OF THE MID-POINT OF SAID LOT 20 WITH THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD; THENCE RUN IN A SOUTHWESTERLY DIRECTION ALONG THE NORTHWESTERLY LINE OF SAID NORTH BAY ROAD A DISTANCE OF 49.35 FEET TO THE POINT OF BEGINNING.

CERTIFIED TO:

FLOOD ZONE:

12086C0309L
ZONE: AE
ELEV: 8.1 FT
EFF: 09/11/2009

SURVEYOR NOTES:

- DRIVEWAY CROSSES THE BOUNDARY LINE ON SOUTHEASTERLY SIDE OF LOT AS SHOWN.
- WALLS CROSS THE BOUNDARY LINES ON NORTHEASTERLY AND SOUTHWESTERLY SIDES OF LOT AS SHOWN.
- WOOD DOCK AND CONCRETE SURFACE CROSS THE BOUNDARY LINE ON NORTHWESTERLY SIDE OF LOT AS SHOWN.

REVISIONS:

- ON 09/22/2021 ADDED TOPOGRAPHY (L.C.)

5980 N BAY ROAD RENOVATIONS

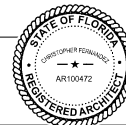
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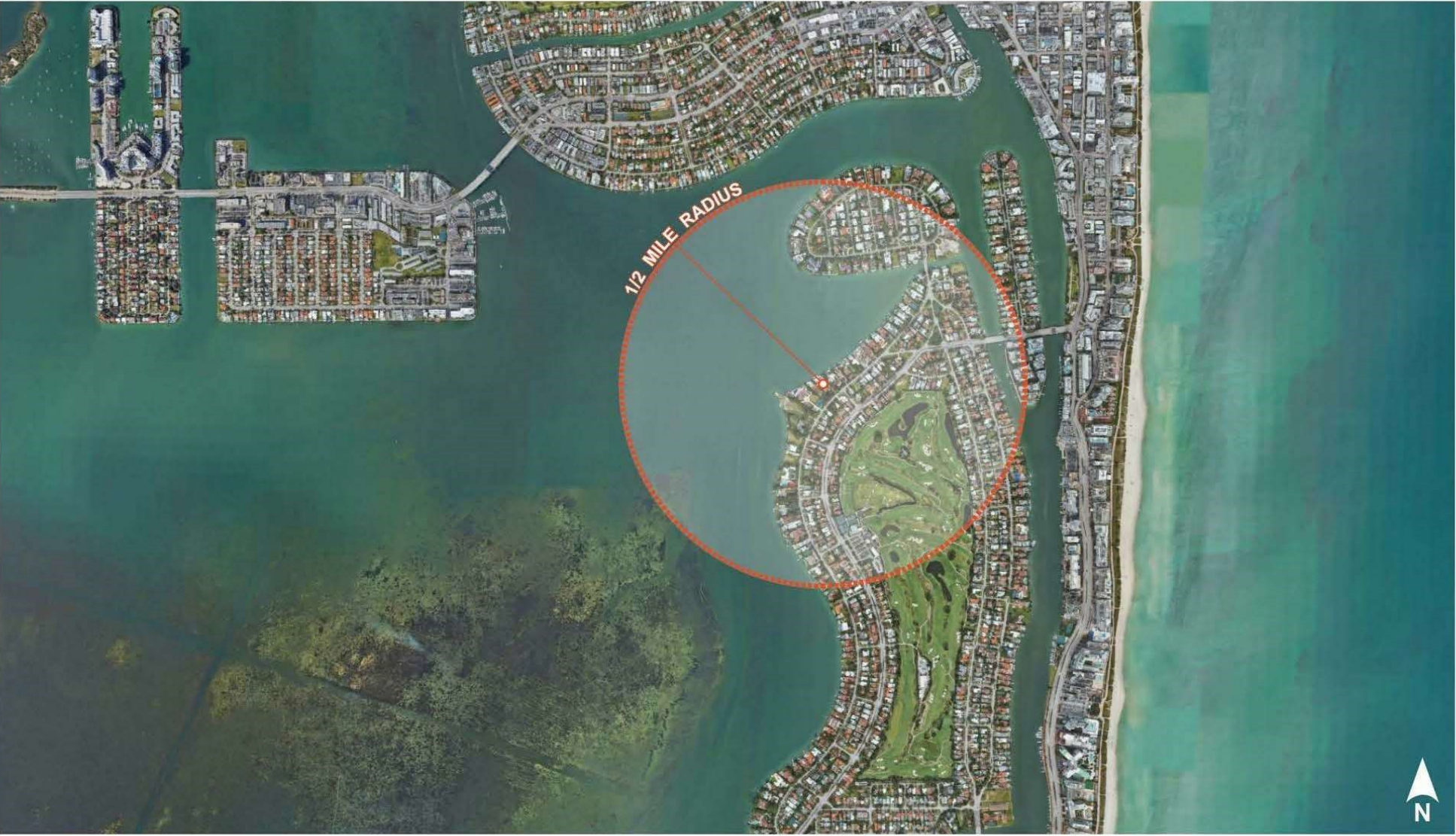


SURVEY

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5980 N BAY ROAD RENOVATIONS

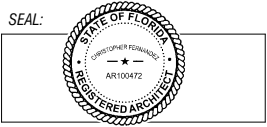
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CONTEXT LOCATION MAP

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5980 N BAY ROAD RENOVATIONS

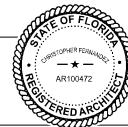
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SITE LOCATION

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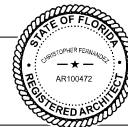


IMAGE KEY PLAN

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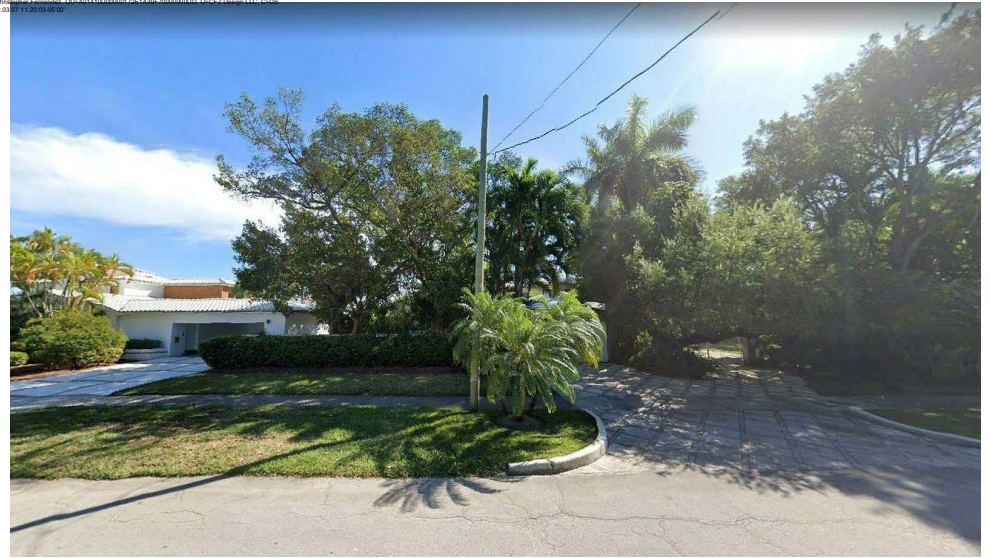
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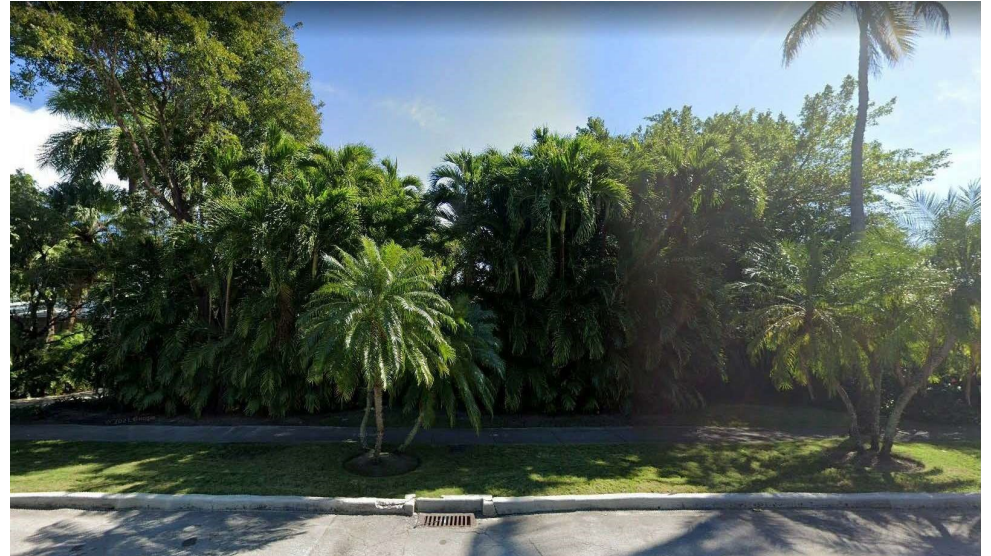
(A)



(B)



(C)



(D)

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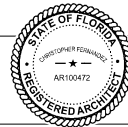
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NEIGHBOUR HOUSE IMAGES

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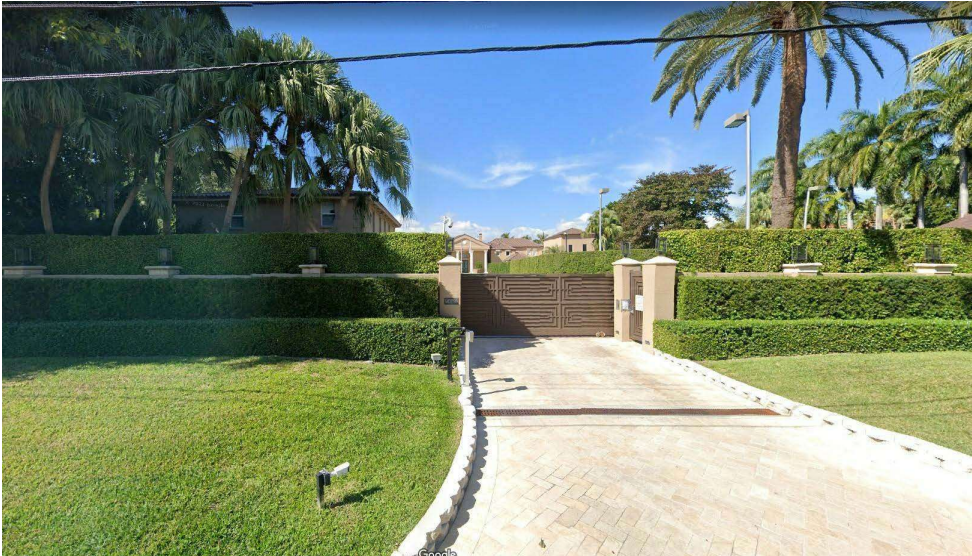
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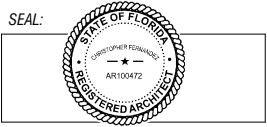
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NEIGHBOUR HOUSE IMAGES

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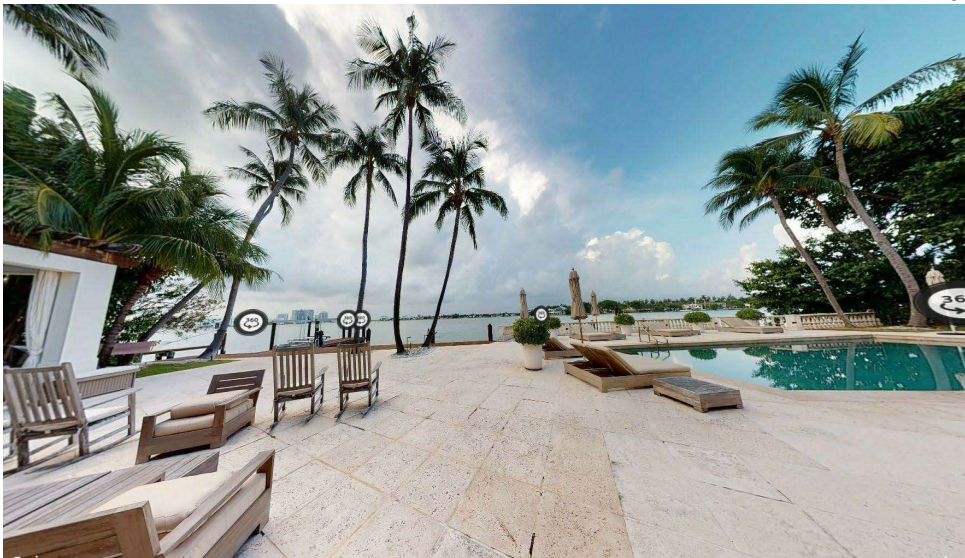
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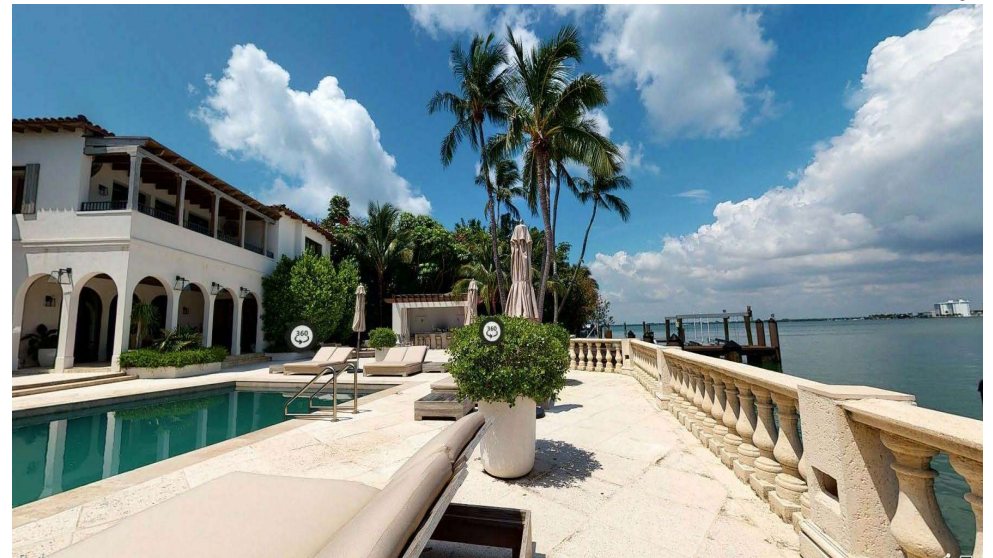
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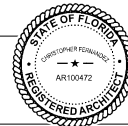
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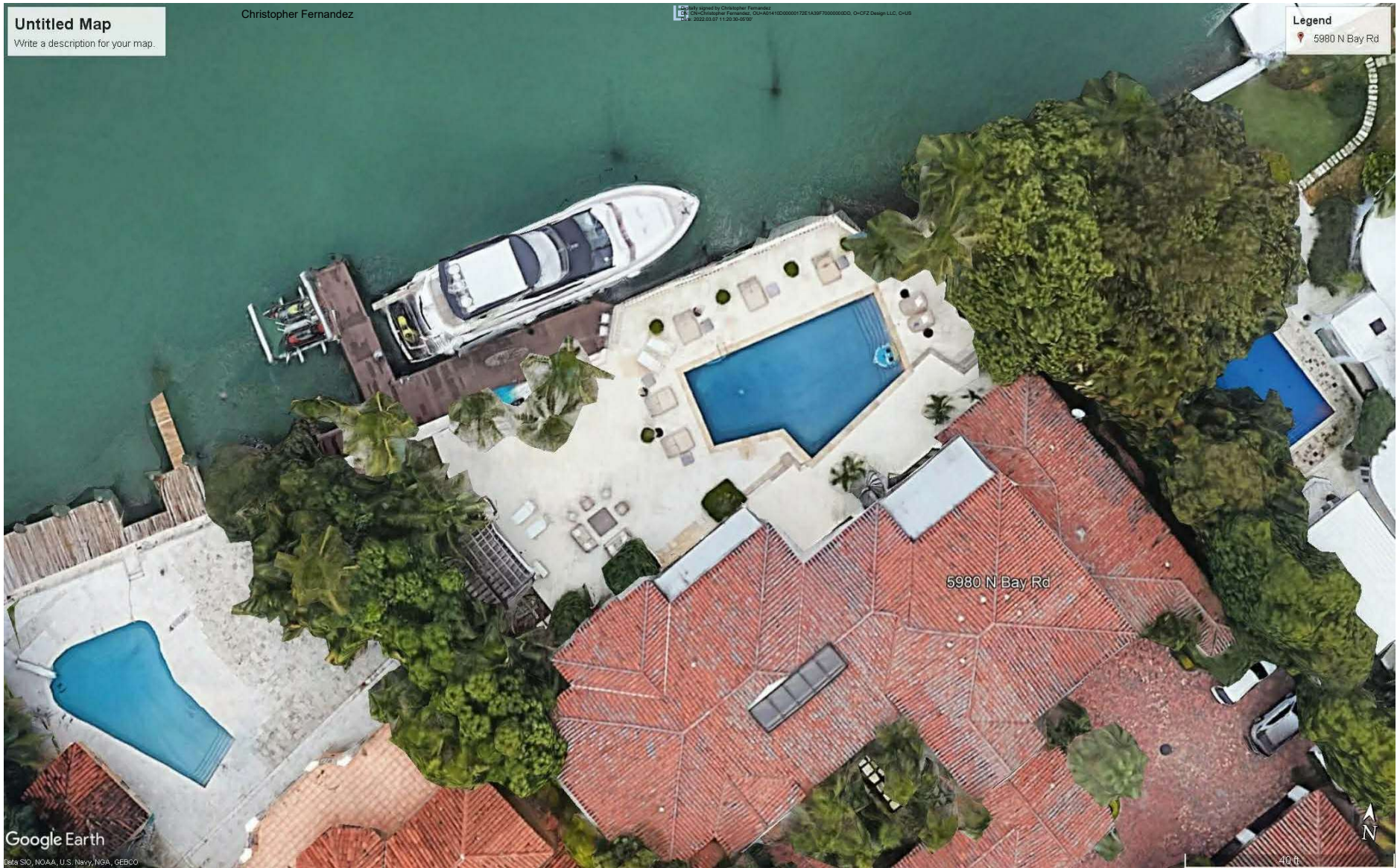


EXISTING SITE IMAGES

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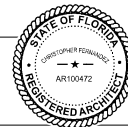
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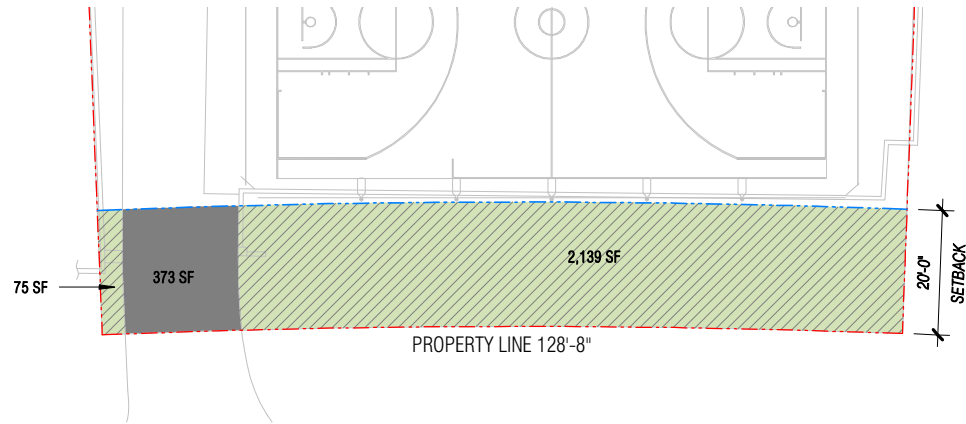


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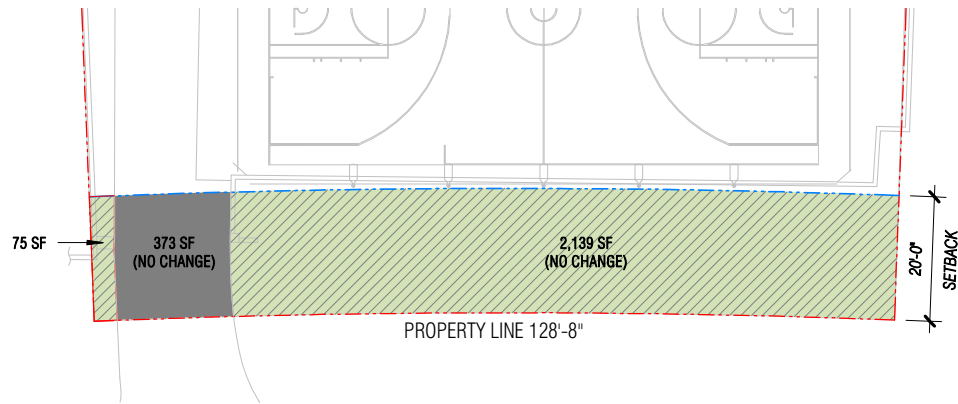
A-9



EXISTING FRONT YARD CALC

Scale: 1" = 20'-0"

FRONT YARD AREA		2,588 SF
DRIVEWAY	(14%)	373 SF
LANDSCAPE	(86%)	2,214 SF



PROPOSED FRONT YARD CALC

Scale: 1" = 20'-0"

FRONT YARD AREA		2,588 SF
DRIVEWAY (NO CHANGE)	(14%)	373 SF
LANDSCAPE (NO CHANGE)	(86%)	2,214 SF

5980 N BAY ROAD RENOVATIONS

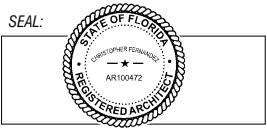
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IMPERVIOUS DIAGRAM -
FRONT YARD

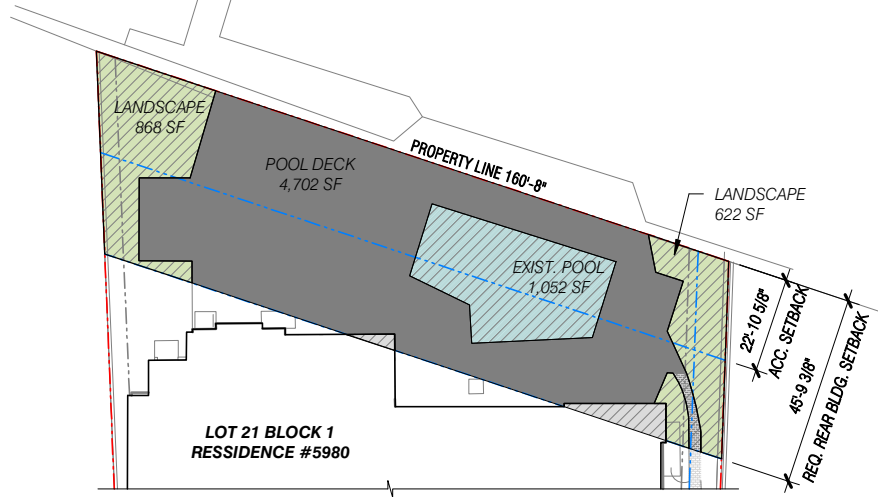
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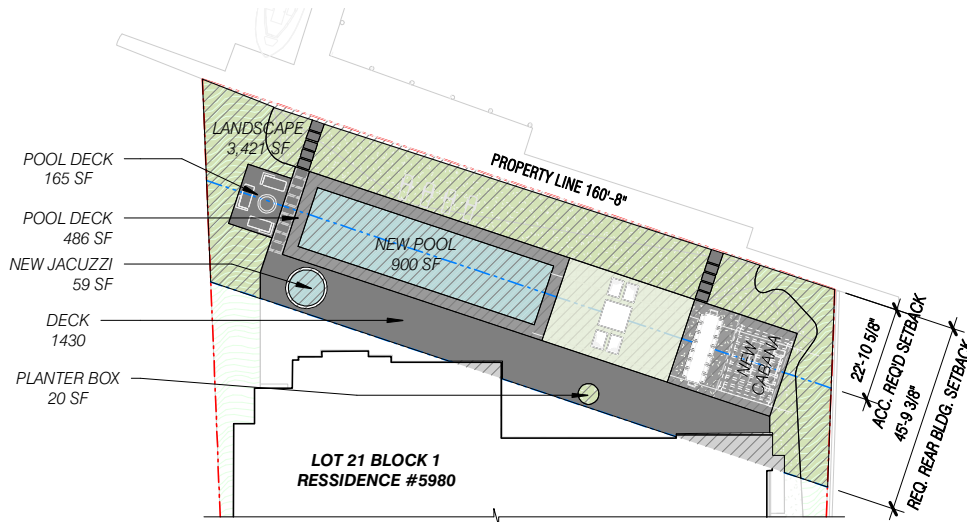
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EXISTING REAR YARD CALC






Scale: 1" = 30'-0"

	EXISTING REAR YARD AREA	(100%)	7,265 SF
	DECK/ ACCESSORY BLDG. AREA	(65%)	4,744 SF
	LANDSCAPE/POOL AREA (A + B)	(27%)	2,016 SF
	A-LANDSCAPE	(20%)	1,490 SF
	POOL AREA	(15%)	1,052 SF
	B- 50% POOL AREA		526 SF



PROPOSED REAR YARD CALC

Scale: 1" = 30'-0"

	PROPOSED REAR YARD AREA	(100%)	7,265 SF
	<i>DECK/ ACCESSORY BLDG. AREA</i>	<i>(38%)</i>	<i>2,758 SF</i>
LANDSCAPE/POOL AREA (A + B + C) (49%)			3,584.5 SF
	<i>A-LANDSCAPE</i>	<i>(38.2%)</i>	<i>2,772.5 SF</i>
	<i>POOL & JACUZZI AREA</i>	<i>(13.2%)</i>	<i>956 SF</i>
	<i>ASTROTURF</i>	<i>(9%)</i>	<i>668 SF</i>
B- 50% POOL & JACUZ. AREA			478 SF
C- 50% ASTROTURF AREA			334 SF



5980 N BAY ROAD RENOVATIONS

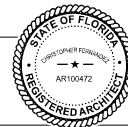
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IMPERVIOUS DIAGRAM -
REAR YARD

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PROPERTY LINE 279'-9"

PROPERTY LINE 160'-8"

ACCESSORY BLDG. REAR SETBACK LINE 22'-10 5/8"

REAR BUILDING SETBACK LINE 45'-9 3/8"

EXISTING RESIDENCE





EXISTING
GARAGE

FRONT BUILDING SETBACK 20'-0"

PROPERTY LINE 128'-8"

NORTH BAY ROAD

PROPERTY LINE 330'-8 3/8"

LOT SIZE		42,720 SF
MAX LOT COVERAGE (30%)		12,816 SF
	A. MAIN RESIDENCE (20%)	8,315 SF
	B. OVERHANGS (.7%)	322 SF
	GARAGE	855 SF
	C. Garage Deduction -500 (.8%)	355 SF
TOTAL A + B + C (21%)		8,992 SF



5980 N BAY ROAD RENOVATIONS

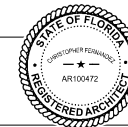
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LOT COVERAGE - EXISTING

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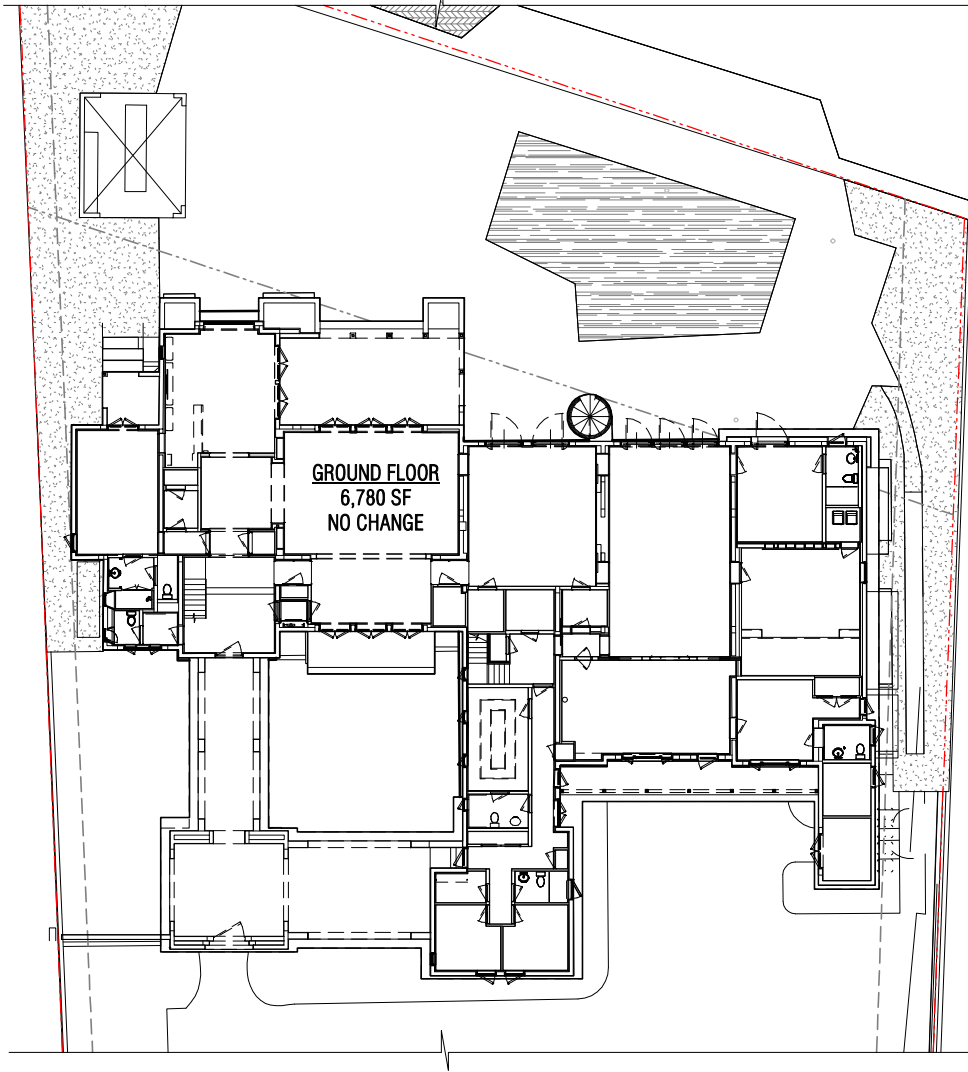
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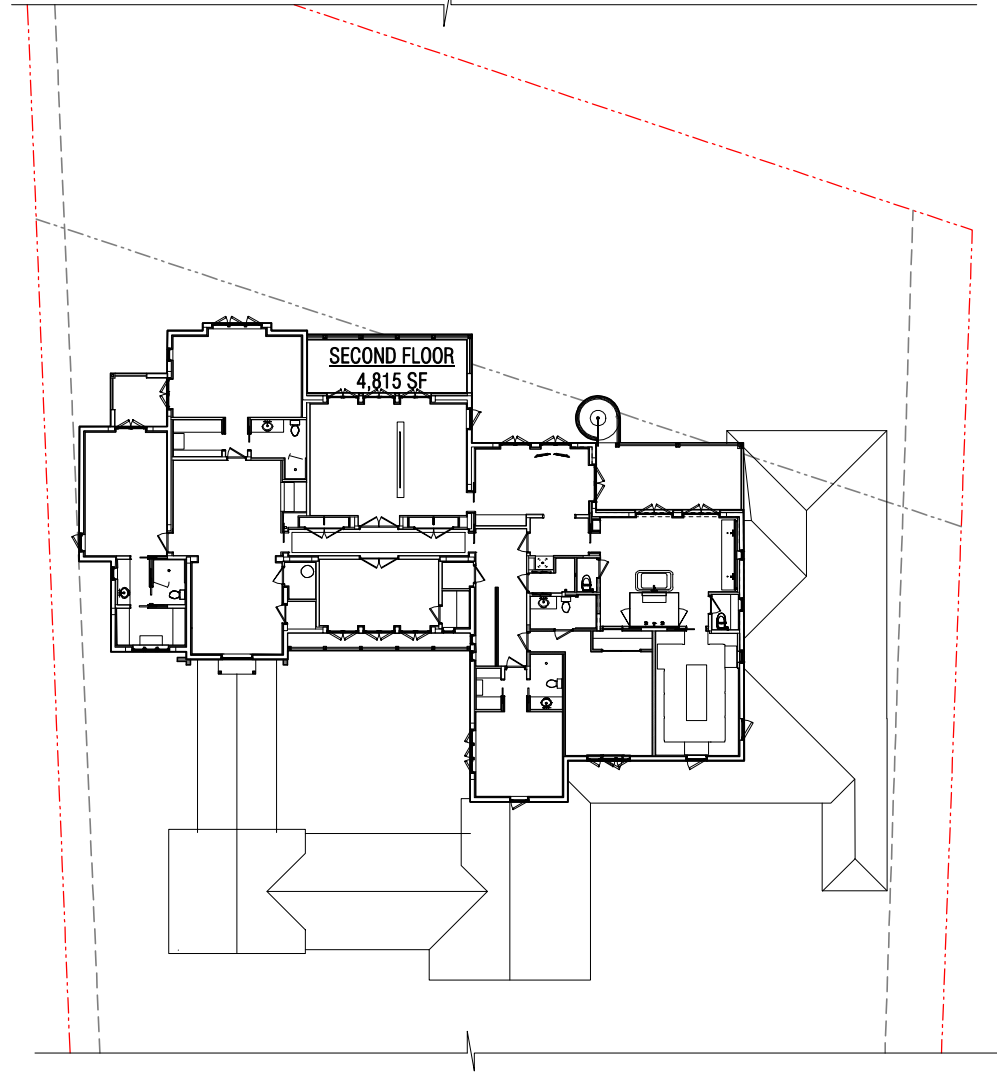
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EXISTING 1ST FLOOR
Scale: 1" = 20'-0"



EXISTING SECOND FLOOR PLAN
Scale: 1" = 20'-0"

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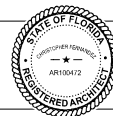
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EXISTING FIRST & SECOND
FLOOR PLAN

1" = 20'-0"

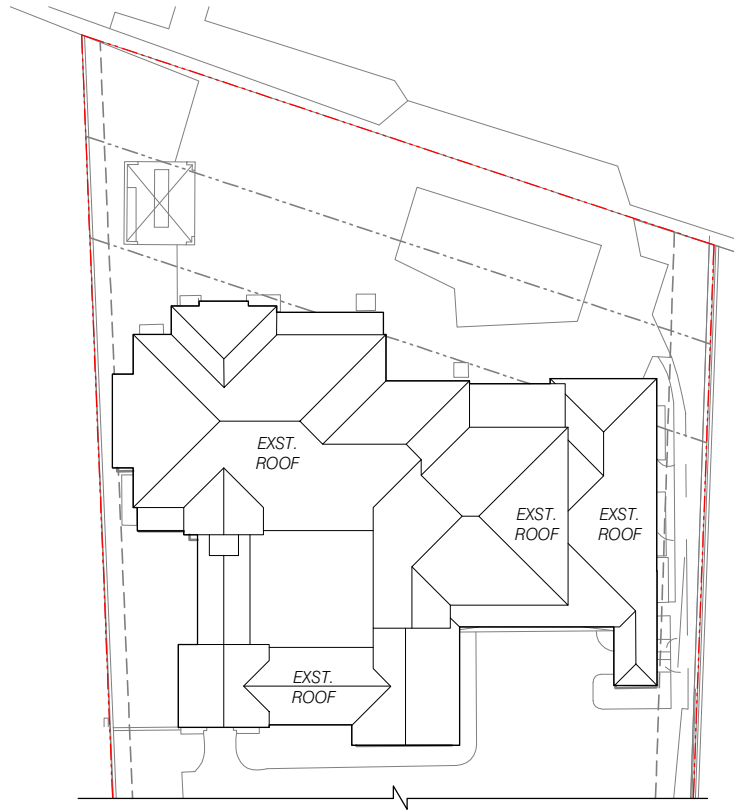
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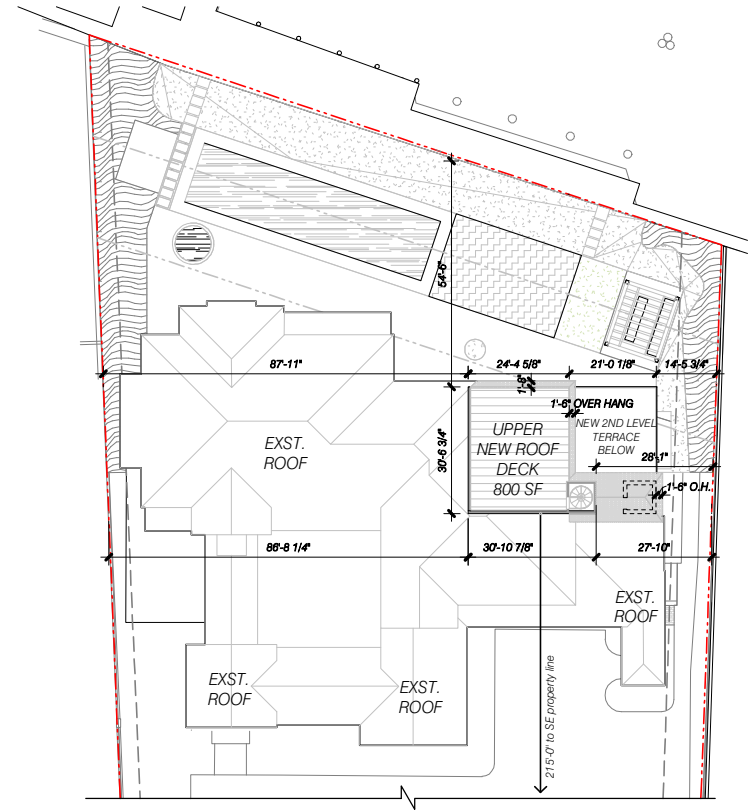


EXISTING ROOF DECK

Scale: 1" = 30'-0"

EXISTING ROOF LEVEL

SECOND LEVEL		4,815 SF
MAX ROOF DECK ALLOWED	(25%)	1,203 SF
ROOF DECK PROVIDED		0 SF
MAX SHADE STRUCTURE	(20%)	963 SF
ROOF DECK PROVIDED	(0%)	0 SF



PROPOSED ROOF DECK

Scale: 1" = 30'-0"

PROPOSED ROOF LEVEL

SECOND LEVEL		4,815 SF
MAX ROOF DECK ALLOWED	(25%)	1,203 SF
ROOF DECK PROVIDED	(16.6%)	800 SF
MAX SHADE STRUCTURE	(20%)	963 SF
SHADE PROVIDED	(0%)	0 SF

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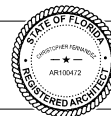
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ROOF DECK

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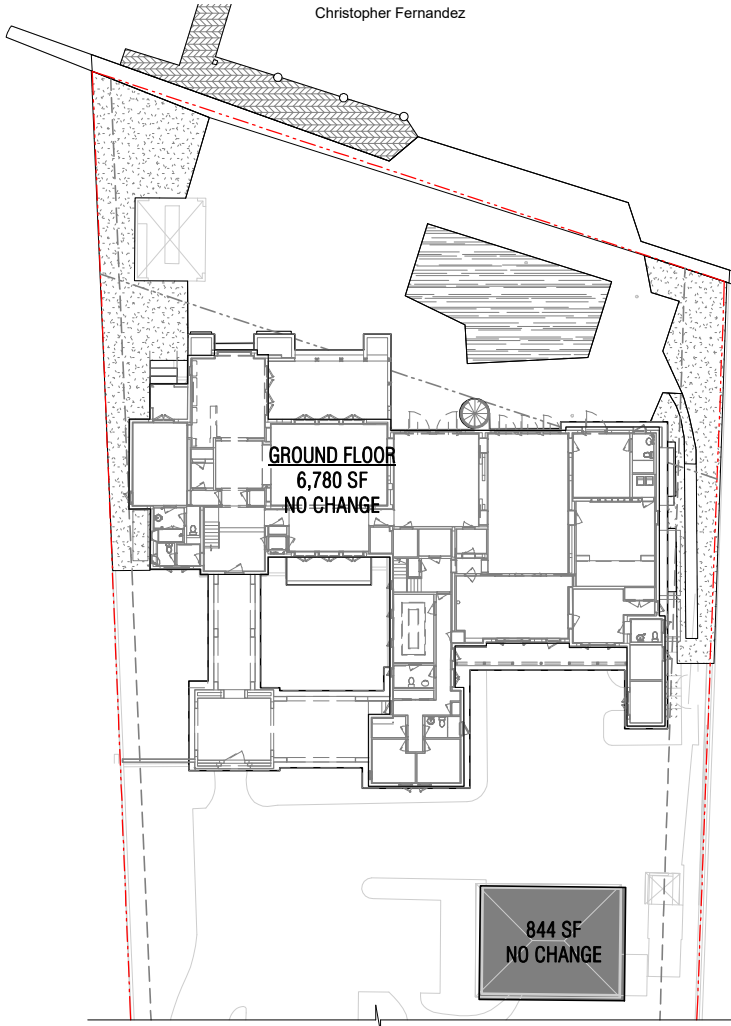
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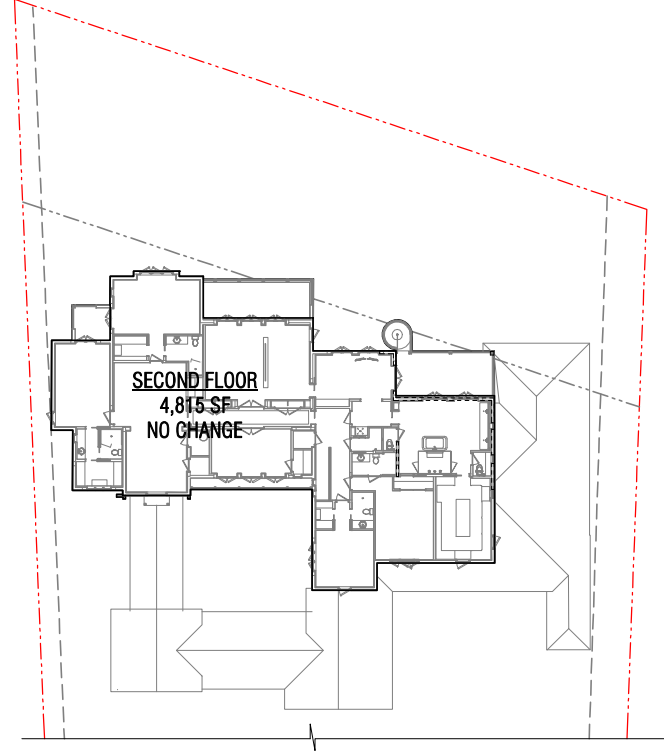
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DN: cn=Christopher Fernandez, o=CFZ Design LLC, ou=CFZ Design LLC, email=chris@cfzdesign.com, c=US
Date: 2022.03.07 11:32:08-05'00'



EXISTING UNIT SIZE 1ST FLOOR
Scale: 1" = 30'-0"



EXISTING UNIT SIZE 2ND FLOOR
Scale: 1" = 30'-0"

EXISTING UNIT SIZE

LOT SIZE		42,720.5 SF
MAX UNIT SIZE ALLOWED	(50%)	21,360.2 SF
EXISTING UNIT SIZE	(27.9%)	11,939 SF
GROUND LEVEL		7,624 SF
SECOND LEVEL		4,815 SF
GARAGE CREDIT		-500 SF



5980 N BAY ROAD RENOVATIONS

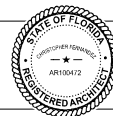
MIAMI BEACH, FLORIDA 33140

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SEAL:



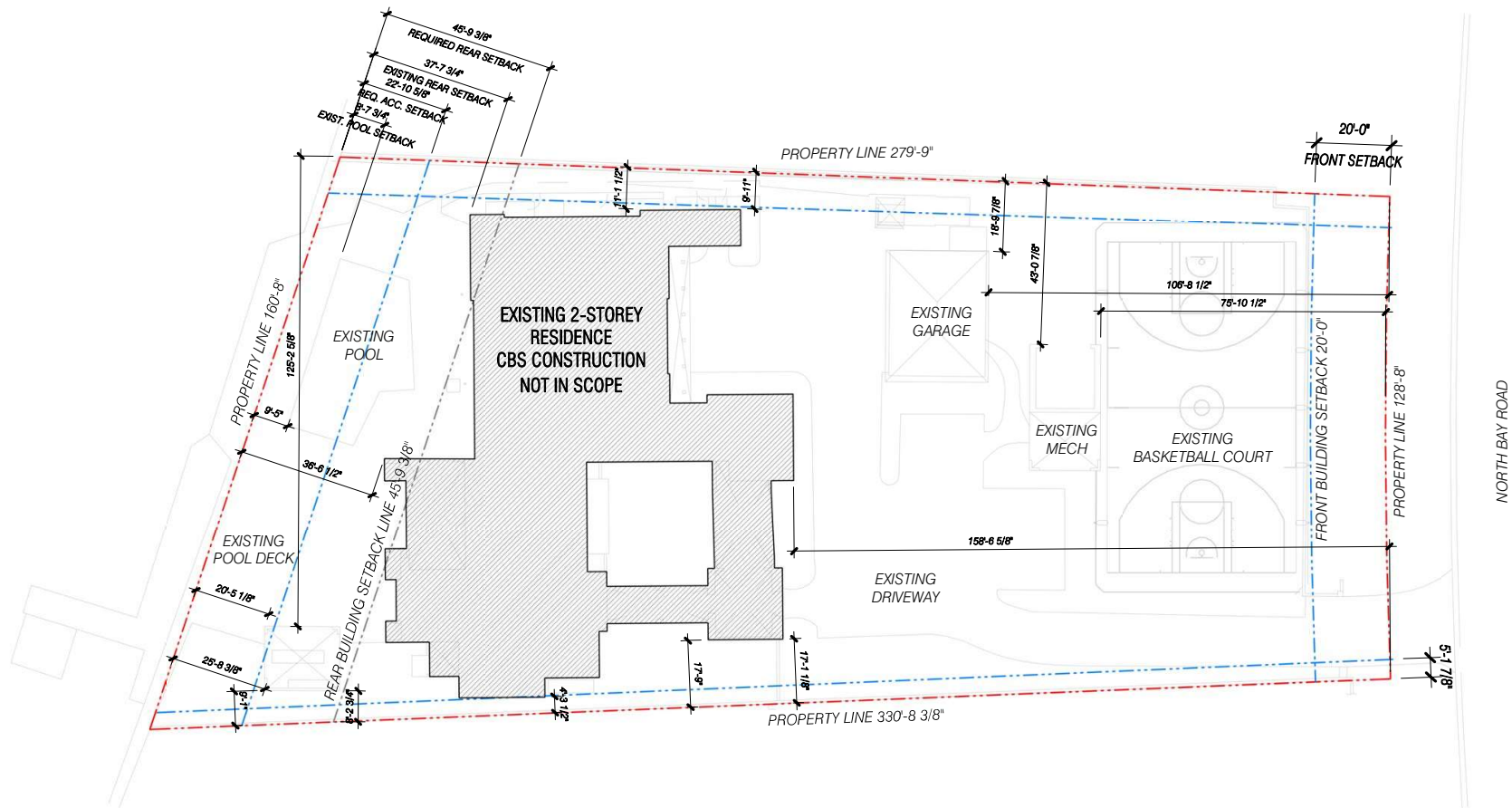
UNIT SIZE EXISTING 1ST &
2ND FLOOR

As indicated

MAR. 07, 2022

FINAL SUBMITTAL | DRB22-0794

A-20



5980 N BAY ROAD RENOVATIONS

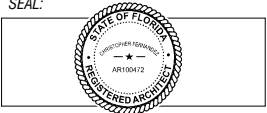
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SEAL:



EXISTING SITE PLAN

1" = 30'-0"

MAR. 07, 2022

