400 N. Hibiscus Dr., Miami Beach, Florida 33139



CLIENT

MR. KEVÍN FLAHERTY

ARCHITECT

LANDSCAPE ARCHITECT

SCOPE OF WORK

ELEVATION,

CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC 780 NE 69TH ST, STE 1106 MIAMI, FL 33138 (305) 979-1585

I.REQUEST FOR DRB APPROVAL FOR THE PROPERTY

THE OPEN-SPACE COURTYARD FOR THE SOUTH

LOCATED AT 400 N. HIBISCUS DR., MIAMI BEACH, FL 33140

REQUEST TO WAIVE THE ELEVATION REQUIREMENTS FOR

registered architect AR0009679 AA26003009

12/15/2021

revised:

sheet no.

A-000

comm no.



January 31st, 2021

City of Miami Beach
Planning Department- Second Floor
1700 Convention Center Drive
Miami Beach, Florida 33139

Attention: Planning Staff and Design Review Board

Re: Proposed new two-story residence to be located at 400 N. Hibiscus Drive on Miami Beach, FL. Architect's Letter of Intent.

Planning Staff and Design Review Board,

We have designed a new two-story residence to be located at 400 N. Hibiscus Drive on Miami Beach. The property has 9,500 square feet and is in an AE-10 flood zone. This is a corner property, thus both street elevations must read as front elevations. We feel we have achieved this combining shifting architectural planes with the careful use of materials. The estimated cost of construction is 2,064,780.00.

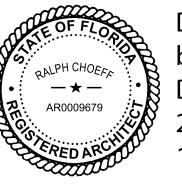
We feel we comply with all zoning requirements except one. We are seeking a waiver from the maximum allowed 60' length on the South side elevation that has an adjacent property. We have a continuous run of about 68' but have circumvented the elevation with shifting plans and the use of materials and fenestration.

We are compliant with the unit size at 48.2%, the lot coverage at 25.9%, the front yard pervious area at 60.4%, the rear pervious area at 80.1% and our maximum finished first floor to top of roof height is 24'-0". The existing residence on site to be demolished was constructed in 1956. Since the flood zone is AE-10, we are required to go at a minimum of the flood zone elevation plus 1'-0", this our finished first floor will be at +11'-0" NGVD.

We hope that the Planning Staff and the Design Review Board will grant us the one waiver that we seek here.

Sincerely,

Ralph Choeff, President Choeff Levy Fischman PA



Digitally signed by Ralph Choeff Date: 2022.02.04 11:51:39 -05'00'

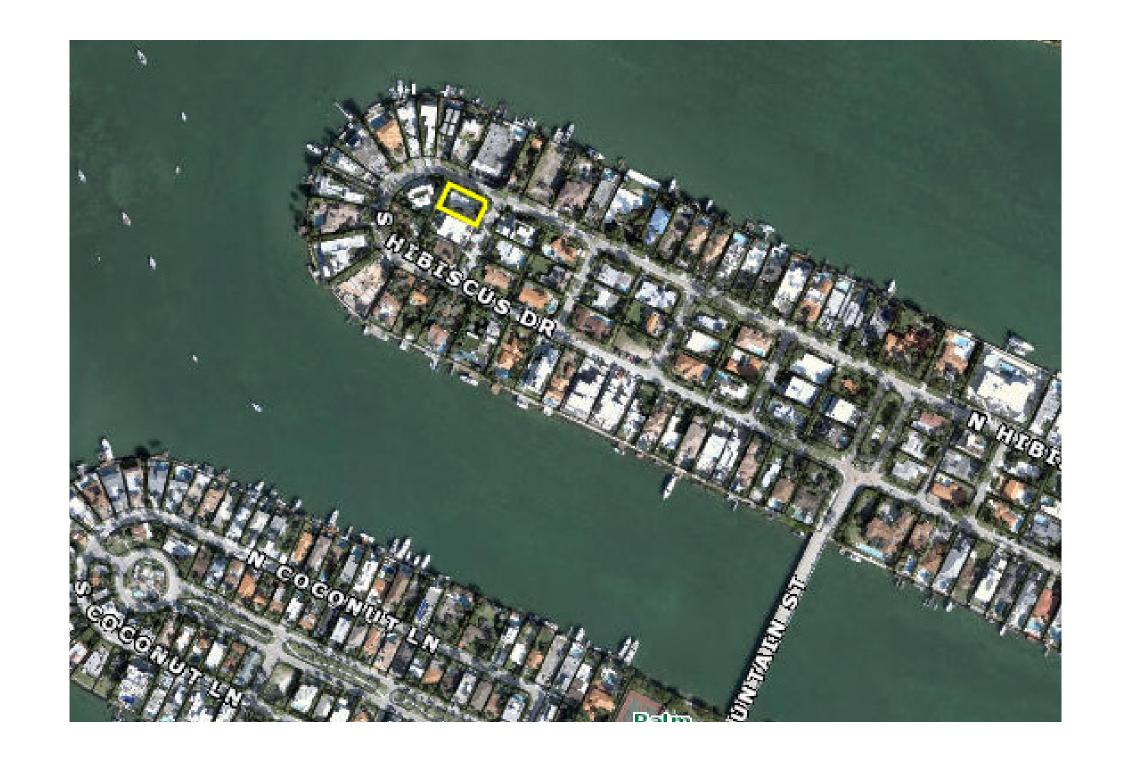
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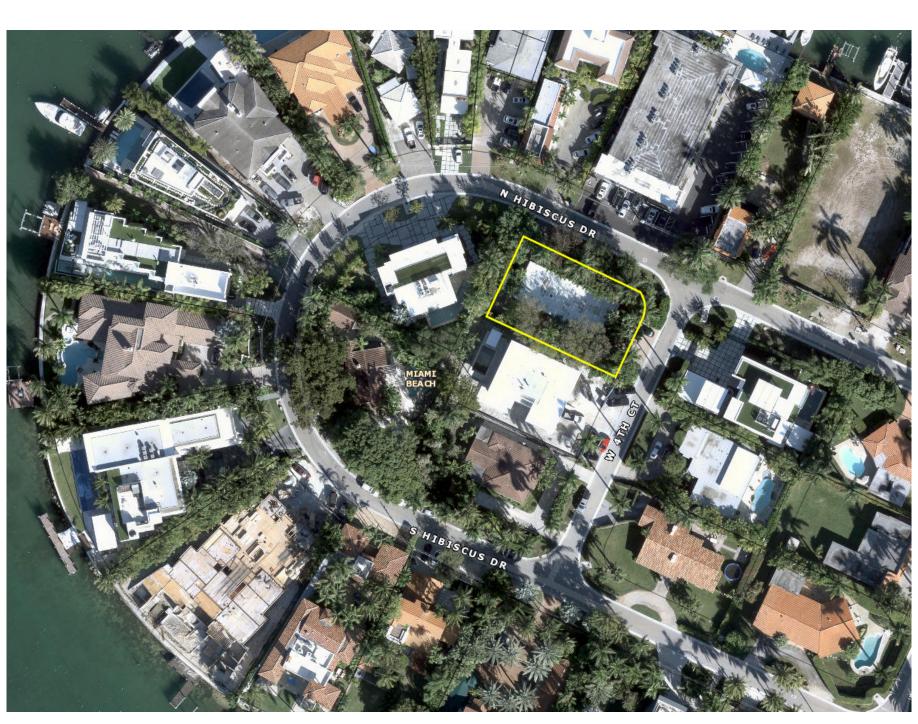
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REQUEST FOR DRB APPROVAL FOR: FLAHERTY RESIDENCE

400 N. Hibiscus Dr., Miami Beach, Florida 33139

DRB22-0786





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sheet no.

AA26003009

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY

TREE 10.0 35.0 30.0	No.	Name	Diameter		_
PALM			(Ft.)	(Ft.)	(Ft.)
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PALMS CLUSTER	_				
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7 PALMS CLUSTER (2) 1.0 30.0 10.0	7	PALMS CLUSTER (2)	1.0	30.0	10.0
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73 PALM 2.0 35.0 15.0	73	PALM	2.0	35.0	15.0
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	76				12.0
TDTT 00 000 00	77				30.0
	78				15.0
	79				8.0
	30				6.0
	31				15.0

JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

3725 DEL PRADO BLVD. S.

CAPE CORAL, FL 33904

PH: (239) 540-2660

FAX: (239) 540-2664

SUITE 823

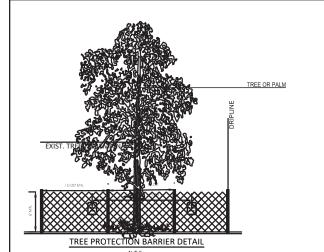
777 N.W. 72nd AVENUE

MIAMI, FLORIDA 33126

PH: (305) 262-0400

FAX: (305) 262-0401

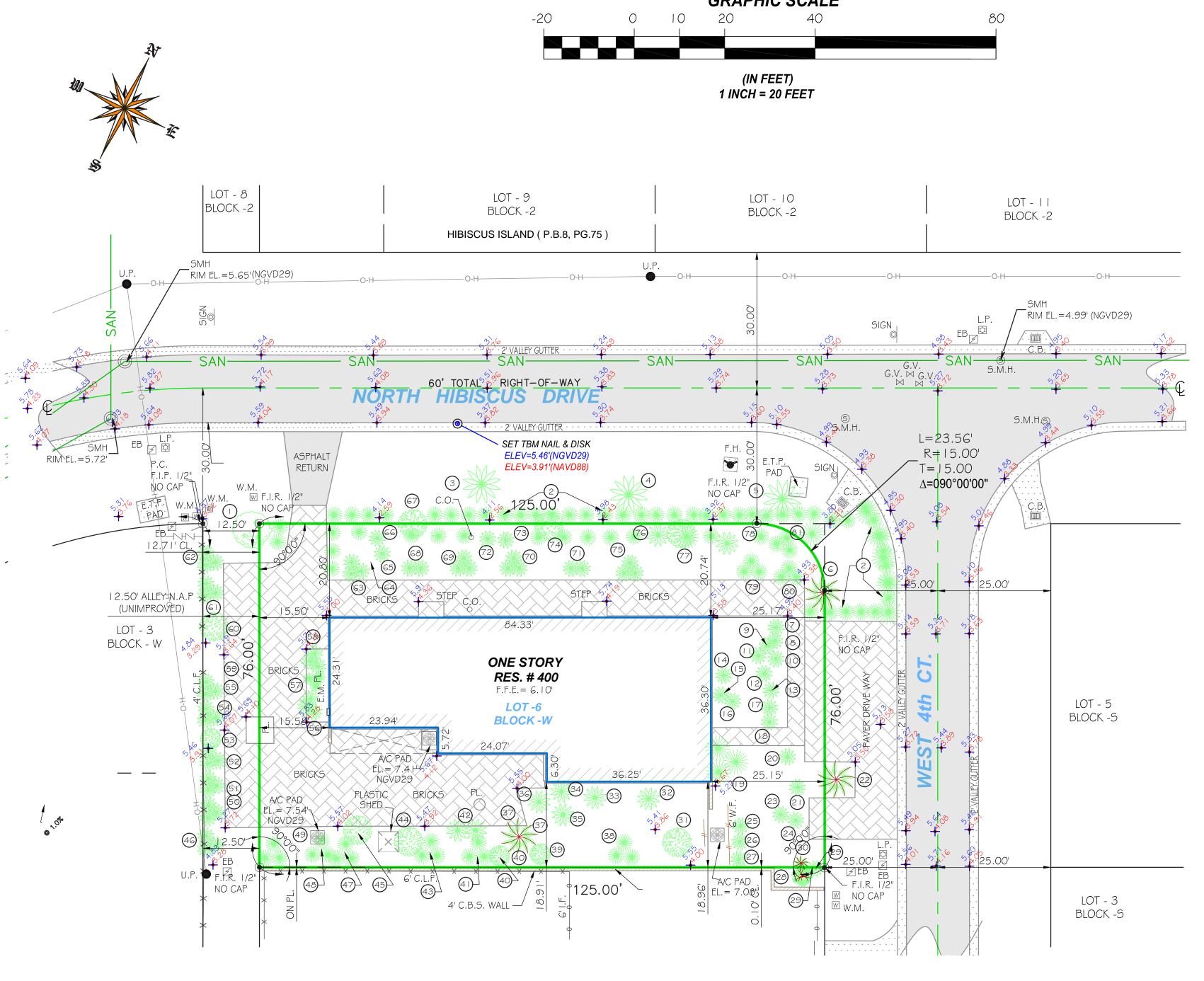
AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.



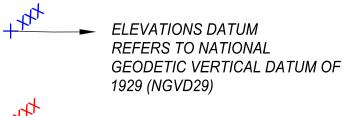
BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES. DANNIER TO BE CONTINUOUS ANOMOTHER TREE ON ROOF OF TREES.

A MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY, AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL. 2. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION FOR ALL ROOTS OVER ONE (1) INCH IN DIMATER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS

3. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BT THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE 4. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) ALONG THE



ADDITIONAL SURVEYOR'S NOTES:



ELEVATIONS DATUM REFERS TO NORTH AMERICAN *VERTICAL DATUM OF 1988*

ELEVATION CONVERESION NOTE: NGVD 1929 TO NAVD 1988 = SUBTRACT 1.55 FEET FROM NGVD 1929 = NAVD 1988;



LEGAL DESCRIPTION:

LOT 6, BLOCK W OF HIBISCUS ISLAND ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 87 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FOUNDATIONS.

• FENCE OWNERSHIP NOT DETERMINED.

FLOOD ZONE INFORMATION:

120635

09/11/2009

THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.

0316

BASE FLOOD ELEVATION: 10FT.

SURVEYOR'S NOTES:

COUNTY, TOWNSHIP MAPS.

3. CERTIFICATE OF AUTHORIZATION LB # 7806.

SURVEYOR'S CERTIFICATION:

= (4.07 + 1.55' = 5.62') RESULTS = 5.62' FEET NGVD 29.

COMMUNITY:

DATE OF FIRM:

PANEL:

SUFFIX:

ABBREVIATIONS PROPERTY ADDRESS: 400 N HIBISCUS DRIVE MIAMI BEACH, FLORIDA 33139 = AIR CONDITIONER PAD = ANCHOR EASEMENT A.R. = ALUMINUM ROOF

CERTIFICATION: ZEUS S HIBISCUS HOUSE LLC

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY: = CLEAR • THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY. • EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. • THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR • LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY

C.S. = CONCRETE SLAB C.W. = CONCRETE WALK = DRAINAGE EASEMENT D.M.E. = DRAINAGE MAINTENANCE EASEMENT DRIVE = DRIVEWAY = ELECTRIC BOX E.T.P. = ELECTRIC TRANSFORMER PAD

F.H. = FIRE HYDRANT F.I.P. = FOUND IRON PIPE F F F = FINISHED FLOOR FLEVATION F.N.D. = FOUND NAIL & DISK FNIP. = FEDERAL NATIONAL INSURANCE PROGR. F.N. = FOUND NAIL IN.&EG. = INGRESS AND EGRESS EASEMENT I.C.V. = IRRIGATION CONTROL VALVE

L.B. = LICENSED BUSINESS = LIGHT POLE L.F.E. = LOWEST FLOOR ELEVATION L.M.E. = LAKE MAINTENANCE EASEMENT = MINUTES (M) = MEASURED DISTANCE MET. =METAL M.B. = MAIL BOX M.D.C.R.= MIAMI DADE COUNTY RECORDS M.E. = MAINTENANCE EASEMENT
M.H. = MANHOLE

N.A.P. = NOT A PART OF NGVD = NATIONAL GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE # or NO. = NUMBER O/S = OFFSET O.H. = OVERHEAD O.H.L. = OVERHEAD UTILITY LINES O.R.B. = OFFICIAL RECORDS BOOK O.V.H. = OVFRHANGPVMT. = PAVEMENT PL. = PLANTER

= PROPERTY I INF = RECORD DISTANCE = RAIL ROAD

= SOUTH = SCREENED PORCH = SECONDS = TANGENT = TELEPHONE BOOTH

TWP = TOWNSHIP U.E. = UTILITY EASEMENT U.P. = UTILITY POLE = WOOD FENCE MRP. = WOOD PORCH= WOOD ROOF W.V. = WATER VALVE = MONUMENT LINE **LEGEND**

= CONCRETE BLOCK WALL -x x x = CHAIN LINK FENCE $\frac{0}{0}$ = IRON FENCE

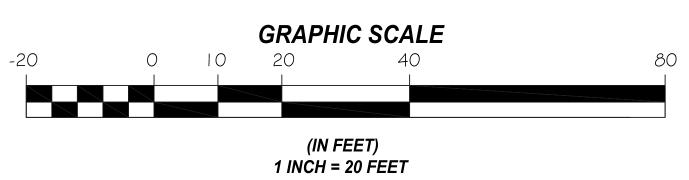
_______ = WOOD FENCE --- = BUILDING SETBACK LINE

 $\times 0.00$ = EXISTING ELEVATIONS

_______ = NON-VEHICULAR ACCESS R/W

SURVEYOR AND MAPPER).

	DRAWN BY:	LK	
	FIELD DATE:	12/10/2021	
	SURVEY NO:	21-004151	
w	SHEET:	1 OF 1	



ASPH. = ASPHALT B.C. = BLOCK CORNER B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS B.O.S. = BOTTOM OF STRUCTURE B.S.L. = BUILDING SETBACK LINE = CALCULATED C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE C.B.W. = CONCRETE BLOCK WALL CH. = CHORD CH.B. = CHORD BEARING CH.L. = CHORD LENGTH C.O. = CLEAN OUT C.L.F. = CHAIN LINK FENCE CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE

ELEV. = ELEVATION

= IRON FENCE

P.C.C. = POINT OF COMPOUND CURVATURE P.O.T. = POINT OF TANGENCY

P.O.C. = POINT OF COMMENCEMENT P.O.B. = POINT OF BEGINNING P.R.C. = POINT OF REVERSE CURVATURE PWY = PARKWAYP.R.M. = PERMANENT REFERENCE MONUMENT P.L.S. = PROFESSIONAL LAND SURVEYOR P.P. = POWER POLEP.P.S. = POOL PUMP SLAB P.U.E. = PUBLIC UTILITY EASEMENT

RES. = RESIDENCE R/W = RIGHT-OF-WAYRAD. = RADIUS OR RADIAL R.O.E. = ROOF OVERHANG EASEMENT SEC. = SECTION SWK. = SIDEWALK S.I.P. = SET IRON PIPE STW = STORM WATER MANHOLE SMH = SANITARY MANHOLE S.V. = SEWER VALVE

T.B.M. = TEMPORARY BENCHMARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT T.S.P. = TRAFFIC SIGNAL POLE

— = OVERHEAD UTILITY LINES

—— —— = UTILITY EASEMENT

RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

12/10/2021 JOHN IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSI

BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY

THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.

AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.

HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

• EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE

• THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.

ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE

• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN

THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO

4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM

OF 1929 MIAMI-DADE COUNTY BENCH MARK # CMAB HIB01. LOCATION INTERSECTION

OF W. PALM MIDWAY & S. HIBISCUS DRIVE; ELEVATION IS 4.07' FEET OF N.A.V.D. OF

1988, CONVERTED TO NGVD (29) USING CORPSCON, USING CONVERSION FORMULA

HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS

THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED

WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE;

RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR

sheet no.

sheet no.

A-004



IMAGE 1



IMAGE 2

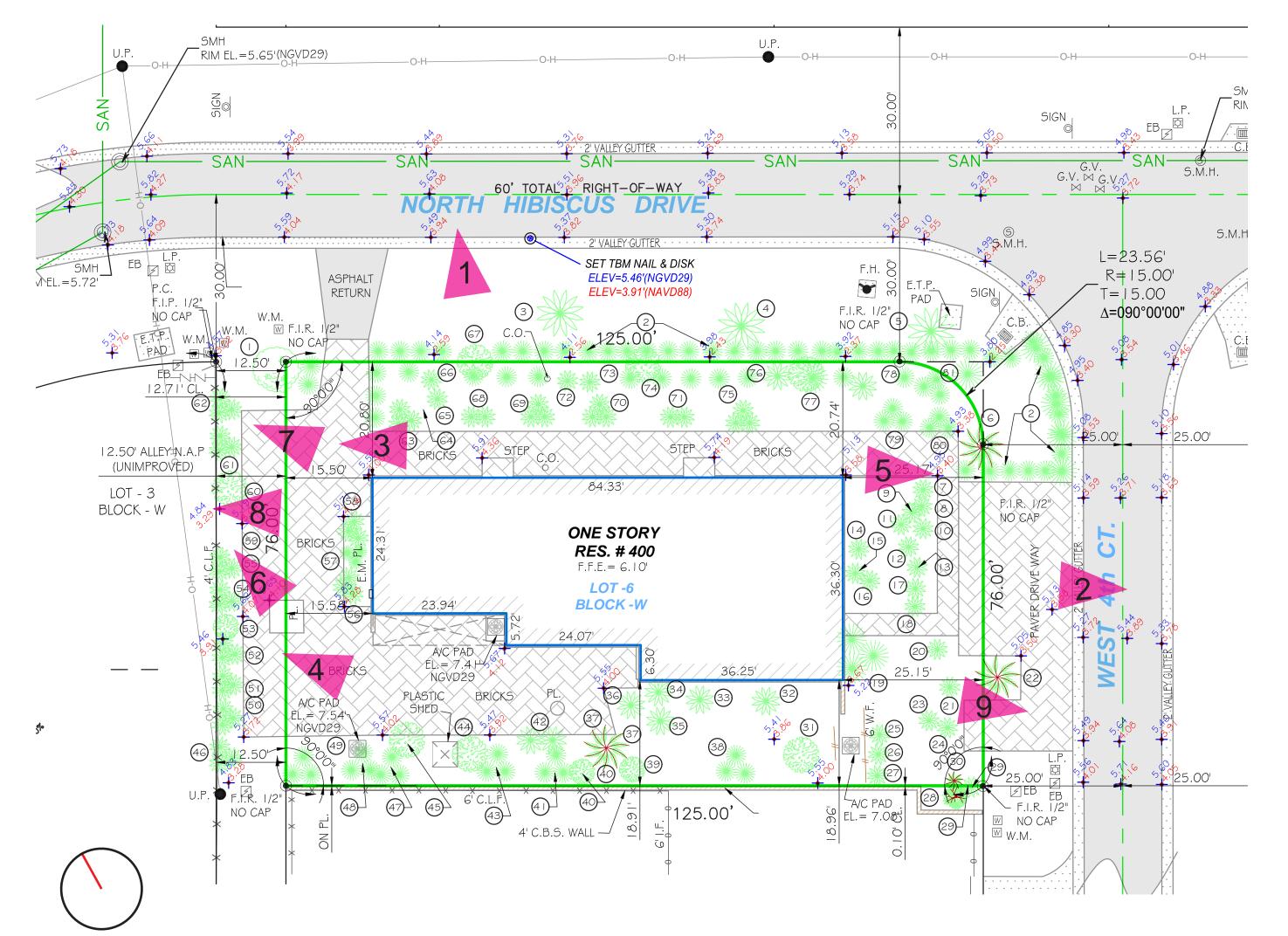




IMAGE 1



IMAGE 6



IMAGE 8



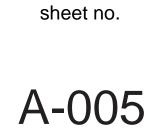
IMAGE 5



IMAGE 7



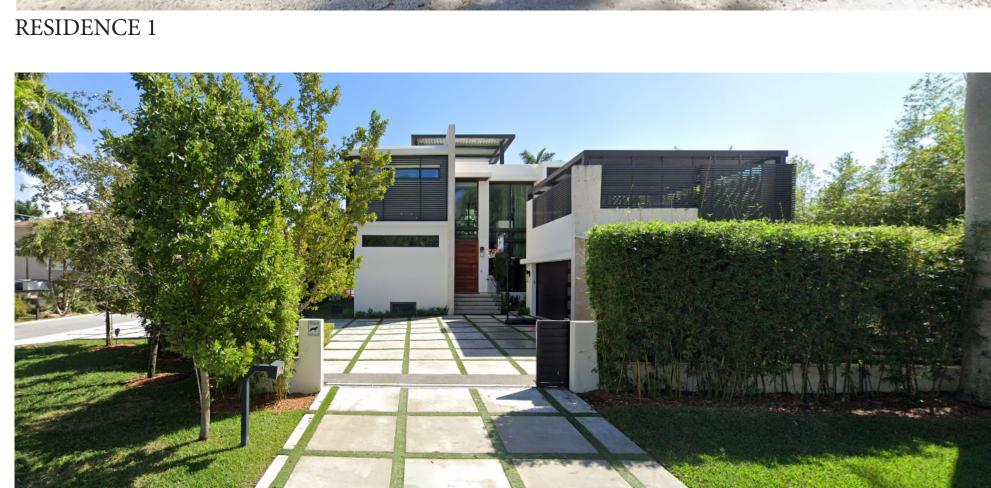
IMAGE 9













RESIDENCE 4

RESIDENCE 6









AERIAL PLAN OF PROPERTY AND SURROUNDING PROPERTIES

RESIDENCE 3



RESIDENCE 7