

Exhibit F



RITZ-SAGAMORE



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA (U.S.A.)

Ritz-Sagamore
1 Lincoln Road
Miami Beach, FL 33139

Owner: Di Lido Beach Resort LLC.
Name: EBJ Sagamore LLC.
Address: Sobe Sky Development LLC.
Address: Di Lido Beach Resort Hotel Corporation
Tel:
Email:

Consultant: STUDIO MUNGE.
Name: 25 Wingold Avenue.
Address: Toronto, ON Canada M6B 1P8
Address: 416.588.1668
Tel:
Email:

Consultant: LANDSCAPE ARCHITECT
Name: Naturaliffical.
Address: 6915 Red Road, Suite 224
Address: Coral Gables, FL 33143
Tel: 786.717.6564
Email:

Consultant: MEP
Name: MG Engineering.
Address: 6915 Red Road, Suite 224
Address: 2800 Biscayne Blvd
Tel: Miami, FL, 33137
Email: 305.755.3833

Consultant: Desimore Consulting Engineering
Name: 800 Brickell Avenue, 6th Floor
Address: Miami, FL 33131
Address: 305.441.0755
Tel:
Email:

Architect of Record: Kobi Karp Architecture and Interior Design, Inc.
571 NW 28TH ST
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



COVER
RITZ-SAGAMORE

Date	11-12-2021	Sheet No.
Scale	-	A0.00
Project	2018	

E.R. Brownell & Associates, Inc.

CONSULTING ENGINEERS

LAND PLANNERS

SURVEYORS & MAPPIERS

Miami, Florida, 33155

305-460-3866 (PHONE)

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workrequest@erbrownell.com

2091

FL PROJECT NO.

FL LICENSE NO.

FL REGISTRATION NO.

FL REGISTRATION EXPIRATION DATE

4857 SW 74th COURT

Drawn by: ET/ALS/AT Red

Chk. by: ET/ALS/AT Red

Scale: 1" = 100'

Date: 07/14/2021



Lots 1, 2, 3, 4, 5, 6, 15, 16, 17, 18, 19 and 20, Block 20 of FISHER'S FIRST SUBDIVISION OF ALTON BEACH, a Subdivision of Miami-Dade County, Florida, according to the Plat thereof, as recorded in Plat Book 2, at Page 77 of the Public Records of Miami-Dade County, Florida.

TOGETHER WITH

Beginning at the Northeast corner of Lot 6, in Block 29 as the same is shown and designated upon the Plat recorded in Plat Book 2, at Page 77, of the Public Records of Miami-Dade County, Florida; thence run in an Easterly direction along the Easterly prolongation of the North line of said Lot 6, to a point of intersection with the Erosion Control Line of the Atlantic Ocean, said line recorded in Plat Book 105, at Page 62 of the Public Records of Miami-Dade County, Florida; thence run in a Southerly direction along the said Erosion Control Line to a point of intersection with the centerline of Lincoln Road, as said Road is shown on the above mentioned Plat; thence run in a Westerly direction along the said centerline of Lincoln Road, produced Easterly, to an intersection with the Easterly line of Block 29 produced Southerly; thence run in a Northerly direction along the Southerly prolongation of the Easterly line of said Block 29 and along the Easterly line of said Block 29 to the Point of Beginning.

TOGETHER WITH

A portion of land being a part of the platted Lincoln Road right-of-way as shown on FISHER'S FIRST SUBDIVISION OF ALTON BEACH, a Subdivision of Miami-Dade County, Florida, according to the Plat thereof as recorded in Plat Book 2, at Page 77 of the Public Records of Miami-Dade County, Florida, said land being more particularly described as follows:

Bounded on the South by the platted centerline of Lincoln Road lying Easterly of Collins Avenue as shown on said FISHER'S FIRST SUBDIVISION OF ALTON BEACH, bounded on the West by a line 40 feet Easterly of and parallel with the centerline of Collins Avenue as shown on said FISHER'S FIRST SUBDIVISION OF ALTON BEACH, bounded on the North by the South line of Block 29 of said FISHER'S FIRST SUBDIVISION OF ALTON BEACH and bounded on the East by the East line of Block 29 projected Southerly of said FISHER'S FIRST SUBDIVISION OF ALTON BEACH.

From and above minus ninety (-90) feet NGVD

SURVEYORS' NOTES:

The Bearings and Horizontal coordinates as shown herein are based on the State Plane Coordinate System, Florida East Zone, NAD 83 (1990) (U.S. survey foot) and were derived from observations utilizing a Topcon HIR Plus line, plus, positioning system (GPS), receiver and running TOPSURV software on a Topcon FC-100 field computer/controller, referenced to National Geodetic Survey Monument LIZ, (North 152,239.96 and East 913,953.80). Station LIZ, being a triangulation station, is set in a round concrete monument that is flush with the sidewalk of the LIZ 152,239.96 East line. The monument is located in Elizabeth Steele Park, in the Northeast angle of the intersection of Hialeah Avenue and South Bayshore Drive in the South edge of the city owned property, and verified with two additional GPS control points (designation name C-269-X and FIFTY AK MK 1971) the same provided on the Table A as shown. All coordinates and distances as shown are based on the US Survey foot.

Elevations are referred to the North American Vertical Datum, 1986 (NAVD86). Elevations are based on a City of Miami Beach Benchmark No. 1801 the same being a PK nail and brass washer in the Northeast corner of the intersection of 18th Street and James Avenue, Elevation 4.68 feet (NGVD 1929). The U.S. Army Corps of Engineers program Corvexon v6.0.1 based on the Verticon 2.0 model (1994) was utilized to convert the orthometric height between NGVD29 and NAVD86. The local conversion from NGVD29 to NAVD86 is (-1).56 feet, using as input data the State Plane Coordinates based on NAD83 information obtained by the Florida Department of Transportation (FDOT) in the working level description of the Declaration of Public Use of the property, as amended, may refer to the National Geodetic Vertical Datum (NGVD 29), that define the elevation values between which, the Hotel Units and/or the Commercial Units are located within the building. (USE WITH CAUTION).

The accuracy obtained for all horizontal control measurements, based on a 95% confidence level and office calculations of closed geometric figures, verified by redundant measurements, meets or exceeds the commonly accepted value in the Construction and Surveying Industry equivalent to a linear standard closure of 1 inch in 10,000 feet for Commercial Areas and also is in comply with the Standard Specifications for Highway Construction, Part 100, Section 100-1.1, established by the Florida Board of Professional Surveyors and Mapper as contained in Chapter 53-17.01 Florida Administrative Code (FAC). The elevations as shown are based on a closed level loop to the benchmarks noted above and meets or exceeds a closure in feet of plus or minus 0.05 feet times the square root of the distance in miles, a commonly accepted value in the Construction and Surveying Industry, and also is in comply with the Standard Specifications for Highway Construction, Part 100, Section 100-1.1, established by the Florida Board of Professional Surveyors and Mapper as set forth by the Florida Board of Professional Surveyors and Mapper as contained in Chapter 53-17.01 Florida Administrative Code (FAC).

THIS SKETCH OF BOUNDARY SURVEY does not represent a title High Water Line Survey as defined under Chapter 53-17.05(00g) Florida Administrative Code, nor does this Survey purport to determine the nature and/or limit of ownership interests to the submerged lands adjacent to the subject property. The Subject Property is located within the boundaries of the Miami-Dade County Erosion Control nourishment, an erosion control project where the Erosion Control Line supersedes the Mean High Water Line in authority, pursuant to Chapter 161.101, Florida Statutes. The Erosion Control Line as shown hereon is based on the Legal Description as described on plat of the ESTABLISHMENT OF EROSION CONTROL LINE, DATED 11/11/2010, AND THE EROSION CONTROL LINE, DATED 11/11/2010, Miami-Dade County Florida. Said map was approved by the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida on June 15, 1976.

The Coastal Construction Control Line (CCCL) as shown herein is based on the update survey performed by this office dated March 19, 2015. The location of the Coastal Construction Control Line are referring to PRM 87-78-A12 and PRM 87-78-A13 as shown on the plat of the Coastal Construction Control Line recorded in the public records of the State of Maryland. The Coastal Construction Control Line is also approved by the State of Florida Department of Natural Resources (now known as the Department of Environmental Protection) on January 15, 1982 were used in the location of the CCCL. The PRM(s) were not recovered on March 19, 2015. The coordinates values for said PRM 87-78-A11 and 87-78-A12 as they are shown on said Plat Book 74 at Page 25 were converted to NAD83 by the United States Coast and Geodetic Survey, U.S. Army Corps of Engineers program V6.0.1.

The Bulkhead Line is based on a drawing supply by the City of Miami Beach, Florida, described on drawing page Number SM-93F, Erosion Control line and Coastal Construction Control Line, dated April 1993.

Right of Way as shown is based on the recorded Plat and the record description and has not been abstracted by the Surveyor. Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

A portion of the Subject Property lies within a Special Flood Hazard Area (SFHA) shown on the National Flood Insurance Program's Flood Insurance Rate Map for Miami-Dade County, Florida and Incorporated Areas Map No. 12098C0317L, Community No. 120651, bearing an effective/revised date of September 11, 2009. Said map delineates most of the described land to be situated within Zone AE, having a determined base flood elevation of 8 feet as shown. Also said Flood Map delineates the remaining portion of land of the subject property herein described to be situated within Zone X, lying within an area outside of the 0.2% annual chance floodplain. **Note:** The Subject Property is located West of the Erosion Control Line as shown.

Note: About Flood Zone and Base Flood Elevation: A note on the face of the Flood Insurance Rate Maps (FIRM maps) from the National Flood Insurance Program (NFIP) stated that the Base Flood Elevations for Mann-Dade County are reliable and have been determined by the Federal Emergency Management Agency (FEMA). It should be aware that Base Flood Elevations (BFEs) shown on the FIRM represent rounded whole-foot elevations to be used for insurance purposes only and should not be used as the sole source of flood elevation information. Also, the surveyors' notes indicate that the BFEs were based on the NAVD83 datum. The datum specified herein are refer to the North American Vertical Datum, 1988 (NAVD83) and the boundary limits of Flood Zone designation may be in a different location respect to the actual boundary shown on the survey. When using the NAVD83 datum, the surveyor must adjust the actual values shown on the map and expected to be different than the actual values displayed on the Flood Insurance Rate Maps (FIRM Maps). Said Flood Maps and Flood Zones Limits shall be taken as they are plotted relative to the NGVD 29 datum. USE WITH CAUTION!

The Subject Property, as described hereon lying West of the Erosion Control Line, contains 208,047 square feet more or less (4.776 Acres, more or less). The area calculation stated herein includes the areas for Commercial Units "A", "B-1" and "B-2" as described in the Amendment to Declaration of Di Lido Condominium and the Amendment to the Bylaws of the Di Lido Condominium Association, Inc., recorded in Official Record Book 23068 at Page 3561. The total area of Commercial Unit "A" is 17,130.19 square feet (or 0.39 Acres) more or less, the total area of Commercial Unit "B-1" is 1,015.38 square feet (or 0.02 Acres) more or less, and the total area of Commercial Unit "B-2" is 1073.30 square feet (or 0.02 Acres) more or less, based on the legal description shown hereon.

The floor area as annotated and shown hereon as the "Limit of the Building Line Above" contains 81,140 square feet more or less. This is not the gross building area nor has the floor area been adjusted to delete the area for the aforementioned Commercial Unit "B-2" nor the Hotel Unit.

There are 136 total available parking spaces lying within the 2 parking Levels of the Parking Garage including 133 standard parking spaces and 3 parking space available as charging stations. Areas of the parking garage are being used for storage with a reduction of parking garage available when compared with updates provided in this survey before. There are also two parking areas for motorcycle (not striped or separated by a chain link cage) within the parking facility not included in parking totals noted hereon. Noting that 1 surface handicap parking space as well as 5 other parking spaces are located outside of the premises at street level for public use, which has not been included in the parking count noted hereon. The building has a drop off area for valet parking available to the user.

No encroachments were noted by this survey, except as shown in the plan. Only the surface indicators of the underground utilities have been located in the field. The client has not provided underground records, nor have they been obtained from the utility companies. The location of the underground utilities cannot be verified by the utilities in addition to those evidenced by visible appearances shown on the sketch. The location of underground utility lines on or adjacent to the property was not secured. This Sketch of Boundary Survey does not reflect any existing or proposed encroachments or easements, nor does it reflect any encroachments ascertainable by visual inspection as a result of flooded areas, overgrown vegetation or fill material placed on the subject property within the Right of Way of the adjacent street. The location of the underground utilities cannot be verified by the utilities. This Sketch of Boundary Survey does not extend beyond the elevations and surface locations of the utilities and improvements depicted hereon. The Surveyor has not performed subsurface investigation for underground facilities or features on or adjacent to the subject property. The Surveyor does not warrant or verify the location of utility locations with the appropriate utility provider before using.

Vegetation types and locations are labeled and shown hereon. All existing vegetation is part of a man-made landscaping area built between the east property line of the subject property and the most seaward edge of the dune. Limits of the most seaward existing edge of the beach dunes are also shown. (Tree table has not been updated on this ALTA Survey dated 11/12/2020 as per client request). Therefore, the tree information provided herein remain the same as it was provided under ALTA Survey dated 11/27/2018 (revision No. 24) and later partial updated on 04/26/2019 (revision No. 25) and prepared by this office under sketch number LS-2042E for Job number 57566H / 55997).

Topographic contours were established to a one-foot contour interval throughout the dune system with a minimum of three transect in the shore-normal direction from the erosion control line (property line) to the 0.0 wet contour line elevation. Note: Contour intervals and transect profiles has not been updated on this ALTA. Survey dated 11/10/2020 as per client request and therefore the depicted information is the same as reported under ALTA Survey Revision dated 04/26/2019 under LS-2042-E job number 57556H / 55569J.

Dimension and location of the visible foundation outlines of any existing structure within the subject property are shown on this survey with bearing a distance measured perpendicular to the Coastal Construction Control Line. The same established accordance to Plat Book 74 at Page 25 of the Public Records of Miami Dade County, Florida. The several perpendicular bearing and distance intersection with said CGCL line for each visible foundation outlines and/or existing structure are shown on this survey. Also, the location of each point on the intersection with the CGCL line, the location of intersection with the north and south property lines as measured along the CGCL line are shown hereon. Dimension and location of existing major structures within the subject property are immediately adjacent to the north and south property lines are shown hereon.

The names of the adjoining owners and the associated tax folio number and property address are based on the web based Miami-Dade County Property Appraiser's Property

There is no visible evidence of any kind of any earth moving or building construction within recent months on the subject property.

There is no evidence of proposed changes in street right of way lines made known to the Surveyor. There is no observable evidence of recent street or sidewalk construction, or repairs observed in the process of conducting the field work.

There is no observable evidence that any portion of site lies within a wetland area nor was there any evidence provided to the surveyor that the site was delineated as a wetland area by the appropriate authorities.

NOTE: Zoning information was not updated on this Alta Survey, and it has been shown hereon for informational purposes only, as it was available on the source of information as noted on page 2 of 10. The client should verify the information with the government entity responsible to establish zoning requirements within the City of Miami Beach.

NOTE all recording references noted hereon, refer to the Public Records of Miami Dade County, Florida, unless otherwise noted.

NOTE: Elevations and location of the contour lines as shown hereon (including the location of the Mean High-Water Line, the Seasonal High-Water Line and the Transect Cross Sections,) were not updated on this revision dated 11/0/2020 as per client request. The client is warned that actual elevations and contour lines as today, may have changed along the entire beach located East of the Erosion Control Line, as the result of the effects that Hurricane Seasons between 2017 and 2020 could have had on the shape and elevation of the coastline, including the submerged lands within the City of Miami Beach.

This sketch shown here on its graphic form is the record depiction of the surveyed lands described herein, as updated in the field to reflect the current conditions on the property on July 14, 2021 and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. This survey is intended for the use of the parties to whom this survey is certified for use. For this map is intended to be displayed at a horizontal scale of: 1" = 33' for Page 1, 1" = 20' for pages 3 through 6, scale as shown for page 7, 1" = 30' or page 8, 1" = 20' for page 9 or smaller, and scale as shown for page 10. **Caution the scale of this drawing may have been altered by duplication, verify with the Graphic Scale and/or dimensional calls to determine if a scale factor applies.**

SURVEYOR'S CERTIFICATION:

TO: The City of Miami Beach

This is to certify to the herein named firm and/or persons, that in my professional opinion, this map or plat of the herein described property is true and correct as recently surveyed and plotted under my direction. I further certify that this map or plat and the survey on which it is based meets the Standards of Practice, adopted by the Florida Board of Professional Surveyors and Mappers as set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472.007, Florida Statutes and is a "BOUNDARY SURVEY" as defined therein.

Dated this: August 30, 2021. (Revised as noted)

E.R. BROWNELL & ASSOCIATES, INC.
Certificate of Authorization LB 761
On behalf of the firm, signed by:

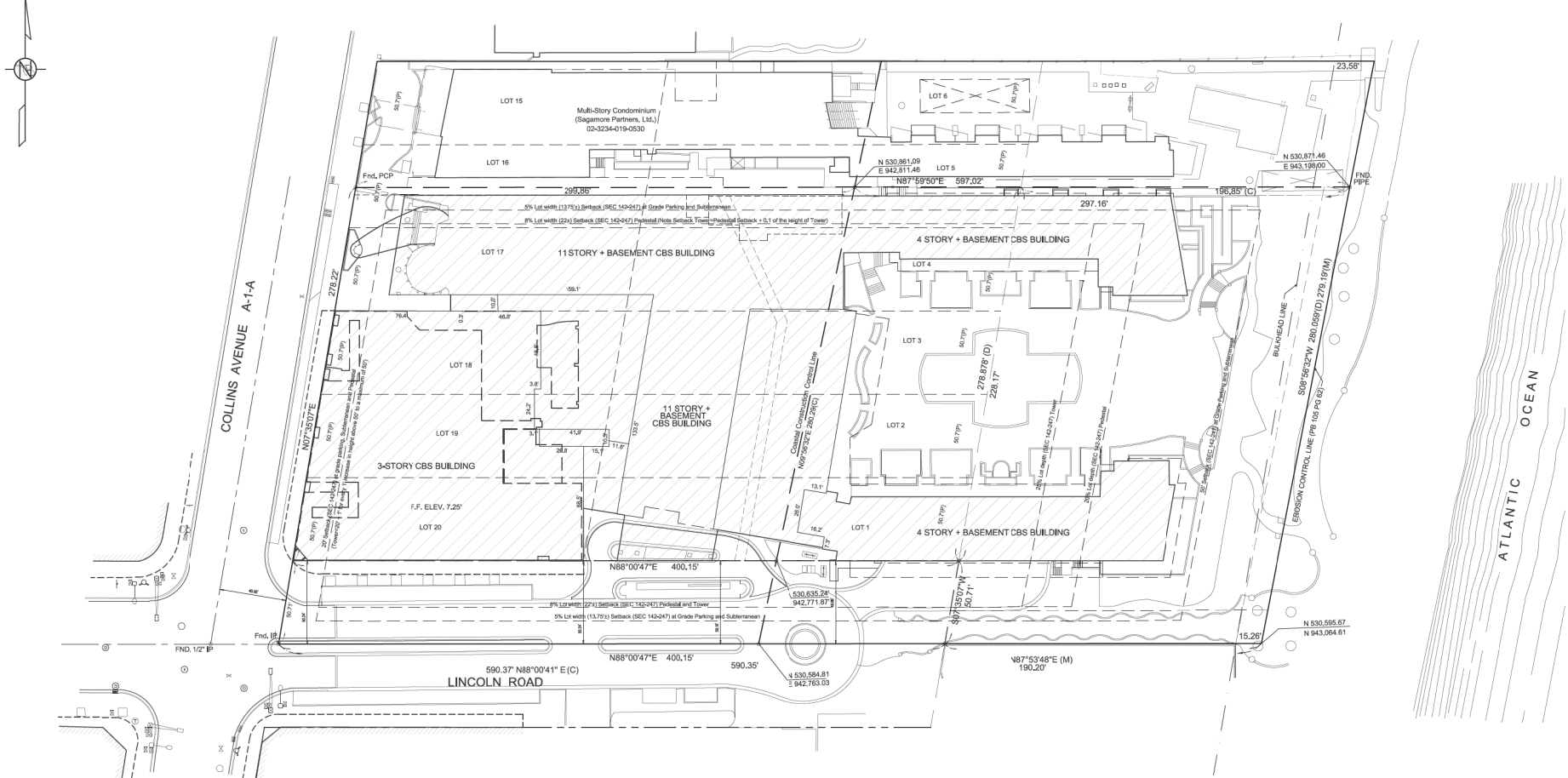
Digitally signed by Thomas

Brownell
Date: 2021.09.03
18:28:07-04'00

The survey map and notes and/or report or the copies thereof, consisting of 10 sheets where each sheet shall not be considered full, valid and complete unless attached to the others and is not valid without the original signature and seal of a Florida Licensed Surveyor and Mapper on Sheet 1 of 10. Any additions or deletions to the description and accompanying sketch by other than the signing party or parties is prohibited without written consent of the signing party or parties.

Plot Date: 9/3/2021
Saved by: jguarnera
20210903_0023 sacamore b043111042210011 6-30-2021

SKETCH OF BOUNDARY SURVEY



NOTE: ZONING INFORMATION

The Subject Property lies within the Ocean Drive/Collins Avenue Historic District within the Miami Beach Architectural District based on the map of the Historic Districts and Sites of the City of Miami Beach, last revised December 15, 2011 as prepared by the City's Planning Department (and depicted on the City of Miami Beach Official Website - www.miamibeach.gov).

The Subject Property lies within the RM-3 residential multifamily, high intensity district based on the Official Zoning Map of the City of Miami Beach, adopted September 21, 1989, effective October 1, 1989, last revised October 17, 2011 as prepared by the City's Planning Department (and depicted on the City of Miami Beach Official Website - www.miamibeach.gov). The height requirements for the RM-3 residential multifamily, high intensity district, pursuant to the Miami Beach Code of Ordinances, codified through Ordinance No. 2012-3706, enacted June 6, 2012 (Supp. No. 50), under Subpart B, Chapter 142, Article II, Division 3, Subdivision V, Sec. 142-240(b) are as follows:

Maximum Building Height (Feet): 150 feet. Oceanfront lots 200 feet. Architectural district new construction 120 feet, ground floor additions (whether attached or detached) to existing structures on oceanfront lots 50 feet (except as provided in Section 142-1161).
Maximum Number of Stories: 16 stories; Oceanfront lots 22 stories; Architectural district new construction 13 stories, ground floor additions (whether attached or detached) to existing structures on oceanfront lots 5 stories (except as provided in Section 142-1161).
NOTE: The height referenced herein is in "STORIES", where the existing structure is a maximum of 11 stories.

The setback requirements for the RM-3 residential multifamily, high intensity district, under Sec. 142-247, of said Code of Ordinances are as follows:

NOTE:
ZONING INFORMATION WAS NOT UPDATED ON THIS ALTA SURVEY AND IT IS SHOWN HEREON FOR INFORMATIONAL PURPOSES ONLY AS IT WAS AVAILABLE ON THE SOURCE OF INFORMATION AS NOTED ABOVE. THE CLIENT SHOULD VERIFY THE INFORMATION WITH THE GOVERNMENT ENTITY RESPONSIBLE TO ESTABLISH ZONING REQUIREMENTS WITHIN THE CITY OF MIAMI BEACH.

At-grade parking lot on the same lot: Front - 20 feet; Side, Interior - 5 feet or 5% of lot width, whichever is greater; Side, Facing a Street - 5 feet, or 5% of lot width, whichever is greater; Rear - Non-oceanfront lots 5 feet, Oceanfront lots 50 feet from bulkhead line.
Subterranean: Front - 20 feet; Side, Interior - 5 feet, or 5% of lot width, whichever is greater; (0 feet if lot width is 50 feet or less); Side, Facing a Street - 5 feet, or 5% of lot width, whichever is greater; Rear - Non-oceanfront lots 0 feet, Oceanfront lots 50 feet from bulkhead line.
Pedestal: Front - 20 feet; Side, Interior - Sum of the side yards shall equal 15% of lot width Minimum 7.5 feet or 8% of lot width, whichever is greater; Side, Facing a Street - Sum of the side yards shall equal 15% of lot width Minimum 7.5 feet or 8% of lot width, whichever is greater; Rear - Non-oceanfront lots 10% of lot depth, Oceanfront lots 20% of lot depth, 50 feet from the bulkhead line, whichever is greater.
Tower: Front - 20 feet + 1 foot for every 1 foot increase in height above 50 feet, to a maximum of 50 feet, then shall remain constant; Side, Interior - The required pedestal setback plus 0.10 of the height of the tower portion of the building. The total required setback shall not exceed 50 feet; Side, Facing a Street - Sum of the side yards shall equal 15% of the lot width Minimum 7.5 feet or 8% of lot width, whichever is greater; Rear - Non-oceanfront lots 10% of lot depth, Oceanfront lots 25% of lot depth, 75 feet minimum from the bulkhead line, whichever is greater.

The zoning requirements stated herein are based on the sources as noted. It should also be noted that the setback requirements at the time of construction of the existing structure may have varied from the current requirements. Apparent setback encroachment may not indicate non-compliance with the herein stated requirements. There were variances obtained for setback, height, FAR allowances and other restrictions not disclosed herein, contact the City of Miami Beach Planning Department for an Official Zoning Determination. The determination of "Zoning Compliance" lies outside the scope of this survey.

NOTE:

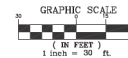
Elevations and location of the contour lines as shown hereon (including the location of the Mean High Water Line, the Seasonal High Water Line and the Transect Cross Sections) were not updated on this revision dated 11-10-2020 as per client request. The client is warned that actual elevations and contour lines as today, may have changed along the entire beach located East of the Erosion Control Line, as the result of the effects that Hurricane Seasons between 2017 and 2020 could have had on the shape and elevation of the coast line, including the submerged lands within the City of Miami Beach.

SYMBOL LEGEND:

- Drain
- Manhole Drain
- Light Pole
- Sign
- Meter Electric
- Meter Water
- Survey Point
- Street Light Pole
- Fire Hydrant
- Manhole Telephone
- Manhole Unmarked
- Catch Basin
- Guard Post
- Water Valve Cover
- Manhole Silver
- Parking Meter
- Signal Mast Arm
- Manhole Electric
- Valve Gas
- Manhole Wall
- Manhole Greasecap
- Spot Elevation
- Ground Spot Elevation
- Proposed Elevation Data

ABBREVIATIONS:

- P.L.T. Planter
- CONC. Concrete
- C.L.F. Chain Link Fence
- O.H. Overhang
- N.G.V.D. National Geodetic Vertical Datum
- N.A.S.D. North American Datum
- P.O.B. Point of Beginning
- U.S.C.E. United States Corp of Engineers
- P.M. Permanent Reference Marker
- N.G.S. National Geodetic Survey
- C.R.B. Chain's File Number
- C.F. No. Easement
- E.M.T. Easement
- P.G. Page
- D.B. Deed Book
- D.R. Deed
- M.D. Measure Distances
- R.D. Recorded Distances
- C.B. Chain
- B.F. Boundary Flood Elevation
- C.M. Commercial Unit
- P.B. Plot Book
- P.O.B. Point of Beginning
- F.F.E. First Floor Elevation
- P.O.C. Point of Commencement



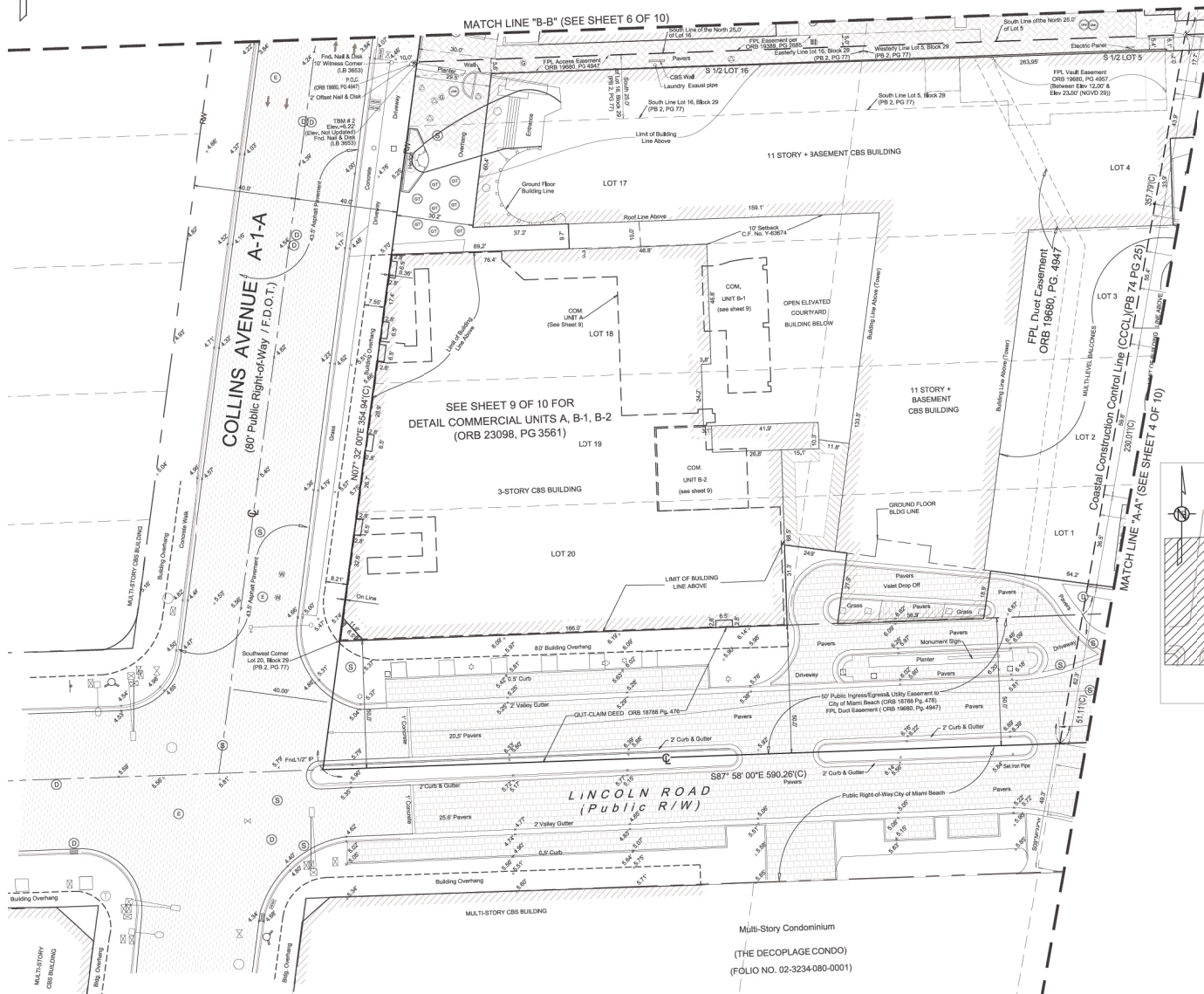
THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL

E.R. Brownell & Associates, Inc.
SURVEYORS & MAPPERS
LAND PLANNERS
CONSULTING ENGINEERS
4957 SW 74th COURT
305-860-3866 (PHONE)
work@erbrownell.com
JTB/ALS/JTB
1" = 30'
DATE: 07/14/2021
PROJECT: 2020-001
SHEET: 2 OF 2
J.N. 58209
Sk. No.
LS-3401

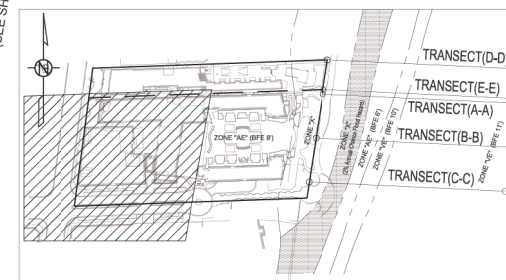


NOTE:

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KEY PLAN



NOTE:
ALL BUILDING HEIGHTS ARE REFERENCED TO THE SIDEWALK AT
THE SOUTHEAST CORNER OF THE 3 STORY CBS BUILDING ON
LINCOLN ROAD.

SYMBOL LEGEND

ABBREVIATIONS

[illegible]

THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL

E.R. Brownell & Associates, Inc.
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workrequest@erbrownell.com
F.B. FILE
JUL/AUG 94 Ref.
PLS/PSP No. 2891

LS-3401

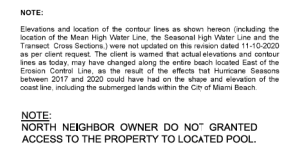
Plot Date: 9/3/2021
 Saved by: jquarmacio
 Project: 168209 sagamore
 File: 168209_sagamore_hires\UDWC\58209 LS-3401 BOUNDARY SURVEY SAGAMORE & RITZ CARLTON HOTEL 01-15-21 FINAL.dwg



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



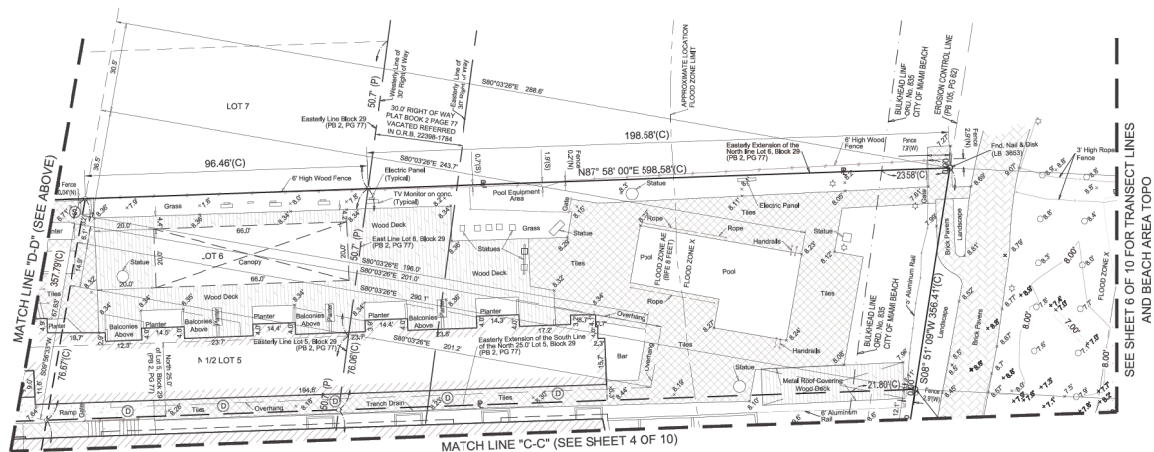
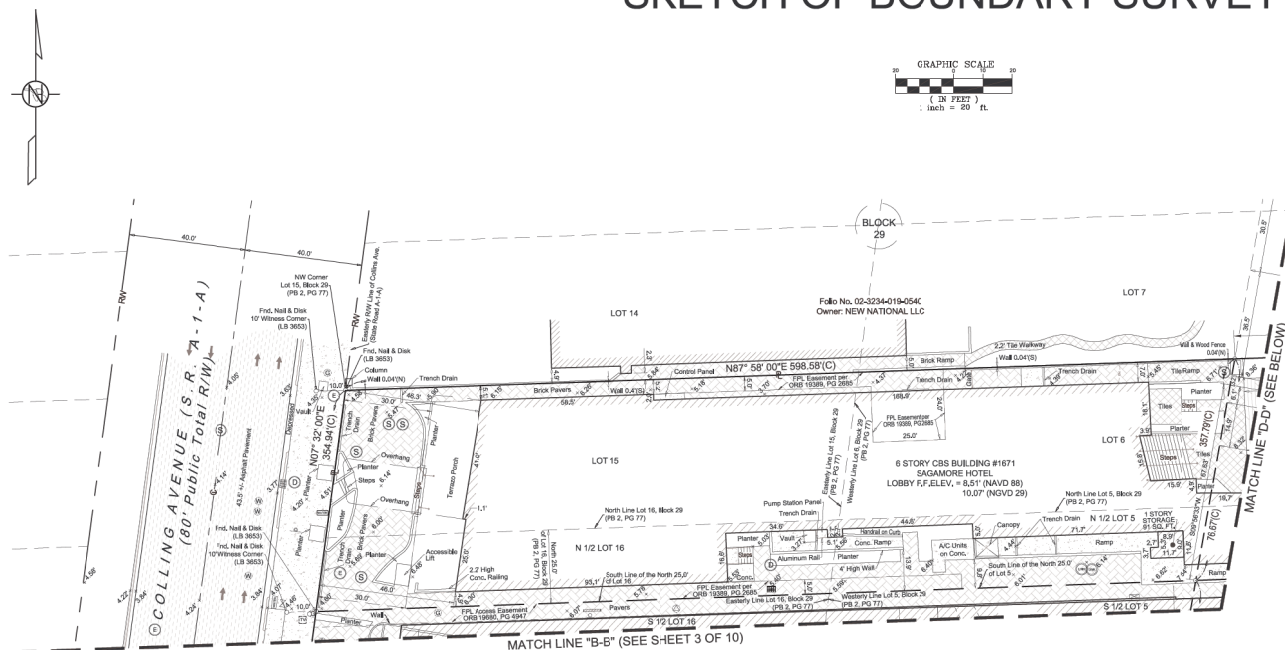
- | SYMBOL LEGEND: | | ABBREVIATIONS: | |
|----------------|-----------------------|----------------|----------------------------------|
| | Drain | PL* | Plaster |
| | Manhole Drain | CONC. | Concrete |
| | Manhole | C/L | Chain Line Fence |
| | Sign | CH | Overhang |
| | Meter Electric | N.O.D. | National Geologic Vertical Datum |
| | Manhole Survey | N.A.D. | North American Datum |
| | Survey Point | P.O.B. | Point of Beginning |
| | Street Light Pole | ULCC | United States Code of Engineers |
| | Fire Hydrant | PRM | Permanent Reference Marker |
| | Manhole Survey | N.G.S. | National Geologic Survey |
| | Manhole | ORF | Official Record Book |
| | Chain Bolt | C.F. No. | Chain's File Number |
| | Manhole | EST. | Estimate |
| | Water Valve Cover | PG | Page |
| | Manhole | D.S. | Dead Book |
| | Pavement | D | Depth |
| | Signal Mast Arm | M | Measure Distances |
| | Manhole Electric | R | Reference Distances |
| | Valve Gate | C | Culmination |
| | Manhole | BFI | Boundary Flood Elevation |
| | Manhole Gneapring | CON. | Concrete |
| | Manhole | PR | Permit |
| | Spot Elevation | P.O.B. | Point of Beginning |
| | Point of Commencement | F.F. | Final Flood Elevation |
| | Point of Commencement | P.O.C. | Point of Commencement |

THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL

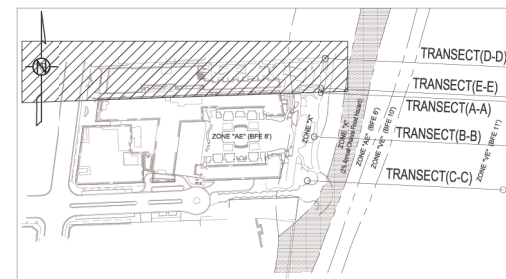
E.R. Brownell & Associates, Inc.
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 SURVEYORS & MAPPERS
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 4957 SW 74th COURT
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 workrequest@erbrownell.com
 PLSRPM No. 2591
 Date: 07/14/2021
 Cancellation No. L0761

Sheet: 4 OF 10										J.N. 58209		Sk. No.		LS-3401					
										1		08/30/21		TB		58209		Revised to address Plan Correction Report comments	
										No.		Date		Apvd.		Job No.		Description	

SKETCH OF BOUNDARY SURVEY



KEY PLAN



- | SYMBOL LEGEND: | ABBREVIATIONS: |
|------------------------|---|
| Drain | PLT. Plenter |
| Manhole drain | CONC. Concrete |
| Open line | C.U.F. Curb Line Face |
| Sign | O.H. Overhang |
| Meter Electric | N.G.V.D. National Geographic Vertical Datum |
| Water Meter | N.A.S. North American Datum |
| Manhole | P.O.T. Point of Beginning |
| Street Light Pole | U.S.C. United States Corps of Engineers |
| Fire Hydrant | PRM. Permanent Reference Mark |
| Manhole Unmarked | N.G.S. National Geographic Survey |
| Catch Basin | C.F.-No. Officer's Record Book |
| Fire Hydrant | C.F.-No. Officer's Record Book |
| Water Valve Cover | EMT. Easement |
| Manhole Sewer | P.D. Page |
| Parking Meter | D.B. Dead Book |
| Manhole Manhole | (D) Dead |
| Manhole Electric | (M) Measured Distances |
| Valve Gas | (R) Recurved Distances |
| Manhole Gas | (C) Curbline |
| Manhole Gas | B.F. Boundary |
| Manhole Gas | CON. Conventional |
| Spot Elevation | P.B. Point Book |
| Ground Level Elevation | P.O.B. Point of Beginning |
| Proposed Elevation | F.F. Finish Elevation |
| | P.C. Point of Commencement |

THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL

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PLS/PSP/ No. 2891

SKETCH OF BOUNDARY SURVEY

SYMBOL LEGEND:

- Dash
- Mantle Drain
- Light pole
- Sign
- Meter Electric
- Meter Water
- Survey Point
- Street Light Pole
- Fire Hydrant
- Mantle Telephone
- Mantle Unmanned
- Catch Basin
- Guard Post
- Mantle Valve Cover
- Parking Meter
- Signal Mast Arm
- Mantle Electric
- Valve Gas
- Masonry Wall
- Mantle Crossover
- Spot Elevation
- Ground Spot Elevation
- Proposed Elevation Data

ABBREVIATIONS:

- P.L.T. Planter
- C.O.N.C. Concrete
- C.L.F. Chain Link Fence
- O.V.H. Overhang
- N.A.S.D. National Geodetic Vertical Datum
- N.A.Z.D. North American Datum
- F.O.B. Point of Beginning
- L.U.E.C. United States Corp of Engineers
- P.R.M. Permanent Reference Marker
- N.G.S. National Geodetic Survey
- C.R.B. Official Record Book
- C.F. No. Clerk's File Number
- E.M.P.T. Easement
- R.G. Right-of-Gway
- D.B. Deed Book
- (D) Deed
- (M) Measure Distances
- (R) Recorded Distances
- (C) Certificate
- (B.F.) Boundary Flood Elevation
- (P.B.) Plat Book
- (P.B.) Point of Beginning
- (F.O.B.) Point of Commencement

DESCRIPTION

MIAMI BEACH (Government Cut)

HAULOVER PIER (N Miami Beach)

SE Corner of Subject Property

ELEVATION

NAVD88

MMHW (1)

0.25

0.36

0.27

REMARKS

Distance from MIAMI BEACH

49,933

9,330

NOTE:

The value of the Mean High Water (MHW) posted herein as a 0.3 feet (NAVD88) contour is based on correlation of the value of the MHW at MIAMI BEACH, Station ID 8720175 and the value of the MHW at HAULOVER PIER, Station ID 8720002. As noted herein a Mean High Water Line, located seaward of the established Erosion Control Line has no standing in the delineation between the established ownership interests and the state sovereignty limits. The approximate contours of the mean high water are shown by the dashed-dotted purple line and do not represent a boundary. The "1% above higher water line" is defined pursuant to Florida Statutes Title XL Chapter 101, Part I Section 101.01(2)(c) as the line formed by the intersection of the rising shore and the elevation of 100 percent of the local mean tide range (MT) above local mean high water (MLW). The approximate contour of the Seasonal high-water line at 4 feet (NAVD88) is posted herein.

NOTE:

Elevations and location of the contour lines as shown hereon (including the location of the Mean High Water Line, the Seasonal High Water Line and the Erosion Control Line), were not updated on this revision dated 11-10-2020 as per client request. The client is warned that actual elevations and contour lines as today, may have changed along the entire beach located East of the Erosion Control Line, as the result of the effects that Hurricane Seasons between 2017 and 2020 could have had on the shape and elevation of the coast line, including the submerged lands within the City of Miami Beach.

GRAPHIC SCALE

1 inch = 20 ft.

SEE SHEET 7 OF 10 FOR BEACH PROFILES

NOTE:

TRANSECT PROFILES A-A, B-B, AND C-C WERE NOT UPDATED ON THIS UPDATE SURVEY. INFORMATION PROVIDED IS BASED ON 04-26-2019 DATA.

NOTE:

ONLY TRANSECT PROFILES D-D AND E-E WERE UPDATED ON THIS UPDATE SURVEY. INFORMATION PROVIDED IS BASED ON 07-14-2021 DATA.

THE RITZ-CARLTON AND THE SAGAMORE HOTEL

Sheet: 6 OF 10
J.N. 58209
St. No.

No.
Date
Appt.
Job No.
Description

1 08/02/21 TB 58209 Revis to add the Coastal Report comments

LS-3401

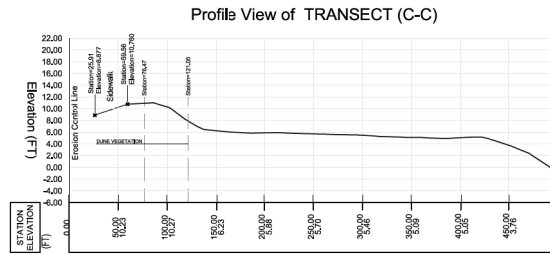
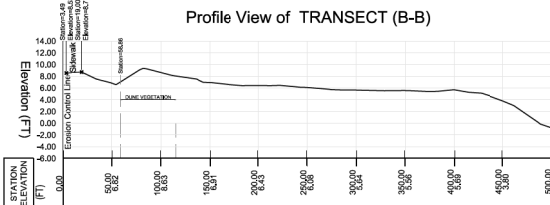
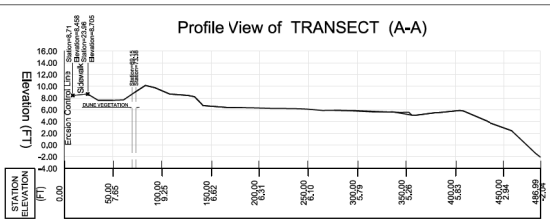
E.R. Brownell & Associates, Inc.
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DADE COUNTY, FLORIDA 33155
TEL: 305.417.1234 FAX: 305.417.1235
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Scale: 1" = 20'
City: Ft. Lauderdale
Division: FTLD
Project: 1801

THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL

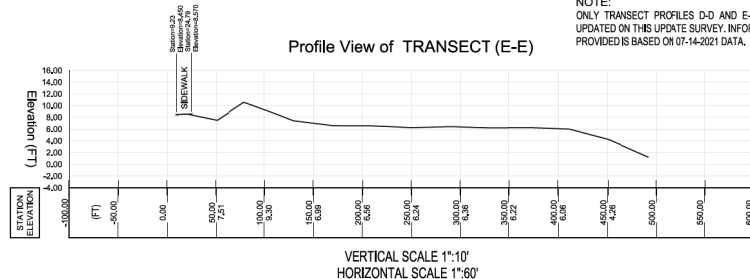
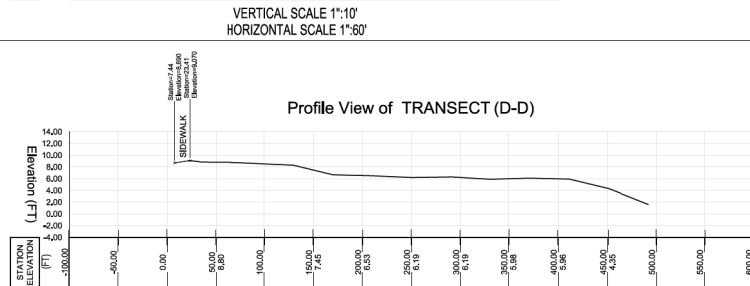
1	08/30/21	TB	58209	Revised to address Plan Correction Report comments
No.	Date	Apvd.	Job No.	Description

LS-3401

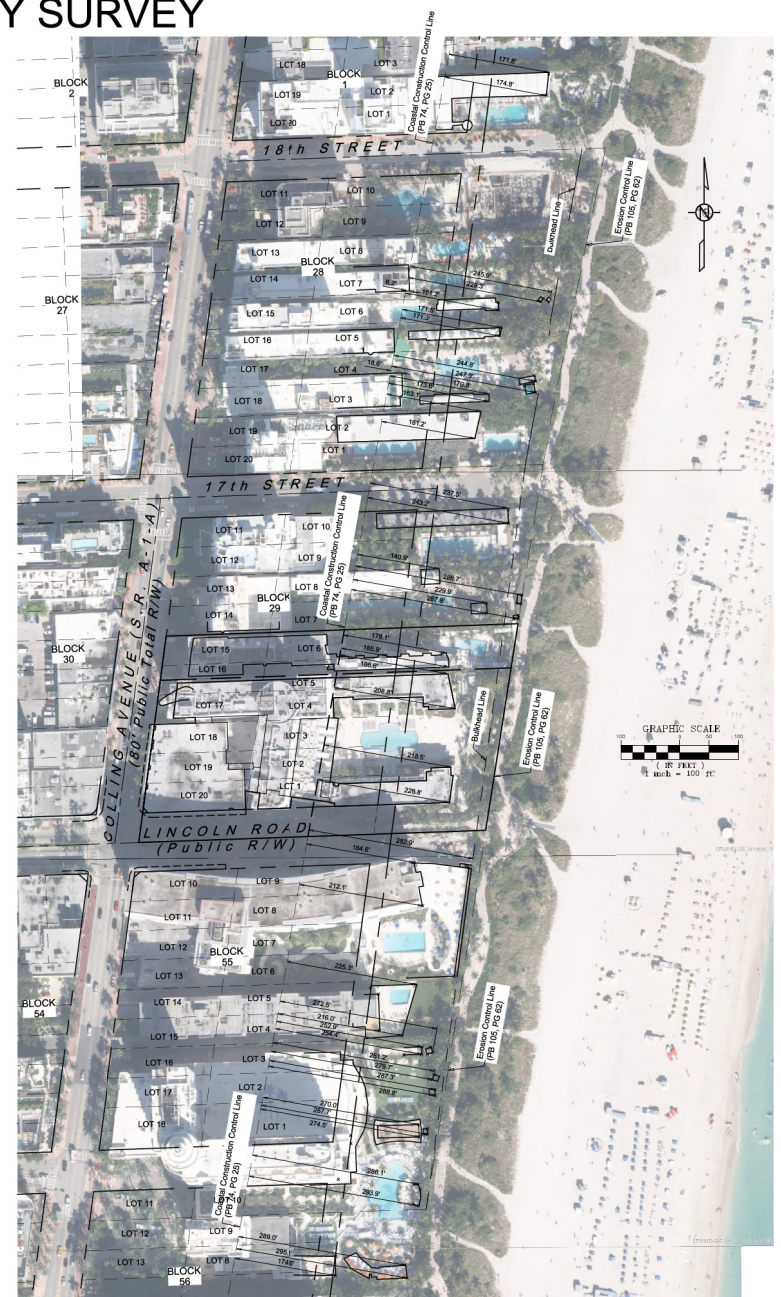
SKETCH OF BOUNDARY SURVEY



NOTE:
TRANSECT PROFILES A-A, B-B, AND C-C
WERE **NOT** UPDATED ON THIS UPDATE
SURVEY. INFORMATION PROVIDED IS
BASED ON 04-26-2019 DATA.



NOTE:
ONLY TRANSECT PROFILES D-D AND E-E WERE
UPDATED ON THIS UPDATE SURVEY. INFORMATION
PROVIDED IS BASED ON 07-14-2021 DATA.



NOTE:

Elevations and location of the contour lines as shown hereon (including the location of the Mean High Water Line, the Seasonal High Water Line and the Transect Cross Sections) were not updated on this revision dated 11-10-2020 as per client request. The client is warned that actual elevations and contour lines as today, may have changed along the entire beach located East of the Erosion Control Line, as the result of the effects that Hurricane Seasons between 2017 and 2020 could have had on the shape and elevation of the coast line, including the submerged lands within the City of Miami Beach.



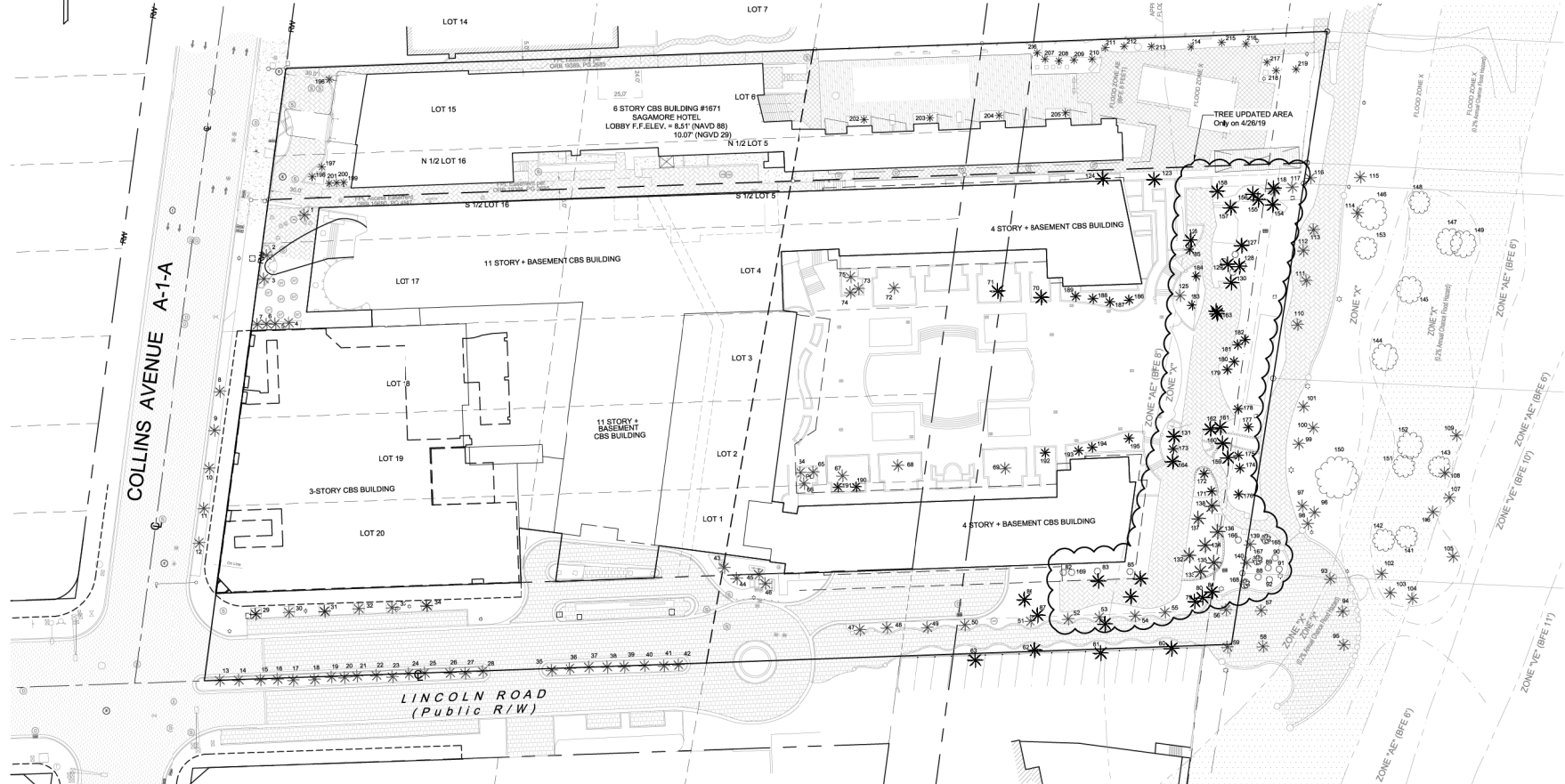
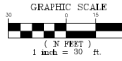
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Drawn by:	JB/ALC/AJ	Test:	F.B. FILE	PLANS NO.	259
Check by:	JB	DATE:	07/14/2021	Revision No.	L0761
Scale:	AS SHOWN				

THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL

[illegible]

Sheet:	7	OF	10
J.N.	58209		
Sk. No.			
LS-3401			



Tree No.	Botanical Name	Common Name	Diameter (Inches)	Height (Feet)	Canopy (%)
4-7	<i>Phoenix canariensis</i>	Cannary Island Palm	1.2	20	20
3	<i>Phoenix canariensis</i>	Cannary Island Palm	1.3	22	22
8-11	<i>Coccol nucifera</i>	Coconut Palm	0.7	30	20
12	<i>Coccol nucifera</i>	Coconut Palm	0.7	25	20
13	<i>Coccol nucifera</i>	Coconut Palm	0.7	27	20
14-15	<i>Coccol nucifera</i>	Coconut Palm	0.7	22	20
16	<i>Coccol nucifera</i>	Coconut Palm	0.6	18	20
18-20	<i>Coccol nucifera</i>	Coconut Palm	0.6	20	20
21	<i>Coccol nucifera</i>	Coconut Palm	0.6	18	20
22	<i>Coccol nucifera</i>	Coconut Palm	0.6	22	20
23	<i>Coccol nucifera</i>	Coconut Palm	0.7	22	20
24-28	<i>Coccol nucifera</i>	Coconut Palm	0.7	22	20
29	<i>Phoenix canariensis</i>	Cannary Island Palm	1.3	20	20
30	<i>Coccol nucifera</i>	Coconut Palm	0.6	30	20
36	<i>Coccol nucifera</i>	Coconut Palm	0.6	25	20
38-39	<i>Coccol nucifera</i>	Coconut Palm	0.6	25	20
40	<i>Coccol nucifera</i>	Coconut Palm	0.6	22	20
41	<i>Coccol nucifera</i>	Coconut Palm	0.6	18	20
42	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
43, 44, 46	<i>Coccol nucifera</i>	Coconut Palm	0.6	25	20
45	<i>Coccol nucifera</i>	Coconut Palm	0.6	25	20
47-49	<i>Phoenix canariensis</i>	Cannary Island Palm	2.3	22	20
50-63	<i>Phoenix canariensis</i>	Cannary Island Palm	1.4	20	20

Tree No.	Botanical Name	Common Name	Diameter (Inches)	Height (Feet)	Cavity (Feet)
67	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
68	<i>Phoenix Canariensis</i>	Caribbean Palm	1.3	25	20
69	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
71	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
71-72	<i>Phoenix Canariensis</i>	Caribbean Palm	1.3	25	20
72	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
73	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
74	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
75-76	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
76	<i>Phoenix Canariensis</i>	Unknown to Surveyor	0.5	18	5

Tree No.	Botanical Name	Common Name	Diameter (Inches)	Height (Feet)	Cavity (Feet)
140	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
139	<i>Coccol nucifera</i>	Coconut Palm	0.7	38	30
141	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
141	<i>Coccol nucifera</i>	Coconut Palm	0.6	45	30
142	<i>Coccol nucifera</i>	Coconut Palm	0.7	50	30
143	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
144	<i>Coccol nucifera</i>	Coconut Palm	0.6	20	25
144	<i>Coccol nucifera</i>	Coconut Palm	0.6	20	25
145	<i>Coccol nucifera</i>	Coconut Palm	0.7	20	20
147	<i>Coccol nucifera</i>	Coconut Palm	0.8	35	30
148	<i>Coccol nucifera</i>	Coconut Palm	0.8	25	25
149	<i>Coccol nucifera</i>	Coconut Palm	0.8	25	25

Tree No	Botanical Name	Common Name	Diameter (Inches)	Height (Feet)	Canopy (Feet)
52	<i>Alstonia sp.</i>	Royal Palm	10	20	14
53	<i>Alstonia sp.</i>	Royal Palm	10	20	14
54	<i>Alstonia sp.</i>	Royal Palm	16	22	14
55	<i>Alstonia sp.</i>	Royal Palm	10	20	14
79	<i>Triner radula</i>	Florida Thatch Palm	4	12	5
80	<i>Triner radula</i>	Florida Thatch Palm	4	12	5
81	<i>Triner radula</i>	Florida Thatch Palm	4	12	5
82	<i>Washingtonia robusta</i>	Washingtonia Palm	10	35	10
83	<i>Washingtonia robusta</i>	Washingtonia Palm	10	35	10
84	<i>Washingtonia robusta</i>	Washingtonia Palm	10	35	10
85	<i>Washingtonia robusta</i>	Washingtonia Palm	10	35	10
86	<i>Washingtonia robusta</i>	Washingtonia Palm	10	35	10
87	<i>Washingtonia robusta</i>	Washingtonia Palm	10	35	10
88	<i>Washingtonia robusta</i>	Washingtonia Palm	10	35	10
89	<i>Cabbage</i>	Cabbage	12	12	10
90	<i>Cabbage</i>	Cabbage	12	14	12
91	<i>Cabbage</i>	Cabbage	12	14	12
92	<i>Cabbage</i>	Cabbage	12	14	12
93	<i>Cabbage</i>	Cabbage	12	14	12
94	<i>Cabbage</i>	Cabbage	12	14	12
95	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
97	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
98	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
99	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
100	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
101	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
102	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
103	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
104	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
105	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
106	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
107	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
108	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
109	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
110	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
111	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
112	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
113	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
114	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
115	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
116	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
117	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
118	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
119	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
120	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
121	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
122	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
123	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
124	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
125	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
126	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
127	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
128	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
129	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
130	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
131	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
132	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
133	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
134	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
135	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
136	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
137	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
138	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
139	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
140	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
141	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
142	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
143	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
144	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
145	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
146	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
147	<i>Coccol nucifera</i>	Coconut Palm	8	25	12
148	<i>Coccol nucifera</i>	Coconut Palm	8	25	12

Tree No.	Botanical Name	Common Name	Diameter (inches)	Height (feet)	Campy (%)
136	<i>Coccol nucifera</i>	Coccol Palm	7	23	14
137	<i>Coccol nucifera</i>	Coccol Palm	10	25	14
138	<i>Gebelege</i>	Gebelege	10	30	16
144	<i>Coccol nucifera</i>	Coccol Palm	7	15	14
155	<i>Coccol nucifera</i>	Coccol Palm	10	20	18
156	<i>Coccol nucifera</i>	Coccol Palm	10	20	18
157	<i>Coccol nucifera</i>	Coccol Palm	9	20	18
158	<i>Coccol nucifera</i>	Coccol Palm	9	20	18
159	<i>Coccol nucifera</i>	Coccol Palm	8	30	18
160	<i>Coccol nucifera</i>	Coccol Palm	10	30	18
160	<i>Coccol nucifera</i>	Coccol Palm	10	30	16
162	<i>Coccol nucifera</i>	Coccol Palm	10	30	18
162	<i>Coccol nucifera</i>	Coccol Palm	10	35	12
163	<i>Coccol nucifera</i>	Coccol Palm	10	30	16
164	<i>Coccol nucifera</i>	Coccol Palm	10	30	16
165	<i>Conarus erectus</i>	Silver Buton	8	14	8
166	<i>Conarus erectus</i>	Silver Buton	4	8	8
167	<i>Conarus erectus</i>	Silver Buton	8	14	8
168	<i>Conarus erectus</i>	Silver Buton	8	14	8
169	<i>Washingtonia robusta</i>	Washingtonia	10	35	10

File No.	Statistical Name	Common Name	Diameter (Inches)	Height (Feet)	Campy (Feet)
171	Coccol nucifera	Coccol Palm	8	15	10
172	Coccol nucifera	Coccol Palm	8	15	10
173	Coccol nucifera	Coccol Palm	8	15	10
174	Coccol nucifera	Coccol Palm	8	15	10
175	Coccol nucifera	Coccol Palm	12	15	15
176	Coccol nucifera	Coccol Palm	10	8	8
177	Coccol nucifera	Coccol Palm	10	15	15
178	Coccol nucifera	Coccol Palm	7	15	10
179	Coccol nucifera	Coccol Palm	10	15	15
180	Coccol nucifera	Coccol Palm	12	15	15
181	Coccol nucifera	Coccol Palm	10	12	10
182	Coccol nucifera	Coccol Palm	7	10	10
183	Coccol nucifera	Coccol Palm	7	10	10
184	Coccol nucifera	Coccol Palm	10	10	10
185	Coccol nucifera	Coccol Palm	8	8	12
186	Coccol nucifera	Coccol Palm	8	20	15
187	Coccol nucifera	Coccol Palm	12	20	15
188	Coccol nucifera	Coccol Palm	12	20	15
189	Coccol nucifera	Coccol Palm	8	20	15
190	Coccol nucifera	Coccol Palm	8	30	15
191	Coccol nucifera	Coccol Palm	10	30	15
192	Coccol nucifera	Coccol Palm	8	15	15
193	Coccol nucifera	Coccol Palm	8	20	15
194	Coccol nucifera	Coccol Palm	8	20	15

NOTE:
THIS TREE CHART WERE PART OF THE UPDATE PREPARED ON 05-27-2021
WITH THE REMOVAL OF TREE No. 76, 77, 78, & 170.

SYMBOL LEGEND:

-  Drain
-  Manhole Drain
-  Light pole
-  Sign
-  Meter Electric
-  Meter Water
-  Survey Point
-  Street Light Pole
-  Fire hydrant
-  Manhole Telephone
-  Manhole Unmarked
-  Catch Basin
-  Guard Post
-  Water Valve cover
-  Manhole Sewer
-  Parking Meter
-  Signal Mast/Rm
-  Manhole Electric
-  Valve Gas
-  Monitory Wall
-  Manhole Grousetrap
-  Spot Elevation
-  Ground Spot Elevation
-  Prolated Elevation

ABBREVIATIONS:

PLT.	Planter
CONC.	Concrete
CLF	Chain Link Fence
O.H.	Overhang
N.G.D.	Not Geodetic Vertical Datum
N.A.D.	North American Datum
P.O.B.	Point of Beginning
U.S.C.E.	United States Corps of Engineers
PRM	Permanent Reference Marker
N.G.S.	National Geodetic Survey
O.F.B.	Original Record Book
C.F. No.	Clark's File Number
ESMT.	Easement
PG.	Page
D.B.	Deed Book
(D)	Deed
(M)	Measure Distances
(R)	Recorded Distances
Calc.	Calculate
BFE	Boundary Floor Elevation
Com. B.	Commercial Unit
PB	Plot Book
P.O.B.	Point of Beginning
F.F.E.	Finish Floor Elevation
P.O.C.	Point of Commencement

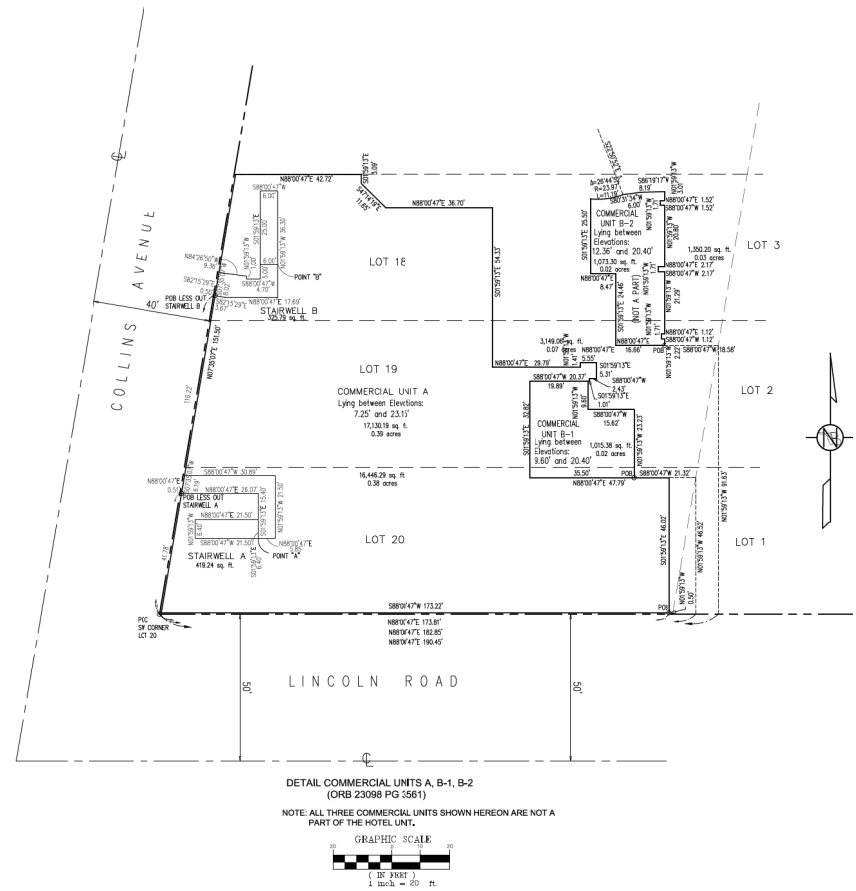
THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL

E.N. Brownell & Associates, Inc.
 CONSULTING ENGINEERS
 LAND PLANNERS
 SURVEYORS & MAPPERS
 Miami, Florida, 33155
 4957 SW 74th COURT
 305-860-3866 (PHONE)
 305-860-3870 (FAX)
 workrequest@erbrownell.com
 2091
 F.B. FILE
 Date: 07/14/2021
 Cmt. by: TB
 Scale: 1" = 30'
 Rel.

Sheet: 8 OF 10
N. 58209
k. No.
S-3401

PLN Date: 03/20/21
C:\p\030509\030509\030509 1-0-2021 BOUNDARY SURVEY SAGAMORE & RITZ CARLTON HOTEL 03-20-21 FINAL.dwg

SKETCH OF BOUNDARY SURVEY





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License No. LB891

**THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL**

Sheet: 3 of 3	Scale: 1" = 20'	Revised to address Plan Commission Report comments
C 1	03/03/21	1
J.N.	5/8/209	
Sk. No.		

LS-3401

E.E.R. Brownell & Associates, Inc.
 CONSULTING ENGINEERS
 LAND PLANNERS
 SURVYORS & MAPPERS
 Miami, Florida 33155
 305-460-3870 (FAX)
 305-460-3870 (FAX)
 FLS/STW/MS 2593
 Certification No. 12761
 Date: 07/14/2021
 By: J.A.L./J. Red.
 Scale: AS SHOWN
 Job No. TB

DESIGNATION / STATION	USGS QUAD	PID	(Y) P1 (E) EASTING	(Y) P1 (N) NORTHING	SCALE FACTOR	GRAD MIN SEC CONVERSION	(N) LATITUDE	(W) LONGITUDE	DATUM	DESCRIPTION	
C-269 X	GPS CONTROL	MIAMI(1994)	AC2364	929,993.150	539,859.190	1.00002360	07 27 59.3"	25° 45' 43.8295"	0807 13 43.2338"	NAD 83 (2011)	FOUND BENCH MARK DISK (R)
FIFTY 42 MI 1971	GPS CONTROL	N/A	AC3450	944,164.320	538,082.980	1.00003620	07 27 59.1"	25° 46' 03.8960"	0807 13 48.7995"	NAD 83 (1995)	AZIMUTH MARK DISK (R)
PRM 87-78 12A	CCCL	N/A	N/A	943,503.669	532,900.351	1.00003583	07 22 48.7519"	25° 45' 48.5884"	0807 07 36.0817"	NAD 83 (1995)	NO RECOVER (R)
PRM 87-78 13A	CCCL	N/A	N/A	943,516.563	527,216.661	1.00003527	07 22 47.7178"	25° 45' 46.5340"	0807 07 47.0839"	NAD 83 (1995)	NO RECOVER (R)

STATION (C-2864) DESCRIPTION:
MARKER: CD-SIGNIFY MARK DESK.
STAMPING: C 285 X 1000

DATE: 4/27/84

DISCLOSED BY COAST AND GEODETIC SURVEY 1986. AT STATION, AT POINT ABOUT 0.3 MILE SOUTH ALONG THE FLORIDA EAST COAST, ROADWARD FROM THE CROSSING OF 3RD STREET, (U.S. HIGHWAY 41) NEAR THE CROSSING OF CORAL WAY, (16TH STREET), ABOUT 60 FEET EAST OF THE EAST END, 31 FEET WEST OF THE WEST CURVE OF 3RD, 1 ST AVENUE, 8 FEET NORTH OF THE NORTH CURVE OF CORAL WAY, IN THE TOP OF THE SOUTH EDGE OF A ROCK CUT THAT EXTENDS FOR ABOUT 0.1 MILE ALONG THE EAST SIDE OF TRACK AND ABOUT 4 FEET ABOVE THE LEVEL OF THE TRACK.

CURRENT SURVEY CONTROL			
NAD83(2011) POSITION	• 25 45 41.82665(N) DRG 11 43.23319(W)	ADJUSTED	
NAD83(2011) ELLIP HT	• 40.414 (meters)	(9622712)	ADJUSTED
NAD83(2011) EPOCH	• 2010.00		
NAV5 08 ORTHO HEIGHT	• 5.037 (meters)	16.53 (feet)	ADJUSTED

```

GRID=H0HT      = -26.914 (meters)    GRID=CEN1Z
NAD83(2011) X   = 878.7843173 (meters) COMP
NAD83(2011) Y   = -4.66318728 (meters) COMP
NAD83(2011) Z   = 2.73526245 (meters) SPCECEN1Z
LAMPDOWN CORR   = -4.9E (seconds)     SPCECEN1Z
DYNAMIC HEIGHT  = 5.5000000E-08      15.00 (mm)
ORBITAL GRAVITY  = 979.8516 (mgals)    NAVD_88
OBSCURAVITY      = 979.8516 (mgals)    ORAV_ORB

VER ORDER       = FIRST CLASS # (SPS & VERTICAL CONTROL)

The Missing values were computed from the NAD 83(2011) position.

Notes
-----
Class 1st LAMB Scale Factor = 1.00000000E+00 -0.361861
SPCLC/E = 1.00000000E+00 1.00000000E+00 1.00000000E+00 -0.361861
SPCLC/E = 1.00000000E+00 1.00000000E+00 1.00000000E+00 -0.361861
UTM 1T = 2.849351317 5669.67132 MTD 649890460 -0.361861

= Der Factor x Scale Factor + Combined Factor
SPCLC/E = 1.00000000E+00 1.00000000E+00 1.00000000E+00

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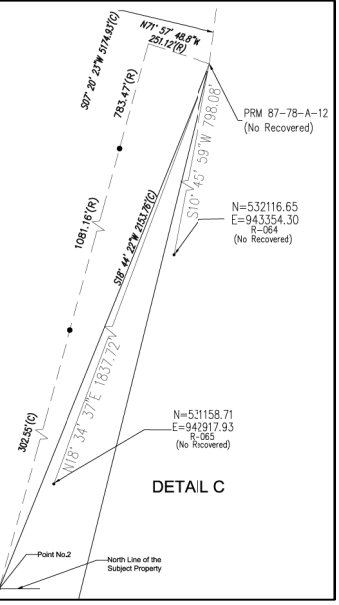
STATION POINT-A-MIG DESCRIPTION
MARKER: 02-A-MOUTH MARK DISK
STAMPING: FIFTY 1971
(P) AC143450
DESCRIBED IN NATIONAL GEODETIC SURVEY 1971 (NAGS) THE STATION IS
LOCATED IN MAHA BEACH ALONG STATE ROAD A-1A, 1 MILE SOUTHEAST OF
THE JUNCTION OF INTERSTATE 198 AND STATE ROAD 112, 29 FEET SOUTH OF
LIGHTHOUSE NO 106934, 285 FEET WEST OF THE JUNCTION OF STATE ROAD
A-1A AND 36 STREET AT A MANHOLE COVER AND 23 FEET EAST OF A SEAWALL.
CURRENT SURVEY CONTROL

NAO 82(1992)	3026(NW) + 25.44	4023(SW) (m)	500 OF 28.47(SW)W	ADJUSTED
NAO 82	CRTO HEIGHT	- 5.7 (meters)	2. (sec)	VERTCON
GEOD HEIGHT	-25.73 (meters)			DECD128
LAFACE CORP.	-4.27 (seconds)			DEFLC128
HORZ ORDER -SECOND				

The following values were computed from the NAO 82(1992) position.

North	East	Units	Scale	Factor	Conver.
-------	------	-------	-------	--------	---------

SPC FILE = 10.3621781 267.791280 MT 1.00002629 +0.22 52.3
 SPC FILE = 988.032386 944.76432 #FT 1.00003609 +0.22 50.3
 UTM 17 -2.35549640 967.791409 MT 0.99999909 +0.22 50.3
 - Bk Factor = Scale Factor = Combined Factor
 SPC FILE = 10.00000000 1.00000000 +1.00004022
 UTM 17 - 10.00000000 0.00000000 +0.99999901
 Data were taken from HGS web site
http://www.spa.nps.gov/ncvtrm/ncvtrm_rmk.php?fid=CSAC350



OBJECTID	COUNTY	UNIQUE_ID	MONUMENT_NAME	RANGE	STATE_PLANE_ZONE	EASTING	NORTHING	LONGITUDE	LATITUDE
716	DADE	DA R-065	R-065	R	East_Zone	942917.93	531158.71	-80.128504	25.792322
715	DADE	DA R-064	R-064	R	East_Zone	943354.3	532116.65	-80.127159	25.794949

THE RITZ-CARLTON
AND
THE SAGAMORE HOTEL


EXISTING FAR TO REMAIN RITZ AND SAGAMORE BLDG				
RITZ HOTEL			Sagamore	
	FAR AREA			FAR AREA
Basement	8,785 **		Basement	0 **
Ground	66,541		Ground	10,620
2nd Floor	65,856		2nd Floor	11,726
3rd Floor	60,169		3rd Floor	11,726
4th Floor	44,244		4th Floor	11,726
5th Floor	26,639		5th Floor	11,275
6th Floor	24,397		6th Floor	4,218
7th Floor	24,393		Totals	61,291
8th Floor	24,397			
9th Floor	24,327			
10th Floor	24,387			
11th Floor	24,383			
Totals	418,518	Total FAR to remian	479,809	
RITZ	LOT AREA	FAR RATIO	MAX FAR	FAR AVAILABLE
PER SURVEY	163,813	3	511,439	92,922 *
SAGAMORE	LOT AREA	FAR RATIO	MAX FAR	FAR AVAILABLE
Lot AREA	44,848	2	89696	28,405
FAR SUMMARY				
Ritz FAR		Sagamore FAR	Total FAR Available	
92,922 *		28,405	121,327	

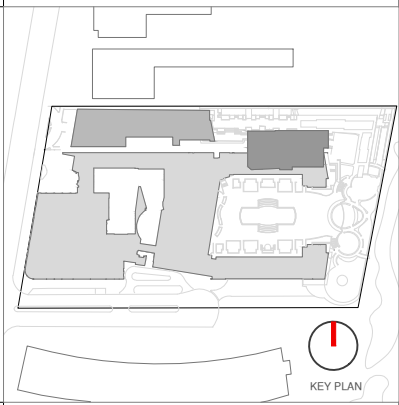
** 1/2 of the basemant included in the calcualtion

PROPOSED AREAS - NEW TOWER						
LEVELS	UNITS	COMMON AREA+BOH	AMENITIES	NEW BRIDGE CONNECTION	NEW RESIDENTIAL UNITS	FAR
ROOF		1,380 SQ.FT.				
LEVEL 17	6,688 SQ.FT.	1,395 SQ.FT.			4	8,083 SQ.FT.
LEVEL 16	6,688 SQ.FT.	1,395 SQ.FT.			4	8,083 SQ.FT.
LEVEL 15	6,688 SQ.FT.	1,395 SQ.FT.			4	8,083 SQ.FT.
LEVEL 14	6,688 SQ.FT.	1,395 SQ.FT.			4	8,083 SQ.FT.
LEVEL 13	6,688 SQ.FT.	1,395 SQ.FT.			4	8,083 SQ.FT.
LEVEL 12	6,688 SQ.FT.	1,395 SQ.FT.			4	8,083 SQ.FT.
LEVEL 11	6,653 SQ.FT.	1,430 SQ.FT.			4	8,083 SQ.FT.
LEVEL 10	6,653 SQ.FT.	1,430 SQ.FT.			4	8,083 SQ.FT.
LEVEL 9	6,653 SQ.FT.	1,430 SQ.FT.			4	8,083 SQ.FT.
LEVEL 8	6,653 SQ.FT.	1,430 SQ.FT.			4	8,083 SQ.FT.
LEVEL 7	6,653 SQ.FT.	1,430 SQ.FT.			4	8,083 SQ.FT.
LEVEL 6	6,487 SQ.FT.	1,596 SQ.FT.			4	8,083 SQ.FT.
LEVEL 5	-	1,596 SQ.FT.	8,224 SQ.FT.			9,820 SQ.FT.
LEVEL 4	3,387 SQ.FT.	1,430 SQ.FT.			1	4,817 SQ.FT.
LEVEL 3	3,407 SQ.FT.	1,670 SQ.FT.		378 SQ.FT.	1	5,455 SQ.FT.
LEVEL 2	-	-		378 SQ.FT.		378 SQ.FT.
LEVEL 1	-	3,860 SQ.FT.				3,860 SQ.FT.
	86,674 SQ.FT.	27,052 SQ.FT.	8,224 SQ.FT.	756 SQ.FT.	50	121,326 SQ.FT.

PROPOSED PROJECT FAR		
RITZ		418,518 SQ.FT.
SAGAMORE		61,291 SQ.FT.
TOWER		121,326 SQ.FT.
GRAND TOTAL		601,135 SQ.FT.

Seating / O.C.C Chart / Parking					
RITZ					
Floor Level	Room Name	Area	Existing Seats/Occupants	Proposed Seats/Occupants	Parking Required
Ground	New Retail from 1999 Permit	2,819 SF			8
	Lobby Bar	In Historic Ritz	51 Occupants	52 Occupants	N/A
	New Beach Club Restaurant from 1999 Permit	In Historic Ritz	240 seats	240 seats	N/A
Level 2	Restaurant	In Historic Ritz	564 Occupants	565 Occupants	N/A
	All Day Restaurant/Pool Deck	In Historic Ritz	203 Seats	204 Seats	N/A
Totals					
SAGAMORE					
Floor Level	Room Name	Area	Existing Seats/Occupants	Proposed Seats/Occupants	Parking Required
Ground	Book Store/Coffee Shop	In Historic Sagamore	N/A	10 Seats	N/A
	Cigar Lounge	In Historic Sagamore	N/A	20 Seats	N/A
	Pool Restaurant	In Historic Sagamore	N/A		
	Restaurant	In Historic Sagamore	142 Seats	60 Seats	N/A
Totals					
UNIT PARKING REQUIREMENTS					
Unit Type	Proposed Density	Area	Existing Seats/Occupants		Parking Required
Hotel (Ritz)	374 Existing	New rooms from 1999 Permit	N/A	.5/unit x 173	87
Hotel (Sagamore)	60	In Historic Sagamore	N/A	N/A	N/A
550-999 SF	0	New Tower	N/A	1	0
1000-1200 SF	12	New Tower	N/A	1.5	18
+ 1200 SF	38	New Tower	N/A	2	76
Total					189
Grand Total					189 Spaces

<div style="text-align: center;">  <p>Miami Beach</p> <p>Planning Department, 1700 Convention Center Drive Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550</p> </div>				
MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET				
ITEM #	Zoning Information			
1	Address:	1 Lincoln Road, 1671 Collins Ave, Miami Beach, FL, 33139		
2	Board and File numbers:			
3	Folio number(s):	02-3234-019-0520 02-3234-019-0530 02-3234-019-0570		
4	Year constructed:	Zoning District:	RM-3 HIGH DENSITY MULTI FAMILY RESIDENTIAL	
5	Historic Designation	Local: Ocean Drive/ Collins Ave Historic District National: Miami Beach Architectural District Flood Zone AE & Flood Zone X		
6	Flood Zone:			
7	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	6.83' NGVD
8	Design Flood Elevation:	13'-0" NGVD		
9	Max. Wave Crest Elevation:	15'-0" NGVD		
10	Adjusted grade (Flood+ Grade/2)	N/A		
11	Lot Area:	1671 COLLINS AVE = 44,848 SF / 1 LINCOLN ROAD = 1,63,813 SF		208,661 SF TOTAL / 4.79 AC
12	Lot Width	350.28'	Lot Depth:	594.47'
13	Minimum Unit Size	550 SF	Average Unit Size:	2,000 SF
14	Existing User	HOTEL / RESTAURANT	Proposed Use:	HOTEL/ RESIDENTIAL / RESTAURANT / RETAIL
		ALLOWED	EXISTING	PROPOSED
10	Height			
	Architectural District-New Construction	200'-0" *		200'-0"
	Ground Floor Additions Sec. 142-246(e), (3)	25'-0" *		23'-8"
11	Number of Stories			
	Architectural District-New Construction	20 STORIES		17 STORY TOWER
	Ground Floor Additions	2 STORIES		
12	FAR: 1 Lincoln Road 3.0 + 1671 Collins 2.0	601,135 SF	479,826 SF	601,135 SF
13	Gross Square Footage	N/A	N/A	-
14	Square Footage by use	N/A	N/A	N/A
15	Number of Units Residential	N/A	N/A	50 UNITS
16	Number of Units Hotel	N/A	477	434
17	Number of Seats	N/A	N/A	REFER TO SEATING/O.C.C CHART
18	Occupancy Load	N/A	N/A	REFER TO SEATING/O.C.C CHART
* Sec. 142-1161. - Height regulation exceptions.				
	SETBACKS	REQUIRED	EXISTING	PROPOSED
	A1-Grade Parking Lot			
19	Front Setback (Collins ave/ West):	20'-0"	N/A	N/A
20	Side Setback (Interior/ North):	17'-6"	N/A	N/A
21	Side Setback (Lincoln Rd/ South):	17'-6"	N/A	N/A
22	Rear Setback (East):	50' from BL	N/A	N/A
	Subterranean/ Pedestal Oceanfront/ LVL 0-5			
23	Front Setback (Collins ave/ West):	20'-0"	56'-9" RITZ	56'-9" RITZ
24	Side Setback (Interior/ North):	28'-0"	7'-4" SAGAMORE	5'-0" SAGAMORE
25	Side Setback (Lincoln Rd/ South):	28'-0"	49'-6" RITZ	49'-6" RITZ
26	Rear Setback (East):	100'-0"	45'-8" RITZ	45'-8" RITZ
	Tower Oceanfront*			
27	Front Setback (Collins ave/ West):	100'-0"	N/A	340'-0"
28	Side Setback (Interior/ North):	75'-0"	N/A	37'-0" BALCONY PROJECTION / 43'-0" HABITABLE SPACE
29	Side Setback (Lincoln Rd/ South):	75'-0"	N/A	231'-0"
30	Rear Setback (East):	100'-0"	N/A	94'-0" BALCONY PROJECTION / 100'-0" HABITABLE SPACE
	Detached Additions at 25 FT max height			
31	Front Setback (Collins ave/ West):	N/A	N/A	N/A
32	Side Setback (Interior/ North):	5'-0"	N/A	N/A
33	Side Setback (Lincoln Rd/ South):	5'-0"	N/A	N/A
34	Rear Setback (East):	50' from BL	N/A	N/A
* Sec. 142-246(f)(1)				
** See Survey for existing conditions				
	PARKING DISTRICT No 1	REQUIRED	EXISTING	PROPOSED
31	Parking District No 1			
32	Total # of parking spaces		247	236
33	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	SEE CHART PROVIDED	N/A	(fee in lieu of parking to be paid)
34	Valet Drop off and pick up		N/A	ON SITE
35	Loading zones and Trash collection areas		N/A	ONSITE
36	Bike Racks	129	N/A	129
37	Is this a contributing building?			YES
38	Located within a Local Historic District?			YES
	Notes: If not applicable write N/A			
	Notes: FAR calculated per Ordinance ZBA2019-0097			
	* SEE PARKING REQUIREMENTS (A)			

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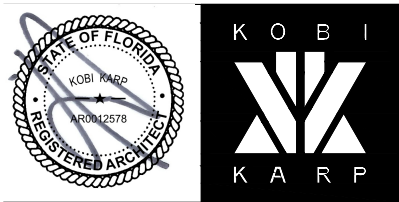
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Ritz-Sagamore

1 Lincoln Road
Miami Beach, FL 33139

Owner:	Di Lido Beach Resort LLC.
Name	EBJ Sagamore LLC.
Address	Sobe Sky Development LLC.
Address	Di Lido Beach Resort Hotel Corporation
Tel:	
Email	
<hr/>	
Consultant:	
Name	STUDIO MUNGE.
Address	25 Wimpole Avenue,
Address	Toronto, ON Canada M6B 1P8
Tel:	416.588.1668
Email	
<hr/>	
Consultant:	
Name	LANDSCAPE ARCHITECT
Address	Naturalifical.
Address	6915 Red Road, Suite 224
Address	Coral Gables, FL 33143
Email	786.717.6564
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Consultant:	
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Address	6915 Red Road, Suite 224
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Email	305.795.3833
<hr/>	
Consultant:	
Name	
Address	Desimore Consulting Engineering
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Email	

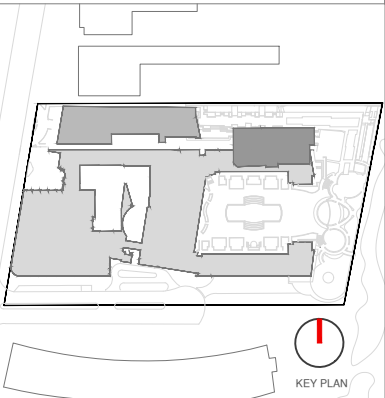
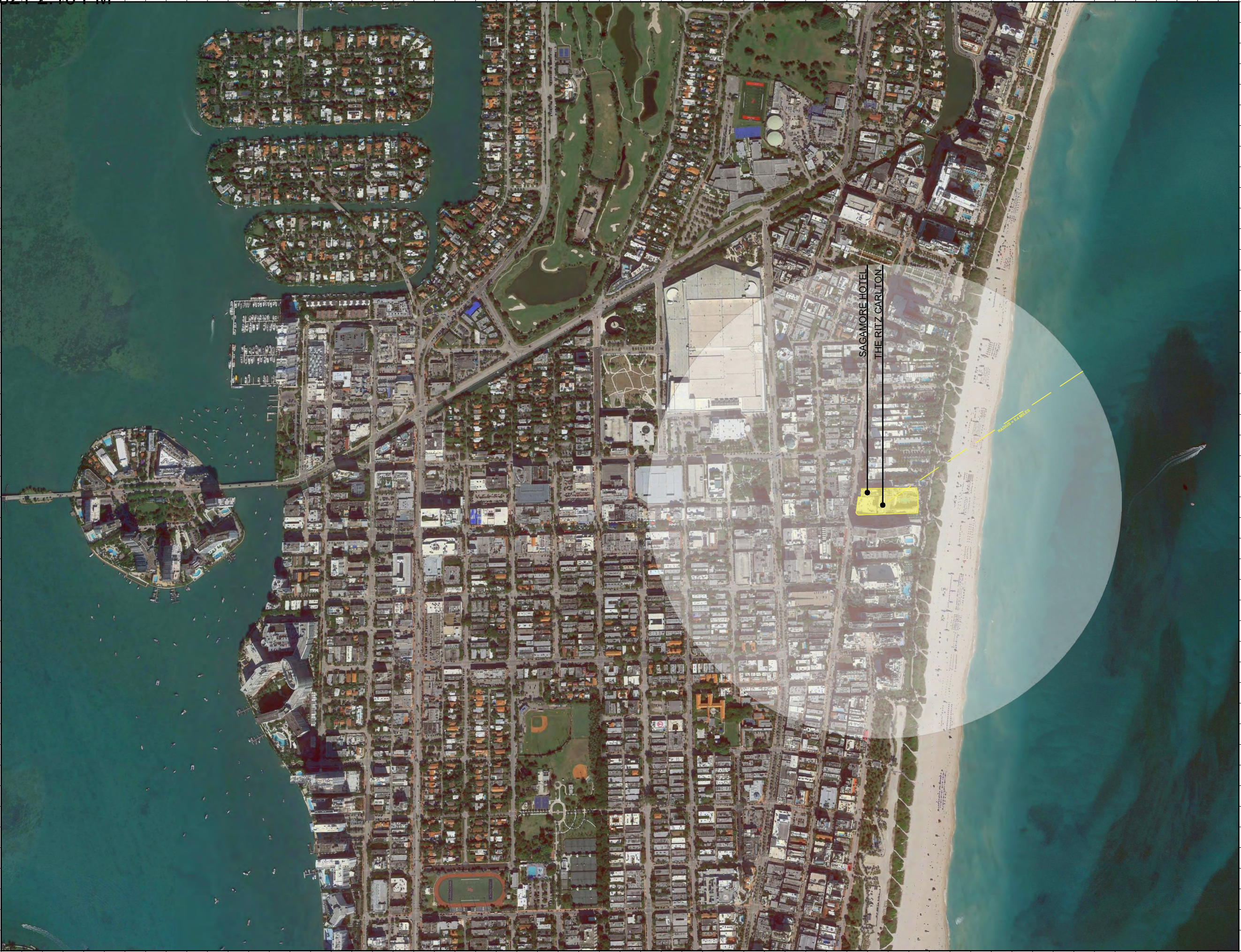
Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28TH ST
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
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PROJECT DATA

RITZ-SAGAMORE

Date	11-12-2021	Sheet No. A0.03
Scale	-	
Project	2018	



Rev.	Date	Rev.	Date

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Ritz-Sagamore
1 Lincoln Road
Miami Beach, FL 33139

Owner: Di Lido Beach Resort LLC.
Name: EBJ Sagamore LLC.
Address: Sobe Sky Development LLC.
Tel: Di Lido Beach Resort Hotel Corporation
Email:

Consultant: STUDIO MUNGE.
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Tel: 416.588.1668
Email:

Consultant: LANDSCAPE ARCHITECT
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Email: 786.717.6564

Consultant: MEP
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305.755.3833

Consultant:
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Email: 305.441.0755

Architect of Record:
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571 NW 28TH ST
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

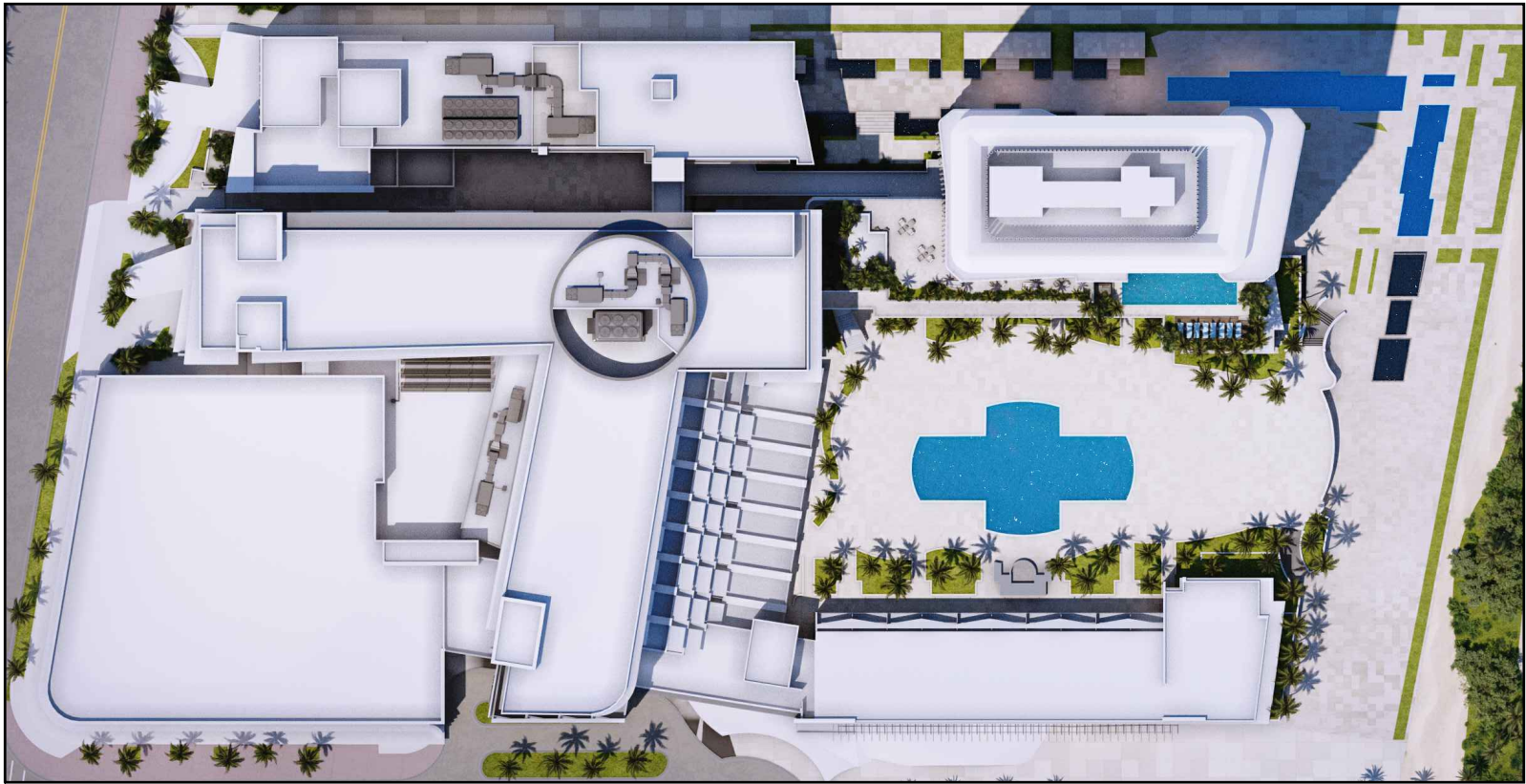


LOCATION PLAN/ AERIAL VIEW
RITZ-SAGAMORE

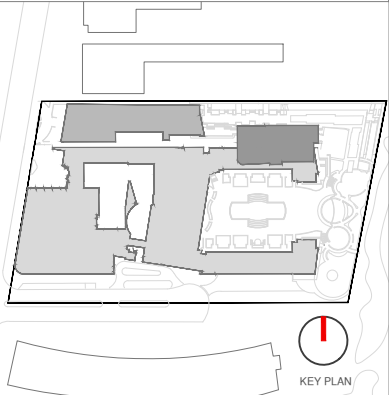
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Scale	NTS	A0.04
Project	2018	



1 EXISTING



2 PROPOSED



Rev.	Date	Rev.	Date

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Ritz-Sagamore
1 Lincoln Road
Miami Beach, FL 33139

Owner: Di Lido Beach Resort LLC.
Name: EBJ Sagamore LLC.
Address: Sobe Sky Development LLC.
Tel: Di Lido Beach Resort Hotel Corporation
Email:

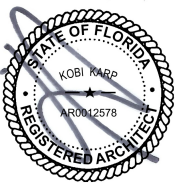
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Email:

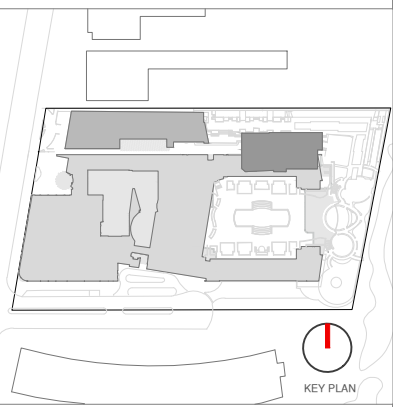
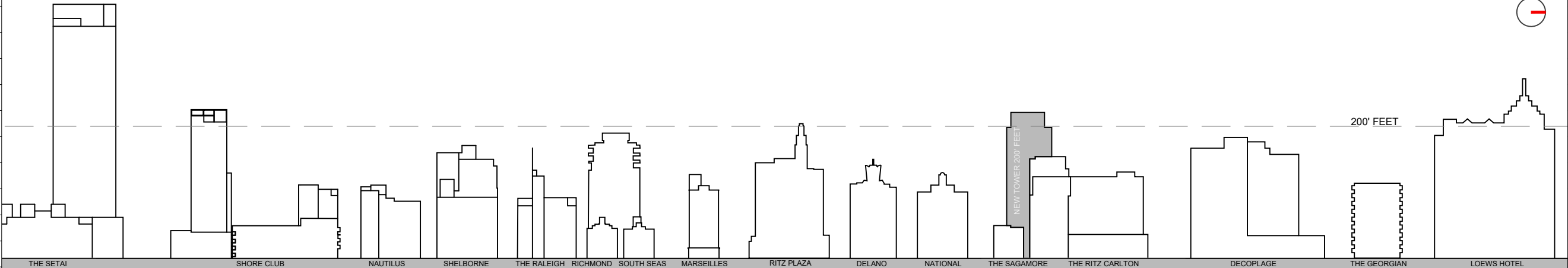
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LOCATION MAP

RITZ-SAGAMORE

Date	11-12-2021	Sheet No.
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Ritz-Sagamore
1 Lincoln Road
Miami Beach, FL 33139

Owner:
Name: Di Lido Beach Resort LLC.
Address: EBJ Sagamore LLC.
Address: Sobe Sky Development LLC.
Tel: Di Lido Beach Resort Hotel Corporation
Email:

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Email: 786.717.6564

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305.755.3833

Consultant:
Name: Desimore Consulting Engineering
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Email: 305.441.0755

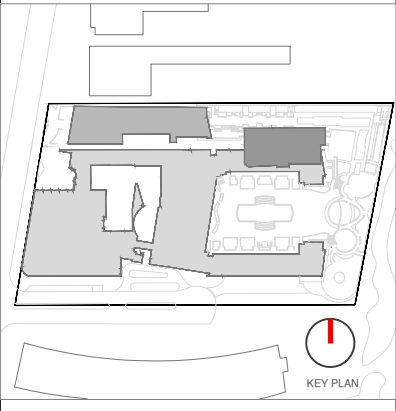
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CONTEXT AERIAL
RITZ-SAGAMORE

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VIEW FROM COLLINS AVE.



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CONTEXT
SURROUNDING BUILDINGS

Date	11-12-2021	Sheet No.
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Project	2018	



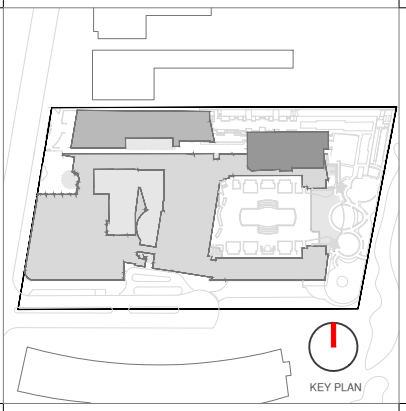
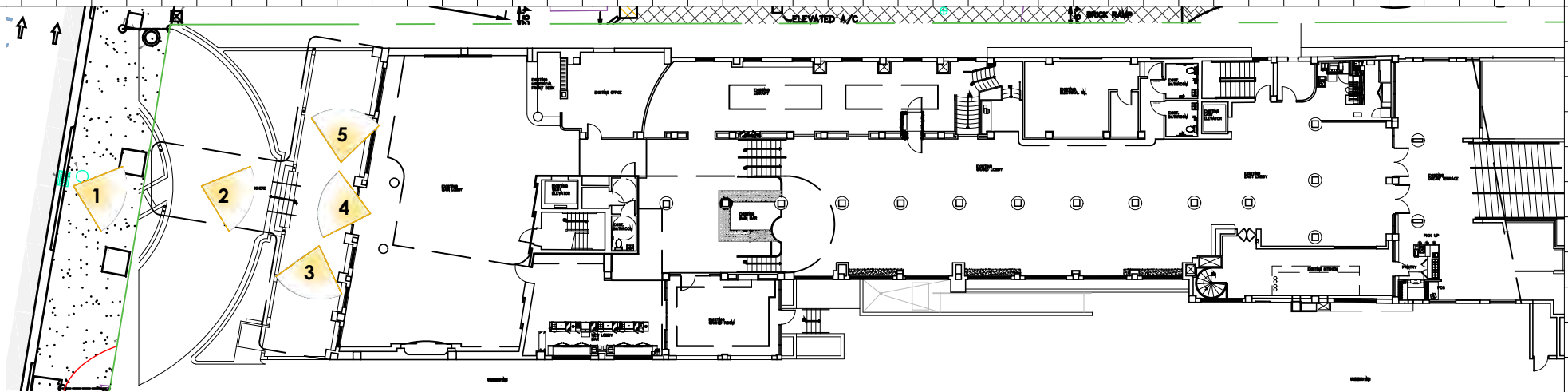
THE DECOPLAGE - COLISH & GROSSMAN, 1965



THE DELANO HOTEL - ROBERT SWARTBURG, 1947



NATIONAL HOTEL - ROY FRANCE, 1940



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EXISTING IMAGES

SAGAMORE

Date	11-12-2021	Sheet No.
Scale	NTS	A0.30
Project	2018	



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VIEW FROM COLLINS AVENUE



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PORTE COCHERE TOWARDS LOBBY



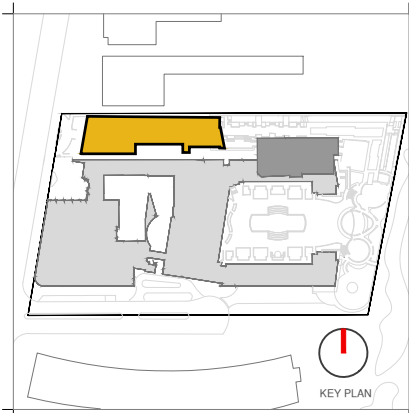
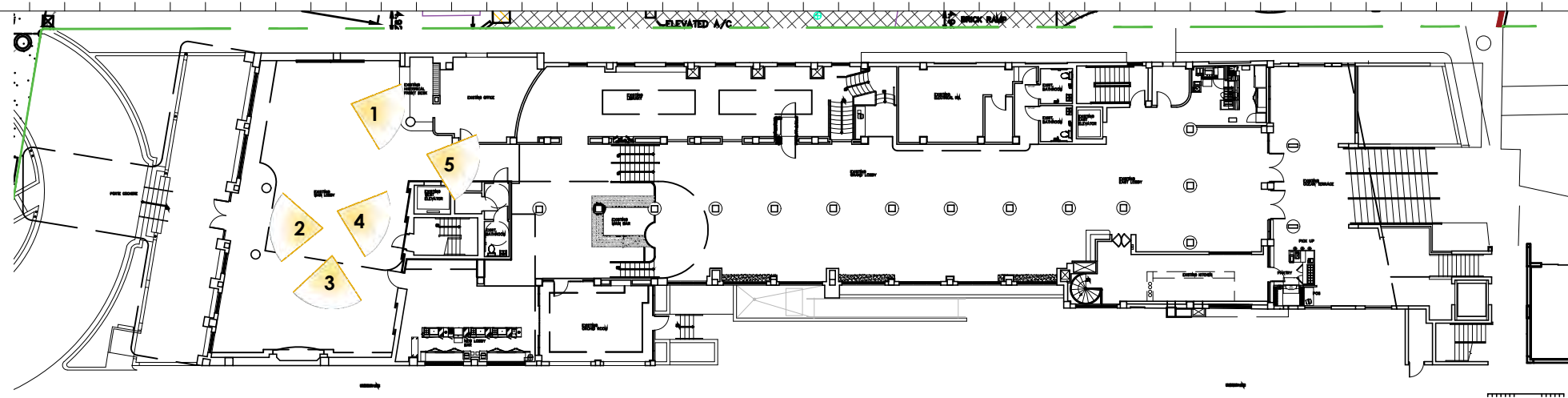
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EXTERIOR LOBBY LOUNGE TOWARDS THE RITZ



4
LOBBY TOWARDS PORTE COCHERE



5
EXTERIOR LOBBY LOUNGE TOWARDS THE NATIONAL



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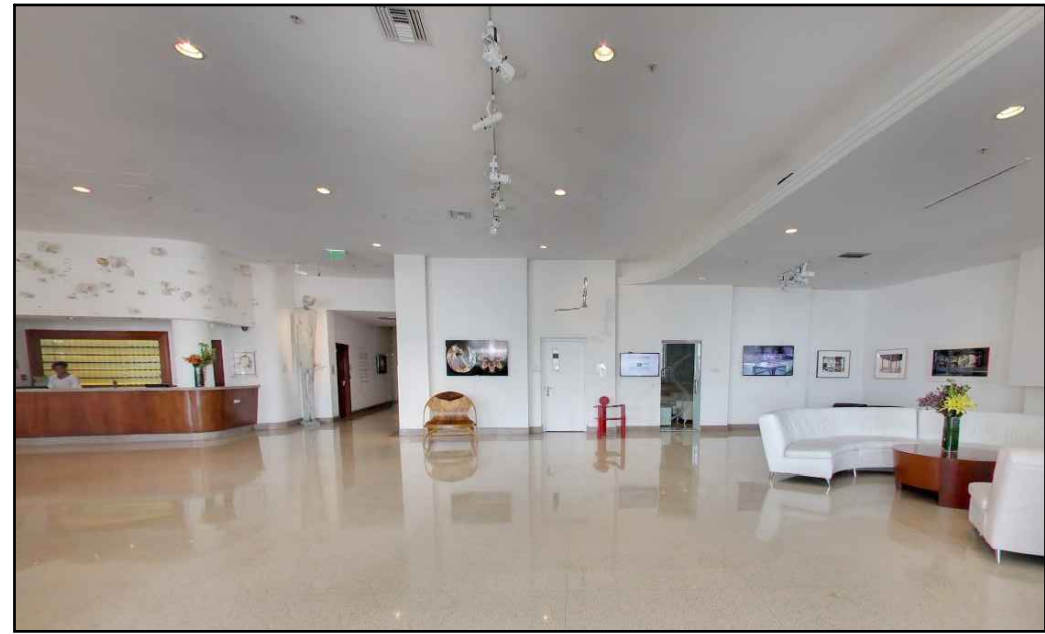
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HISTORIC LOBBY



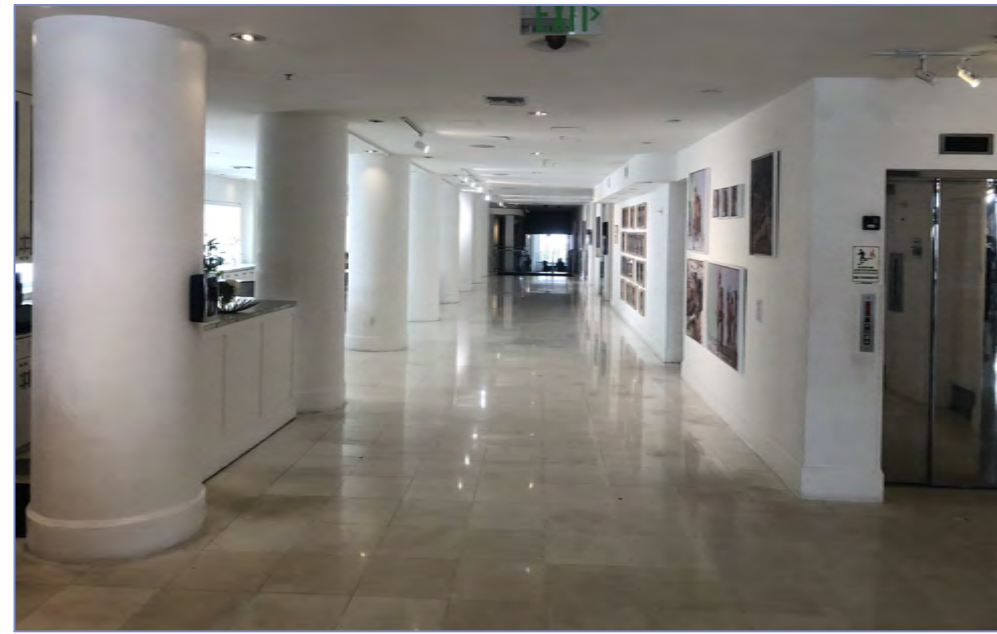
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ENTRANCE FACING COLLINS AVENUE



3
LOBBY LOUNGE



4
ENTRANCE FACING COLLINS AVENUE



5
LOBBY CORRIDOR

Ritz-Sagamore
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Miami Beach, FL 33139

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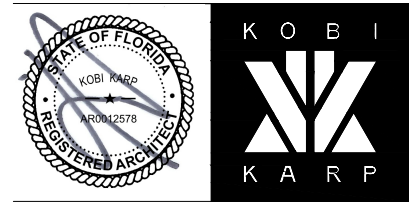
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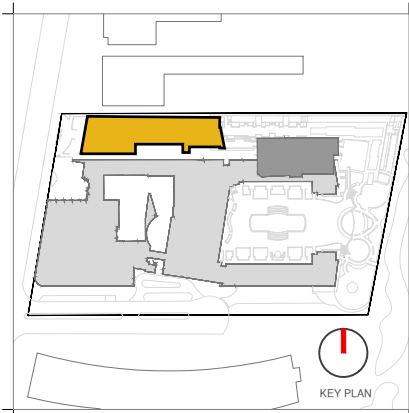
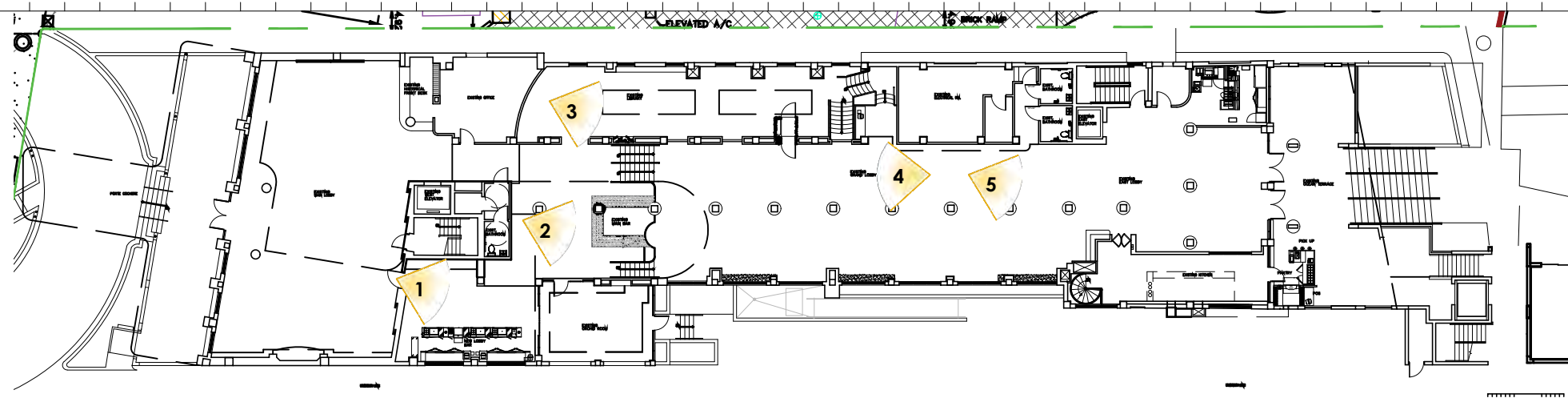
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SAGAMORE

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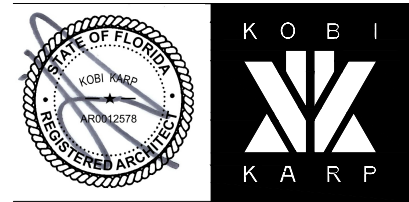
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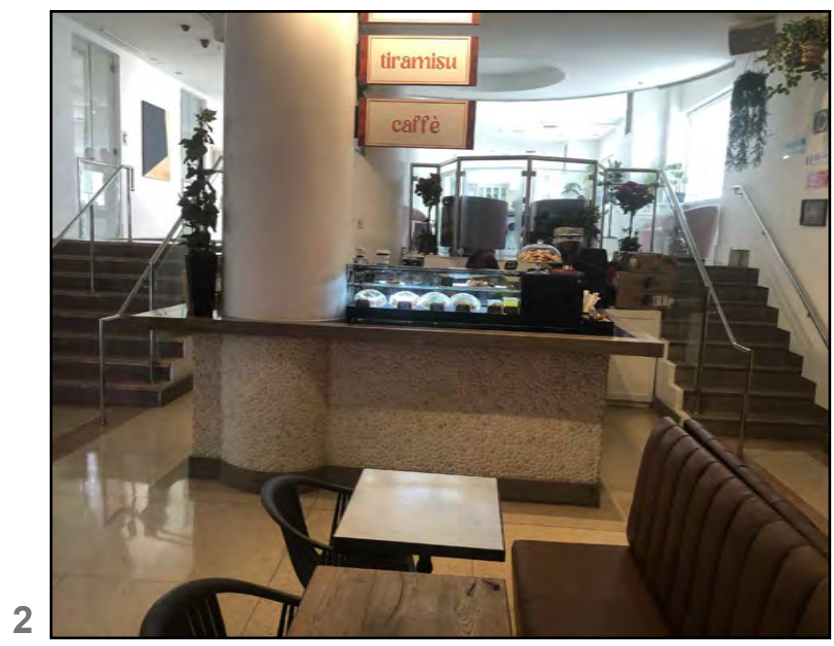


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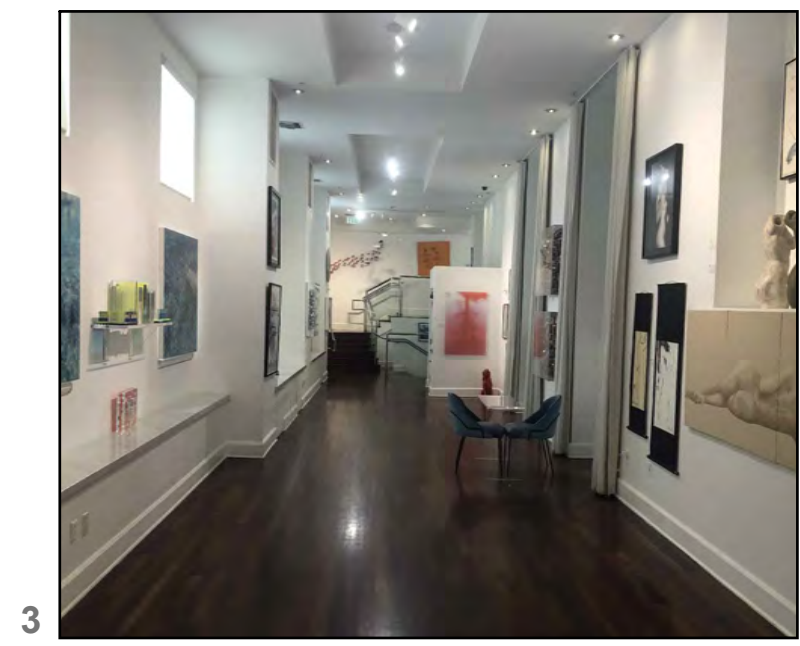
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Project	2018	



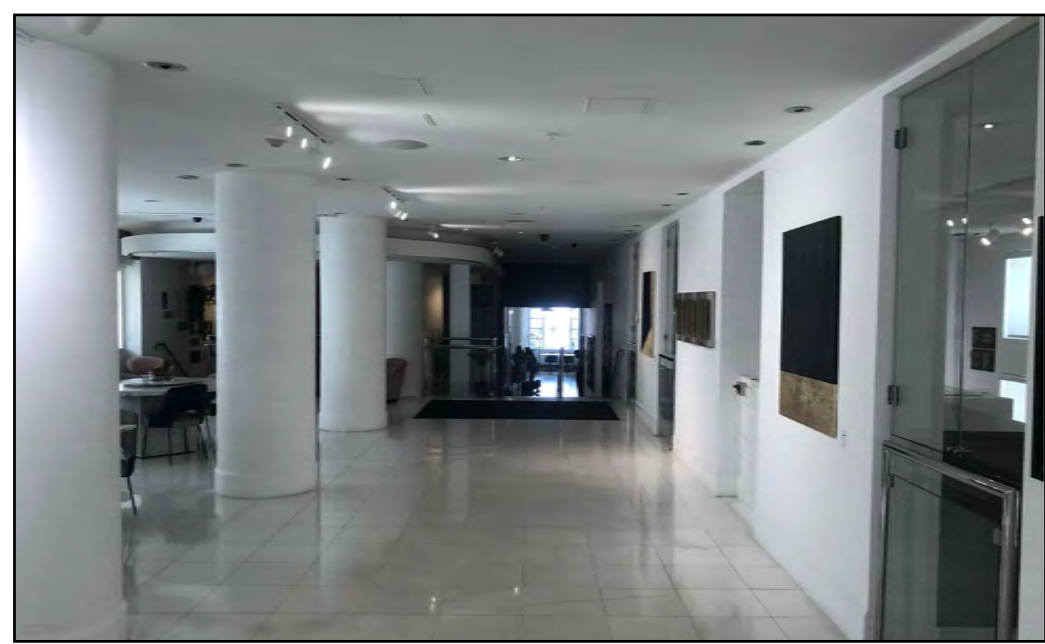
1 LOBBY BAR ADJACENT TO ORCHID ROOM



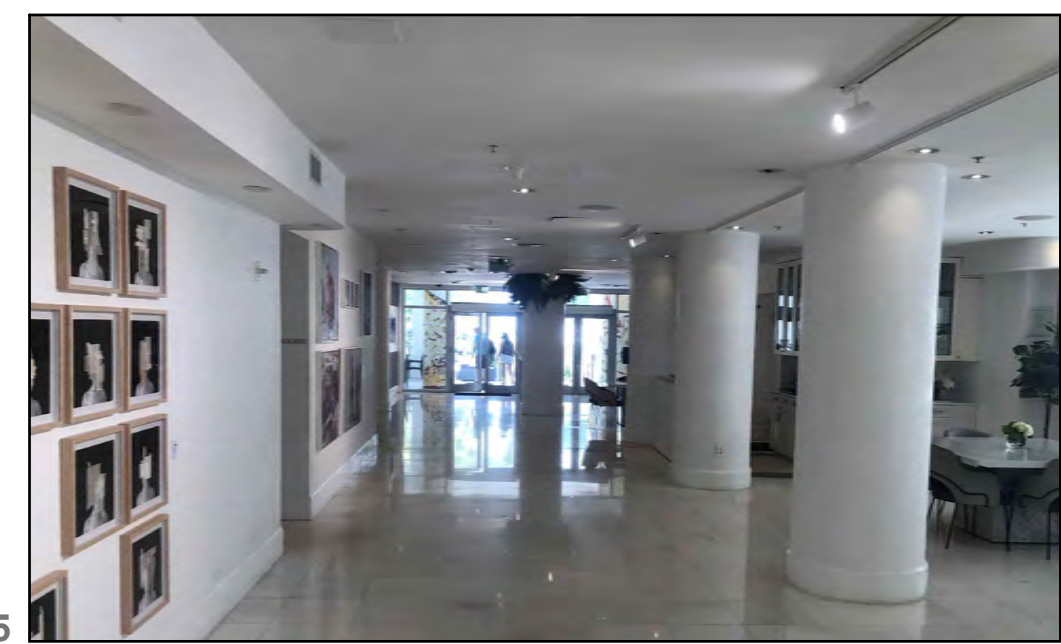
2 MAIN BAR



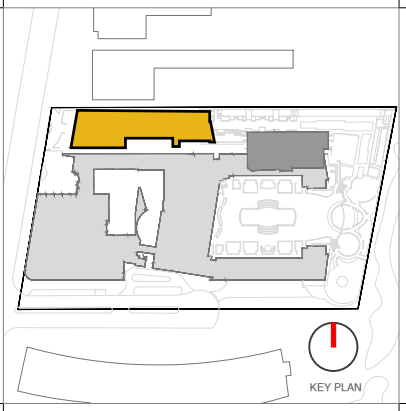
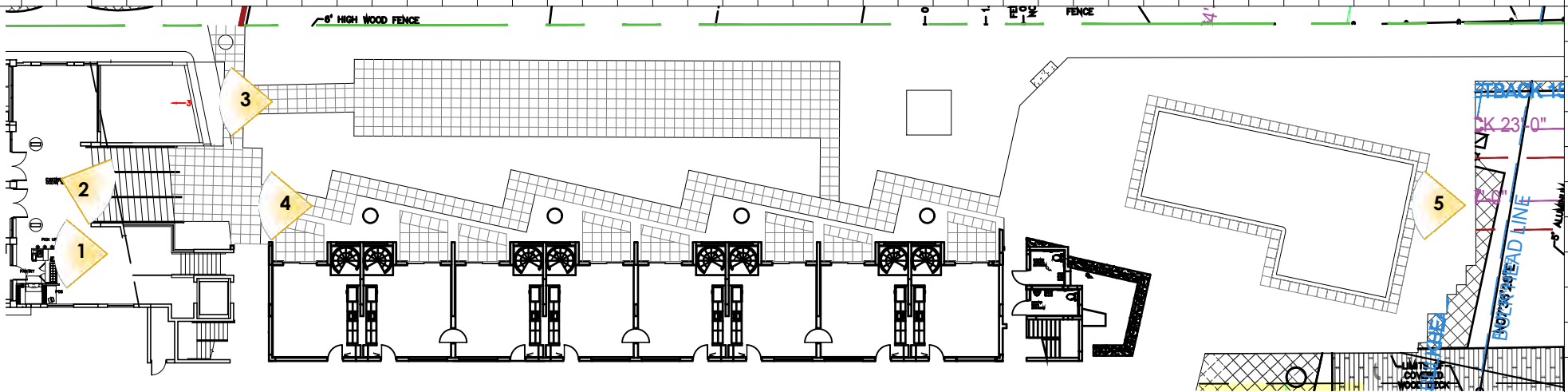
3 LIBRARY



4 GRAND LOBBY TOWARDS COLLINS AVENUE



5 GRAND LOBBY TOWARDS POOL



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EXISTING IMAGES

SAGAMORE

Date	11-12-2021	Sheet No.
Scale	NTS	A0.33
Project	2018	



1
PANTRY



2
OCEAN TERRACE TOWARDS POOL



3
GYM



4
OCEAN TERRACE TOWARDS COLLINS AVENUE



5
POOL TOWARDS COLLINS AVENUE

HISTORIC OVERVIEW

The Sagamore and the Ritz Hotel are both located in the Collins Avenue / Ocean Drive Local Historic District and the National Register Historic District in the City of Miami Beach. The Miami Beach Architectural District, a National Register District, was established in 1979 through the efforts of the Miami Design Preservation League. The district is commonly referred to as the Art Deco Historic District. Four of the local Miami Beach Historic Districts (Espanola Way, Ocean Drive / Collins Avenue, Museum, and Flamingo Park) together comprise the National Register District.

“The subject structure (Sagamore) is an excellent example of the evolution of the City's resort architecture from the fashionable Art Deco styles of the pre-World War II era Art Deco to the Modern style(s) following the war (sometimes referred to collectively as the International style).” The Sagamore Hotel was built in 1948 on the northern portion of the former Seiberling estate property, . The Sagamore was originally constructed with 113 hotel rooms and one apartment suite according to the City of Miami Beach Building Card.

The original Dilido Hotel building was 8 stories tall and contained 303 hotel rooms plus a Coffee Shop, Dining Room and Cocktail Lounge, one 1-bedroom apartment plus 15 efficiency apartments.

Both Structures are located in the ‘Fisher’s First Subdivision’ as platted by Miami Beach in 1915. This was the first platted subdivision of the lands owned by Carl Fisher.



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THE SAGAMORE HOTEL
1671 COLLINS AVENUE MIAMI BEACH, FL 33139



THE RITZ CARLTON DILIDO HOTEL
1669 COLLINS AVENUE MIAMI BEACH, FL 33139

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1 Lincoln Road
Miami Beach, FL 33139

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Name: EBJ Sagamore LLC.
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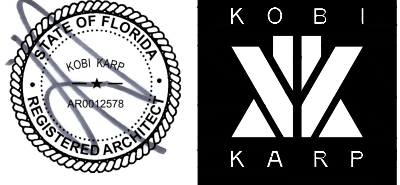
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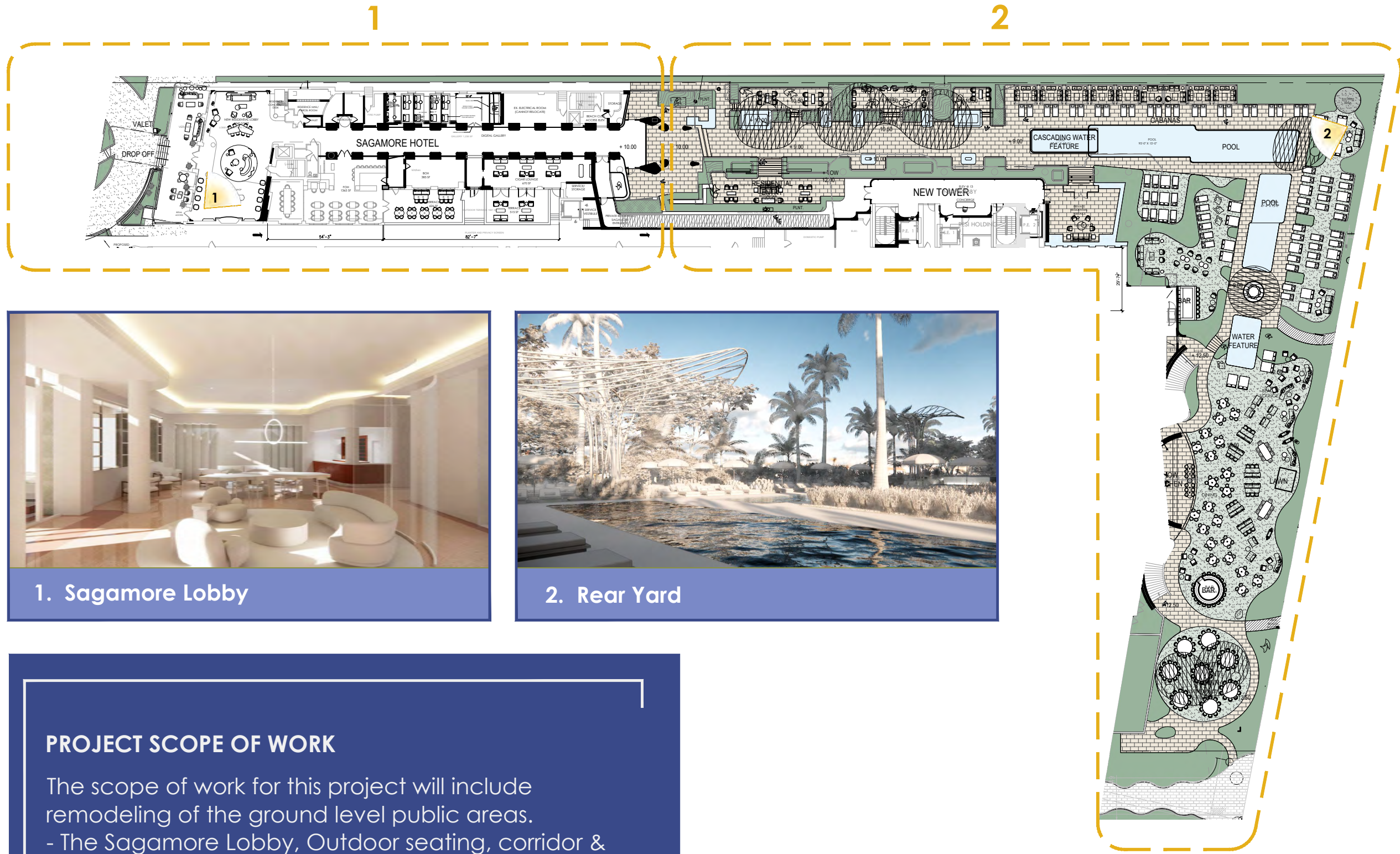
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HISTORIC OVERVIEW
RITZ-SAGAMORE

Date	11-12-2021	Sheet No.
Scale	1"=50'-0"	A0.50
Project	2018	



1. Sagamore Lobby



2. Rear Yard

PROJECT SCOPE OF WORK

- The scope of work for this project will include remodeling of the ground level public areas.
- The Sagamore Lobby, Outdoor seating, corridor & slab.
 - New rear yard, Pool deck, and beach restaurant.
 - New Tower to replace existing Cabana.

INTERIOR & EXTERIOR SCOPE OF WORK AREAS

- 1-Existing Sagamore Area
- 2-Existing Rear yard & pool deck Area

Rev.	Date	Rev.	Date

Ritz-Sagamore
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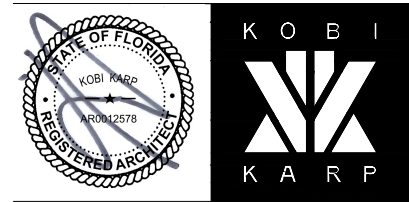
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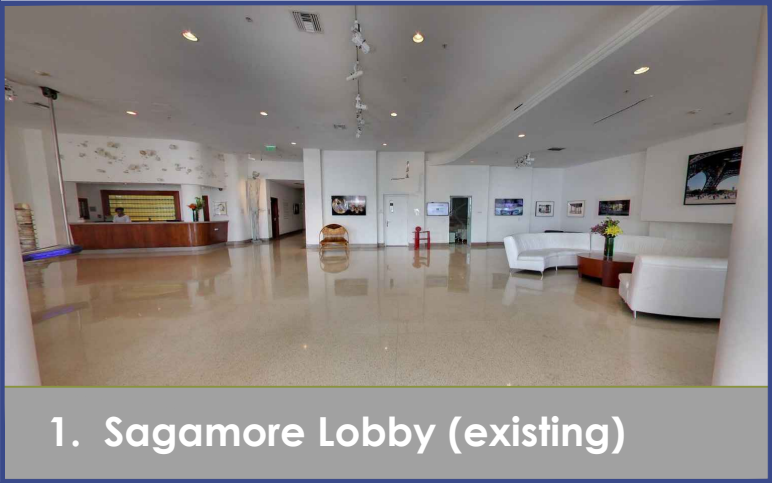
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SCOPE OF WORK
RITZ-SAGAMORE

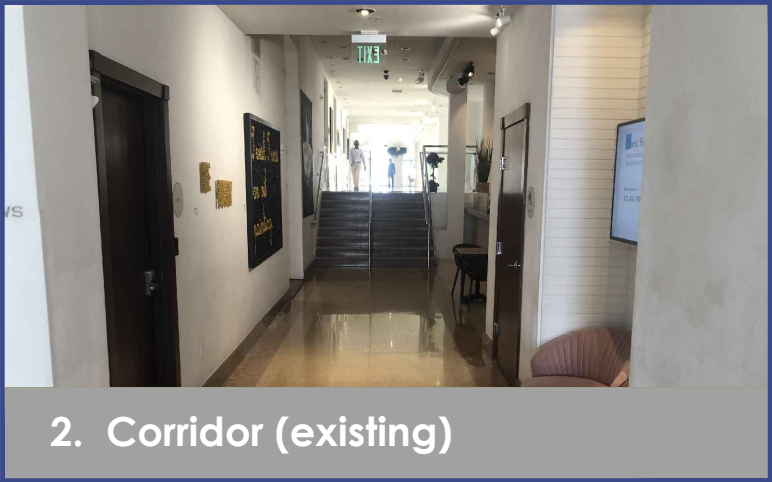
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Project	2018	



1. Sagamore Lobby (existing)



1. Sagamore Lobby (Proposed)



2. Corridor (existing)



2. Corridor (proposed)

INTERIOR SCOPE OF WORK AREAS

- 1-Remodeling Sagamore Lobby Area.
- 2-Lower Corridor Slab align corridor floor with lobby level.

Rev.	Date	Rev.	Date

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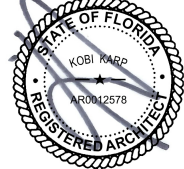
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SCOPE OF WORK
RITZ-SAGAMORE

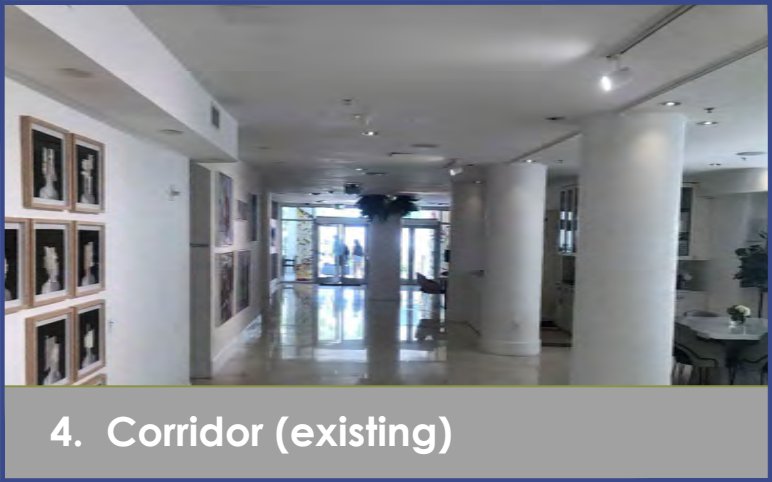
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Project	2018	



3. Rear Lobby (existing)



3. Rear Lobby (proposed)



4. Corridor (existing)



4. Corridor (proposed)

INTERIOR SCOPE OF WORK AREAS

- 3-Remodeling Sagamore Rear Lobby
- 4-Remodeling Lobby corridor.



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SCOPE OF WORK
RITZ-SAGAMORE

Date	11-12-2021	Sheet No.
Scale	1"=50'-0"	A0.53
Project	2018	



5. Pool Deck (existing)



5. Pool Deck (proposed)



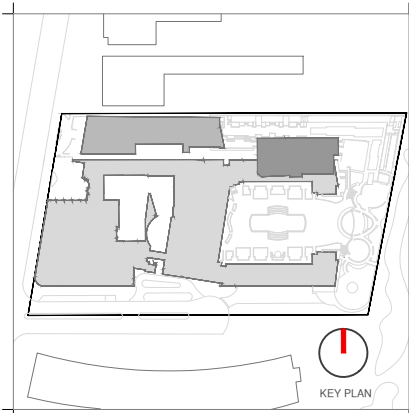
6. Beach Restaurant (existing)



6. Beach Restaurant (proposed)

EXTERIOR SCOPE OF WORK AREAS

- 5-Remodeling Pool Deck Area
- 6-New Beach Restaurant



Rev.	Date	Rev.	Date

Ritz-Sagamore
1 Lincoln Road
Miami Beach, FL 33139

Owner: Di Lido Beach Resort LLC.
Name: EBJ Sagamore LLC.
Address: Sobe Sky Development LLC.
Address: Di Lido Beach Resort Hotel Corporation
Tel:
Email:

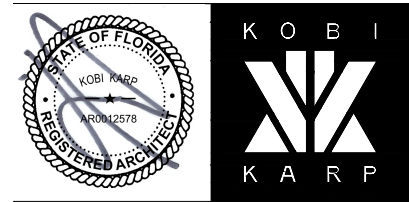
Consultant: STUDIO MUNGE.
Name: 25 Wingold Avenue.
Address: Toronto, ON Canada M6B 1P8
Tel: 416.588.1668
Email:

Consultant: LANDSCAPE ARCHITECT
Name: Naturalistic.
Address: 6915 Red Road, Suite 224
Address: Coral Gables, FL 33143
Tel: 786.717.6564
Email:

Consultant: MEP
Name: MG Engineering.
Address: 6915 Red Road, Suite 224
Address: 2800 Biscayne Blvd
Tel: Miami, FL, 33137
Email: 305.755.3833

Consultant:
Name: Desimore Consulting Engineering
Address: 800 Brickell Avenue, 6th Floor
Address: Miami, FL 33131
Tel: 305.441.0755
Email:

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28TH ST
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



SCOPE OF WORK

RITZ-SAGAMORE

Date	11-12-2021	Sheet No.
Scale	1"=50'-0"	A0.54
Project	2018	