

REQUEST FOR DRB APPROVAL FOR:  
FLAHERTY RESIDENCE

FINAL SUBMITTAL 02/07/2022  
APRIL 2022 AGENDA

400 N. Hibiscus Dr., Miami Beach, Florida 33139

DRB22-0786



CLIENT  
MR. KEVIN FLAHERTY

ARCHITECT  
CHOEFF LEVY FISCHMAN  
ARCHITECTURE + DESIGN  
8425 BISCAYNE BLVD. SUITE 201  
MIAMI, FL 33138  
(305) 434-8338

LANDSCAPE ARCHITECT  
CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC  
180 NE 69TH ST. STE 1106  
MIAMI, FL 33138  
(305) 979-1585

FLAHERTY RESIDENCE  
400 N. HIBISCUS DR.  
MIAMI BEACH, FLORIDA 33141

seal

Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
2176

date:  
12/15/2021

revised:

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY  
LOCATED AT 400 N. HIBISCUS DR, MIAMI BEACH, FL 33140

WAIVERS:

- 1. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS FOR  
THE OPEN-SPACE COURTYARD FOR THE SOUTH  
ELEVATION.

sheet no.



January 31st, 2021

City of Miami Beach  
Planning Department- Second Floor  
1700 Convention Center Drive  
Miami Beach, Florida 33139

Attention: Planning Staff and Design Review Board

**Re: Proposed new two-story residence to be located at 400 N. Hibiscus Drive on Miami Beach, FL.  
Architect's Letter of Intent.**

Planning Staff and Design Review Board,

We have designed a new two-story residence to be located at 400 N. Hibiscus Drive on Miami Beach. The property has 9,500 square feet and is in an AE-10 flood zone. This is a corner property, thus both street elevations must read as front elevations. We feel we have achieved this combining shifting architectural planes with the careful use of materials. The estimated cost of construction is 2,064,780.00.

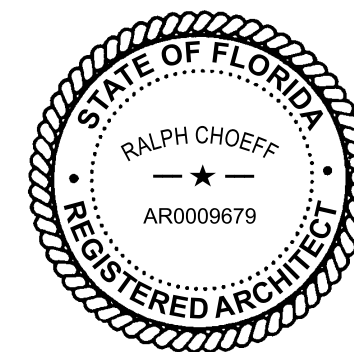
We feel we comply with all zoning requirements except one. We are seeking a waiver from the maximum allowed 60' length on the South side elevation that has an adjacent property. We have a continuous run of about 68' but have circumvented the elevation with shifting plans and the use of materials and fenestration.

We are compliant with the unit size at 48.2%, the lot coverage at 25.9%, the front yard pervious area at 60.4%, the rear pervious area at 80.1% and our maximum finished first floor to top of roof height is 24'-0". The existing residence on site to be demolished was constructed in 1956. Since the flood zone is AE-10, we are required to go at a minimum of the flood zone elevation plus 1'-0", this our finished first floor will be at +11'-0" NGVD.

We hope that the Planning Staff and the Design Review Board will grant us the one waiver that we seek here.

Sincerely,

Ralph Choeff, President  
Choeff Levy Fischman PA



Digitally signed  
by Ralph Choeff  
Date:  
2022.02.04  
11:51:39 -05'00'



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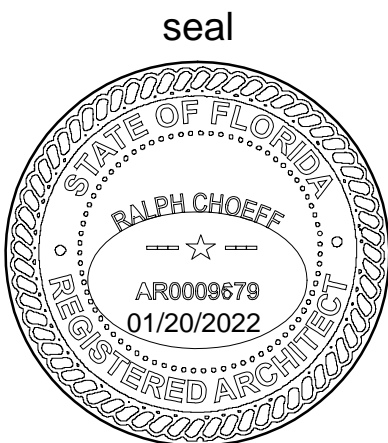










IMAGE 1



IMAGE 2

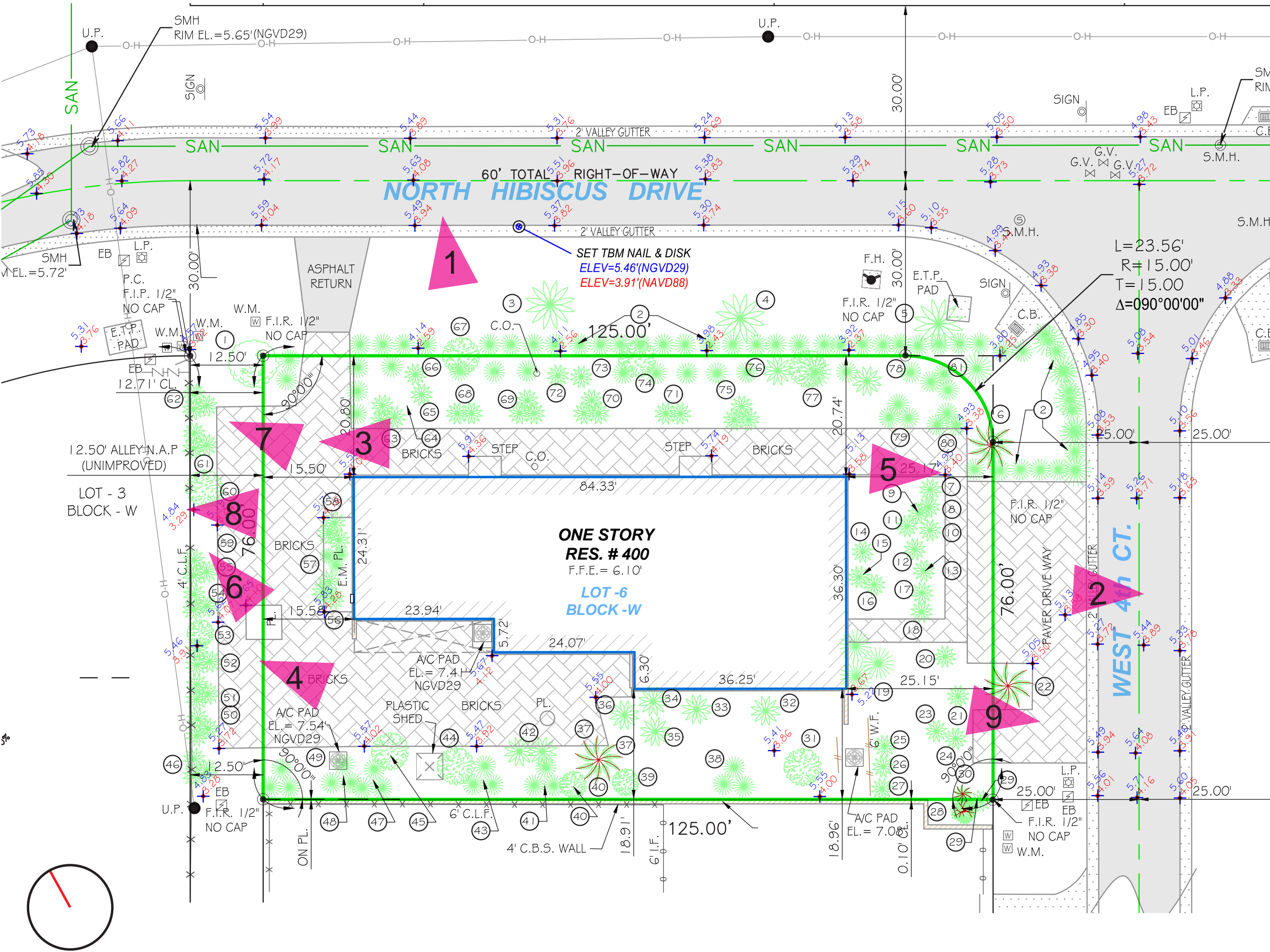


IMAGE 1



IMAGE 4



IMAGE 5



IMAGE 6



IMAGE 7



IMAGE 8



IMAGE 9







SITE



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



AERIAL PLAN OF PROPERTY AND SURROUNDING PROPERTIES



RESIDENCE 6



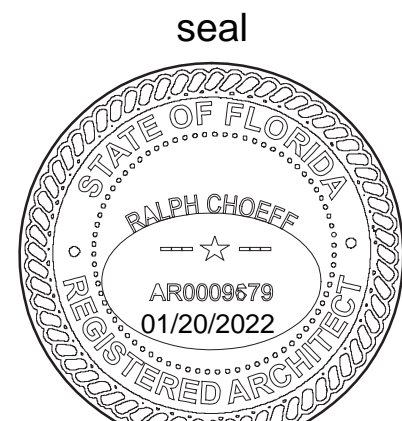
RESIDENCE 7



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES

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