



BIRD EYE VIEW, SOUTHWEST CORNER ELEVATION.
THE CONTOURS OF THE PERFORATED PATTERN REINFORCE THE SOFT RADIUS OF THE
ROUNDED CORNER, AND REFERENCE THE GEOMETRIC CURVES OF THE SKOLNICK SURGERY TOWER ON CAMPUS.



NETTA ARCHITECTS

621 NW 53rd Street, Suite 350
Boca Raton, Florida 33487
(561) 965-4500
www.nettaarchitects.com
CERTIFICATE OF AUTHORIZATION AC-438

DATE OF SEAL 03-07-2022

NICHOLAS J. NETTA, AIA, NCARB
FL REGISTRATION No. AR58615

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MT. SINAI PARKING GARAGE

MIAMI BEACH, FLORIDA

DRB FINAL SUBM.

No.	Date:	Description:
1	01-26-2022	DRG PLAN SUBMITTAL
2	02/14/2022	FIRST SUBMITTAL
3	03/07/2022	FINAL SUBMITTAL

DATE:	03-07-2022
DESIGNER:	FM
MODELER:	CC
CHECKED:	FM
NETTA PROJECT #:	2211676FL

RENDER

SITE PLAN APPROVAL

EXHIBIT 9



FACADE TRANSITION: RISING CURVES

WEST ELEVATION AS SEEN FROM THE MOUNT SINAI CAMPUS ACCESS ROAD. THE PERFORATED HORIZONTAL BANDS CONTEXTUALLY ASSOCIATE WITH THE HORIZONTAL PRESENCE OF THE EXISTING PARKING GARAGE (AT LEFT; SEE DRONE VIEWS FOR EXISTING CONTEXTUAL REFERENCES).



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RENDER - FACADE
TRANSITION

SITE PLAN APPROVAL

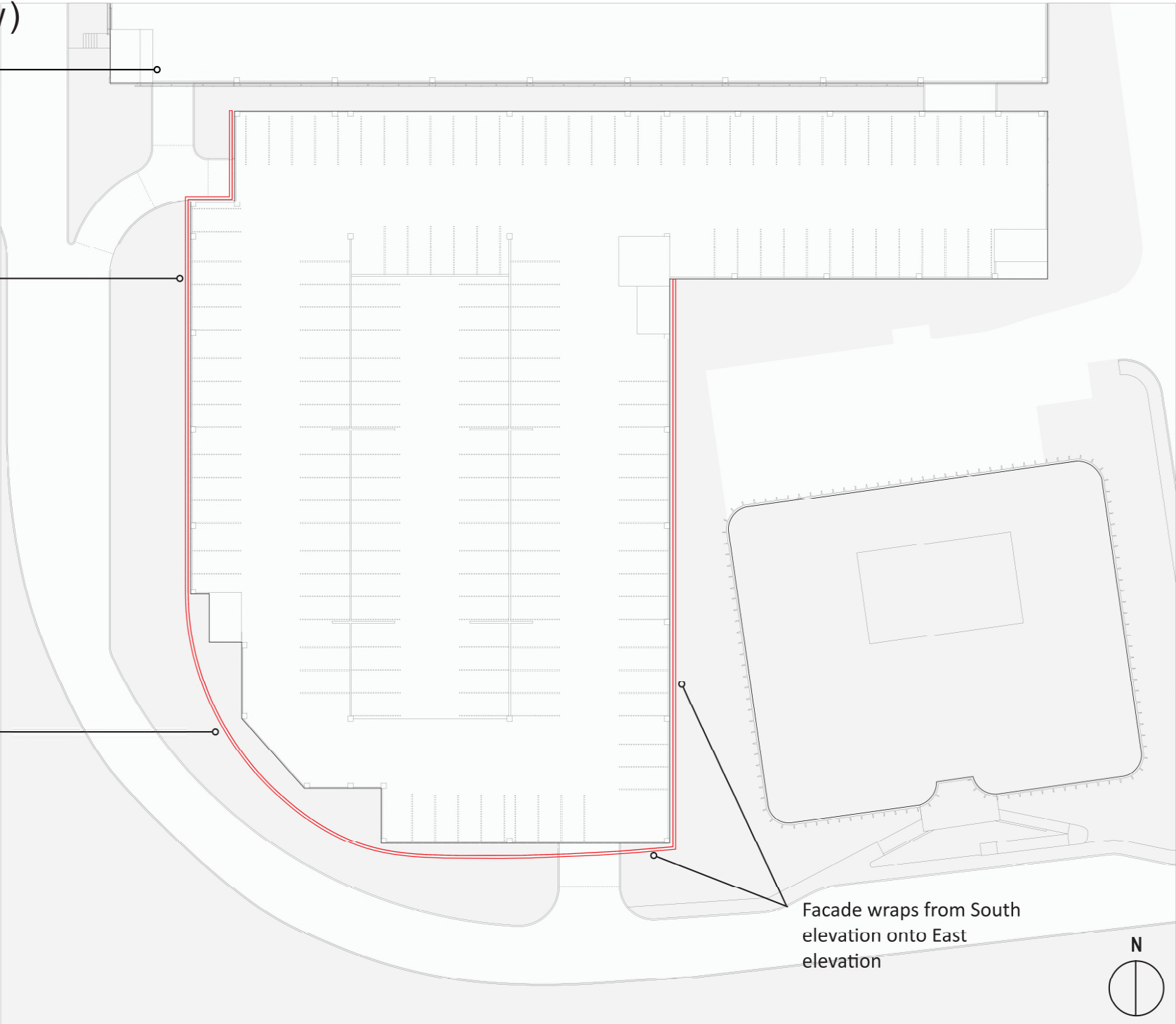
EXHIBIT 10

Facade Profile (plan view)

Existing garage: see drawings for facade transition this area.

Red line indicates location of new facade. Face of facade = 12" from face of garage structure, except at curved areas.

Curving facade creates a sculptural presence of the SW corner and South elevation (closest in proximity to causeway)



Plan view.



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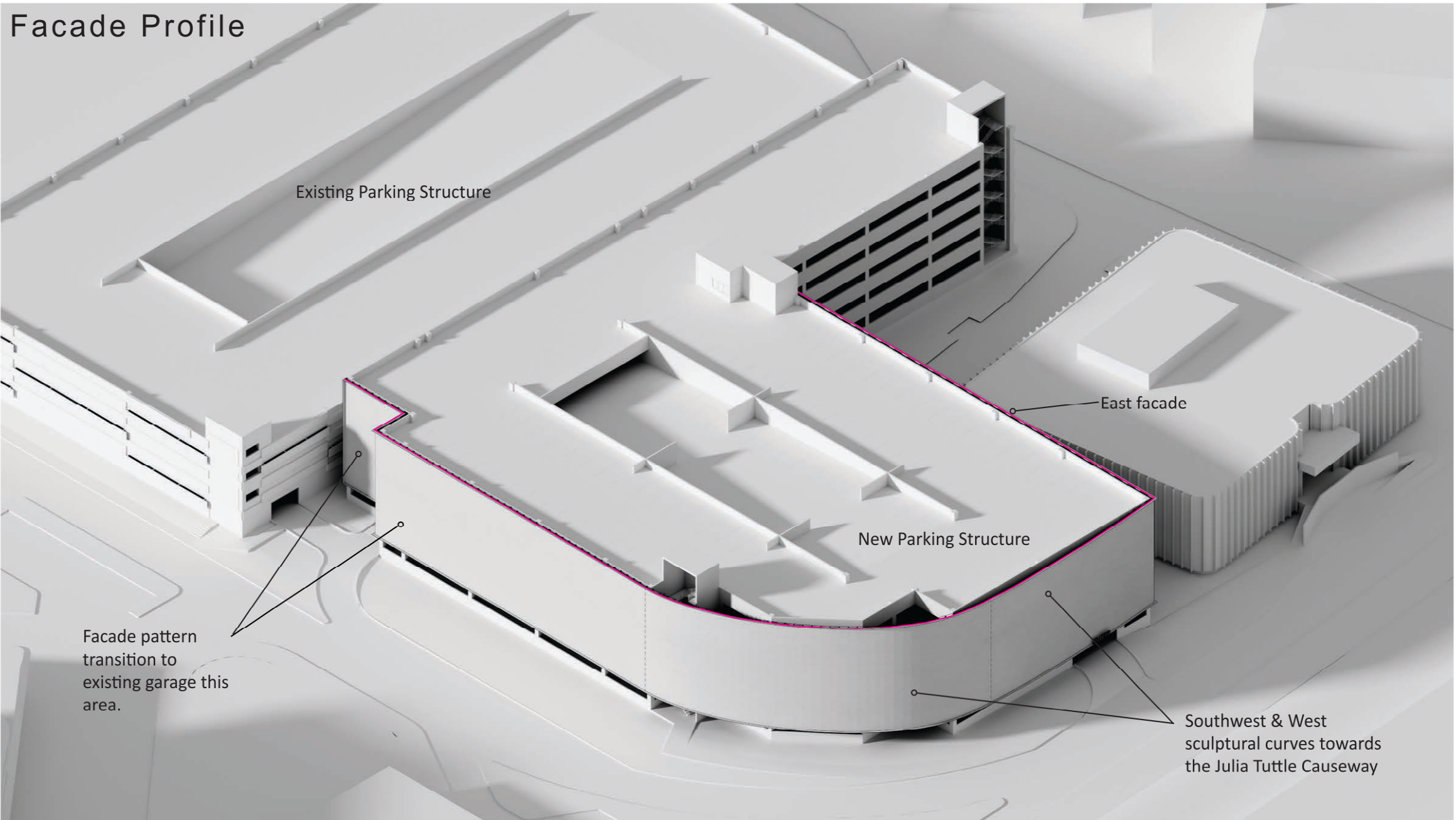
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FACADE PROFILE

SITE PLAN APPROVAL

EXHIBIT 11

Facade Profile



Axonometric Diagram: facade skin



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FACADE PROFILE

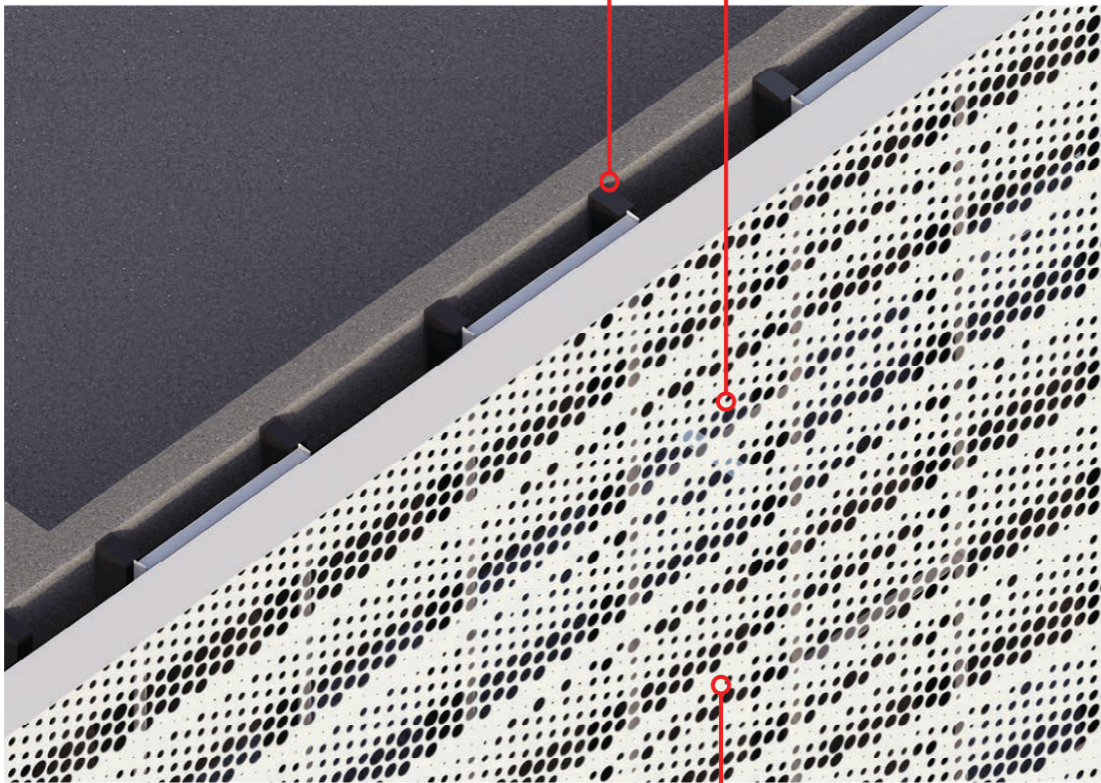
SITE PLAN APPROVAL

EXHIBIT 12

Facade Tectonics: System

Mullions are fastened to building via a custom anchor and clip. Mullions are painted black to visually conceal once skin is installed.

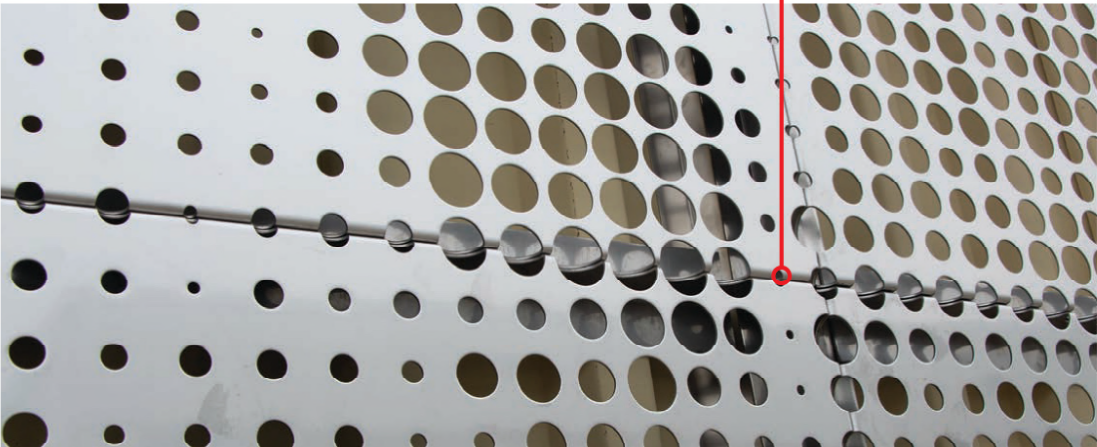
Custom perforated hole pattern to provide natural light and ventilation inside the garage.



Panelized metal perforated skin. The surfaces are painted “Mount Sinai White” to match other campus buildings.

Axonometric view: detailed view top of facade, 6th floor parking level

Folded panel joints allow for continuous hole pattern without visual interruption

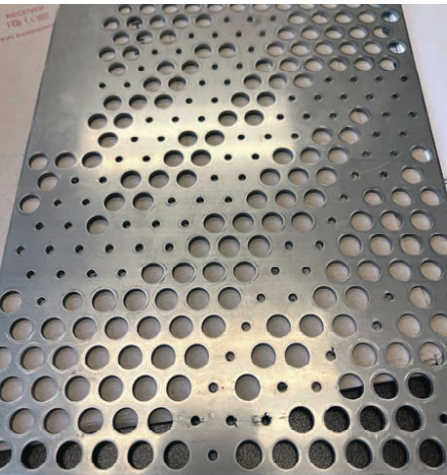


(Example: Zahner Image Wall plus Drop & Lock system)

PERFECTLY PERFORATED
Zahner ImageWall®

CUSTOM PERFORATED METAL PANELS

Creating unique patterns and perforations in metal is easy with ImageWall. Developed with Zahner engineers and designers, ImageWall provides a custom perf generator which can be used to design any number of unique screen systems.



Sample: Zahner Image Wall (unpainted)



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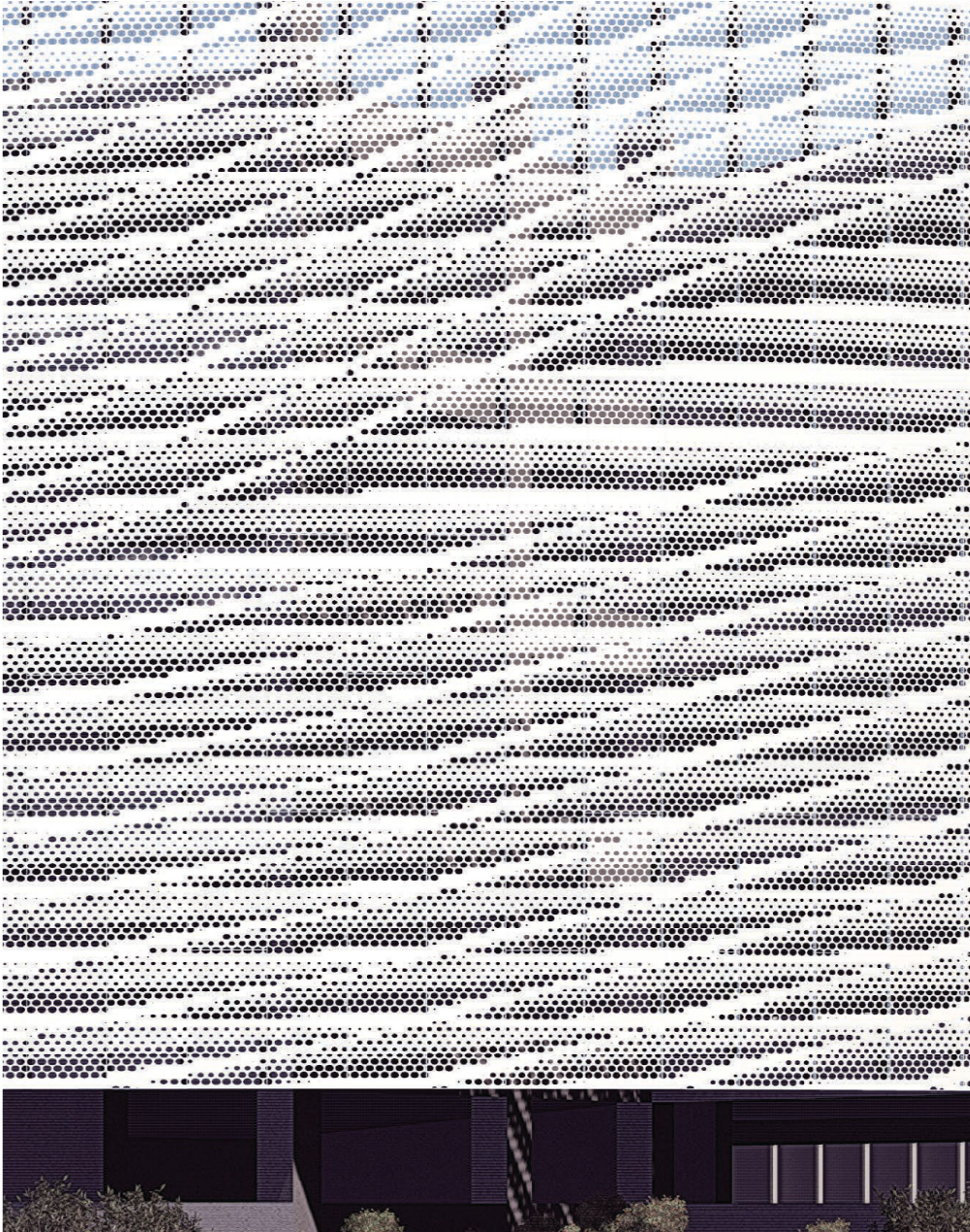
FACADE
PERFORATION

SITE PLAN APPROVAL

EXHIBIT 13

DATE OF SEAL 03-07-2022

Facade Tectonics: Strategy



Facade Elevation: close-up view

The intersecting curves originate as a 3-dimensional relief pattern.

Using computational processes, this pattern is then digitally ‘flattened’ into a 2-dimensional perforated surface.

The result is an a materially efficient skin system that, when seen from a distance, retains its textured, 3-dimensional visual presence.



MT. SINAI PARKING GARAGE

MIAMI BEACH, FLORIDA

DRB FINAL SUBM.

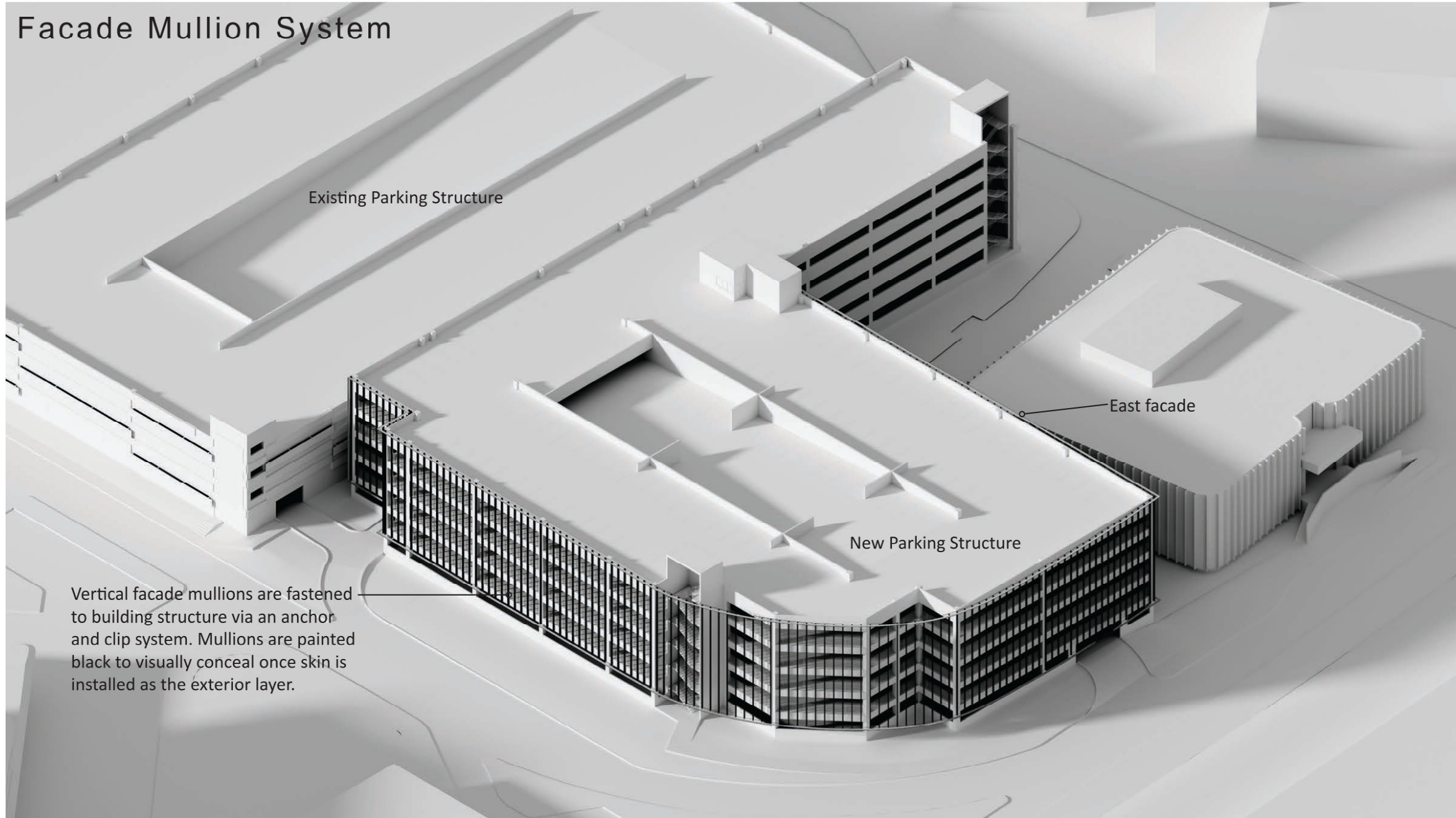
No.	Date:	Description:
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DATE:	03-07-2022
DESIGNER:	Designer
MODELER:	Author
CHECKED:	Checker
NETTA PROJECT #:	2211676FL

FACADE
PERFORATION

SITE PLAN APPROVAL

EXHIBIT 14



Facade Mullion System

Existing Parking Structure

East facade

New Parking Structure

Vertical facade mullions are fastened to building structure via an anchor and clip system. Mullions are painted black to visually conceal once skin is installed as the exterior layer.

Axonometric Diagram: facade support system

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FACADE SUPPORT SYSTEM

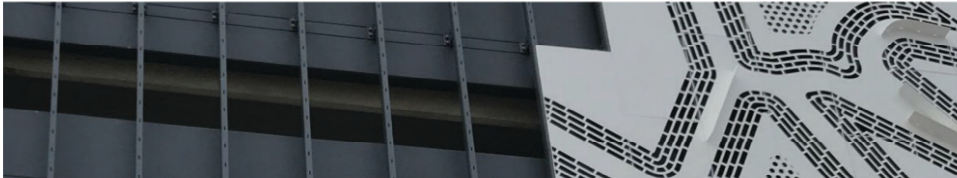
SITE PLAN APPROVAL

EXHIBIT 15

Proposed Panel Fabrication System

ZAHNER®

DROP & LOCK™

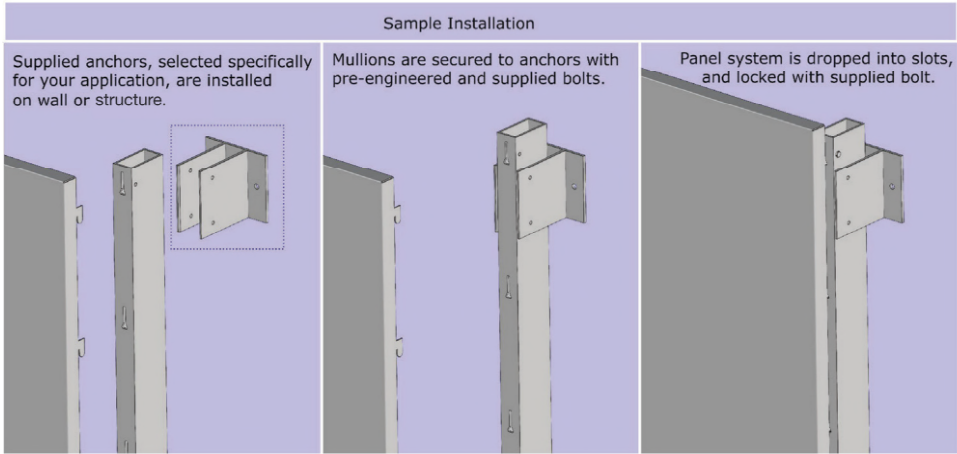


Drop & Lock is one of many solutions from Zahner providing quick, efficient and cost-effective installation of various wall systems. The solution includes structural mullions, anchor systems for attaching to walls, ceilings or structure, and your choice of Zahner wall system. The Drop & Lock system is compatible with various metals and treatments, including Zahner's proprietary surfaces. All components are CNC cut and ready for installation.

Applications:

- Interior and exterior installations
- New construction, retrofit, or add-on
- This solution accommodates a variety of Zahner's rainscreen, dry seal and vented wall systems.

Drop & Lock is the ideal installation system for many applications, including Zahner's patented ImageWall® perforated metal offering.



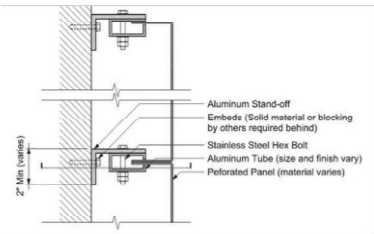
A. ZAHNER COMPANY | 1400 East 9th Street, Kansas City, MO 64106, USA | AZAHNER.COM | +1 (816) 474-8882 | CA LIC. #728302

[Note: the Drop & Lock system was used on the Wynwood Garage, and on 2 design sections of City View Garage]

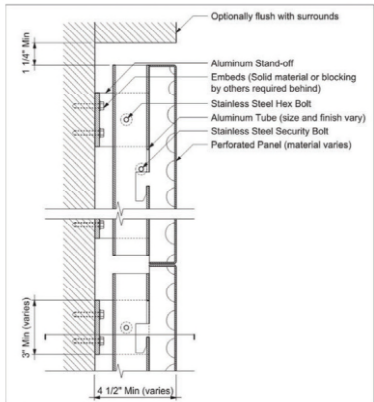
ZAHNER®

DROP & LOCK™

Wall | Medium

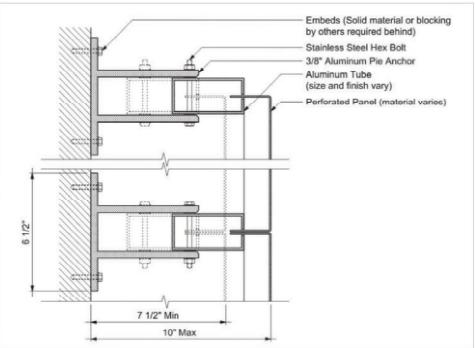


Plan Section

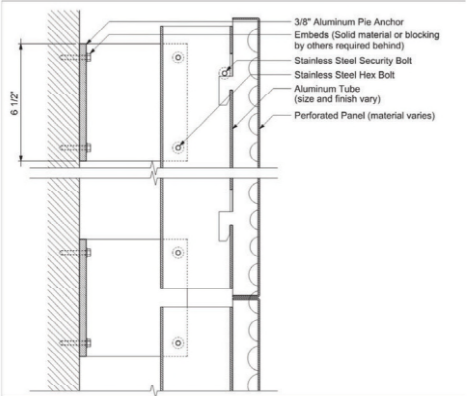


Vertical Section

Wall | Heavy



Plan Section



Vertical Section

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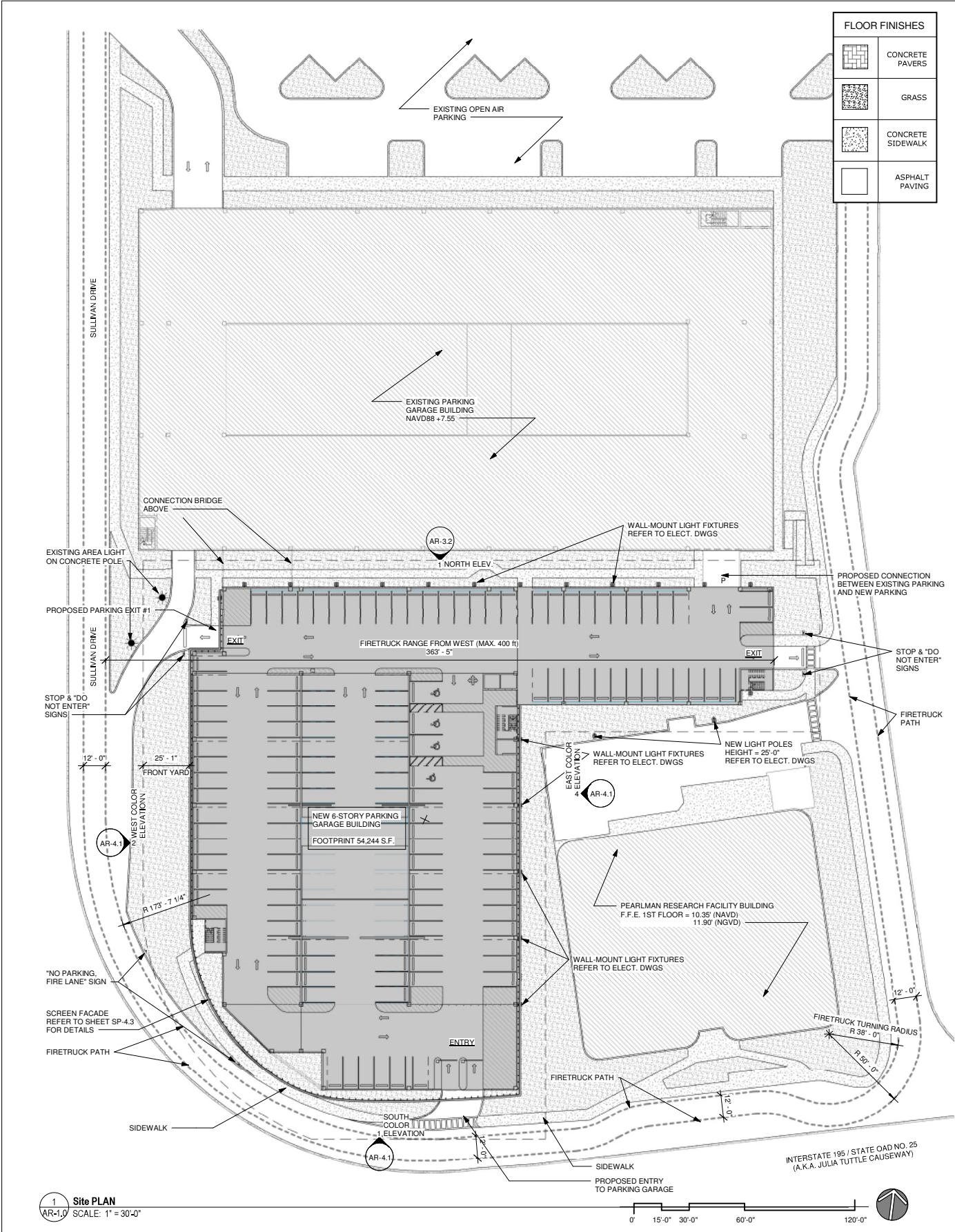
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PROPOSED PANEL
FABRICATION
SYSTEM

SITE PLAN APPROVAL

EXHIBIT 16



FLOOR FINISHES	
	CONCRETE PAVERS
	GRASS
	CONCRETE SIDEWALK
	ASPHALT PAVING

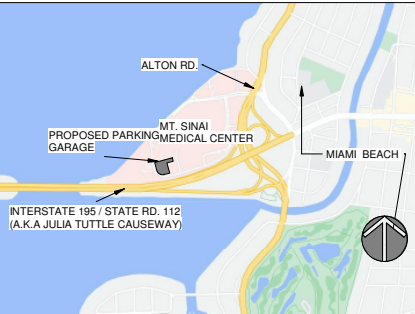
FIRE DEPARTMENT REQUIREMENTS:

- THE MINIMUM DISTANCE FROM THE NEW PARKING GARAGE TO THE EXISTING PARKING GARAGE AT THE NORTH WILL BE 20 FT.
- THE MINIMUM DISTANCE FROM THE NEW PARKING GARAGE TO THE EXISTING RESEARCH INSTITUTE BUILDING WILL BE 20 FT.
- THE FIRE VEHICLES WILL HAVE ACCESS TO THE GARAGE AND THE RESEARCH FACILITY BUILDING. THE FIRE VEHICLE WILL BE WITHIN 400'-0" OF ANY POINT OF THE GARAGE.
- ALL CURBS ADJACENT TO ANY FH AND/OR FDC AND A STRAIGHT CURB OVER 4" SHALL BE DESIGNATED "NO PARKING - FIRE LANE", COMPLIANT WITH FPPC NFPA-1 AND CURRENT CITY OF MIAMI BEACH ENGINEERING DEPARTMENT FIRE LINE SIGNING AND MARKING STANDARD

APPLICABLE CODES

- FLORIDA BUILDING CODE (BUILDINGS) 2022/7th ED
- FLORIDA BUILDING CODE (PLUMBING) 2022/7th ED
- FLORIDA BUILDING CODE (MECHANICAL) 2022/7th ED
- FLORIDA BUILDING CODE (EXISTING-LEVEL 2) 2022/7th ED
- FLORIDA ACCESSIBILITY CODE 2022/7th ED
- NATIONAL ELECTRICAL CODE (NEC) 2017 ED
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 LIFE SAFETY CODE FLORIDA 2018 ED
- NFPA (NFPA) 1 UNIFORM FIRE CODE FLORIDA 2018 ED
- CITY OF MIAMI BEACH, CODE OF ORDINANCES SEPT. 24, 2021
- STATE HEALTH CODE CURRENT
- OSHA-TITLE 29 LABOR CURRENT

LOCATION MAP



SYMBOL LEGEND

- EXISTING STREET LAMPS
- LANDSCAPING
- BUILDING SETBACK (S.B.)
- RIGHT OF WAY DEDICATION (R.O.W.)
- FPL EASEMENT (FPL EA.)
- CONCRETE BRICK PAVERS & TREE GRATES TO MATCH CITY STANDARDS
- TACTILE WARNING SURFACE
- NEW LIGHT POLE FIXTURE
- NEW DOUBLE LIGHT POLE FIXTURE
- NEW WALL-MOUNTED LIGHT FIXTURE
- INDICATES ADA ACCESSIBLE BUILDING ENTRANCE
- EXISTING INLET
- NEW SANITARY MANHOLE
- NEW GREASE TRAP
- NEW FDC
- NEW FIRE HYDRANT
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- ELECTRIC VEHICLE CHARGER STATIONS MOUNTED 4" FROM WALL @ CENTERLINE OF PARKING STRIPE SEE DETAIL 5/SP-1.1.

SITE NOTES:

1. REFER TO RECORD SURVEY FOR EXACT BUILDING LOCATION, APPLICABLE PLAT INFORMATION AND FLOOD ZONE CRITERIA. THE INFORMATION CONTAINED ON THIS PLAN IS BASED ON INFORMATION SUPPLIED BY OWNER, SURVEYOR AND CIVIL ENGINEER OF RECORD.
2. REFER TO CIVIL ENGINEERING PLANS AND DETAILS FOR ALL GRADE AND FINISH FLOOR ELEVATIONS, DRAINAGE AND RETENTION CALCULATIONS, ELEVATIONS SHOWN ON THIS PLAN ARE FOR REFERENCE PURPOSES ONLY.
3. CIVIL ENGINEER SHALL PROVIDE CONCRETE CURB AND GUTTER DETAILS, ALL CURB RADI AND ALL OTHER SITE RELATED DETAILS ARE REQUIRED.
4. A CONTRACTOR SHALL CONFIRM REQUIRED FIRST FINISH FLOOR ELEVATION OF BUILDING, WITH CIVIL ENGINEER AND SURVEYOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. FIRST FINISH FLOOR ELEVATION SHALL BE AS PER CIVIL ENGINEER RECORD PLANS. REQUIRED FEMA FLOOD INSURANCE RATE MAP DESIGNATION (FIRM) AND FLORIDA BUILDING CODE SECTION 1612, LOWEST TOP OF SLAB INHABITABLE AREA SHALL BE MINIMUM 18" ABOVE CROWN OF ROAD AND ABOVE FLOOD CRITERIA, WHICHEVER IS HIGHER.
5. REFER TO LANDSCAPE ARCHITECT OF RECORD PLANS FOR ALL EXTERIOR PLANTING, IRRIGATION, SOFTSCAPE, LOW VOLTAGE LANDSCAPE LIGHTING HARDSCAPE FINISHES AND SPECIFICATIONS.
6. WALKWAY SLOPES SHALL NOT EXCEED 1:48 IN ANY DIRECTION

LEGAL DESCRIPTION:

SITE ADDRESS: MOUNT SINAI MEDICAL CENTER
4300 ALTON ROAD, MIAMI BEACH, FLORIDA

A PORTION OF THE MOUNT SINAI MEDICAL CENTER PROPERTY, SAID PROPERTY BEING COMPROMISED OF A COMBINATION OF ISLANDS (COLLINS ISLAND, JOHN ISLAND), SUBDIVIDED LANDS (PORTIONS OF PLAT BOOK 8, PAGE 95 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AND SUBMERGED LANDS, BEING MORE PARTICULAR DESCRIBED AS FOLLOWS:

COMMENCE AT A POINT ON THE BASELINE OF SURVEY FOR STATE ROAD 112 (A95) / JULIA TUTTLE CAUSEWAY AT BASELINE STATION 163+61.25 AS SHOWN ON SHEET 3 OF 7 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY CONTROL SURVEY FOR STATE ROAD 907 / ALTON ROAD, REFERENCE FINANCIAL PROJECT NO. 430444-1, SECTION NO. 87037-001, COMPLETED ON 05-16-2020 THENCE S88°37'04"E, ALONG SAID BASELINE, A DISTANCE OF 756.33 FEET TO BASELINE STATION 171+17.58; THENCE N1°22'56"E DEPARTING SAID BASELINE, AT RIGHT ANGLES TO SAID BASELINE, A DISTANCE OF 279.27 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHEAST, SAID CURVE HAVING FOR ITS ELEMENTS A RADIUS OF 187.00 FEET AND A CENTRAL ANGLE OF 92°29'01"; THENCE WESTERLY, NORTHWESTERLY AND NORTHERLY, ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 301.84 FEET TO THE POINT OF TANGENCY, THENCE N07°09'48"W A DISTANCE OF 80.70 FEET; THENCE N73°13'51"E A DISTANCE OF 2.46 FEET; THENCE N05°58'30" W A DISTANCE OF 86.46 FEET; THENCE N85°09'05"E A DISTANCE OF 24.88 FEET; THENCE S08°00'00"E ALONG THE EXISTING WEST FACE OF THE MOUNT SINAI PARKING GARAGE, A DISTANCE OF 27.02 FEET; THENCE N85°09'22"E ALONG THE EXISTING SOUTH FACE OF PARKING GARAGE, A DISTANCE OF 344.97 FEET; THENCE N06°53'26"W ALONG THE EXISTING EAST FACE OF THE MOUNT SINAI PARKING GARAGE, A DISTANCE OF 30.41 FEET; THENCE N85°09'23"E, DEPARTING SAID EAST LINE AND PERPENDICULAR TO SAID EAST LINE, A DISTANCE OF 38.20 FEET; THENCE S17°58'01"E A DISTANCE OF 165.05 FEET; THENCE S74°47'22"W, ALONG THE NORTH FACE OF THE HARRY PEARLMAN BIOMEDICAL RESEARCH BUILDING AND THE EASTERLY AND WESTERLY PROLONGATION THEREOF A DISTANCE OF 189.68 FEET; THENCE S15°09'42"E, ALONG THE WESTERLY FACE OF SAID BUILDING AND THE NORTHERLY AND SOUTHERLY PROLONGATION THEREOF A DISTANCE OF 165.21 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 104,543 SQUARE FEET (2.400 ACRES) MORE OR LESS.

GENERAL NOTES:

1. ALL RAMPS PROVIDED ALONG THE HDPC ACCESSIBLE ROUTE(S) SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FLORIDA ACCESSIBILITY CODE & ADA STANDARDS. MAX ALLOWABLE SLOPE OF RAMP SHALL BE 12:1 (H:V), WHERE APPLICABLE CURB RAMPS SHALL HAVE FLARED SIDES WITH A SLOPE NOT EXCEEDING 12:1 (H:V)
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS. EACH HANDICAP ACCESSIBLE SPACE SHALL BE POSTED WITH A PERMANENT ABOVE GRADE SIGN - REFER TO HANDICAP PARKING DETAILS PROVIDED.
3. EXISTING CONDITIONS WERE TAKEN FROM A BOUNDARY SURVEY PREPARED BY AVIRON & ASSOCIATES, INC., ORDER NO. 10955; SURVEYED ON 09/04/2018.

SITE DATA

FOLIO	02-3222-011-03
SITE ADDRESS	4300 ALTON ROAD, MIAMI BEACH, FL 33140
1. USE:	EXISTING USE PROPOSED USE
2. NEW BUILDING FOOTPRINT:	54,244 S.F.
3. LAND USE DESIGNATION:	HOSPITAL AS DESCRIBED IN CODE OF ORDINANCES CITY OF MIAMI BEACH
4. ZONING DATA:	HD, HOSPITAL DISTRICT
TOTAL LAND AREA:	2,472,120.77 SQUARE FEET (56.75 ACRE)
BASE FLOOD ELEVATION:	AE, 7
LOT WIDTH:	3096'
LOT DEPTH:	1245'
YARDS:	REQUIRED FRONT YARD: 25 ft REAR YARD: 40 ft SIDE YARD: 15 ft
BUILDING HEIGHT:	150 ft Maximum (REQUIRED) 68' - 2" (PROVIDED)
NUMBER OF STORIES:	6 STORIES
TOTAL HOSPITAL FAR:	0.643 (EXISTING) 0.775 (PROPOSED)

5. PROPOSED PARKING BLDG FOOTPRINT AREA:

2,472,121 S.F. (56.75 ACRE)

SITE AREA:

BUILDING FOOTPRINT:

54,244 S.F. 2.19 %

6. BUILDING COVERAGE:

REQUIRED

PROVIDED:

MAX. AREA CALCULATION, FBC CHAPTER 5			
FRONTAGE	L	W	L x W
L1	70 FT	30	2100
L2	217 FT	20	4340
L3	0 FT	20	0
L4	0 FT	30	0
L5	139 FT	30	4170
L6	62 FT	30	1860
L7	316 FT	20	6320
L8	153 FT	30	4590
L9	169 FT	30	5070
TOTAL	1,126 FT	25,266	28,450

F = 1,126 FT

P = 1,126 FT

If = 0.631660746

NS = 79,000 S.F.

At = 79,000 S.F.

S4 = 3

MAX. AREA = (At + (NS + If)) x S4

MAX. AREA = 386,704 S.F.

MAX. AREA PER FLOOR = 128,901 S.F.

GROSS BUILDING AREA CALCULATION	
GROUND FLOOR	54,244 S.F.
2ND FLOOR	54,244 S.F.
3RD FLOOR	54,244 S.F.
4TH FLOOR	54,244 S.F.
5TH FLOOR	54,244 S.F.
6TH FLOOR	54,244 S.F.
TOTAL	325,464 S.F.

FLOOR AREA RATIO CALCULATION:	
A - NEW PARKING GARAGE AREA	325,464 S.F.
B - EXISTING HOSPITAL AREA	1,590,000 S.F.
C - TOTAL SITE AREA:	2,472,120 S.F.
F.A.R. (A + B) / C:	0.775

7. LANDSCAPED AREA:	NEW LANDSCAPED AREA: 20,860 S.F.
	EXISTING LANDSCAPED AREA TO REMAIN: 3,370 S.F.
	THE OVERALL PERVIOUS AREA REMAINS THE SAME.

8. PARKING DATA:

PARKING COUNT			
TIER	STANDARD	ADA	TOTAL
GROUND FLOOR	154	4	158
2ND FLOOR	159	5	164
3RD FLOOR	159	5	164
4TH FLOOR	159	5	164
5TH FLOOR	159	5	164
6TH FLOOR	135	0	135
TOTAL	925	24	949

9. ZONING DESIGNATION OF ADJACENT PROPERTIES:	CIVIC AND GOVERNMENT USE RESIDENTIAL, SINGLE FAMILY USE RESIDENTIAL MULTIFAMILY, MEDIUM INTENSITY
10. ELEVATIONS:	BASE FLOOD ELEVATION: +7 ft (NGVD 29) GRADE VALUE: +6.26 ft (NGVD 29) ADJUSTED GRADE (BFE + GRADE/2) +6.63 ft (NGVD 29)



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MIAMI BEACH, FLORIDA

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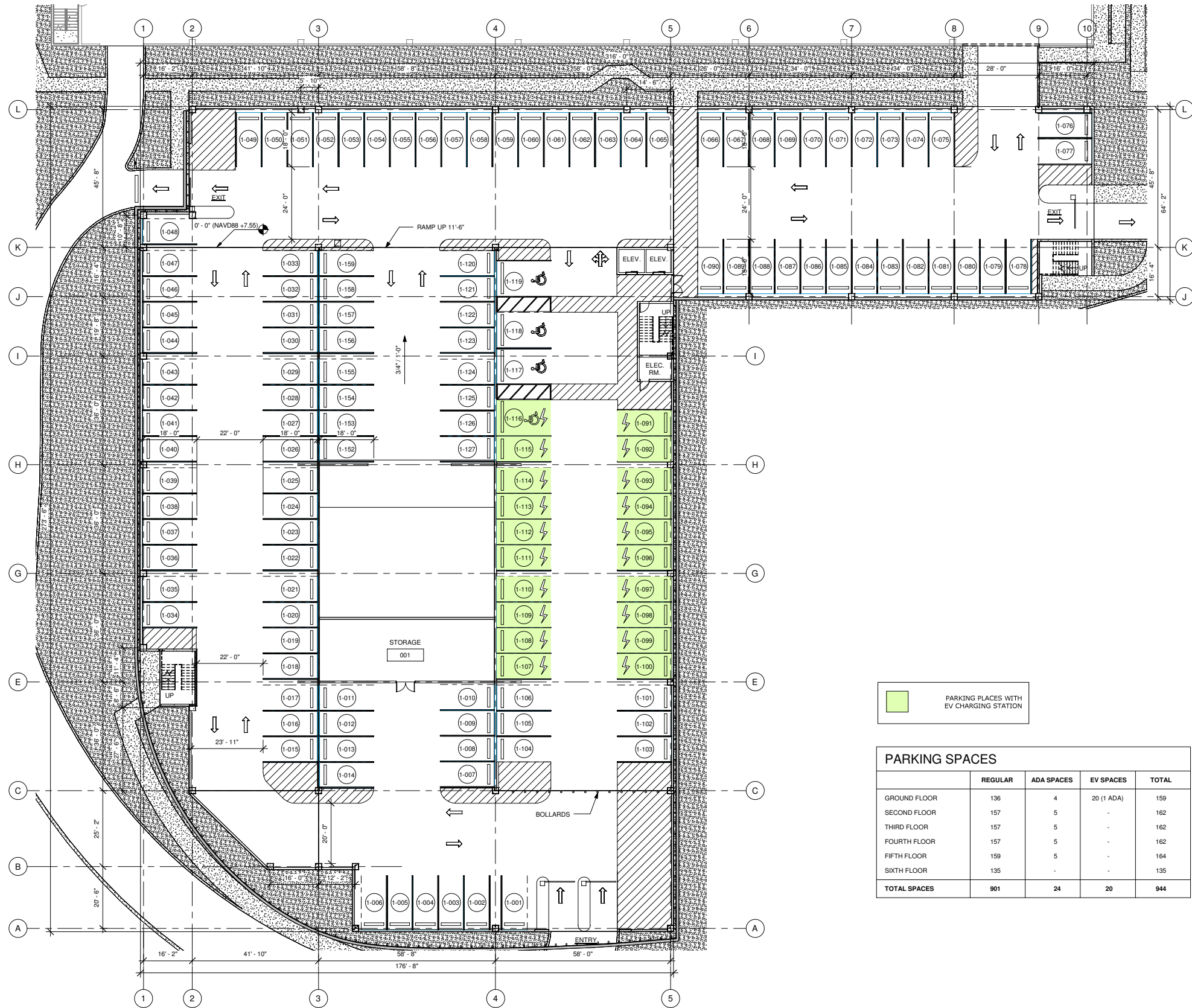
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ARCHITECTURAL
SITE PLAN

SITE PLAN APPROVAL

AR-1.0

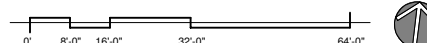
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1 GROUND LEVEL-FLOOR PLAN
AR-2.1 SCALE: 1/16" = 1'-0"

PARKING PLACES WITH
EV CHARGING STATION

PARKING SPACES				
	REGULAR	ADA SPACES	EV SPACES	TOTAL
GROUND FLOOR	136	4	20 (1 ADA)	159
SECOND FLOOR	157	5	-	162
THIRD FLOOR	157	5	-	162
FOURTH FLOOR	157	5	-	162
FIFTH FLOOR	159	5	-	164
SIXTH FLOOR	135	-	-	135
TOTAL SPACES	901	24	20	944



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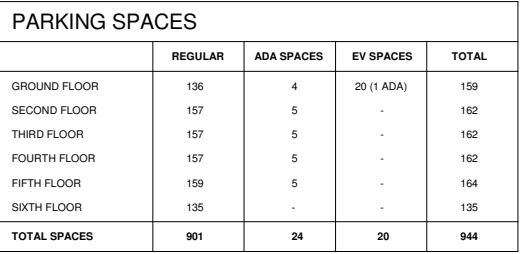
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GROUND LEVEL-
FLOOR PLAN

SITE PLAN APPROVAL

AR-2.1

DATE OF SEAL 03-07-2022



1 LEVELS 2,3,4 &5 - FLOOR PLANS
AR-2.2 SCALE: 1/16" = 1'-0"



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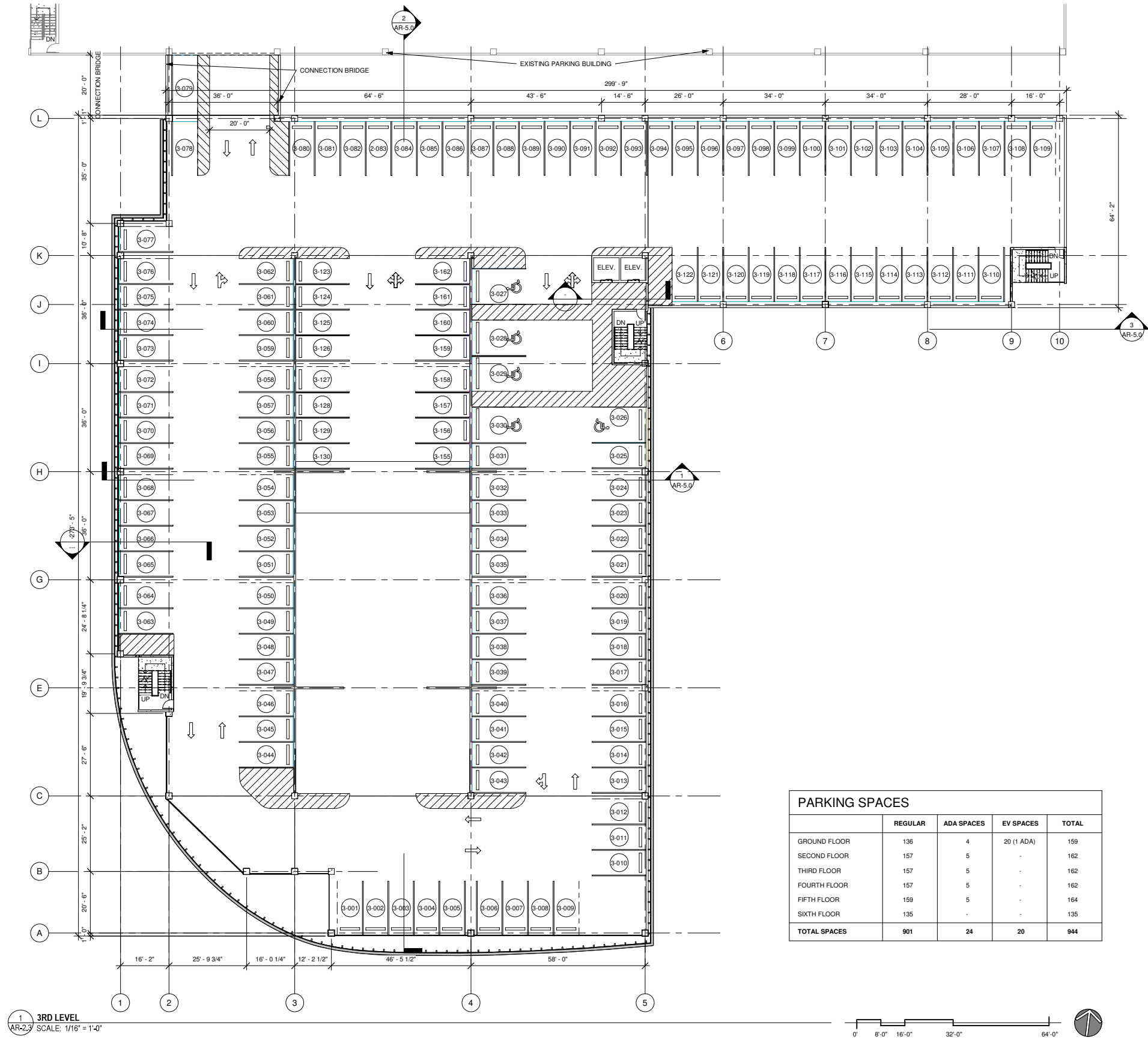
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SECOND LEVEL - FLOOR PLAN

SITE PLAN APPROVAL

AR-2.2



PARKING SPACES				
	REGULAR	ADA SPACES	EV SPACES	TOTAL
GROUND FLOOR	136	4	20 (1 ADA)	159
SECOND FLOOR	157	5	-	162
THIRD FLOOR	157	5	-	162
FOURTH FLOOR	157	5	-	162
FIFTH FLOOR	159	5	-	164
SIXTH FLOOR	135	-	-	135
TOTAL SPACES	901	24	20	944



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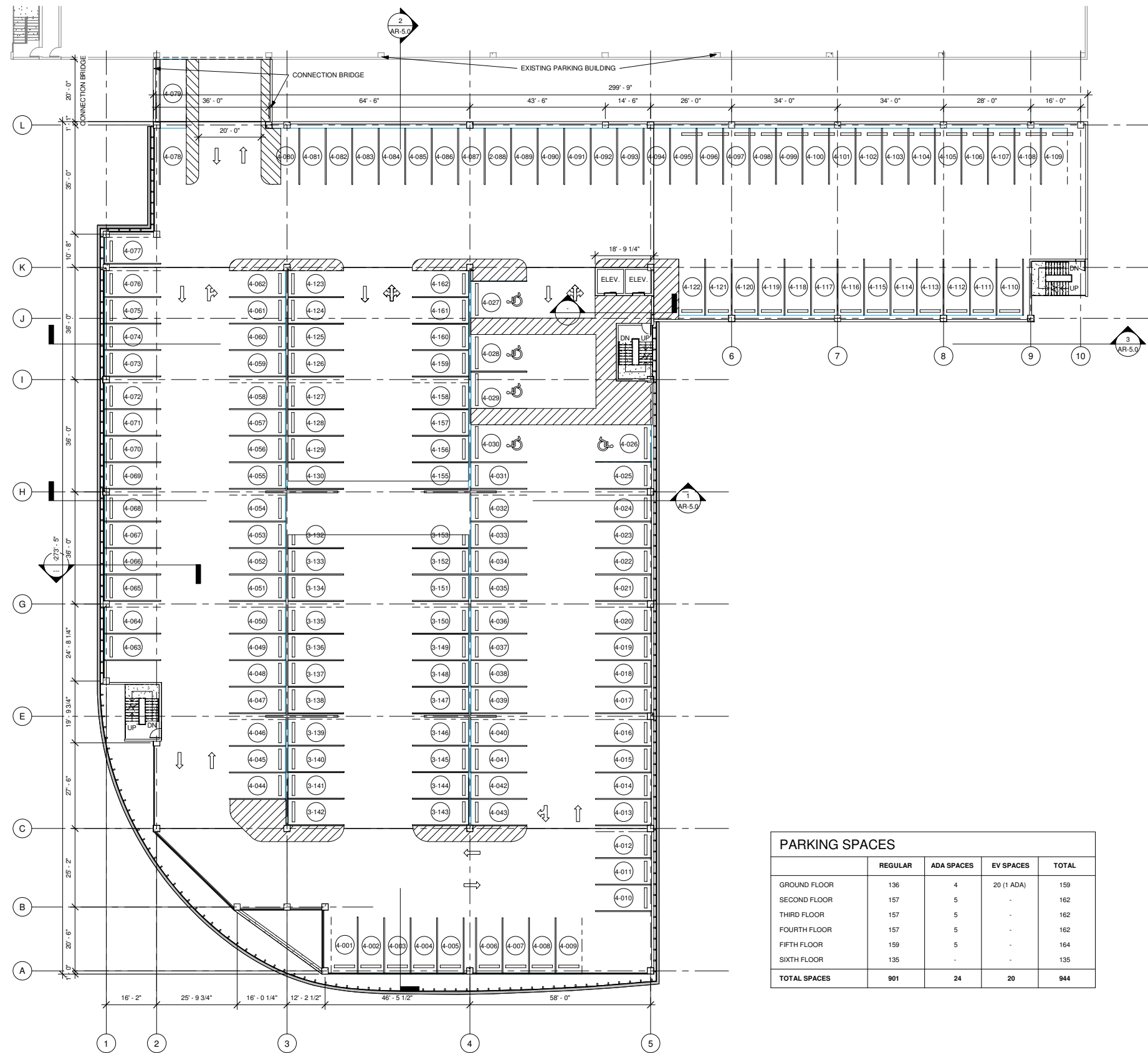
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THIRD LEVEL - FLOOR PLAN

SITE PLAN APPROVAL

AR-2.3



PARKING SPACES				
	REGULAR	ADA SPACES	EV SPACES	TOTAL
GROUND FLOOR	136	4	20 (1 ADA)	159
SECOND FLOOR	157	5	-	162
THIRD FLOOR	157	5	-	162
FOURTH FLOOR	157	5	-	162
FIFTH FLOOR	159	5	-	164
SIXTH FLOOR	135	-	-	135
TOTAL SPACES	901	24	20	944



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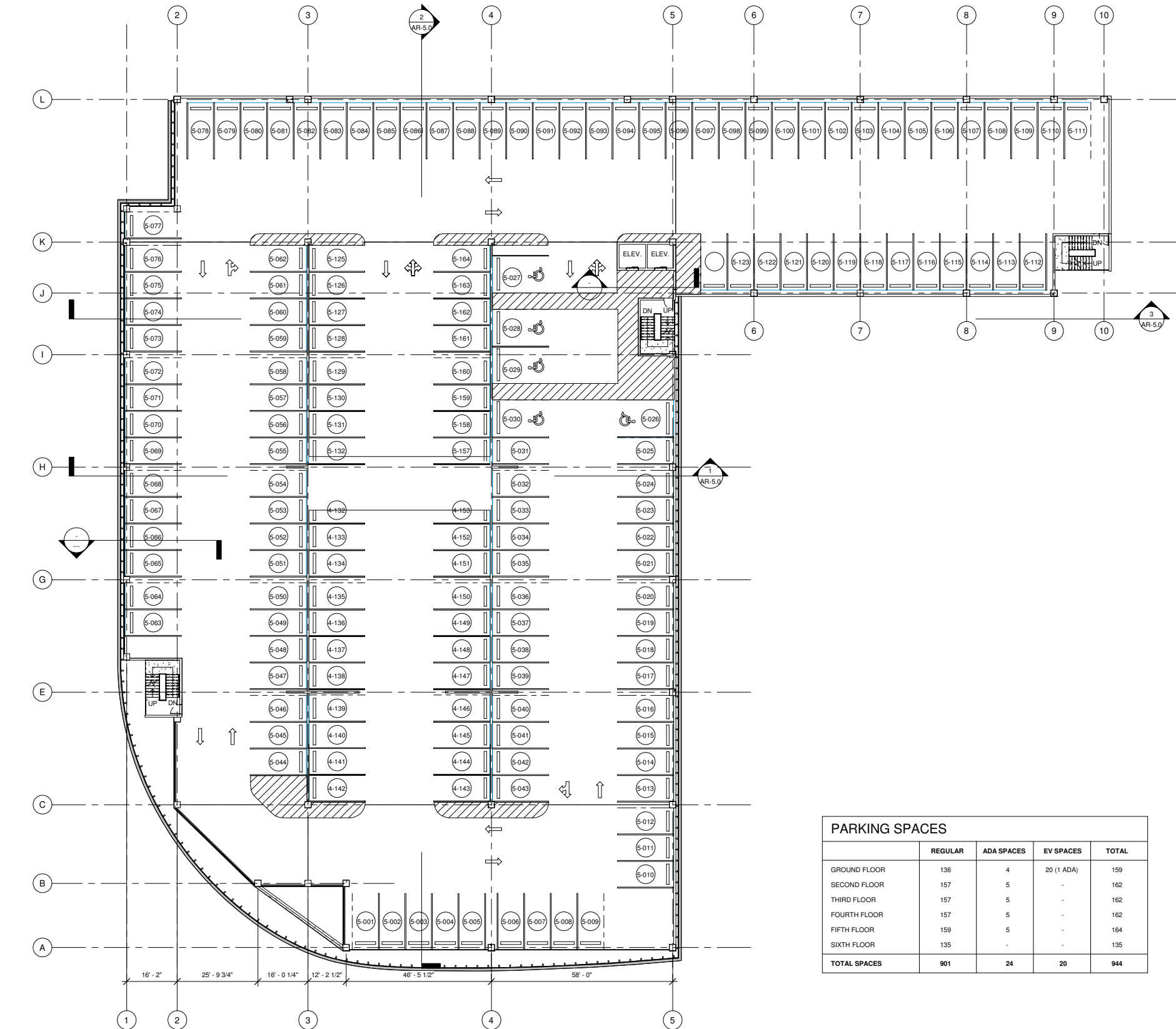
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FOURTH LEVEL -
FLOOR PLAN

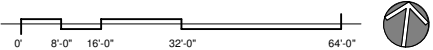
SITE PLAN APPROVAL

AR-2.4



1 5TH LEVEL
AR-2.5 SCALE: 1/16" = 1'-0"

PARKING SPACES				
	REGULAR	ADA SPACES	EV SPACES	TOTAL
GROUND FLOOR	136	4	20 (1 ADA)	159
SECOND FLOOR	157	5	-	162
THIRD FLOOR	157	5	-	162
FOURTH FLOOR	157	5	-	162
FIFTH FLOOR	159	5	-	164
SIXTH FLOOR	135	-	-	135
TOTAL SPACES	901	24	20	944



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FIFTH LEVEL - FLOOR PLAN

SITE PLAN APPROVAL

AR-2.5

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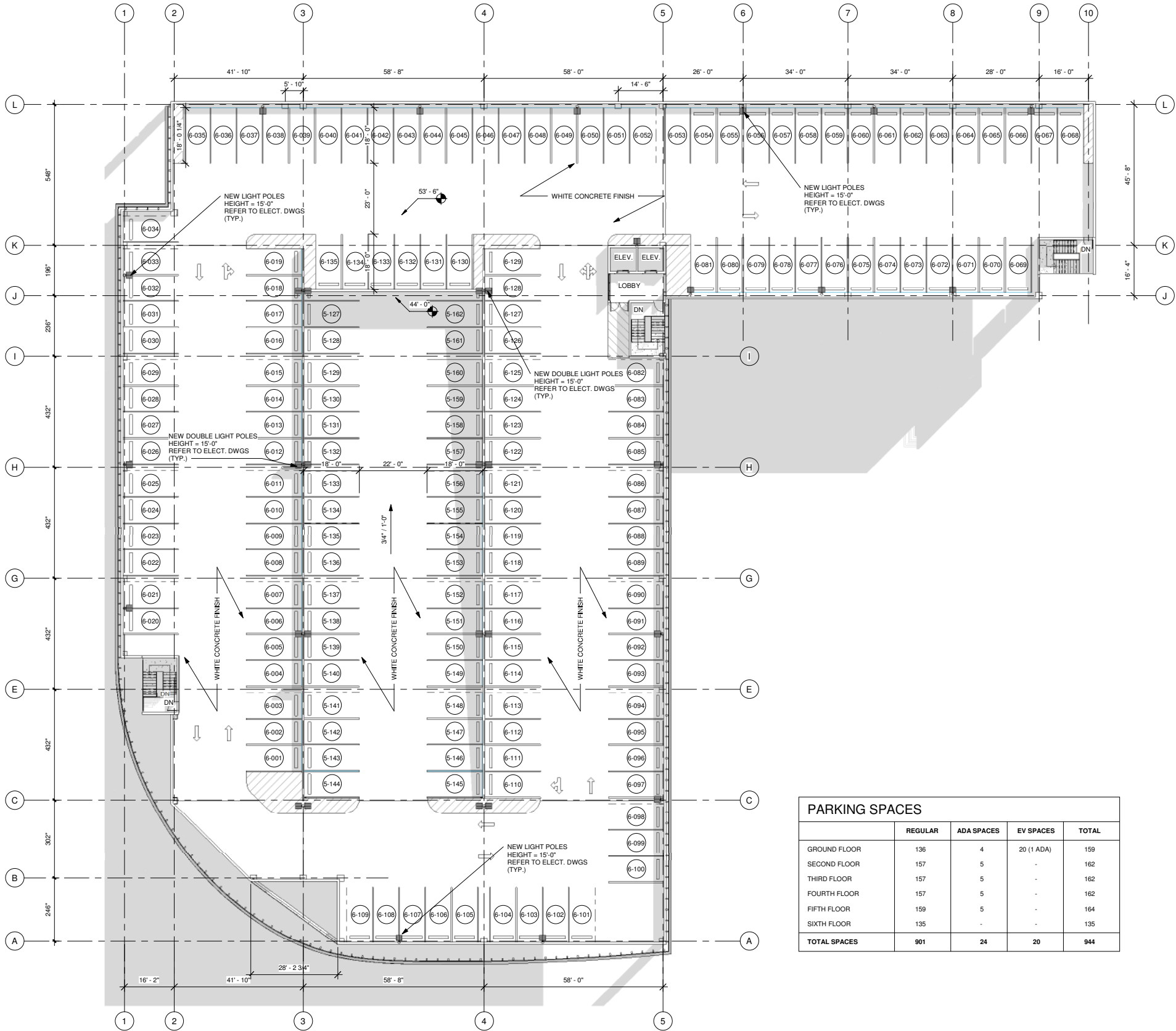
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SIXTH LEVEL - FLOOR
PLAN

SITE PLAN APPROVAL

AR-2.6



1 LEVEL 6 - FLOOR PLAN
AR-2.6 SCALE: 1/16" = 1'-0"

PARKING SPACES				
	REGULAR	ADA SPACES	EV SPACES	TOTAL
GROUND FLOOR	136	4	20 (1 ADA)	159
SECOND FLOOR	157	5	-	162
THIRD FLOOR	157	5	-	162
FOURTH FLOOR	157	5	-	162
FIFTH FLOOR	159	5	-	164
SIXTH FLOOR	135	-	-	135
TOTAL SPACES	901	24	20	944



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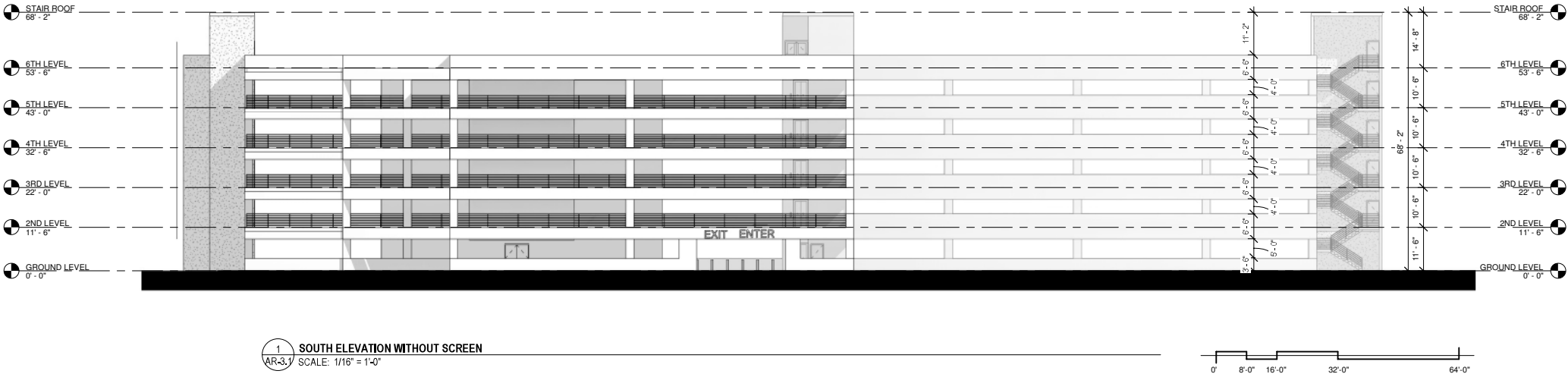
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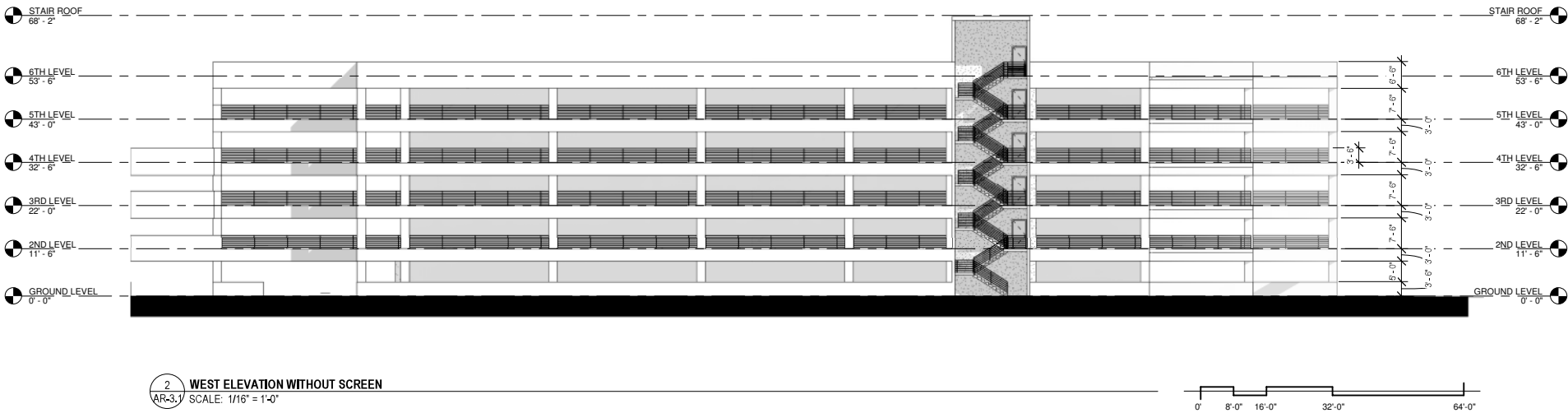
SOUTH & WEST
ELEVATIONS

SITE PLAN APPROVAL

AR-3.1



1 SOUTH ELEVATION WITHOUT SCREEN
AR-3.1 SCALE: 1/16" = 1'-0"



2 WEST ELEVATION WITHOUT SCREEN
AR-3.1 SCALE: 1/16" = 1'-0"



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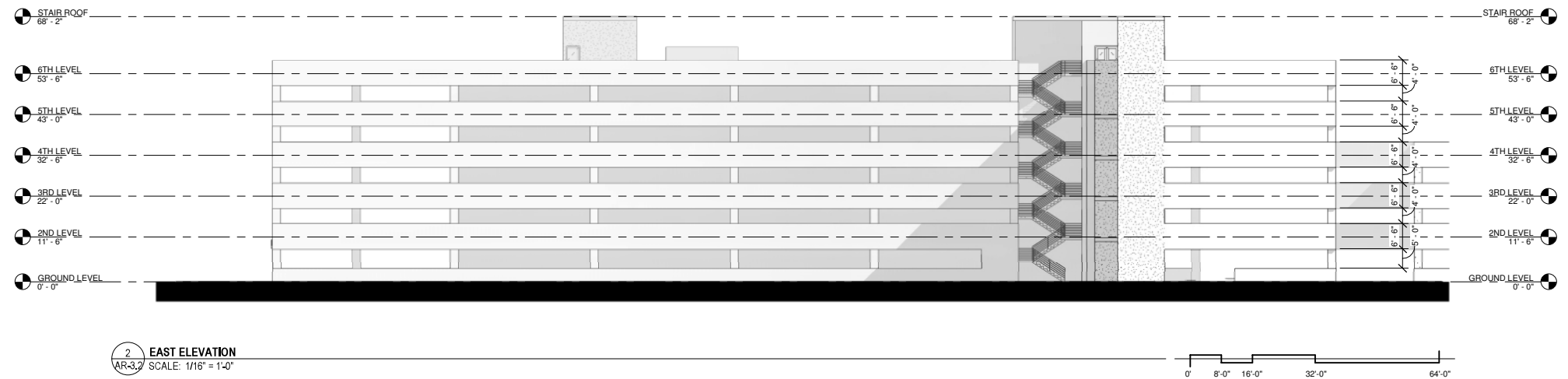
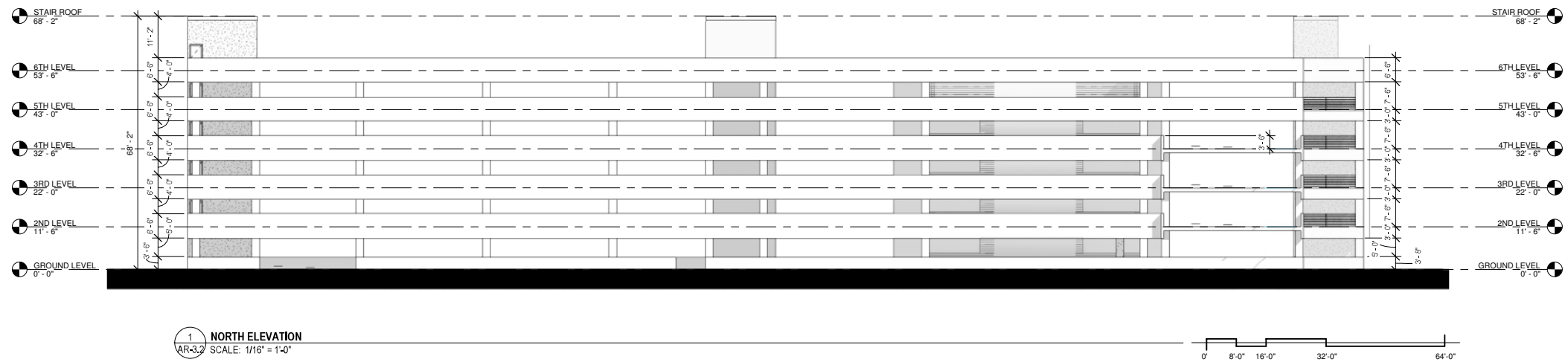
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NORTH & EAST ELEVATIONS

SITE PLAN APPROVAL

AR-3.2





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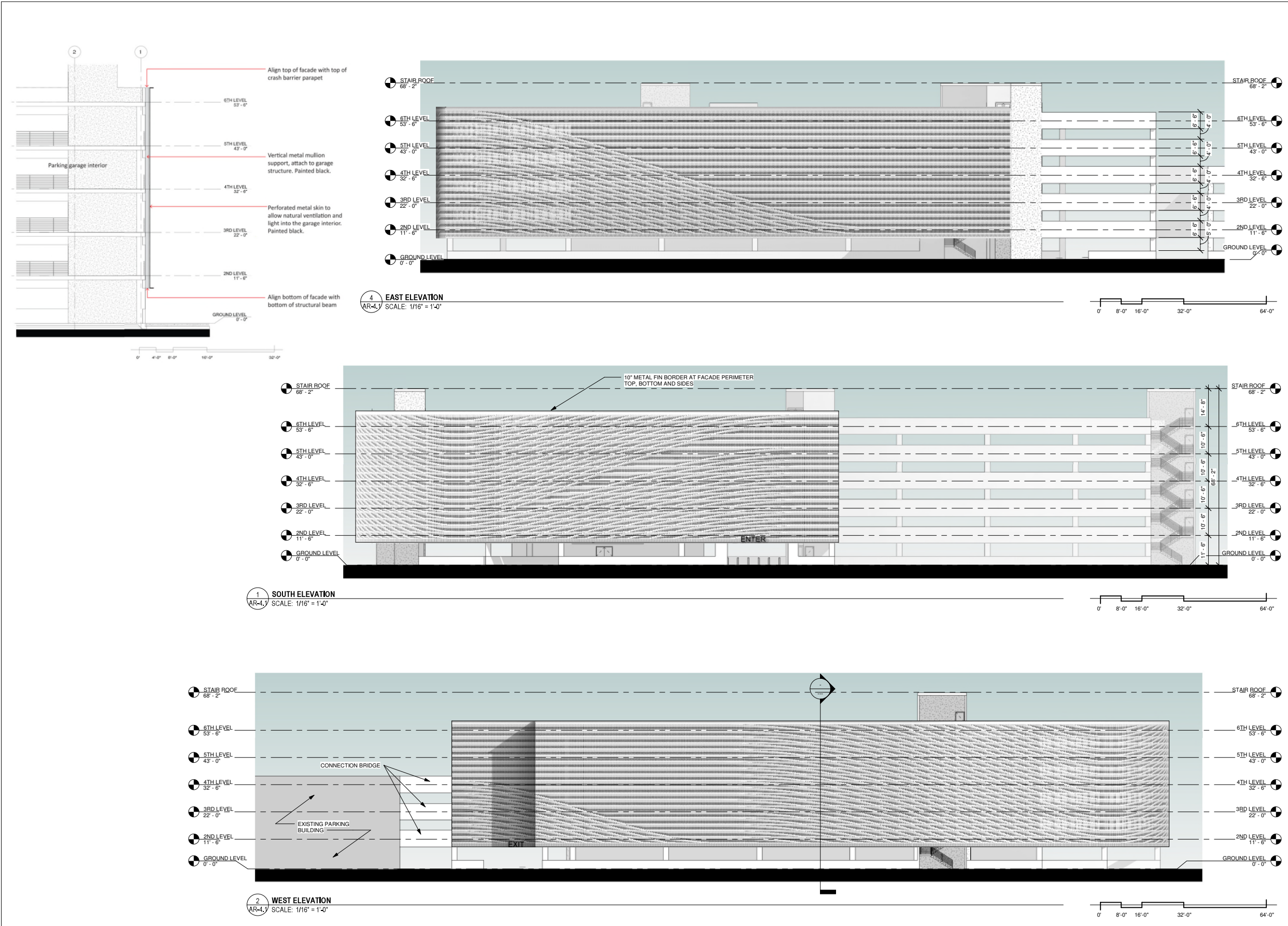
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COLOR ELEVATIONS

SITE PLAN APPROVAL

AR-4.1



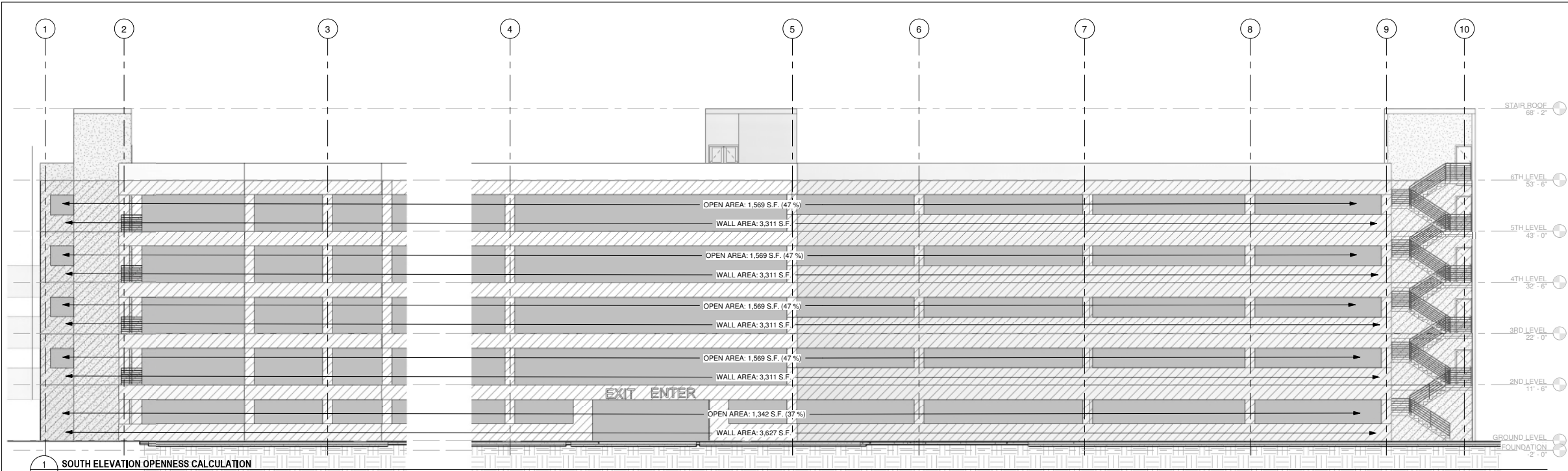
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OPENNESS CALCS.
SOUTH & WEST
ELEVATIONS

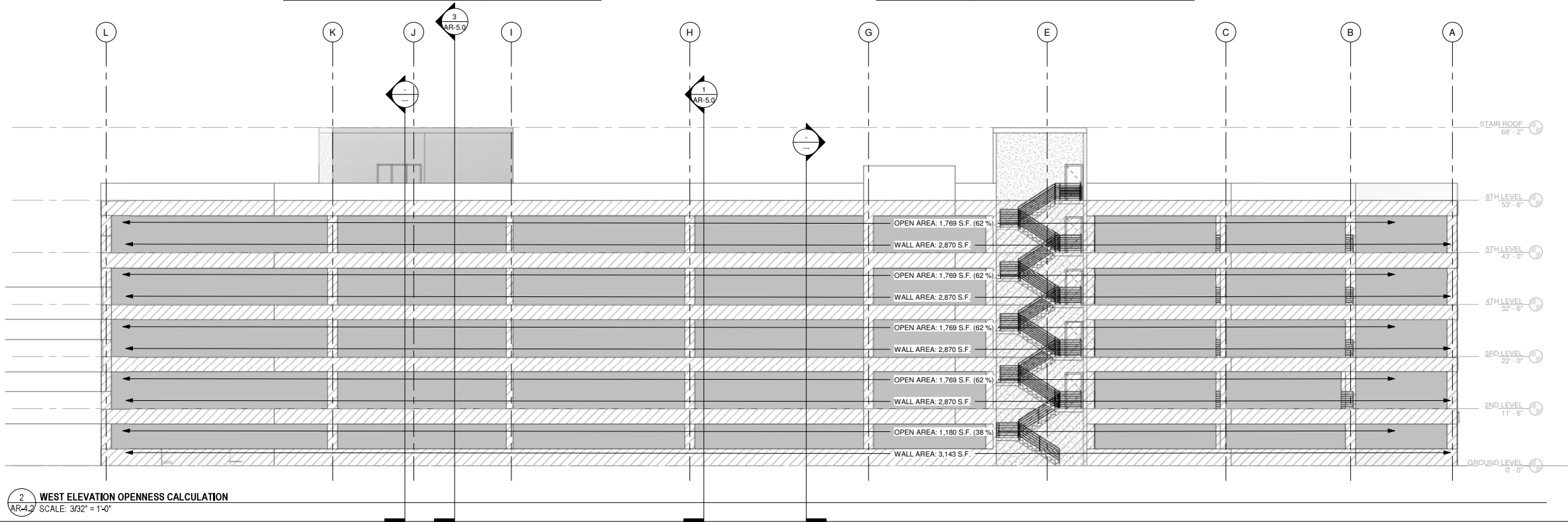
SITE PLAN APPROVAL

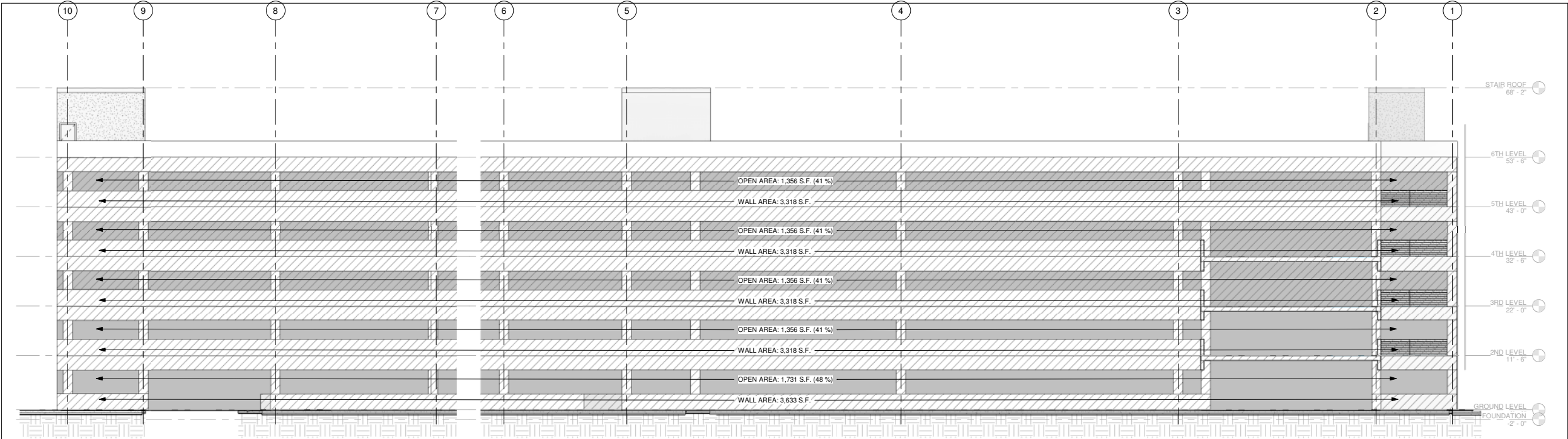
AR-4.2



WEST ELEV. - OPENNESS CALCULATION		
	WALL AREA	OPEN AREA
LEVEL 6	2,870 S.F.	1,769 S.F. (62 %)
LEVEL 5	2,870 S.F.	1,769 S.F. (62 %)
LEVEL 4	2,870 S.F.	1,769 S.F. (62 %)
LEVEL 3	2,870 S.F.	1,769 S.F. (62 %)
LEVEL 2	2,870 S.F.	1,769 S.F. (62 %)
LEVEL 1	3,143 S.F.	1,180 S.F. (38 %)

SOUTH ELEV. - OPENNESS CALCULATION		
	WALL AREA	OPEN AREA
LEVEL 6	3,311 S.F.	1,569 S.F. (47 %)
LEVEL 5	3,311 S.F.	1,569 S.F. (47 %)
LEVEL 4	3,311 S.F.	1,569 S.F. (47 %)
LEVEL 3	3,311 S.F.	1,569 S.F. (47 %)
LEVEL 2	3,311 S.F.	1,569 S.F. (47 %)
LEVEL 1	3,627 S.F.	1,342 S.F. (37 %)

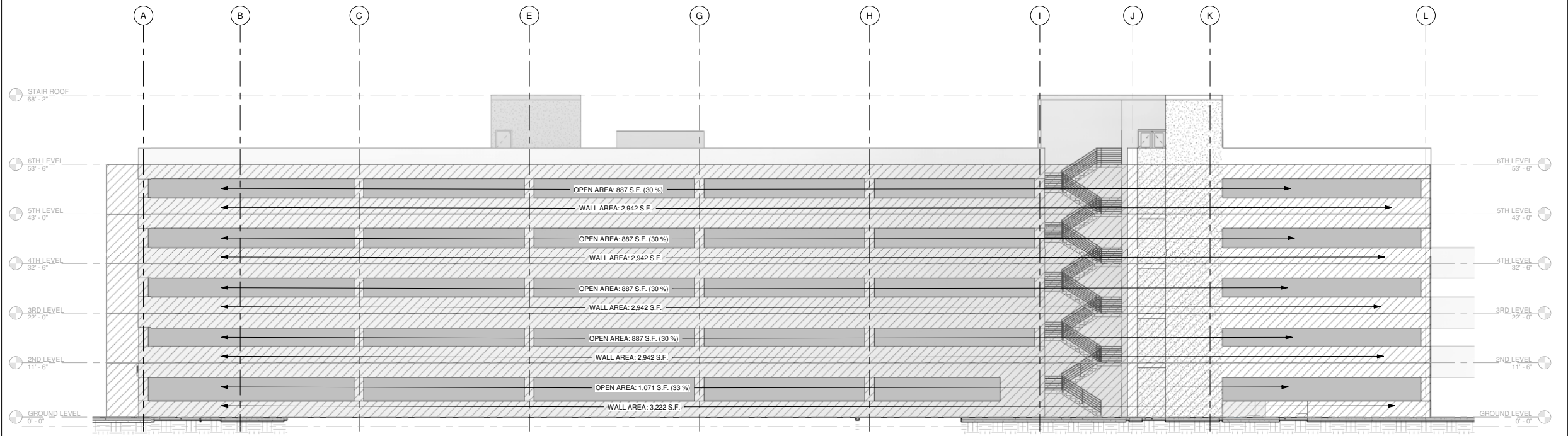




1 NORTH ELEVATION OPENNESS CALCULATION
AR-4.3 SCALE: 3/32" = 1'-0"

NORTH ELEV. - OPENNESS CALCULATION		
	WALL AREA	OPEN AREA
LEVEL 6	3,318 S.F.	1,356 S.F. (41 %)
LEVEL 5	3,318 S.F.	1,356 S.F. (41 %)
LEVEL 4	3,318 S.F.	1,356 S.F. (41 %)
LEVEL 3	3,318 S.F.	1,356 S.F. (41 %)
LEVEL 2	3,318 S.F.	1,356 S.F. (41 %)
LEVEL 1	3,633 S.F.	1,731 S.F. (48 %)

EAST ELEV. - OPENNESS CALCULATION		
	WALL AREA	OPEN AREA
LEVEL 6	2,942 S.F.	886 S.F. (30 %)
LEVEL 5	2,942 S.F.	886 S.F. (30 %)
LEVEL 4	2,942 S.F.	886 S.F. (30 %)
LEVEL 3	2,942 S.F.	886 S.F. (30 %)
LEVEL 2	2,942 S.F.	886 S.F. (30 %)
LEVEL 1	3,222 S.F.	1,071 S.F. (33 %)



2 EAST ELEVATION OPENNESS CALCULATION
AR-4.3 SCALE: 3/32" = 1'-0"



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OPENNESS
CALCULATION
NORTH & EAST
ELEVATIONS

SITE PLAN APPROVAL

AR-4.3



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SECTIONS

SITE PLAN APPROVAL

AR-5.0

