

HISTORIC RESOURCES REPORT
JEFFERSON APARTMENTS/HOTEL

333 Jefferson Avenue
Miami Beach, Florida



Jefferson Apartments/Hotel, January 2022

Prepared For:

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INTRODUCTION

The Miami Beach Historic Preservation Board (HPB) is being asked to approve an application for an after-the-fact Certificate of Appropriateness for work at the Jefferson Apartments/Hotel, located at 333 Jefferson Avenue, Miami Beach. The property is a contributing resource in the locally-designated Ocean Beach Historic District. Therefore, the project is subject to review by the HPB. .

Heritage Architectural Associates (HAA) has been commissioned by Key-Tech Design Group, Corp., the representative of the owner of the Jefferson Apartments/Hotel, to provide an Historic Resources Report to be included in the Certificate of Appropriateness submission packet, per the requirements of the Miami Beach Historic Preservation Ordinance.

Key-Tech Design Group provided some documentation regarding the building's history to HAA at the outset of the project. To prepare the report, HAA conducted research with sources that included newspapers and on-line resources. Additionally, on-site photography was conducted to document the buildings and environs as they currently exist. This information has been compiled in the report, which includes a description of the historic context of the neighborhood, the history of the property, brief biographies of the architects and a current description of the property. The text is supplemented by numerous historic and contemporary images.

This work was overseen by Steven G. Avdakov, R.A., principal of HAA. The report was written and compiled by Deborah Griffin of HAA. Unless otherwise specified, all photographs were taken by Steven Avdakov of HAA.

JEFFESON APARTMENTS/HOTEL



Figure 1. 333 Jefferson Avenue, Miami Beach, January 2022.

Name:	JEFFERSON APARTMENTS / HOTEL
Address:	333 Jefferson Avenue (formerly 333-345 Jefferson Avenue)
Date of Construction:	1922, 1939, 1955
Architect:	Rowan & Schaffer, George Fink, T. Hunter Henderson
Architectural Style:	Masonry Vernacular, Mediterranean Revival, Modern
Historic Status:	Contributing
Historic Districts:	Ocean Beach Historic District (Local 1995)

HISTORIC DISTRICT

The Ocean Beach Historic District was designated as a Local Historic District in 1995. (Figure 2) Therefore, all proposed rehabilitation projects and new construction in the District are subject to review in accordance with the Miami Beach Historic Preservation Ordinance.

The following is noted regarding the Ocean Beach Historic District:

In 1995, after noting the potential loss of significant structures and sites in the South Pointe Redevelopment Area, the Miami Beach Historic Preservation Board designated the Ocean Beach Historic District south of Sixth Street.

Ocean Beach was not built for the social elite as areas further north, but as a modest resort community by the sea welcoming the common man. The small scale and simplicity of the architecture is reflective of generally modest Art Deco and Mediterranean Revival Hotels and small apartment houses within the center. (Ocean Beach Historic District (local) n.d.)

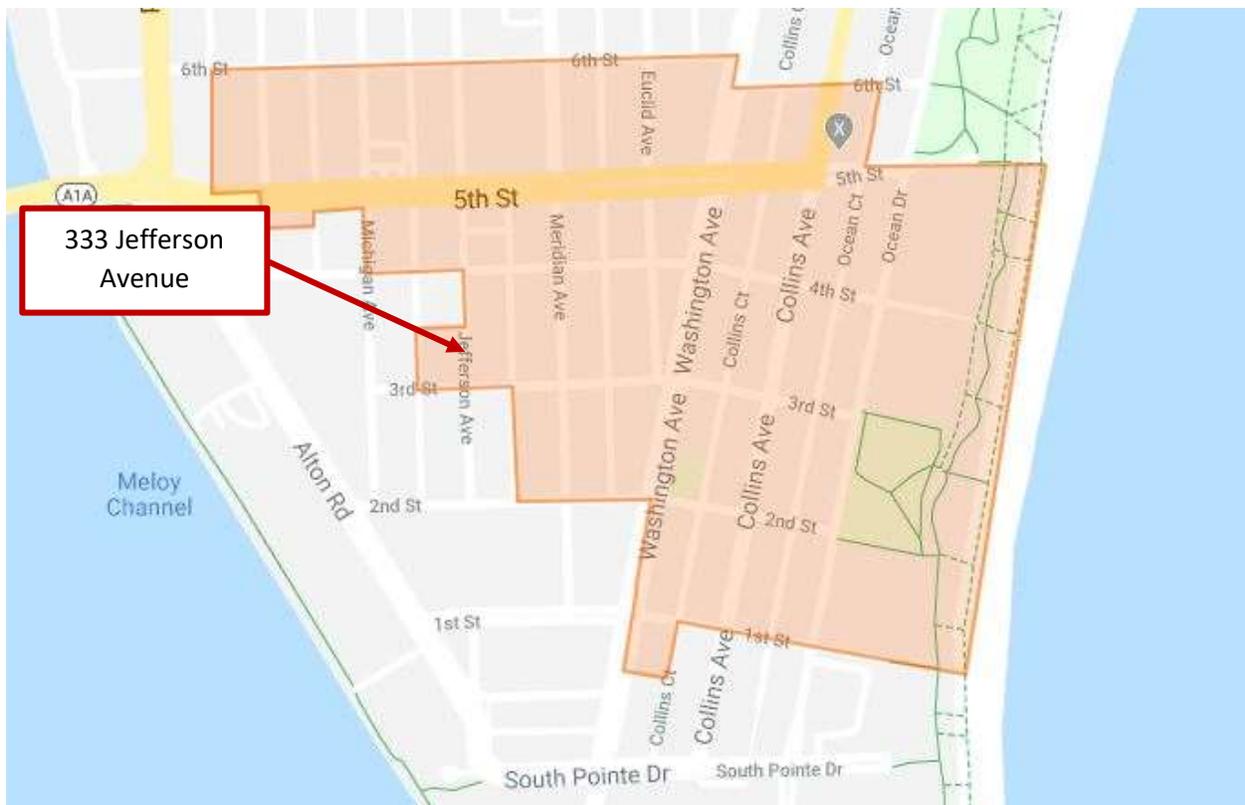


Figure 2. Location of the subject property within the boundary of the Ocean Beach Historic District. (Ocean Beach Historic District (Local))

From the Ocean Beach Historic District designation report:

The proposed district represents a significant part of the first settlement on Miami Beach, becoming a magnet for pioneer tourists and adventurous residents of fledgling Miami in the early twentieth century. It is also the site of the first subdivision and infrastructure on the Beach, known as the Ocean Beach subdivision platted in 1912. The first hotel (still in existence at 112 Ocean Drive) is located within that original subdivision. The first recreational bathing facility, Smith's Casino, preceded even the original Ocean Beach subdivision. The "Ocean Beach" area was also at the site of Government Cut, which upon opening enabled Biscayne Bay to be dredged for ocean liner use and influenced the development of the greater Miami area. Because it began the development that eventually grew into the City of Miami Beach, Ocean Beach significantly contributes to the history and development of the City. (City of Miami Beach Planning; Design and Historic Preservation Division 1995)

NEIGHBORHOOD CONTEXT

In 1912, brothers James E. and John N. Lummus and others formed the Ocean Beach Realty Company and purchased 580 acres of land between what is now South Pointe Drive (formerly Biscayne Avenue) and 5th Streets in Miami Beach. In July 1912, they platted the original Ocean Beach Subdivision, which was bounded by Biscayne Avenue, Ocean Drive, 5th Street and Washington Avenue. It was the first plat recorded in what was to become the City of Miami Beach. The lots were relatively small at 50x130 feet and were intended to be developed for small cottages and small commercial buildings. The brothers platted Ocean Beach Additions 1 through 4 between 1913 and 1914. By 1921, there were only a few parcels occupied in the area south of 5th Street and east of Jefferson Avenue. (Figure 3)



Figure 3. Sanborn Map showing area south of 5th Street, 1921.
(Library of Congress)

The intent of the Lummus brothers was to create a modest resort community. Since no deed restrictions were attached, the area attracted non-gentiles and people of modest means. In the 1920s and 1930s, Ocean Beach thrived, and by 1935, it had 26 hotels and 47 apartment buildings. (City of Miami Beach Planning; Design and Historic Preservation Division 1995, 16)

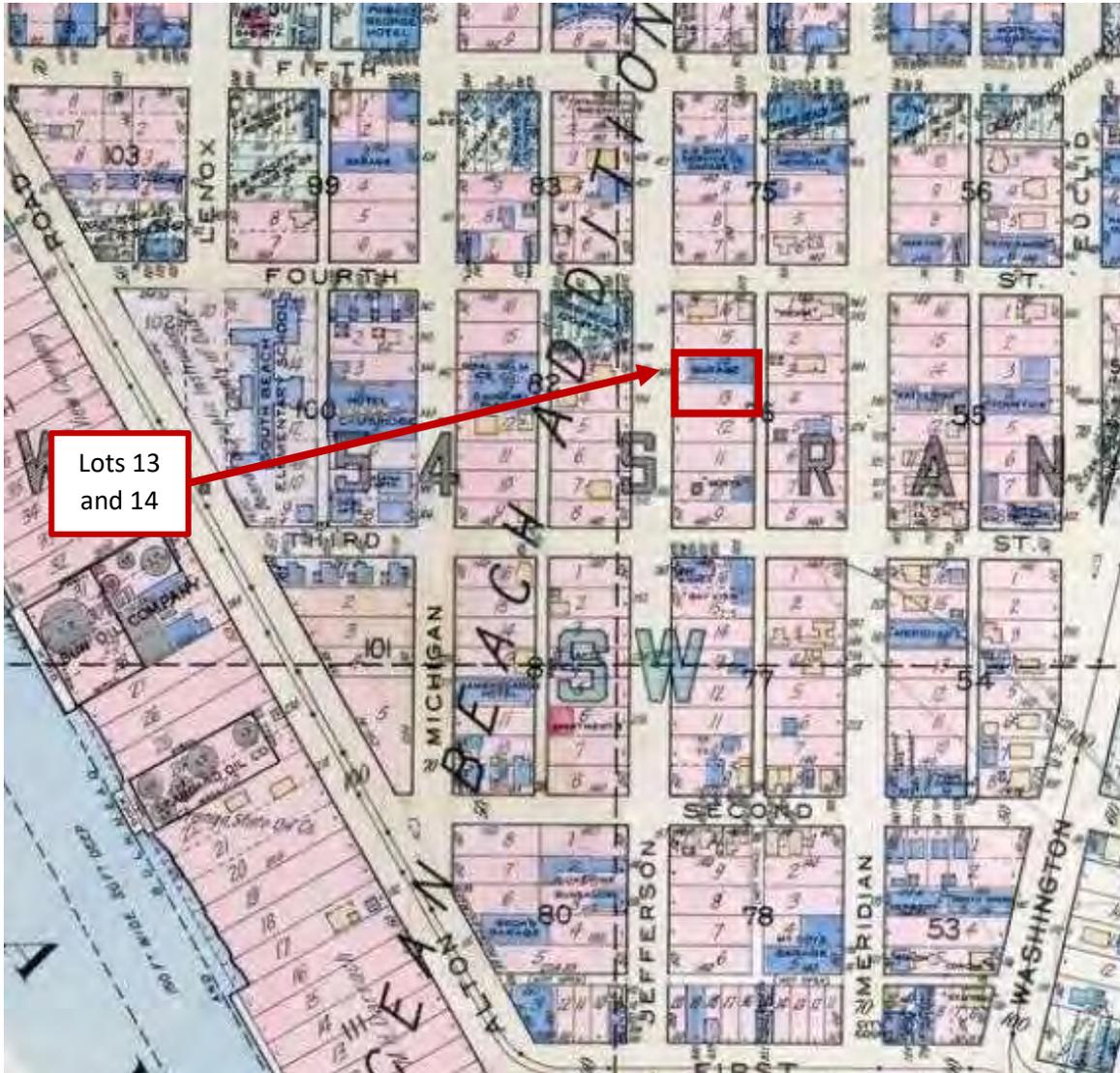


Figure 4. Map showing location of Lots 13 and 14, 1935.
(Real Estate Plat Book of the City of Miami Beach, Florida)

The Jefferson Apartments/Hotel consists of Lots 13 and 14 in Block 76 of the Ocean Beach Addition #3, which was platted in 1914. (Figure 4) Before World War II, the area was sparsely developed. According to the 1935 Miami Beach Plat Book, there were only a few parcels in each block, especially between Michigan and Euclid Avenues, that were occupied by structures. Development continued in the late 1930s and 1940s, and by 1948, most lots between 2nd and 5th Streets and between Lenox and Washington had been developed. (Figure 5, Figure 6)



Figure 5. Sanborn Map showing area west of Jefferson Avenue between 2nd and 5th Streets, 1921-1947. (Library of Congress)



Figure 6. Sanborn Map showing area east of Jefferson Avenue between 2nd and 5th Streets, 1921-1947. (Library of Congress)

Jefferson Apartments/Hotel is located on the east side of Jefferson Avenue between 3rd and 4th Streets. The immediate area around the property is comprised of mostly multi-family residences that range in construction date from the 1930s to 2017. The older buildings are mostly two stories and generally are set back from the sidewalk with landscaped front yards. The more recent buildings range from three to six stories and have a smaller setback with shallow landscaped planting beds. Jefferson Avenue is a two-lane residential street that is bordered on both sides by a road verge with grass lawn and trees. Diagonal parking spaces are located on the east side of Jefferson Avenue, and parallel parking is available on the west side of Jefferson.

HISTORY OF JEFFERSON APARTMENTS/HOTEL

The property at 333 Jefferson Avenue consists of two lots that were combined into one parcel in 2017. Lot 13 is the south half of the property with an original address of 333-339 Jefferson Avenue, and Lot 14 is the north half, with an original address of 343 Jefferson Avenue.

343 Jefferson Avenue – 1922 to 1955

In mid-1922, Milton H. Farr purchased Lot 14 from Ethel M. Hart for \$1,000. On July 5, he obtained a permit to construct a two-story building with 47' frontage and a depth of 65' at 343 Jefferson Avenue. The structure had a reinforced concrete foundation, walls of concrete block covered with stucco, and a composition roof. The architect was Rowan & Schaffer, and the owner served as general contractor. The value of the permit was \$3,700.

In October 1922, a permit was issued for a one-story concrete block garage. The value of the permit was \$3,000, which implies that the building was not an ordinary residential garage but larger commercial garage. The only other permits issued in the 1920 were for an electric motor and minor electrical work.

In 1923 and 1925, Farr was listed in the City Directory with a home address of 321 Jefferson. His occupation was listed as auto painter and real estate. The year 1927 was the first time that any listings appeared for 343 Jefferson. In that year, there were three personal names listed, including Milton H. Farr and his wife Anna. General Printing Co., Miami Life and Miami Life, Inc. were also listed at 343 Jefferson and likely operated out of the garage at the rear. In subsequent years, there were personal listings and business listings for 343 Jefferson. The Atlantic Printing Company was listed from 1928 to 1930, and Auto Body Repair Company was listed in 1932 and 1934. In 1936, the garage was occupied by William E. Cassin, bottler of mineral spring water.



Figure 7. Advertisement for Saratoga Geyser spring water, distributed by W. E. Cassin from 343 Jefferson Avenue, 1936. (Miami Tribune, 2/7/1936, p. 36)

The Seashore Food Products Company was located at 343 Jefferson by late 1936. Between 1943 and 1947, the company obtained permits for a number of interior improvements, including drains, sinks, stoves and water heaters. It is unclear whether company purchased the rear building or was a lessee.

Milton Farr died in 1941 and his wife Anna died in 1947. In 1948, the property, described as three 2-bedroom apartments, was advertised as an estate sale. There was no mention in the advertisement of the commercial building at the rear. The new owner, who appears to have been George Engelhardt, was issued a permit on June 14, 1948 for remodeling of “old non-conforming building” (343 Jefferson Avenue 1922) Four new apartments were created from the original three-unit space. New plumbing fixtures, electrical fixtures, outlets and switches were installed. The work included the removal of the front stairs and construction of new concrete stairs at the side. August Swarz was the architect, and W. S. Green was the contractor. A Certificate of Occupancy was issued on October 29, 1948 for a four-unit apartment, which was known as Bonnie Apartments. George Engelhardt was listed as resident manager. The front façade of the front building received a new coat of stucco in 1952.



*Figure 8. Bonnie Apartments, 343 Jefferson Avenue, March 1955.
(Office of the Property Appraiser, Miami-Dade County)*

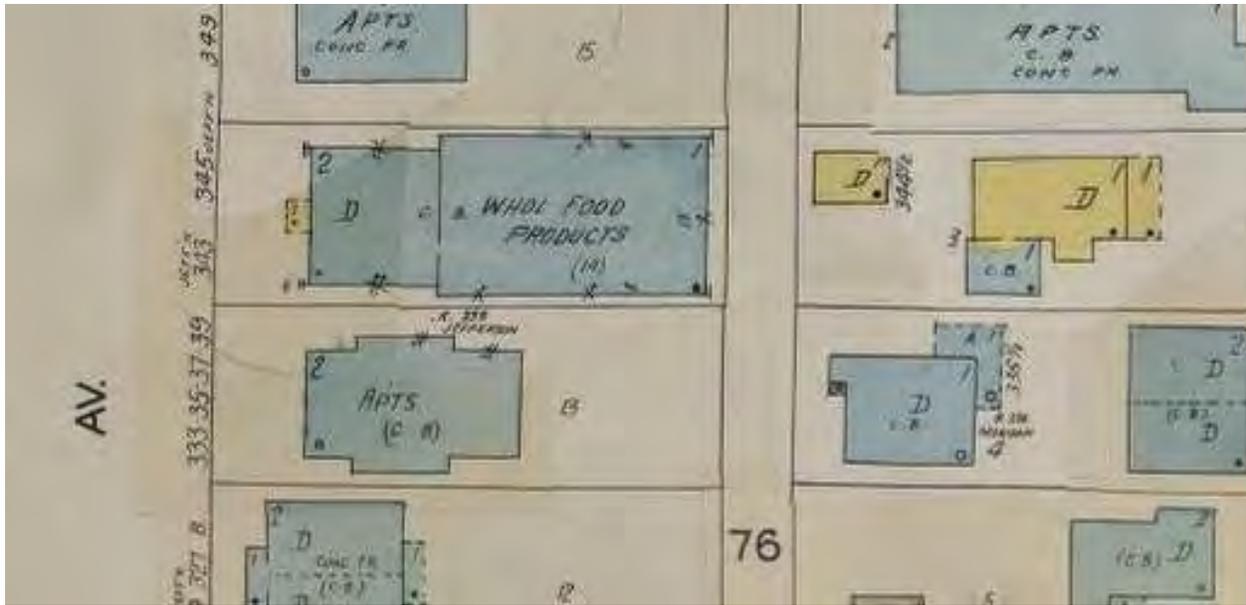


Figure 9. Sanborn Map, 1921-1951.
(Library of Congress)

The 1947 and 1951 Sanborn maps show the front and rear buildings as connected. (Figure 9) It is likely that the two buildings were disconnected during the 1948 remodeling. They were definitely separated by 1952. (Figure 10)



Figure 10. Aerial photo showing subject buildings, 1952.
(University of Florida Digital Collections)

The Seashore Food Products Company continued operation at the rear building. The company was originally listed in the City Directory as a food importer, but it added a pickle processing plant in the mid-to late-1940s. In 1948, neighbors living near the plant complained to the city about vibrations and odors emanating from the building. (Figure 11)



*Figure 11. Article detailing complaints about noise and odors from pickle plant located in rear building at 343 Jefferson Avenue, 1948.
(Miami Herald, June 17, 1948, p. 17)*

In November 1949, the owner of the neighboring building at 333 Jefferson filed a complaint with the city regarding odors. It appears that the company had recently begun processing horseradish. In 1951, another complaint was filed with the City regarding odors. By this time, sauerkraut had been added to the product line of the Seashore Pickle Company. It is unknown if the City took action against the company, but it appears that the Seashore Pickle Company moved to Opa Locka in late 1951.

After the Seashore Pickle Company vacated the building, it was converted into apartments. (Figure 12) George Engelhardt received a permit on January 14, 1952 for the remodeling of the building into six efficiency apartments, each with one bath. The permit included concrete stairs to the front building. The permit card notes that this project was discussed by the Zoning Board on November 6, 1951. T. Hunter Henderson was the architect, and J. C. Woodruff was the contractor. A Certificate of Occupancy was issued on May 1, 1952.



*Figure 12. Rear building at 343 Jefferson Avenue after conversion to apartments, March 1955.
(Office of the Property Appraiser, Miami-Dade County)*

333 Jefferson Avenue – 1939 to 1955

On May 22, 1939, Mrs. Sophie Selick obtained a permit to construct a two-story apartment building at 333 Jefferson Avenue. The building was to be 35' by 62' and contain four 1-bedroom apartments and four hotel rooms. The construction was concrete block covered with stucco on a spread footing foundation and was topped by a tile roof. H. George Fink was the architect, and the contractor was Scott-Perry. The building was known as the Jerome Apartments. (Figure 13)

In October 1940, Mrs. Selick sold the building to Mrs. Hannah Scheidlinger. Mrs. Scheidlinger, whose husband's name was Robert, changed the name of the building to the Rob-Hana Apartments. A permit

for a 11' by 28' patio without a roof was permitted in December 1948. Other than that, only maintenance work was permitted during the 1940s. In August 1950, a permit was obtained for a two-story addition to create four additional apartments, but the permit was cancelled in August 1951. In September 1950, a permit was obtained to convert two of the hotel rooms into an apartment. However, a later permit was issued to convert four hotel rooms into apartments, so the earlier conversion may not have been completed. A new door and concrete stairs were installed at the rear of the building. William Weinstock & Sons was the contractor. By mid-1955, the property had been purchased by George Engelhardt, who had purchased the neighboring property at 343 Jefferson in the late 1940s.



*Figure 13. 333 Jefferson Avenue, March 1955.
(Office of the Property Appraiser, Miami-Dade County)*

1955 to 2022

By 1955, both properties were owned by George Engelhardt. In July 1955, Engelhardt obtained a permit to construct a building to the rear of 333 Jefferson at 337-339 Jefferson. It was to be two stories and contain six efficiency apartments. The building was to be constructed with a spread footing foundation, concrete blocks walls covered with stucco, and a flat roof. (Figure 14) T. Hunter Henderson was the architect, and the contractor was Sam Levine. It appears that the addresses of this property were modified, as the original permit card lists the addresses 333, 335, 337 and 339 for the original building at the front of the lot.



*Figure 14. Rear building behind 333 Jefferson Avenue, December 1955.
(Office of the Property Appraiser, Miami-Dade County)*

The 1955 and 1957 Miami Beach City Directories lists all of the buildings as the Bonnie Apartments. Engelhardt sold the buildings at 343 Jefferson on Lot 14 to Samuel and Ruth Reitman c. 1958. The buildings at 343 Jefferson retained the name Bonnie Apartments. The buildings on Lot 13 were retained by George Engelhardt, and the name was changed to the Mitchell Apartments. In 1959, Engelhardt sold the buildings on Lot 13, at 333 Jefferson, to the Reitmans. Both buildings retained their names as of the 1960 city directory.

In 1971, the Reitmans sold the buildings at 343 Jefferson to Miguel and Dulce Morales. The Moraleses purchased the buildings at 333 Jefferson from the Reitmans in 1987. Miguel Morales sold both buildings to 333 Jefferson Holdings LLC in 2016. In 2017, the two lots were consolidated into one property at 333 Jefferson Avenue by a Unity of Title. 333 Jefferson Holdings LLC sold the buildings to Troy 333 LLC in 2021.

Other than maintenance and minor improvements, it appears that there were no notable changes to the buildings between 1960 and 2020. In 2020, permits were issued for remodeling to convert the buildings into an apartment/hotel. In the course of this work, it was determined that the buildings were more deteriorated than originally believed, and that the work required would exceed the existing permits. An after-the-fact Certificate of Appropriateness is being sought for the increased scope of work.

Architects

Rowan & Schaffer

The permit card for the original construction of 343 Jefferson Avenue lists Rowan & Schaffer as the architects. Nothing has been found regarding this firm. There is no mention of either name as an architect in the Miami City Directories of the 1920s or in any available records for Florida or surrounding states.

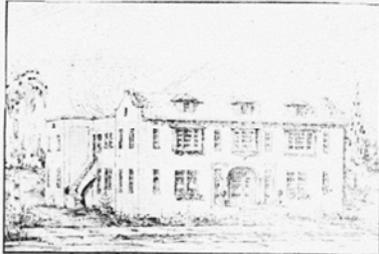
H. George Fink

Henry George Fink was born in Springdale, Pennsylvania on April 18, 1890. He was a first cousin to George Merrick. The Merricks moved to Florida around 1900, and the Fink family arrived in 1904. Fink finished his secondary education at Miami High School. He received training in architecture at the Drexel Institute and the University of Pennsylvania, although he did not graduate.

NEW BUILDINGS AT MIAMI BEACH
H. GEORGE FINK, Architect



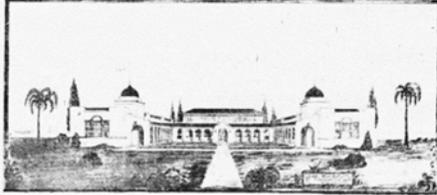
NORTH BAY SHORE GOLF AND COUNTRY CLUB
(Habema Bros., Contractors).



APARTMENT HOUSE FOR MECHANICS.
(Wolfe Construction Co., Contractors).



"TOWER HOUSE" NORTH OF THE HANAN HOME.
(Habema Bros., Contractors).



NEW PUBLIC SCHOOL BUILDING
(Smallbridge & Foster, Contractors).

Part of our extensive development program for this year.

The Alton Beach Realty Company
LINCOLN ROAD MIAMI BEACH

Figure 15. Advertisement showcasing several new buildings in Miami Beach designed by H George Fink, 1920.
(Miami News, 3/25/1920, p. 3)

Fink returned to Miami in 1916 and opened an architectural practice, but by the end of the year, he was working for August Geiger. In 1918, while working for Geiger, he designed the Fink Apartments, located on 8th Street in Miami, for his father. In March 1919, Fink again opened his own practice. He designed several buildings for Carl Fisher's Alton Beach Realty Company, including the North Shore Golf and Country Club and the Miami Beach Public School. (Figure 15)

In 1921, he was employed by his cousin George Merrick to design buildings in Merrick's new Coral Gables development. Fink designed the Craft and Granada sections along Coral Way, the Renuart Arcade, and real estate offices for Merrick in Florida, New York, Atlanta, Chicago and Atlantic City. He also designed the clubhouse for the Coral Gables Country Club with Martin L. Hampton. (Figure 16)



*Figure 16. Coral Gables Country Club, 1923.
(Coral Gables Magazine)*

Another building of his design that was constructed in Coral Gables was his studio at 2506 Ponce de Leon Boulevard, built in 1925. (Figure 17) The building "is regarded as the best example of Mediterranean Revival Style in the city; it reflects an eclectic mix of Spanish, Moorish, Gothic, Italian, French, Mexican, and Byzantine influences." (George Fink Studio Assessment n.d.)



Figure 17. H. George Fink studio, Coral Gables, date unknown.
(Evergreene Architectural Arts)

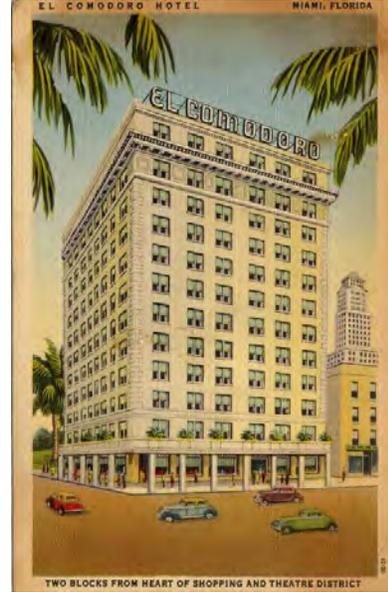
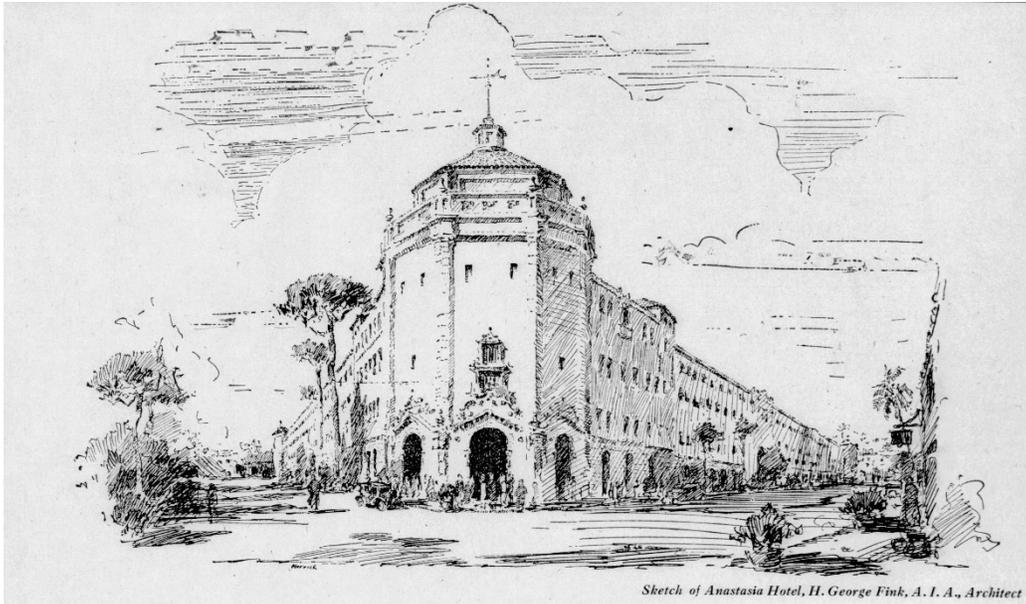


Figure 18. Postcard, El Comodoro Hotel, Miami, c. 1940.
(University of Miami)

Fink traveled to Spain, France and Italy to study the local architecture. He returned He is credited with coining the term “Mediterranean” to describe the architectural style that was being employed in Florida, although he never added the term “Revival.”

Fink’s other work includes the First Christian Church, Granada Presbyterian Church, El Comodoro Hotel (Figure 18), Del Rio Apartments, Columbia Building, South Miami City Hall, Ponce de Leon Junior High, Bank of South Miami, and Miami Beach First National Bank.

Fink designed the Anastasia Hotel in Coral Gables in 1925. (Figure 19) Construction on the hotel was halted due to lack of funds. When construction delays threatened the opening of the new University of Miami, university officials leased the unfinished Anastasia and installed room dividers to allow the building to function as an educational facility. (Figure 20)



Sketch of Anastasia Hotel, H. George Fink, A. I. A., Architect

*Figure 19. Sketch of the Anastasia Hotel, 1925.
(Miami Tribune, 9/25/1925, p. 20)*



*Figure 20. Anastasia Building, University of Miami, 1926.
(University of Miami)*

Fink maintained his own practice for about nine years. Due to a decline in business due to the collapse of the real estate market in Florida, Fink closed his office and became employed in the architectural department of J. C. Penney Company in New York City. He then worked as a supervising architect with the Works Progress Administration in Portland, Maine. He returned to Miami in 1935 and re-established his architectural practice. During World War II, he was draftsman, designer and assistant department head for Robert & Co., and he worked on designs for air bases in Richmond, Brunswick and Atlanta. Also during the war, he was head of the Architectural Department – Design Section for Bell Aircraft in Marietta, Georgia. He resumed his practice in Miami after the war. Fink was a member of the American Institute

of Architects. He served as chairman of the South Miami Planning and Zoning Board and chairman of the Coral Gables Architectural Board. Fink appears to have retired from practice in the late 1950s or early 1960s. A 1969 newspaper article credited him with over 2,500 building designs. (An Old Reader Has Suggestion 1969) He died in 1975.

T. Hunter Henderson

Thomas Hunter Henderson was born February 20, 1894 in Savannah, Georgia. He graduated from Georgia Tech with a Bachelor of Science degree in 1916. His training included eight years in various architectural offices in Georgia, South Carolina, New York and Florida, and he progressed from junior to chief draftsman. In 1925, as an associate with Curran R. Ellis, Architect of Macon, Georgia, Henderson was sent to Miami to open a branch office. After the hurricane of 1926, he became a building advisor for the American Red Cross. He became an assistant superintendent of Peters & Co. of Chicago in 1927. He began his own practice in 1929.

Most of Henderson's early work was in the Art Deco and Streamline Moderne styles, although he appears to have occasionally produced Mediterranean Revival designs. He designed the Art Deco building at 734-744 Lincoln Road, Miami Beach, in 1929 (Figure 21) and the Streamline Moderne Yorkshire Apartments, at 1570 Euclid, Miami Beach, in 1936. (Figure 22)



*Figure 21. 734-744 Lincoln Road, Miami Beach, 2013.
(Miami Beach Historic Districts)*



*Figure 22. Yorkshire Apartments, 1570 Euclid Avenue,
Miami Beach, 2013.
(Miami Beach Historic Districts)*

One of his most noted commissions was for the Hotel Astor, at 956 Washington Avenue, Miami Beach, in 1936. (Figure 23, Figure 24)



*Figure 23. Rendering of Hotel Astor, 956 Washington Avenue, Miami Beach, 1936.
(Miami Herald, 7/5/1936, p. 28)*



*Figure 24. Hotel Astor, 956 Washington Avenue, Miami Beach, 2013.
(Miami Beach Historic Districts)*

Examples of Henderson's work in the Mediterranean Revival style include a residence at 5680 Pinetree Drive, Miami Beach, constructed in 1938 (Figure 25), and 7332 Byron Avenue, Miami Beach, constructed in 1940. (Figure 26)



*Figure 25. 5680 Pinetree Drive, Miami Beach, date unknown.
(Miami Beach Historic Districts)*



*Figure 26. 7332 Byron Avenue, Miami Beach, date unknown.
(Miami Beach Historic Districts)*

Henderson designed the Atlantic Towers Hotel at 4201 Collins Avenue, Miami Beach, in 1940. (Figure 27)



Figure 27. Postcard image of Atlantic Towers Hotel, 4201 Collins Avenue, Miami Beach, date unknown. (Miami Beach Visual Memoirs)

He employed Modern styling on the apartments buildings at 540 74th Street, Miami Beach, constructed in 1951 (Figure 28), and 800 Pennsylvania Avenue, Miami Beach, constructed in 1962. (Figure 29)



Figure 28. 540 74th Street, Miami Beach, 2018. (Miami Beach Historic Districts)



Figure 29. 800 Pennsylvania Avenue, Miami Beach, 2014. (Miami Beach Historic Districts)

Henderson was a member of the American Institute of Architects. It appears that he retired from practice in the mid-1960s. He died in 1976 at Key Biscayne.

ARCHITECTURAL DESCRIPTION

The two lots have been combined into one tax parcel with the address of 333 Jefferson Avenue. The addresses of the buildings have varied over time. The buildings have been assigned letters for reference. Lot 14 (north lot) contains Buildings A and B, and Lot 13 (south lot) contains Buildings C and D. (Figure 30)

The site is under construction, and many elements of the buildings have been temporarily removed. The structures are described based on current photos and existing conditions drawings produced prior to the beginning of construction.

Site

Jefferson Apartments/Hotel, located at 333 Jefferson Avenue, Miami Beach, is situated on the east side of Jefferson approximately 115 feet south of 4th Street. (Figure 30) Directly to the north are two 2-story apartment buildings, with ten units, that were constructed in 1949 and 1953. South of the site are two 2-story apartment buildings, comprised of eight units, which were constructed in 1937 and 1952. Directly west across Jefferson Avenue are a single family residence, constructed 2017, and a three-unit condominium, constructed 2007. To the east, across an alley, are two apartment buildings with five units constructed in 1936 and 1948, and a 12-unit condominium constructed in 1974.



*Figure 30. Tax parcel map showing Jefferson Apartments/Hotel property lines, 2021.
(Miami-Dade County Property Appraiser)*

The two buildings at the west end of the lot have a deeper setback from the street than the neighboring properties to the north and south. They are fronted by a metal fence that is slight set back from the pedestrian sidewalk. (Figure 31) Two deciduous trees are located just inside the metal fence. A curbed planting bed, with grass lawn and a deciduous tree, extends into the street from the sidewalk. Angled street parking is located in front of the property. (Figure 32)



Figure 31. Metal fence adjacent pedestrian sidewalk at west of site, January 2022.



Figure 32. Curbed planting bed, parking and trees west of site, January 2022.

The front yard adjacent Building A has some concrete slabs and a round concrete picnic table with concrete benches. (Figure 33) The front yard adjacent Building C is currently excavated. (Figure 34)



Figure 33. Lawn area at Building A, January 2022.



Figure 34. Lawn area at Building C, January 2022.

The area between the west (front) buildings has a grass median with shrubbery and trees that is flanked by concrete sidewalks. (Figure 35) Concrete walks are located at the north and south edges of the property (Figure 36) and between the west and east buildings. (Figure 37, Figure 38) The east buildings are situated adjacent a two-lane alley that is located to the east of the site. (Figure 39)



Figure 35. Grass median between Buildings A and C, January 2022.



Figure 36. Concrete walkway at south border of property, January 2022.



Figure 37. Concrete walkway between Buildings A and B, January 2022.



Figure 38. Concrete walkway between Buildings B and D, January 2022.



Figure 39. Buildings B and D from alley, January 2022.

Buildings

Building A (constructed 1922)



Figure 40. Building A (originally 343 Jefferson Avenue), January 2022.

Building A is a two-story structure with a rectangular plan. The foundation is reinforced concrete, and the walls are concrete block covered with stucco. It had a flat roof with parapet.(Figure 41) The building has been gutted, and the roof has been temporarily removed. (Figure 42)



Figure 41. Parapet at roof of Building A, January 2022.



Figure 42. Missing roof and gutted condition at second level of Building A, January 2022.

West (Front) Elevation



Figure 43. West (front) elevation of Building A, January 2022.



Figure 44. East end of south elevation of Building A, January 2022.



Figure 45. West end of south elevation of Building A, January 2022.

The west (front) elevation is asymmetrical with a door opening and a centrally-located former door opening that has been partially enclosed to create a window. The former door opening has a flat stucco canopy. North of that opening is a replacement sliding window with four lights in each sash. Smaller window openings are located at each end. All of the openings, except the one containing the replacement window, are covered with plywood. (Figure 40, Figure 43) The historic photo indicates that the façade was originally symmetrical, and that the southern door opening was originally a window opening. (Figure 8) There are two horizontally-oriented window openings at the second level. The northern opening has no window, and the southern opening has a replacement casement window with four lights in each sash. (Figure 40, Figure 43)

South Elevation

The first level of the south elevation has two slightly recessed door openings at the east end with three replacement casement windows to the west. At the second level, there are three equally-spaced and equally-sized window openings. The center opening has a sliding window (four lights per sash). The other two openings have sliders with four lights in one sash and a single light in the other sash. (Figure 44, Figure 45) Two arched scupper openings are located at the parapet. (Figure 46)



Figure 46. Detail of scupper at south elevation of Building A, January 2022.

East Elevation

At the first level of the east elevation, a window opening at the south end has been enclosed with masonry and plywood. (Figure 47) North of this opening is a projecting structure that supports a balcony/walkway at the second level. The structure has a door opening at the first level. (Figure 48) North of the structure is a large opening that has been covered with chipboard. (Figure 49) Sliding windows with four lights per sash are located at each end of the second level. (Figure 47, Figure 49) Overlooking the balcony/walkway are two door openings, one with a replacement door, two 3-light casement windows and one 3-light sliding window. (Figure 48)



Figure 47. South end of east elevation of Building A, January 2022.



Figure 48. East elevation of Building A, January 2022.



Figure 49. North end of east elevation of Building A, January 2022.

Concrete steps, with a metal pipe handrail, lead to the second level. (Figure 48) Metal pipe railings surround the second level balcony. The balcony is connected to a walkway that leads to the roof of Building B. (Figure 50, Figure 51)



Figure 50. Walkway from steps to roof of Building B, January 2022.



Figure 51. Walkway and opening in parapet wall at roof of Building B, January 2022.

North Elevation

The north elevation was difficult to photograph due to its proximity to the neighboring building. It has four window openings and a non-original door opening at the first level. Some windows have been replaced, and others are covered with plywood. (Figure 52) At the second level, there are three window openings with replacement sliding windows. (Figure 53)



Figure 52. First level at north elevation of Building A, January 2022.



Figure 53. Second level at north elevation of Building A, January 2022.

Building B (constructed 1922)

Building B is a one-story structure with a rectangular plan. The foundation is reinforced concrete, and the walls are concrete block covered with stucco. It has a flat roof with parapet. (Figure 59) Each of the corners feature slightly-recessed corner windows. (Figure 54-Figure 57)

West Elevation

The west elevation is symmetrical and has a centrally-located door opening and four-replacement 4-light sliding windows, two of which are situated at the corners. (Figure 54, Figure 55)



Figure 54. West elevation of Building B, January 2022.



Figure 55. North end of west elevation of Building B, January 2022.

South Elevation

The south elevation has sliding windows at the corners, per the west elevation. Between the sliding windows are seven openings with four replacement sliding windows and three replacement casement windows. (Figure 56, Figure 57)



Figure 56. West end of south elevation of Building B, January 2022.



Figure 57. East end of south elevation of Building B, January 2022.

East Elevation

The symmetrical east elevation, which faces the alley, features sliding windows at the corners, per the other elevations, and two sliding windows with four lights per sash. (Figure 58) A centrally-located door opening is currently enclosed with plywood. A weatherhead and utility boxes are located at this elevation.



Figure 58. East elevation of Building B from alley, January 2022.



Figure 59. Flat roof with parapet at Building B, January 2022.

North Elevation

The north elevation was not accessible for photography. It has wraparound corner windows, per the other elevations, and a series of window openings that were not visible. (Figure 60)



Figure 60. North elevation of Building B, January 2022.

Building C (constructed 1939)



Figure 61. Building C (originally 333-339 Jefferson Avenue), January 2022.

Building C is a two-story Mediterranean Revival structure with an irregular plan. The foundation is spread footing, and the walls are concrete block covered with stucco. It has a hipped roof that was formerly covered with red barrel tiles. (Figure 61)

West (Front) Elevation

The first level of the west elevation has door openings at each end. Each door opening is covered by a flat canopy. (Figure 62) Between the door are two window openings with jalousie windows that are separated by stucco incised with horizontal lines. The windows are connected by a continuous concrete/stucco sill. At the second level, two jalousie windows are separated by vertical-incised stucco and are connected by continuous concrete/stucco sills and lintels. (Figure 63) Each entrance door is accessed via an uncovered porch. Each porch features a concrete and stucco knee wall and deck covered with tile. (Figure 66)

Stairs are located at each end of the west elevation and lead to upper level apartments. (Figure 64, Figure 65) The stairs are partially enclosed with concrete and stucco walls and are covered with tile. (Figure 67) At the landing at the top of each stair is an octagonal window. (Figure 68)



Figure 62. Flat canopy over door at west elevation of Building C, January 2022.



Figure 63. Incised stucco between upper level windows at west elevation of Building C, January 2022.



Figure 64. Northwest corner of Building C, January 2022.



Figure 65. Southwest corner of Building C, January 2022.



Figure 66. Front porch at west elevation of Building C, January 2022.



Figure 67. Stairs leading to upper level at west elevation of Building C, January 2022.



Figure 68. Octagonal window at porch landing at west elevation of Building C, January 2022.

North Elevation

An arched alcove is formed by the stair that leads to the upper level. Within the alcove is an octagonal window and a 2/2 double hung window with vertically-oriented lights. (Figure 69) East of the stair, the elevation projects to the north. The fenestration at both levels is the same, with two small windows, a larger window, and wraparound windows at the corner. (Figure 70) Some of the windows are replacement, and some are likely-original awning-windows. East of the projecting block are a door and window (closed with plywood) opening at the first level and two window openings at the second level. A concrete stair with ornamental metal handrail leads to the upper level of the east elevation and also to Building D to the rear. (Figure 71)



Figure 69. Alcove formed by arched stair at north elevation of Building C, January 2022.



Figure 70. Projecting block at north elevation of Building C, January 2022.



Figure 71. Stairs leading to second level at north elevation of Building C, January 2022.

East Elevation

The east elevation has a door opening and two window openings at each level. (Figure 72, Figure 73) At the first level, one of the windows appears to be 1/1 double hung, and the other window is boarded over. The windows at the second level are jalousie. The stair from the ground level leads to a landing that provides access to the door at the upper level.



Figure 72. North end of east elevation of Building C, January 2022.



Figure 73. South end of east elevation of Building C, January 2022.

South Elevation

The south elevation has a stoop with metal handrail and a concrete/stucco canopy adjacent the corner of the projecting block. (Figure 74) It appears that an original doorway has been enclosed at this location. The first level has a window that has been covered with plywood, and the second level has a double hung window. (Figure 75) The fenestration pattern in the projecting block is the same as the north elevation. Windows appear to be a mixture of double hung and jalousie. An alcove is located under the arched stair, per the north elevation.



Figure 74. East end of south elevation of Building C, January 2022.



Figure 75. West end of south elevation of Building C, January 2022.

Building D (constructed 1955)

Building D is a two-story building with a rectangular plan. It features some Modern elements, such as a flat roof with large overhanging eaves and ornamental metal handrails and balustrades. The foundation is spread footing, and the walls are concrete block covered with stucco.

West Elevation

The west elevation has three window openings with replacement sliding and casement windows at each level. (Figure 76, Figure 77)



Figure 76. First level of west elevation of Building D, January 2022.



Figure 77. Second level of west elevation of Building D, January 2022.

Exterior concrete stairs (Figure 78) lead to a landing that is currently without railings. (Figure 79) The landing provides access to the upper level at the rear of Building C and also to the north elevation of Building D.



Figure 78. Exterior stairs at northwest corner of Building D, January 2022.



Figure 79. Landing at top of exterior stairs between Buildings C and D, January 2022.

North Elevation

The first level at the north elevation features three door openings (two of which are covered with plywood) and two replacement sliding windows. (Figure 80) The upper level features three door openings and three windows. (Figure 81)



Figure 80. First level of north elevation of Building D, January 2022.



Figure 81. Second level of north elevation of Building D, January 2022.

The elevated walkway at the north elevation is supported by round metal posts. (Figure 82) The walkway features an ornamental metal balustrade. (Figure 83) A second concrete stair is located at the east end of the walkway. The ornamental railing and balustrade are identical to that at the west stair. (Figure 84)



Figure 82. Metal posts supporting elevated walkway at north elevation of Building D, January 2022.



Figure 83. West end of elevated walkway at Building D, January 2022.



Figure 84. East stair to elevated walkway at Building D, January 2022

East Elevation

The east elevation is adjacent the alley to the east. (Figure 85) It has a sliding window, paired casement windows, and a wooden utility meter box at the first level. A sliding window and two paired casement windows are located at the second level.



Figure 85. East elevation of Building D from the alley, January 2022.

South Elevation

The south elevation has three door openings and seven window openings at the first level.(Figure 86) Vegetation obscures the identification of the window types. There are three sliding windows and three double hung windows at the second level, all of which are replacement.



Figure 86. South elevation of Building D from the alley, January 2022.

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APPENDIX A
PERMIT CARDS

METRO ORD. #75-34
 RECERTIFICATION DATE: 9-22-77
 10-8-87

Owner	M. H. FARR	Mailing Address	Permit No.	239	Date	July 5-1922	
Lot	14	Block	76	Subdivision	Ocean Beach	Address	343 Jefferson avenue
General Contractor	owner			Address	CO #653	10/29/1948	
Architect	Rowan & Schaffer			Address		CO #920 for 4 unit apt-	
Front	47'	Depth	65'	Height	13'	Stories	2
Type of construction	c-b-s-	Cost	\$ 3,700.00	Foundation	Reinf. concrete	Roof Comp-	
Plumbing Contractor	George McDonald	Address		Date	Aug. 2-1922		
Plumbing Fixtures	10	Rough approved by	H. Scheibli	Date			
Gas Stoves	- 1 -	# 12184-	People's Gas & Water Co.	July 1-	1939		See over
Gas Heaters		Address		Date			
		Final approved by		Date			
Plates-	5/20/1927	Septic tank		Make		Date	
Sewer connection	1						
Electrical Contractor	Biscayne Electric Co.	Address		Date	Aug. 1-1922		
Switch		Range	Motors	Fans	Temporary service		
OUTLETS Light	14	HEATERS Water					
Receptacles		Space		Centers of Distribution			
Electrical Contractor		Address		Date			
No. fixtures set		Final approved by		Date			
Date of service		J.F. Ambrose-	1 motor- 5 h.p.	April 2-	1925		
		#9903--	Bankier Bros - 1 switch & 3 light outlets-	Nov. 17-	1937	Final OK HCI-	
Alterations or repairs	#278-	Addition -	1 story garage	c-b-s-	\$ 3,000.00	Date	Oct. 5-1922
# 1694-	Repairs-	(Herendeen, contractor)			\$ 500.00	Date	Jan. 27-1925
Elec. permit --	J. F. Ambrose-	1 motor 1/2 hp	(alterations)			Date	Oct. 2-1925
Elec. permit --	J.F. Ambrose-	20 outlets-				Date	Nov. 30-1926

4203-09-526

3204

Garage and Use 2 partment unit

ALTERATIONS & ADDITIONS

- Building Permits:** # 19667... Painting ... day labor \$ 50.00 January 30, 1945
 Front Bldgs--- # 27536 Remodeling old non-conforming building- remove front stairs and new concrete stairs on side- August Swarz , architect: W.S. Green, contractor- \$ 7,500: June 14, 194
- #1777-5/1/52
 Res. Building # 37840 Remodeling for six unit apartment (6 efficiencies & 1 bath each)-Concrete Stairs to front building- Discussed by Zoning Board 11/6/1951- Spread Footing 12 x 24, foundation - T.Hunter Henderson, arch: J.C.Woodruff, contr. \$ 18,000..... Jan. 14, 1952
 Engelhardt Crown RE #24
 5-1-52

(Seashore Food Products Company)

Plumbing Permits: # 17161- Markowitz & Reenick .. 1 safe waste drain. Oct.21,1943

- # 18073.. C.R.Martin.. 1 gas range and 1 gas water heater Feb.5,1945 GAS OK O'Neill 4/2/47
 # 24861 Herman March - 1 sink, 1 floor drains, 1 gas water heater, March 5, 1947
 # 26862 Stolpmann Plumbing: 4 water closets, 4 lavatories, 4 showers, 4 sinks, 4 gas ranges-6/25/48
 # 26974 H. March: 1 water closet, 1 lavatory - July 26, 1948 Rough Gas-O'Neill 6-30-48
 # 27015 Stolpman - 4 gas ranges, 1 gas water heater, July 29, 1948
 # 30011 Herman March: 5 gas ranges replaced - June 26, 1950
 # 30471 Service Plumbing: 1 Water closet, 1 lavatory, Sept.20,1950

Electrical Permits: # 19708 - Ace Electric Co: 1 light outlet (Seashore Food Products Co) Oct.19,1943

- # 21888-Dave Freeman-6 centers of distribution, 1 service-equipment---1-12-46
 # 23984 Astor Electric: 3 switch outlets, 4 light outlets, 4 fixtures, 4 motors, 3 centers of distribution, March 11,1947
 # 26367 Trail Electric: 5 switch outlets, 16 light outlets, 14 receptacles, 10 fixtures, 2 iron outlets, 2 refrigerator outlets, 2 space heaters(bath), 1 temporary service, May 26, 1948
 Final OK - Woodmensee 9-30-48
 # 26838 Trail Electric: 10 switch outlets, 12 receptacles, 18 receptacles, 2 refrigerator outlets, 2 iron outlets, 2 space heaters(bath), July 26, 1948
 # 27077 Trail Electric: 24 fixtures, - August 30, 1948

Lot 14

Block 76

Subdivision OCEAN BEACH #3

343 Jefferson Avenue

ALTERATIONS & ADDITIONS

Building Permits: # 38388 Stuccoing front of old building- J. C. Woodruff \$ 900... April 16, 1952
 # 42598 Re-roofing: Ideal Roofing & Sheet Metal: \$ 400: Sept 3, 1953
 ok--10-27-53 Plaag # 43073 Install four 3/4-ton Air Cond. Units: E.M. Brandon Co, contr: \$ 800: Oct 26, 1953
 # 44641 Tropicaire: Install 5 - 1 Ton A. C. Units: \$1000: May 19, 1954
 #87383 - I. Rene Ynclan - paint and cleaning exterior - \$500.00 8/17/71

Plumbing Permits: # 32963 Stolpmann Plumbing Co: 1 sewer-4", 6 water closets, 6 lavatories, 6 showers, 6 sinks, 6 gas ranges- Feb. 4, 1952 Final ok Plumbing & gas 4- 23-52 LR
 # 33073 Belcher Oil Co: 1 oil burner- 275 gal. tank - March 4, 1952
 #45160 Peoples Gas System: 1 gas range - 2/15/66

Electrical Permits: #36105 Lyon Electric Co: 1 temporary service - Feb. 11, 1952
 #36107 Lyon Electric Co: 30 switch outlets, 42 receptacles, 30 light outlets, 30 fixtures, 6 refrigerator outlets, 6 iron outlets, 2 appliance outlets, 18 centers of distribution, 1 service-equipment - Feb. 11, 1952
 Final -H. Rosser 4-25-52
 #40675 Lyon Elec Co: 2 Motors (1 HP): Oct 21, 1953 - OK, Al Plaag, 10-23-53
 #41027 Emanuel Elec: 2 Receptacles, 2 Motors (1 HP): Nov 3, 1953 Plaag, 2/9/54
 #41715 Lyon Elec. Co: 2 Motors 1HP....April 13, 1954 OK, Plaag 4/20/54

Lot

Block

Subdivision

ALTERATIONS & ADDITIONS

Building Permits:

#05501-A.B. Martin Roofing-Re-roof 30 sqs-\$1975-5-3-74
#07655-Owner-Painting and minor repair-\$2000-7-24-75

Plumbing Permits:

#55639-Peoples Gas- meter set(gas)1-6-78
#60929 3/31/83 County Contractors - repipe (1)

Electrical Permits:

APARTMENTS ROSE HANA APTS:
 Owner Mrs. Sophie Selik Mailing Address Permit No. 12513 see #33303 Date May 22-1939
 Lot 13 Block 76 Subdivision Ocean Beach Address 333, 335, 337 & 339 Jefferson Av.
 General Contractor Scott-Perry 3203 Address
 Architect H. George Fink Bond 2014 Address 4203-09-525
 Front 35 Depth 62 Height 21 Stories 2 Use Apartment house
 Type of construction c-b-s- Cost \$ 16,500.00 Foundation spread footing Roof 4 units & 4 hotel rms
 TILE

Plumbing Contractor Markowitz & Resnick # 12068 Address Date May 27-1939
 6 water closets - 1 temp closet - 10 lavatories - 6 bath tubs - 1 sink -
 Plumbing Fixtures Rough approved by Date
 Gas Stoves 1 GAS --OK JJ Farrey- June 19-1939 Date
 Gas Heaters 1 Final approved by Date
 Sewer connection 1 Septic tank Make Date

996
 996
 //

METRO ORD. #75-34
 RECERTIFICATION DATE: 1-1-40

Electrical Contractor Unity Electric Co. # 12933 Address Date June 23-1939
 Switch 20 Range Motors Fans Temporary service - May 26-1939
 OUTLETS Light 20 HEATERS Water # 12813- Electric Co.
 Receptacles 46 Space Centers of Distribution 10
 Refrigerators 4 Iron 4
 Electrical Contractor Address Date
 No. fixtures set 20 Final approved by Lincoln Brown, jr. Date
 Date of service Oct. 4-1939 # 13085- Bankier Bros; 1 oil burner- 7/ 26/ 1939 final OK Brown 8-2-39

Electrical permit # 14729 - F.C.Ast- 1 motor for oil burner- Apr. 8- 1940
 Alterations or repairs Date
 BUILDING PERMIT # 17641 -Painting day labor... \$ 150:... Oct. 4, 1943
 BUILDING PERMIT # 19848 Painting - outside - Owner \$ 150.... Mar. 22, 1945
 PLUMBING PERMIT # 19932....Florida Fuel Oil.... 1 oil burner 250 gal, must have approval from
 fire dept.....7-8-46

ALTERATIONS & ADDITIONS

Building Permits: # 27297 Painting, exterior and interior - V.S. Baliasty - \$ 480...May 20, 1948
29077 PATIO - 11 x 28 - (not roffed over)- Owner builds -\$110..Dec. 13, 1948
CANCEL-----# 33303 Addition to apartment Hotel rooms- Making (4) New apartments- 8 Units in all-
Aug; -22-1951----- 39 x 33 x 25- 2 stories- 12 x 30 spread footing, foundation- P. Turner, arch:
R. Adler Constr. Co.Inc ,contr. \$ 12,000....Aug. 7, 1950
33645 Remodeling - making one apartment unit out of 2 hotel rooms- new door &
concrete stairs (rear of building)- Wm. Weinstock & Sons, contr.
\$ 950.....Sept. 27, 1950
48900 by owner: Remodel four hotel rooms into - two, one bedroom, one bath
apartments \$ 100 Oct. 18, 1955
#80358 Belcher Oil Co.: Install one 275 gal. tank underground, fire permit #0158 - \$100 - 5/21/68 *OK 7/11/68 6/13/68*

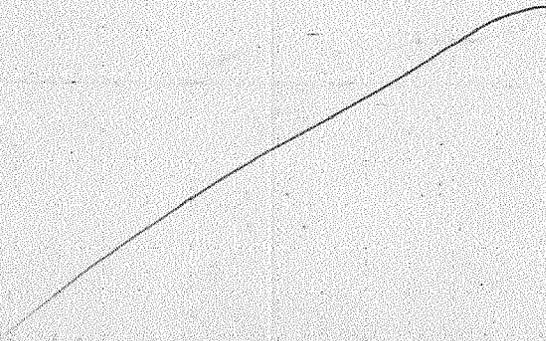
#337

Plumbing Permits: # 30593 J. W. Plumbing: 2 sinks, 2 gas ranges - Oct. 11, 1950 *Rough OK-Pushkin 10/16/50 Gas OK- L. Rothman- 11/16/50*
plbg. L. Rothman-11/16/50

#337

35102 Florida Fuel Oil Co: 1 Oil Burner: 275-gals- July 15, 1953

Electrical Permits:



Owner Mr. George Englehardt
 rear of lot
 Lot 13 Block 76 Subdivision Ocean Beach
 General Contractor Sam Levine
 Architect T. H. Henderson
 Zoning Regulations: Use RE Area 24
 Building Size: Front 38' Depth 35'
 Certificate of Occupancy No. 2785 November 18, 1955
 Type of Construction #3 CBS Foundation spread footing 12x30 Roof flat

Permit No. 48188 Cost \$ 25 000
 Address 337 and 339 Jefferson Avenue
 Bond No. 6019
 Engineer
 Lot Size ?
 Height 20' Stories 2
 Use APARTMENT HOUSE: 6 Units 6 efficiency apartments
 Date July 29, 1955

PLUMBING Contractor #37289 Service Plumbing: Sewer Connection Date Aug. 10, 1955
 Temporary Water Closet

Water Closets 6	Swimming Pool Traps	Down Spouts
Lavatories 6	Steam or Hot Water Boilers	Wells
Bath Tubs 6	ROUGH APPROVAL OK, Rothman 8/12/1955	
Showers	FINAL APPROVAL OK, Rothman 11/11/1955	
Urinals		
Sinks 6		

Dish Washing Machine	GAS Contractor	Date
Laundry Trays	Gas Ranges 6	Gas Frylators
Laundry Washing Machines	Gas Water Heaters	Gas Pressing Machine
Drinking Fountains	Gas Space Heaters	Gas Vents for Stove
Floor Drains	Gas Refrigerators	
Grease Traps	Gas Steam Tables	
Safe Wastes OK, Flaag 6/18/1956	Gas Broilers	GAS Rough APPROVAL OK, Rothman 9/20/1955
		GAS FINAL APPROVAL

AIR CONDITIONING Contractor #50098 C. E. Morgan: Install 10 - 3/4 ton Units \$ 2 000 April 9, 1956
 SEPTIC TANK Contractor
 OIL BURNER Contractor
 SPRINKLER Contractor

ELECTRICAL Contractor #45359 L. R. Goddard Elec. Date August 12, 1955
 Switches 42 Ranges
 OUTLETS Lights 39 Irons 6
 Receptacles 40 Refrigerators 6
 Fans
 HEATERS Water Motors 6
 Space 6 Appliances
 FIXTURES 39 Electrical Contractor Date

Temporary Service
 Neon Transformers
 Sign Outlets
 Meter Change
 Centers of Distributions 6
 Service 1
 Violations
 FINAL APPROVAL
 By OK, Rosser
 Date 10/24/1955
 Alterations or Repairs Over

spot survey ns

ALTERATIONS & ADDITIONS

Building Permits: #87617 - owner - exterior and interior painting fix screen \$1,000 9/23/71
#21163 11/6/81 owner minor repair min hous violation 12397 \$1,000.
#24392 8/22/83 Pierce Roof - reroof 20 sqs \$3,000.

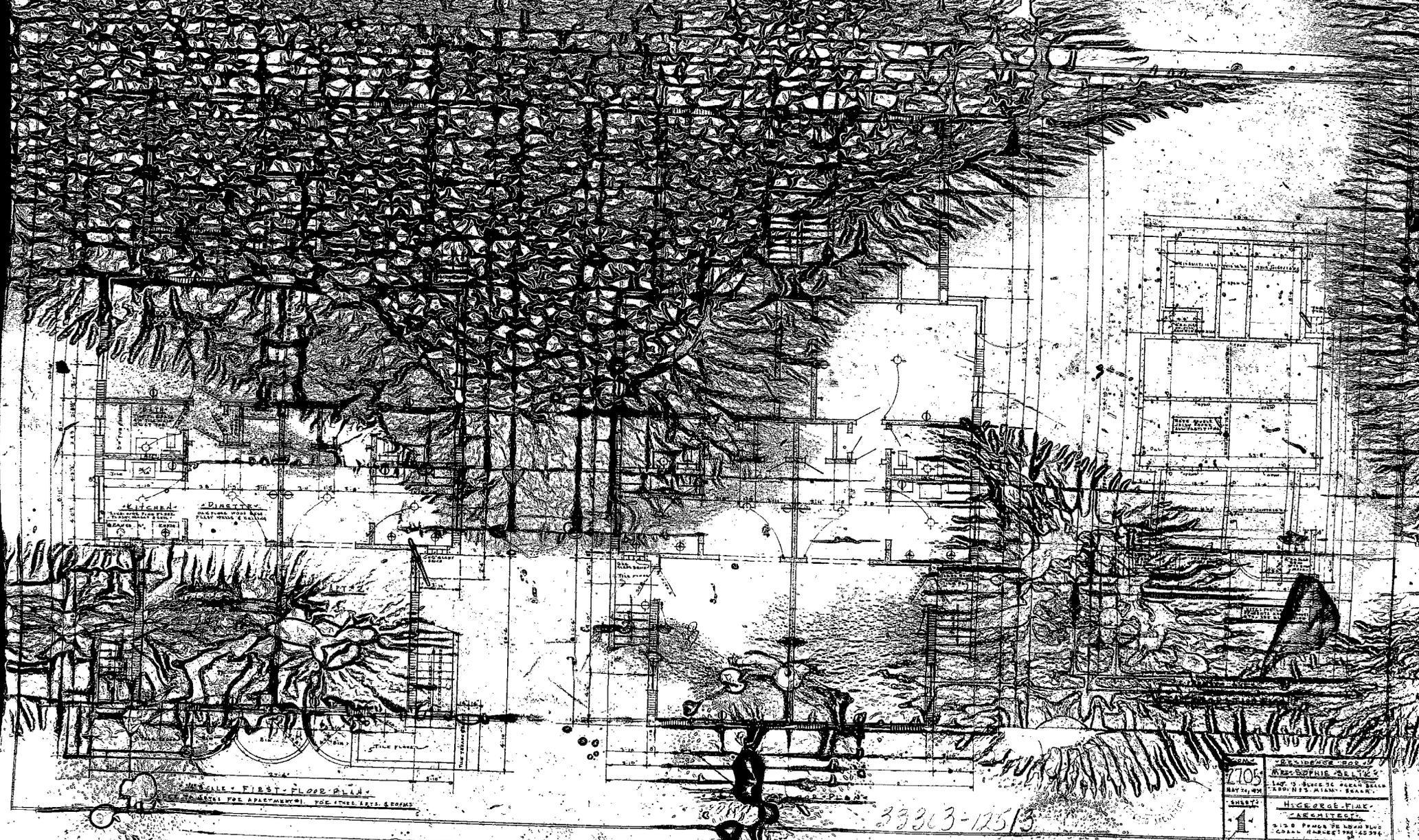
Plumbing Permits: #58546 - Pitsch Plumb - 1 heater new install, 1 gas piping 6/10/80
#58731 8/4/80 Peoples Gas - 1 meter set gas

OK, Fidler 12/5/1955

Electrical Permits: #46064 L. R. Goddard: 2 refrigerator outlets, 2 iron outlets, 1 center of distribution, 2 meter changes, 6 motors Nov. 3, 1955

APPENDIX B

MICROFILMED ORIGINAL DRAWINGS



SCALE - FIRST FLOOR PLAN

FOR APARTMENT FOR APARTMENT FOR APARTMENT

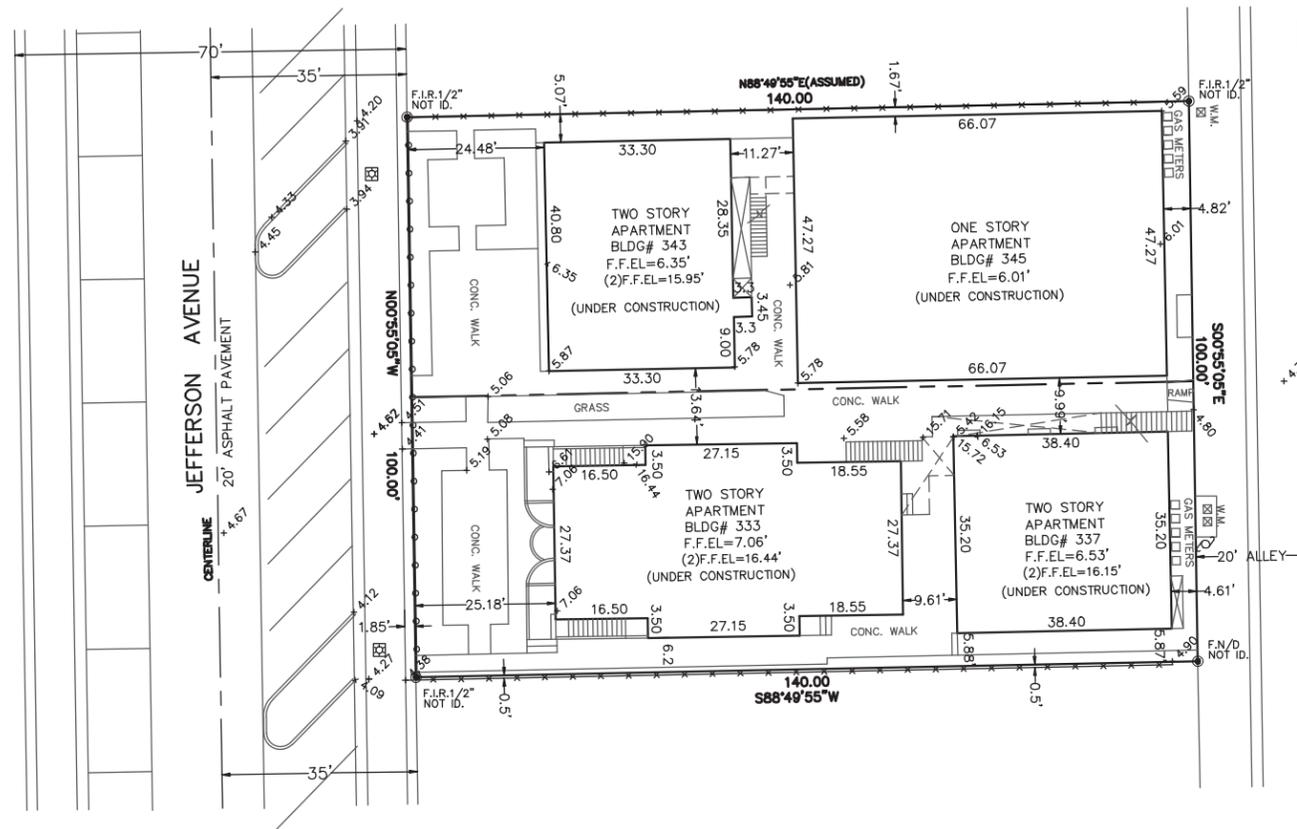
<p>DATE 7/10/51</p> <p>BY S.H.S. 272</p> <p>NO. 1</p>	<p>PROJECT RESIDENTIAL BLDG. IN MONTROVIA, CALIF.</p> <p>OWNER LLOYD W. BROWN, JR. 1200 N. 15th AVE., LOS ANGELES, CALIF.</p> <p>ARCHITECT HIGGINS & HIGGINS 1115 S. PAVANA DR. ANAHEIM, CALIF. ARCH. NO. 194-40376</p>
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39303-12513

APPENDIX C

SITE SURVEY REPORT

BOUNDARY SURVEY
 SCALE: 1" = 20'



LOCATION SKETCH - NTS

PROPERTY ADDRESS 333/337/343/345 JEFFERSON AVENUE, MIAMI BEACH, FL. 33139
 (FOLIO# 02-4203-009-5250 / 5260)

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED OR REVISED ON 9/11/2011 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE AE
 BASE FLOOD ELEVATION 8 COMMUNITY 120651 PANEL NUMBER 12086C0319 SUFFIX L
 BENCHMARK D-116 ELEVATION 5.03 N.G.V.D.29

LEGAL NOTES

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD. LEGAL DESCRIPTIONS PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN, ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. FENCE OWNERSHIP NOT DETERMINED

LEGAL DESCRIPTION:

Parcel 1:
 Lot 13, Block 76, OCEAN BEACH FLA NO. 3, according to the Plat thereof as recorded in Plat Book 2, Page 81 of the Public Records of Miami-Dade County, Florida.

Parcel 2:
 Lot 14, Block 76, OCEAN BEACH FLA NO. 3, according to the Plat thereof as recorded in Plat Book 2, Page 81, of the Public Records of Miami-Dade County, Florida.

CERTIFIED TO:
 TROY 333 LLC

REVISIONS:	DATE:
THIS SURVEY WAS PERFORMED	DATE: SEP. 16, 2021



CARLOS A. HERNANDEZ
 LAND SURVEYOR AND MAPPER No. 5718
 STATE OF FLORIDA
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISE SEAL OF A
 FLORIDA LICENSED SURVEYOR AND MAPPER

APPENDIX D

SUPPLEMENTAL DOCUMENTATION

February 2, 2022

City of Miami Beach
Historic Preservation Board

File Number: HPB21-0490
Property: 333 Jefferson Avenue
Folio: 02-4203-009-5250

RE: Letter of Intent - Certificate of Appropriateness

To Whom It May Concern:

We respectfully resubmit this letter of intent to the Historic Preservation Board requesting Certificate of Appropriateness. This property consists of four buildings under one folio (02-4203-009-5250). The front two buildings are addressed 333 and 343 Jefferson and two rear buildings 335 and 337.

BACKGROUND:

In 2020, the State waiver to Section 553-509 vertical accessibility to all levels above was granted. Final Order#VW2020-083

On September 14, 2021, Rafael A.Paz, Acting City Attorney in his memo to Mayor Dan Gelber. Members of the City Commission addressed the inquiries the Mayor and City Commission, and City Staff, have received from the public in connection with active permits to renovate and/or remodel existing apartment hotels in the South of Fifth Street neighborhood for the several addresses including 333 Jefferson Avenue. For your reference here attached as "Exhibit A" you will find City's Attorney findings and conclusion related to this application.

On January 11, 2022, the Board discussed this request and recommended coming back to the March 8th meeting. In response to the Board's request, the property owner hired Heritage Architectural Associates to perform a Historic Resource Report. Additionally, the Board requested a list of permits (**Exhibit B**), inspections log (**Exhibit C**), and correspondences with the City. Lastly, the Board approved moving forward with the roof installation at building 343. This was not possible because the week of January 11th the City terminated electrical services. In addition, a 20-day grace period is placed on the project following the Board (HPB) meeting. During this period no activity is permitted.

APPLICATION:

It is the intent of the applicant to renovate and improve this neglected property making it structurally sound and historically accurate. Permit history shows only minor and necessary improvements in the 46 years. We proposed 16 Apartment Hotel units and 4-apartment units as originally intended.

The Florida Americans with Disabilities Accessibility Act, Section 553-509, and Florida Statutes (FS) waiver was granted by the State. This section requires vertical accessibility to all levels. The waiver was granted based on substantial financial costs. The applicant is still required to comply and provide access to ground level structures in compliance with the American with Disabilities Act of 1990.

The architectural drawings and permits includes all four buildings. This application is for the two fronting buildings 333 and 343 on Jefferson Avenue. The purpose is to enhance an existing, deteriorated property and address the recommendation of the Historic Board and Building Department. The proposed restorations will not change the building footprint, envelope, and original design. The request is for approval of minor façade alterations necessary to meet ADA accessibility. The scope of demolition extended due to the extreme deterioration existing condition of the buildings. The interior structure repairs are typical normal method is in accordance with the Florida Building Code and the City of Miami Beach Building Department. It was necessary to

SIDE (NORTH) FACING BUILDING 333: The request is to construct a side door providing ADA accessibility. The sidewalk and ramp leading to this entrance meets ADA accessibility. The addition of this door will ensure accessible entrance to the building.

INTERIOR MODIFICATIONS BUILDING 333:

The approved architectural and structural drawings are adding a second accessible entrance as specified on architectural sheet A1.01, a new interior stair is provided to access second floor units 201, 202 and 203. We are replacing the deteriorated first floor wood joists, wood deck, and first floor interior wood bearing walls, as specified in the submitted structural and shoring drawings.

FRONT FACING (WEST) BUILDING 343: The request is to relocate the front door in building 343 that opens into the stairways and provide an accessible entrance. The sidewalk leading to this building and landing ramp is ADA compliant. We are requesting the doorway entrance to accommodate the Handicapped Accessible unit by relocating the front door over 36”.

INTERIOR MODIFICATIONS BUILDING 343:

The approved architectural and structural drawings is adding a first-floor accessible entrance and a first floor ADA accessible unit (102).

We are replacing the damaged second floor wood interior bearing walls, roof wood joists, and roof plywood deck, as specified in the approved submitted structural drawings.

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA:

Section 133-50(a) of the Land Development establishes review criteria for sea level rise and resiliency that must be considered as part of the review process for board orders. The following is an analysis of the request based upon these criteria:

1. A recycling or salvage plan for partial or total demolition shall be provided:
 - a. **Satisfied. All wood rafter and Joists have been segregated and separately recycled by a wood recycling center.**
2. Windows that are proposed to be replaced shall be hurricane proof impact windows.

- a. **Satisfied. We have been approved for Hurricane impact window per window permit BC1705904**
3. Where feasible and appropriate, passive cooling system, such as operable windows, shall be provided.
 - a. **Satisfied. Operable Window are being provided per window permit BC1705904**
4. Resilient landscaping (salt tolerant, highly water absorbent, native or Florida friendly plants) shall be provided, in accordance with Chapter 126 of the City Code.
 - a. **Satisfied. Approved landscaping plans Permit Number BC1704595_L-1 to L5 by All Landscaping Date Inc.**
5. The project applicant shall consider the adopted sea level rise projections in the Southeast Florida Regional Climate Compact. The applicant shall also specifically study the land elevation of the subject property and the elevation of surrounding properties.
 - a. **Satisfied. The land elevation of the subject property is consistent with the surrounding properties.**
6. The ground floor, driveway, and garage ramping for new construction shall be adaptable to the raising of public rights-of-way and exists can be modified to accommodate a higher street height of up to three (3) additional feet in height.
 - a. **Not Applicable**
7. In all new projects, all critical mechanical and electrical systems shall be located above base flood elevation. Due to flooding concerns, all redevelopment projects shall, whenever practicable, and economically reasonable, move all critical mechanical and electrical systems to a location above base flood elevation.
 - a. **Satisfied. All mechanical and Electrical system and motors are located above base flood elevation per approved plans.**
8. Existing buildings shall be, where reasonably feasible and economically appropriate, elevation up to base flood elevation, plus City of Miami Beach Freeboard.
 - a. **Not Applicable.**
9. When habitable space is located below base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Champ o 54- of the City Code.
 - a. **Not Applicable**
10. In all new projects, water retention systems shall be provided
 - a. **Not Applicable.**
11. Cool pavement materials or porous pavement materials shall be utilized.
 - a. **Not Applicable.**
12. The project design shall minimize the potential for a project causing a heat island effect on site.
 - a. **Not Applicable.**

We request approval of these alterations necessary to comply with the Americans with Disabilities Act of 1990 and other applicable code requirements. The proposed alterations are not substantial or significant and it will not impact the historical architectural integrity of the buildings. The successful completion of this project will enhance the visual, fiscal, social value of the surrounding area and most importantly the neighborhood.

The request is compliant with the COA criteria. The approved windows design is compliant with the historic configuration and the surrounding buildings. The proposed renovations are conforming with the surrounding buildings of that period. The restorations will enhance the building's structural integrity while maintaining the design styles and influence of the surrounding buildings and historic district. These repairs will have a positive impact on the neighborhood. Therefore, the criteria for a Certificate of Appropriateness is met by the proposed reconstruction.

Regards,

A handwritten signature in blue ink, consisting of a stylized 'L' followed by a long horizontal line that tapers to the right.

Leon Azicri

EXHIBIT "A"

MIAMI BEACH

OFFICE OF THE CITY ATTORNEY

LTC No. **381-2021**

LETTER TO COMMISSION

TO: Mayor Dan Gelber
Members of the City Commission

FROM: Rafael A. Paz, Acting City Attorney
Alina T. Hudak, City Manager



DATE: September 14, 2021

SUBJECT: Apartment Hotels
310 Meridian Avenue
226 Jefferson Avenue
333 Jefferson Avenue

At the request of several members of the City Commission, this Letter to Commission ("LTC") has been drafted to address the inquiries the Mayor and City Commission, and City staff, have received from the public in connection with active permits to renovate and/or remodel existing apartment hotels in the South of Fifth Street neighborhood for the following addresses: 310 Meridian Avenue, 226 Jefferson Avenue, and 333 Jefferson Avenue. With respect to the specific questions submitted by the public, this LTC includes information that is both responsive and relevant to those questions and the City Commission's consideration of all of the pertinent issues.

A. Background – Apartment Hotels

Apartment hotels were included in the LDRs some years ago to better identify buildings that had a balanced mix of apartment and hotel units. When areas of the City were more seasonal in nature, these types of buildings were popular as some of the units would be occupied during the late fall, winter and early spring months, by seasonal visitors. In the past, apartment hotel uses have provided options for older, historically significant buildings to be renovated, preserved and restored. Apartment Hotels are defined as follows under Sec. 114-1 of the City Code:

Apartment hotel means a building containing a combination of suite hotel unit, apartment units and hotel units, under resident supervision, and having an inner lobby through which all tenants must pass to gain access. An apartment hotel must contain at least one unit apartment.

Recently, on August 18, 2021, the Planning Board transmitted a proposed Ordinance to the City Commission with a favorable recommendation to prohibit apartment hotel uses in the R-PS1 and R-PS2 zoning districts. As such, zoning in progress has been initiated, **and no new building permit application may be accepted, and no new permit may be issued, for any apartment hotel use in these districts.**

The property at 226 Jefferson Avenue is located within the R-PS1 Zoning District, and the properties at 310 Meridian Avenue and 333 Jefferson Avenue are located within the R-PS2 Zoning District. Additionally, 310 Meridian Avenue and 333 Jefferson Avenue fall within the boundaries of the Ocean Beach Local Historic District and both structures on these properties are classified as contributing.

Under the current requirements of the Land Development Regulations (LDRs) of the City Code, hotels, suite hotels, and the short-term rental of residential apartment units are prohibited in the R-PS1 and R-PS2 districts. However, until August 18, 2021, as detailed above, apartment hotels were permitted in these zoning districts.

B. The Office of the Inspector General's Independent Review of this Matter

In response to the public's request for an independent investigation of the permitting/approval process for the subject properties, the Mayor referred this matter to the Office of Inspector General, which has opened an investigation.

This LTC confirms that the Inspector General is conducting a full independent review of this matter, as requested by hundreds of members of the public in communications to the City. Under the City Charter, the Inspector General is expressly charged with investigating any matter involving any issue related to the performance of any City employee's duties, and has full authority to review and investigate any complaint submitted by any member of the public. The Inspector General is currently interviewing City personnel in connection with the issuance of the respective Building Permits, including the Planning Department's review of the construction documents in connection with its review and approval for a Certificate of Appropriateness in accordance with Section 118-563 of the City Code.

C. City of Miami Beach Regulatory Officials Acting in their Regulatory Capacities (Semi-Autonomous Personnel)

1. Summary.

The City's review of building permit applications is a regulatory function that requires an objective application of the Florida Building Code and the City's LDRs. The relevant city officials who are charged with this function as it relates to apartment hotels are the Building Official and the Planning Director, who act in their regulatory capacities as semi-autonomous personnel when they execute these functions. Neither the Mayor, the City Commission, the City Manager, nor the City Attorney have the legal authority to countermand the determinations of these semi-autonomous personnel. This has been the official opinion of the City Attorney's Office since at least 1993. See City Attorney Opinion dated December 6, 1993, attached as Exhibit A. We discuss the authority of each of these individuals and entities immediately below.

2. The Building Official is the Only Official who may Administer Building Regulations.

The Building Official is the only city official empowered to administer and execute building regulations under the Florida Building Code, which has been expressly adopted as the building code of the City in City Code Section 14-401. More specifically, pursuant to Section 468.604(1) of the Florida Statutes:

It is the responsibility of the Building Official to administer, supervise, direct, enforce, or perform the permitting and inspection of construction, alteration, repair, remodeling, or demolition of structures and the installation of building systems within the boundaries of their governmental jurisdiction, when permitting is required, to ensure compliance with the Florida Building Code. **The Building Official shall faithfully perform these responsibilities without interference from any person.** (Emphasis added).

As a general matter, the Building Official's interpretation and enforcement of the Florida Building Code, as it is relevant here, is subject to review by the Board of Rules and Appeals. See Miami-Dade County Code Section 8-4(a).

3. The Planning Director is the Only Official who may Administer the Land Development Regulations.

Similarly, pursuant to Article I, Section 2 of the City's Related Special Acts and Chapter 114 of the City's LDRs, the Planning Director is the only city official empowered to administer and interpret zoning regulations. Generally, the Planning Director's interpretation of the City's LDRs may only be reviewed by the City's Board of Adjustment.

These officials' regulatory decisions are of a semi-autonomous nature inasmuch as the exclusive right of review is pursuant to appeal to administrative boards and, if needed, subsequent court review.

4. The City Commission Does Not Have Authority to Direct the Outcome of Decisions by the Building Official or the Planning Director.

Under the City Charter, the powers of the City Commission are enumerated in §2.03, the powers of the Mayor are enumerated in §2.06, and the powers of the City Manager are enumerated in §4.02. Neither the City Charter nor the City Code grant express power to the Mayor, City Commission or the City Manager to direct the outcome of administrative determinations made by the City's regulatory officials, namely the Building Official, the Planning Director (and, not relevant here, the Fire Chief). Rather, the review of such decisions by regulatory officials acting in their regulatory capacities is subject to administrative remedies and/or an appellate review process.

Neither the City Code nor Charter recognize any procedure for the City Commission, or any City official, to reverse a regulatory approval of the Building Official or Planning Director.

Inasmuch as neither the City Charter nor City Code expressly grants the City Commission or City Manager the power to review such regulatory decisions, and in view of the clear limitations on review of these decisions, review by the applicable administrative bodies (and subsequent rights of judicial review in the courts) is the exclusive procedure for review of these determinations.

For all these reasons, under Florida, County, and City law, neither the Mayor, City Commission nor City Manager (nor, for that matter, the City Attorney) have the authority to direct the determination of administrative interpretations or decisions of a regulatory or semi-autonomous nature made by either the Building Official or the Planning Director in the performance of their duties.

Notwithstanding the foregoing, as set forth more fully below in Section E, the City Commission, in its legislative capacity, may consider a wide variety of measures to prospectively address the concerns relating to the foregoing issues, including, but not limited to, the quality-of-life concerns expressed by many residents.

D. The Building Permits for the subject properties

As set forth above, the Building Official is charged with enforcement of the Florida Building Code and Florida Statutes, Chapter 553. The process for obtaining (and revoking) a building permit begins and ends with the Building Department (subject to the administrative or judicial review noted above). As part of the process, review and approval by the City's Planning Department is required, and that review and approval was performed here.

Once a building permit is issued, the property owner who has relied upon an issued permit is entitled to rely on the City's regulatory approval. *Sakolsky v. City of Coral Gables, 151 So.2d 433 (1963)* (municipality was precluded under doctrine of equitable estoppel from rescinding permit, even though holder might have had reason to believe that municipality's official mind might be changed by municipal election and political controversy regarding high rise zoning, where holder materially changed his position and incurred substantial expense in reliance on permit which had been intentionally and lawfully issued by proper municipal officers).

The Building Official's ability to lawfully revoke an issued building permit is extremely limited, as set forth in Section 105.6 of the Florida Building Code, which provides as follows:

105.6 Denial or revocation. Whenever a permit required under this section is denied or revoked because the plan, or the construction, erection, alteration, modification, repair, or demolition of a building, is found by the local enforcing agency to be not in compliance with the *Florida Building Code*, the local enforcing agency shall identify the specific plan or project features that do not comply with the applicable codes, identify the specific code chapters and sections upon which the finding is based, and provide this information to the permit applicant. If the local building code administrator or inspector finds that the plans are not in compliance with the *Florida Building Code*, the local building code administrator or inspector shall identify the specific plan features that do not comply with the applicable codes, identify the specific code chapters and sections upon which the finding is based, and provide this information to the local enforcing agency.

(Emphasis added).

The specific questions raised by members of the public and commissioners, and our analysis of the underlying issues, is set forth below.

1. Questions Relating to the Property Value and Permit Job Value

Some residents and commissioners have raised questions regarding the City's method of calculating value for purposes of applying "the FEMA 50% rule."

The so called "FEMA 50% Rule" is required by the NFIP (National Flood Insurance Program), FEMA's flood insurance program, which provides affordable flood insurance to property owners.

For instance, if a community needs federally backed flood insurance to be made available to its citizens, then they must adopt and enforce the rules as required by the NFIP. The City of Miami Beach has adopted the NFIP rules, including the FEMA 50% rule, in City Code Sections 54-37("Basis for establishing the areas of special flood hazard") and 54-48(1)(a)("Specific Standards [for Residential Construction]")

The FEMA 50% rule applies to any home or building where the lowest floor is below the 100-year flood elevation. In residential properties, only parking, building access and limited, incidental storage are allowed below the flood level.

If an improvement to an existing structure costs more than 50% of the original structure's current value ("substantial improvement"), it must be brought into compliance with the flood damage prevention regulations, in order to be insured. This includes elevating the building to, or above, the 100-year flood elevation.

The building department, for purposes of analyzing the FEMA 50% rule when reviewing

a building permit application, relies on the FEMA "Actual Cash Value" (ACV) formula, which is the cost to replace a building on the same parcel with a new building of like-kind and quality, minus depreciation due to age, use, and neglect. The Building Department has routinely relied on certified independent third-party appraisals and cannot impose a different standard for review of valuation after a permit has already been issued. Indeed, the property owner is allowed by City Code to decide whether to use the county tax value or the appraised value. See City Code Section 54-35 (Definition of market value). However, due to the age of older buildings and the depreciation used by the county, as well as the higher land values of older buildings, in some cases the county assessed value is quite low and using the county figure would cause the 50% rule to come into play with even minor repairs and property improvements such as installing impact windows or a new roof. For that reason, the ACV formula has traditionally been employed by the Building Department.

The building department is audited by CRS every 3 years as well as FEMA or State Flood Plane Management Office every 5 years. These audits include a review of construction documents, which includes the appraisal values.

Applying the ACV formula, the construction cost ratios are as follows for the permits at issue:

Property Address	Permit #	Building Market Value	Construction Cost	Construction Cost Ratio
310 Meridian Ave	BC1704920	\$1,460,000.00	\$710,000.00	48.63%
226 Jefferson Ave	BC1910387	\$218,972.00	\$81,500.00	37%
333, 337, 343, 345 Jefferson Ave. This property has 4 detached structures.				
333 Jefferson Ave	BC1704595	\$702,831.00	\$173,484.00	25%
337 Jefferson Ave	BC1704595	\$513,893.00	\$173,484.00	34%
343 Jefferson Ave	BC1704595	\$539,053.00	\$128,020.00	24%
345 Jefferson Ave	BC1704595	\$560,560.00	\$173,484.00	31%

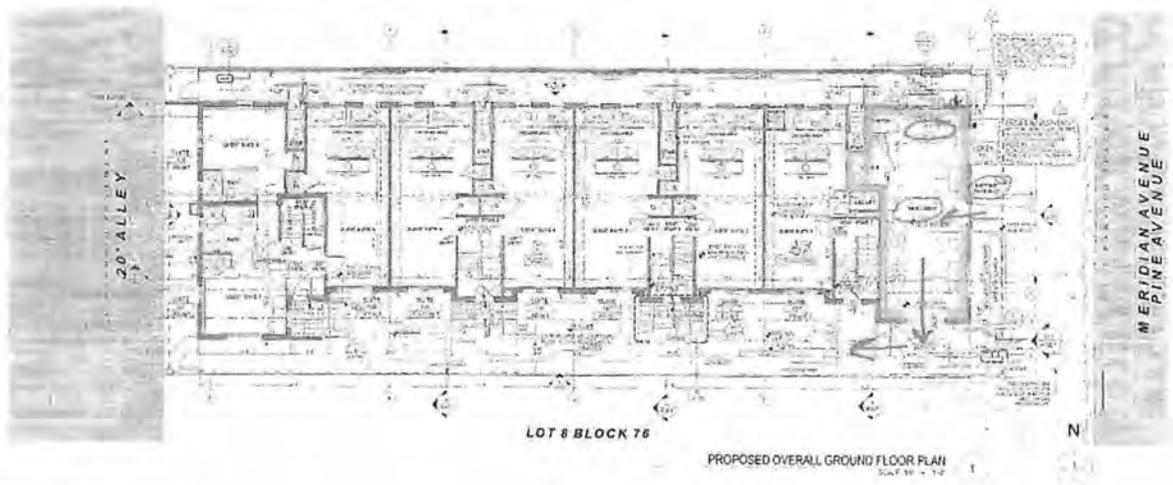
Should the City Commission desire to enact Planning and Zoning related legislation with additional requirements for review of property values, it may certainly do so.

2. Questions Relating to Whether the Plans For Each Property Included a Ground Floor Lobby

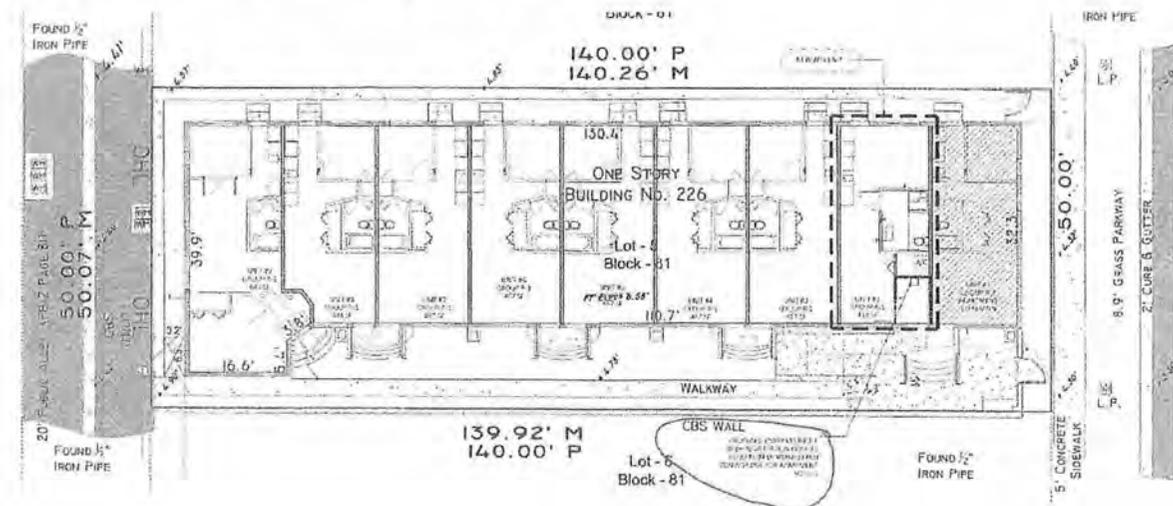
Additionally, there have been questions and concerns about whether a lobby is required in each Project. Staff reviewed each Project and has determined that all units are accessed through a lobby which is consistent with the requirements in the LDRs.

The permitted lobby plans for each of the subject properties are as follows, and highlighted below:

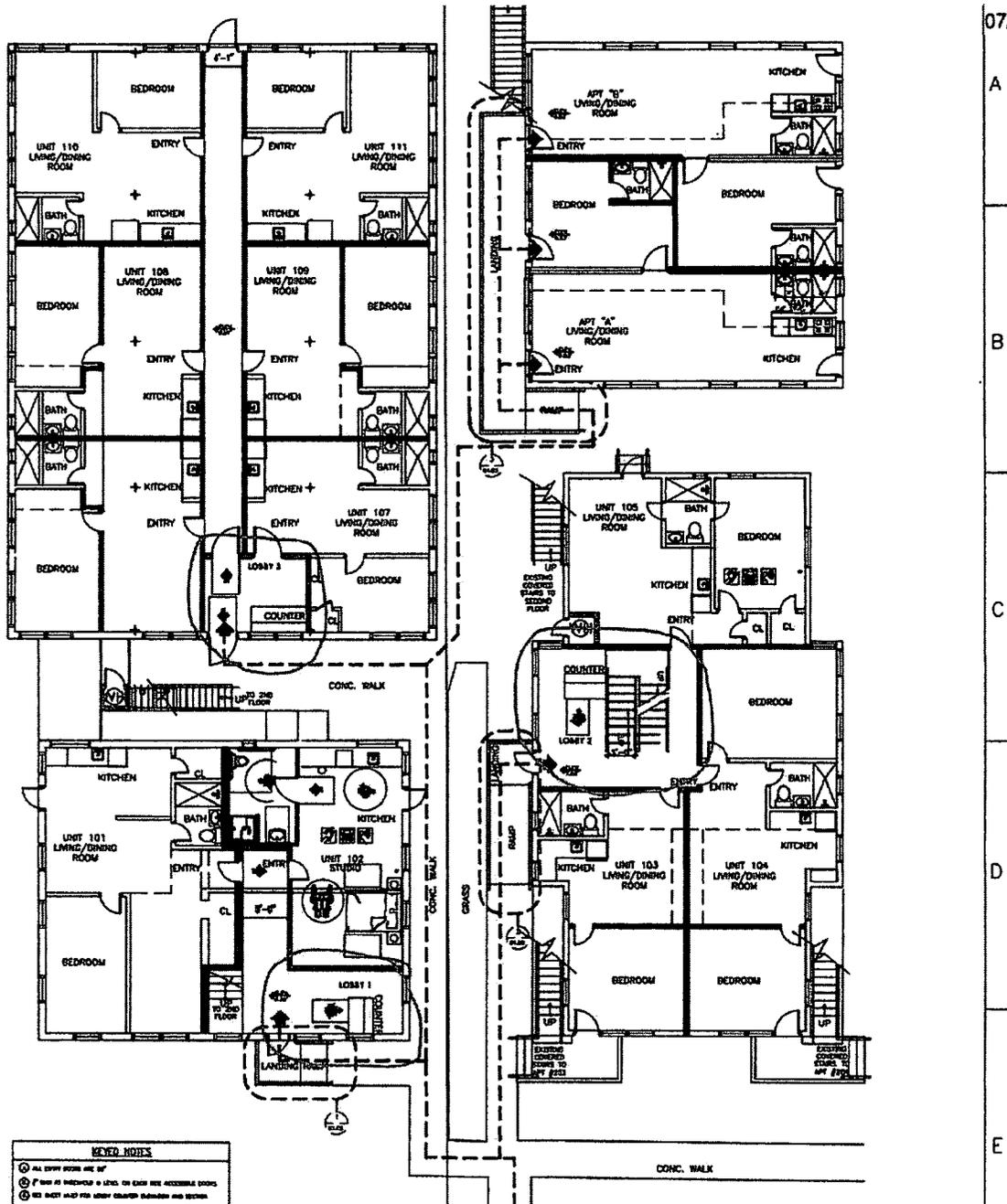
310 Meridian Avenue - lobby floor plan



226 Jefferson Avenue - lobby floor plan



333 Jefferson Avenue - lobby floor plan



Based on the foregoing, and given the very exacting standard for revocation of a building permit under the law, the City Attorney's opinion is that the Building Official is acting well within the scope of her regulatory authority in concluding that the circumstances relating to 310 Meridian, 226 Jefferson Avenue, or 333 Jefferson Avenue do not warrant the revocation of the issued permits, or the issuance of a stop work order, based on the specific matters outlined above. However, these active construction sites are being monitored by the Building Department to ensure that the work being performed does not exceed the scope of the approved permits.

3. Questions Concerning Certificate of Appropriateness Review and Approval.

As part of the Planning Department's review of building permit applications, the approval of a Certificate of Appropriateness is required in connection with any modification to a building or structure (the "Project") that is located in a designated historic district. Depending on the scope of work proposed, a Certificate of Appropriateness may be approved either by the Historic Preservation Board ("HPB") or by staff. The HPB's jurisdiction is limited to the exterior components of the building or structure and public interior spaces. Interior non-public spaces are not within the HPB's jurisdiction. If HPB review is required, then a full set of schematic design plans is presented to the HPB and the resulting approval serves as the Certificate of Appropriateness for the Project. If the Project involves work that, pursuant to the requirements in section 118-563(d) of the City Code, can be approved administratively, for a staff-level Certificate of Appropriateness, the approved building permit, which was reviewed and signed off by the Planning Department, serves as the Certificate of Appropriateness. The Planning Department's sign-off is the final confirmation that an application satisfies the Certificate of Appropriateness criteria in section 118-564 of the City Code, and all other requirements of the City's Land Development Regulations.

Members of the public have asked whether, for staff-level Certificates of Appropriateness, a separate application form is required. The City's longstanding practice has been to streamline applications for building permits and staff-level Certificates of Appropriateness by permitting applicants to:

- (i) submit **one** application that satisfies both the Building and Planning Departments' requirements, with that application including all of the information required for the certificate of appropriateness criteria to be reviewed by Planning Staff; and
- (ii) obtain **one** approval—a building permit—which evidences approval by the Building Department, Planning Department (including, if applicable, a staff-level Certificate of Appropriateness), and any other department whose review of a particular application may be required.

Importantly, based on the application process the City has in place, a substantive certificate of appropriateness review is conducted with every application, and was in fact conducted with respect to the three subject properties, as the underlying information is contained in the applicant's plans.

E. Legislative Options for the City Commission's Consideration at its September 17, 2021 Meeting.

In light of the Planning Board's transmittal to the City Commission of the Ordinance prohibiting apartment hotels in the R-PS1 and R-PS2 districts, **Zoning in Progress is in effect and no new application for any apartment hotel in these districts may be accepted. First Reading by the City Commission is scheduled for September 17, 2021.**

If the Ordinance is adopted following two readings by the City Commission, apartment hotels will be prohibited in R-PS1 and R-PS2, and any existing apartment hotels that were legally established would be deemed "legal non-conforming."

In addition, a discussion item has been placed on the September 17, 2021 City Commission meeting agenda regarding strategies for addressing quality-of-life issues with existing and potential future apartment hotels in the RPS-1 and RPS-2 districts:

- Exploring modest and context sensitive incentives to encourage the re-conversion of buildings to residential apartment uses, such as height or other incentives.
- Developing a comprehensive strategy to address negative behaviors in the R-PS1 and R-PS2 districts. Police, Code and Parking would need to participate in this discussion.
- Implementing a strategy to address cut-thru traffic, speeding and reckless driving. This would include a combination of traffic calming measures, as well as enforcement.

Once the Inspector General has concluded his independent review, the City Commission may also want to discuss any recommendations the Inspector General may provide, as it considers how to build on the City's current building permit review process prospectively.

If there are any additional questions or new issues raised, both the Administration and City Attorney's Office are committed to reviewing any such questions objectively, in an effort to provide the City Commission with our collective recommendations and best advice.

RAP/SHR/NK/ag

CITY OF MIAMI BEACH

TO: LAURENCE FEINGOLD
CITY ATTORNEY

FROM: JEAN OLIN
FIRST ASSISTANT CITY ATTORNEY

SUBJECT: REVIEW OF SEMI-AUTONOMOUS DECISIONS MADE BY CITY
EMPLOYEES

DATE: DECEMBER 6, 1993

Pursuant to Mayor Gelber's request, I have researched the issue of whether in Miami Beach's form of government it is appropriate for determinations of a semi-autonomous nature made by certain City employees to be subject to direction of the City Administration and/or elected officials. As is explained more fully below, such direction is outside the powers of the City Manager and/or elected officials.

The power of review over decisions made by certain City employees is established in the City Charter and Code. The constitutional doctrine of separation of powers into the legislative, executive and judicial branches of government concerns the administration of certain laws by municipal corporations, except as qualified or limited by particular provisions of applicable laws including the Charter and Code. Therefore, the Commission and City Manager may perform and are required to perform those duties as are prescribed in the City's laws or as made applicable by legislative act or which may be implied, or which are indispensable to enable the municipal corporation to perform the purposes of its creation. McQuillin's on Municipal Law, §12.126.

Under the Miami Beach City Charter, the City Commission's powers are as follows:

All powers of the City shall be vested in the City Commission except those powers specifically given to the Mayor, the City Manager, and to the City Attorney, as provided in this Charter and except those powers specifically reserved in this Charter to the electors of the City. Moreover, the City Commission shall have all powers and privileges not inconsistent herewith, granted to the City Commission of cities and towns by the general laws of the State of Florida, and

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CITY ATTORNEY
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shall have power to do and perform all things necessary for the government of the City not inconsistent with the Constitution of the State of Florida, the Constitution and laws of the United States, and the terms and provisions of this Charter.

Miami Beach City Charter, §2.03, "Powers of the City Commission."

The Mayor shall be the presiding officer at the meetings of the Commission and shall bear the title of Mayor and shall have a voice and a vote in the proceedings of the City Commission but no veto power, and he/she may use the title of Mayor in any case in which the execution of legal instruments in writing or other necessity arising from the general laws of the state so requires; he/she shall sign all deeds, contracts, bonds or other instruments of writing to the which the City is a party when authorized to do so by ordinance or resolution of the City Commission, but he/she shall not have the administrative or judicial functions and powers of the Mayor under the general laws of the state.

Miami Beach City Charter, §2.06, "Duties of Elected Mayor."
The City Charter also provides that the City Manager ...

shall be the chief executive officer and head of the administrative branch of the city government. Except as specifically provided otherwise in this Charter, the City Manager shall be responsible to the City Commission for the proper administration of all affairs of the City. The functions and powers of this office shall be:

(a) To see that the laws and ordinances are enforced.

* * *

(h) To have general and special supervision and control, subject to the control by

LAURENCE FEINGOLD
CITY ATTORNEY
PAGE 3
DECEMBER 6, 1993

the City Commission, of the several departments now existing, except for the Legal Department, or hereafter to be created, and the City Manager shall be purchasing agent of the City, with authority to delegate such duty.

* * *

- (j) The City Manager shall account to the City Commission for the conduct and acts of the several departments now existing, or hereafter to be created, and he/she shall have supervision and control of the heads of the said departments, and such heads as appointed by the City Manager shall be accountable to the City Manager for the conduct and acts of their departments, except for the Legal Department.

* * *

Miami Beach City Charter, §4.02, "City Manager - Functions and Powers." Moreover, Miami Beach City Code Section 2-4 "[City Manager] - To Have Wide Latitude in Relation to Organizational Units and Administrative Officers" provides:

The City Manager shall have, within the limitations of the Charter of the City and the implications of the division or office titles, wide latitude in prescribing the functions of the various organizational units of the City's service and the duties of the administrative officers of the City.

Neither the City Charter nor the City Code grant express power to the City Commission or the City Manager to direct the outcome of administrative determinations made by City employees of a semi-autonomous nature but rather assign this power of review to an appellate process.

Clearly, semi-autonomous powers may be delegated to administrative officials. State v. Jacksonville, 133 So. 117 (Fla. 1931). An ordinance that delegates a part of the police power to

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CITY ATTORNEY
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an official may be valid, even though it confers upon the official a certain discretion in the exercise of that power, provided the administrative discretion is sufficiently limited by rules and standards. See, City of Miami v. Save Brickell Avenue, Inc., 426 So.2d 1100 (Fla. 3d DCA 1983). Accordingly, certain administrative officers of the City of Miami Beach have, by the implications of their office titles, semi-autonomous power to make specific decisions which are not subject to interference by the City Manager or the City Commission.¹ The Planning/Development, Design and Historic Preservation Director as well as the Building Director are empowered to administer and execute zoning and building regulations and ordinances, both being governed by the provisions of applicable laws and regulations and the issuance and review of relevant matters. In these instances, such officials are making administrative decisions which are of a semi-autonomous nature inasmuch as they offer a right for review via administrative boards and, if needed, subsequent court review.²

1

It should be noted that in Jennings v. Dade County, 589 So.2d 1337 (Fla. 3d DCA 1991) rev. den. 598 So.2d 75 (Fla. 1992), it was held that ex parte communications are inherently improper to quasi-judicial proceedings and that quasi-judicial officers should avoid all such contacts where they are identifiable. Adherence to procedures which ensure fairness "is essential not only to the legal validity of the administrative regulation, but also to the maintenance of public confidence in the value and soundness of this important governmental process. See, 2 Am. Jur. 2d "Administrative Law" §351.

²Planning and Zoning Director:

- Miami Beach City Code, §16-7(A)(1):

The Board of Adjustment shall have the following powers and duties:

To hear and decide appeals when it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of this ordinance with the exception of appeals pursuant to §17-4(G) and §18-2(I)(1). In the event of an administrative appeal to the Board of Adjustment, the Planning and Zoning Director may engage the services of an attorney for the purposes of representing the administrative officer that made the decision that is the subject of the appeal. ...

- Miami Beach City Code, §16-9, "Appeal of Board's Decision":
The decision of the Board of Adjustment shall be final

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CITY ATTORNEY
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In a number of administrative appeals such as zoning and building there is often a hierarchy of authorities so that a review of action by an administrative official may be had within the system itself by a higher or superior agency. Within the City of Miami Beach, the Director of Planning/Development, Design and Historic Preservation and the Building Director, are authorized to make decisions with regard to interpretations of the City's Zoning

and there shall be no further review thereof except by resort to a court of competent jurisdiction by a petition for writ of certiorari.

Building Official:

- South Florida Building Code, §201.1 "Powers, Duties and Appointment of Building Official":

- (b) Powers and Duties. The Building Official is hereby authorized and directed to interpret and enforce all of the building provisions of this Code subject to the powers vested in the Board of Rules and Appeals as set forth in §203.

* * *

- South Florida Building Code, §202.13(d) "Unsafe Structures Board":

- (d) Duties and Powers of the Board. The Board shall have the following duties, functions, powers and responsibilities:

- (1) Hear and determine appeals from actions and decisions of the Building Official pursuant to the provisions hereof.

* * *

- South Florida Building Code §203.4 "Duties of Board of Rules and Appeals".

- (a) Appeal from decision of Building Official: The Board shall hear all appeals from the decisions of the Building Official wherein such decisions are on matters regulated by this Code from any person agreed thereby... .

- South Florida Building Code §203.7 "Court Review":

Any person aggrieved by a decision of the Board of Rules and Appeals, ... may apply to the appropriate court to correct errors of law of such decisions

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Ordinance and South Florida Building Code -- pursuant to the Zoning Code and South Florida Building Code, review of these decisions may be appealed to the City's Board of Adjustment and Unsafe Structures Board or Board of Rules and Appeals, respectively. Absent Charter or Code provisions to the contrary, the higher administrative authorities are therefore solely empowered to review decisions of these officials. See, Fla. Jur. 2d, "Building, Zoning and Land Control" (1st ed. Zoning Laws, §29).

Laws designating both the City of Miami Beach Planning Director and Building Official with powers to make administrative decisions of this nature are consistent with the City's Charter and Code.³ Inasmuch as neither the Charter or Code expressly grant the City Manager or the City Commission the power of review over such decisions, and in view of the clear limitations upon review of these administrative decisions as set forth within the City's Zoning Ordinance and South Florida Building Code, independent determinations by the Planning/Development, Design and Historic Preservation Director and the Building Director, limited only by review thereof to the applicable administrative bodies (and subsequent rights of judicial review to the courts) is the proper procedure for review of decisions made by these employees.⁴

CONCLUSION

Neither the City Charter or Code grant the City Manager or City Commission power to direct the determination of administrative decisions of a semi-autonomous nature made by certain City employees within the City of Miami Beach. Limited review of such decisions must be directed to the administrative bodies specified by law, with subsequent appeal to the courts.

Notwithstanding anything set forth herein, it is clear that the City Manager is empowered to review the performance of various departments of City government; in performing this

³Regulations may, within appropriate limitations, authorize administrative officers to perform functions that are that are designed to effectuate a valid legislative purpose, when the administrative function so authorized are consistent with organic law. Florida Motorlines, Inc. v. Railroad Commissioners, 129 So. 876 (Fla. 1930).

⁴In 1990, the Miami Beach City Commission recognized the independence of decisions made by the City's Building Official when it refused then-Commissioner Abe Hirschfeld's request to second guess and rescind that Official's decisions.

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function, the City Manager may make reasonable review and inquiry so long as such actions do not interfere with or inhibit the autonomy of certain officials as heretofore set forth under our Charter or Code. Similarly speaking, the City Commission may make whatever reviews or inquiries they deem appropriate as long as such reasonable inquiries do not violate the City Manager form of government.

JO/ks
(s:\jomic2\cmreview.mca)

- CITY OF MIAMI BEACH

TO: MAYOR SEYMOUR GELB ER
FROM: LAURENCE FEINGOLD *Laurence Feingold*
CITY ATTORNEY
SUBJECT: SUPPLEMENTAL MEMORANDUM - CMB SEMI-AUTONOMOUS PERSONNEL
DATE: JANUARY 10, 1994

You have asked to be supplied with the titles of any other City directors or departments¹ that are subject to review by administrative boards and the courts but not by the City Manager or the City Commission -- in this regard, please note the following:

Fire Chief

The City of Miami Beach Fire Chief and his inspectors, when making determinations regarding requirements of the South Florida Fire Prevention Code ("SFFPC") and in interpreting other codes or regulations which regulate fire prevention and fire safety, are acting in a semi-autonomous capacity since said decisions are reviewed exclusively by the Dade County Fire Prevention and Safety Appeals Board.

The South Florida Fire Prevention Code provides for exclusive jurisdiction within the Dade County Fire Prevention and Safety Appeals Board of all appeals concerning actions or decisions of any fire official of any jurisdiction in Dade County, Florida, with respect to the South Florida Fire Prevention Code or any municipal ordinance, code or regulation which regulates fire prevention or safety, and grants the Board the power and authority to affirm, modify, or reverse the action or decision which was appealed.

SFFPC Section 14-46(D)(1).

Exclusive jurisdiction in the Dade County Fire Prevention and Safety Appeals Board also granted with regard to appeals governing numerous other determinations made by the Chief Fire

¹My December 6, 1993 memo to you explained the semi-autonomous nature of the City's Planning/Development, Design and Historic Preservation Director and the City's Building Director.

MAYOR SEYMOUR GELBER
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Official or his designee of any jurisdiction in Dade County, Florida.

Id. at Subsection (3) and (6). The exclusivity of this review process is specifically stated within Subsection 13 of Section 14-47 of the South Florida Fire Prevention Code:

[N]otwithstanding any provision of the Code of Metropolitan Dade County, Florida, the South Florida Fire Prevention Code, any municipal ordinance or any other county ordinance except as provided in Subsection 1 herein, no other county or municipal officer, agent, employee or board shall exercise any of the powers granted to the Dade County Fire Prevention and Safety Appeals Board by this Article, the South Florida Fire Prevention Code, or by state law, rule, or regulation, as all of same may be amended from time to time.

Police Chief

Sections 25-37.1 through 25-37.8 of the Miami Beach City Code designate the City's Chief of Police as the City Official in power to declare that a state of emergency exists within the boundaries of the municipality and may exercise emergency powers set forth within said Code Sections. The only City Commission review authorized by the Code involves instances in which the Commission has terminated a state of emergency prior to the expiration of 72 hours, and/or the Commission's concurrence of the Police Chief's request to extend a state of emergency. The Police Chief's powers in state of emergency are thus the only Code-sanctioned instance in which the Chief's powers are semi-autonomous in nature.

CONCLUSION

Accordingly, the following City officers shall be regarded as having powers semi-autonomous in nature:

- Planning/Development, Design and Historic Preservation Director (in actions interpreting the City of Miami Beach Zoning Ordinance)
 - Building Official (in actions interpreting the South Florida Building Code)
 - Fire Chief (in actions interpreting the fire
-

MAYOR SEYMOUR GELBER
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codes); and

- Police Chief (limited to State of Emergency)

cc: Roger M. Carlton
City Manager

LF:JC/ka
(a:)ca1sc2\pg1-10.ese)

EXHIBIT "B"

February 2, 2022

City of Miami Beach

Historic Preservation Board

File Number: HPB21-0490

Property: 333 Jefferson Avenue

Folio: 02-4203-009-5250

The following is a summary of the plan processing associated with the application:

Note #8 April 24, 2019 Antonio Gonzalez processed the plans as apartment hotel use.

Note #12 August 12, 2019 at 1:20PM The three times meeting were held with all trades in which substantial modification to the structure was reviewed and it was available for Planning to provide input and recommend for possible hearing consideration by HPB Board. A following meetings were held on: November 6, 2019 at 2:30PM May 28, 2020

PERMIT DETAILED REPORT (BC1704595)

Note	Created By	Date and Time Created
1. Yolanda 7862901268 mypermits1@gmail.com 2 sets of plans elevation cert asbestos survey wind load calcs	REGGIE MONZON	November 16, 2017 7:40 am
2. Hallway - 1 set of plan	Yader Reyes	November 16, 2017 11:07 am
3. As per Yeny approval ; Plans and Calcs were picked up by Yolanda	Yader Reyes	December 14, 2017 3:06 pm
4. 2nd submittal 2 sets of plans 1 set elevation 1 set cert 1 set struct calcs 1 set asbestos survey	REGGIE MONZON	February 7, 2018 11:44 am
5. E' bin 26 - 1 set of plans / 2nd Submittal only / other sub picked-up by Customer	Yader Reyes	February 7, 2018 3:35 pm
6. 3rd submittal, 2 sets of plans, energy calculations	Wendy Cabrera	June 12, 2018 11:01 am
7. E' bin 26 - 3rd Submittal / 1 set / Calcs	Yader Reyes	June 12, 2018 3:07 pm
8. Hotels are not an allowable use in RPS-2 zoning district. - Once the comment from Planning is resolved by either revising the plans (by eliminating hotel use) or acceptance of hotel use by Planning, this permit may be reinstated with design professional's explanation letter for delay. Minimum administration fee must be paid.	Antonio Gonzalez	April 24, 2019 2:38 pm
9. OK to reactivate - Minimum administration fee must be paid. See engineer's letter for delays under Attachments	Antonio Gonzalez	May 20, 2019 10:08 am
10. 4th Submittal 2 sets of plans, 2 energy calcs, 1 ARS form, 2 structural calcs	CHRISTINA PIERRE	May 28, 2019 2:19 pm
11. E' bin 26 -4th Submittal	CHRISTINA PIERRE	May 28, 2019 2:46 pm
12. 3X Review Meeting sched for 08/13/2019 at 1:30pm.	JACQUELINE PEREZ	August 12, 2019 11:18 am
13. 5th submittal 2 sets of plans	CHRISTINA PIERRE	September 16, 2019 9:48 am
14. 6th submittal 2 sets of plans, 2 elevation cert, 2 narrative response, 2 evaluation report, 2 NOA's, 2 structural calcs	CHRISTINA PIERRE	September 16, 2019 9:52 am
15. E' bin 26 -5th Submittal	CHRISTINA PIERRE	September 16, 2019 9:53 am
16. 6th submittal 2 sets of plans, 2 narrative response	CHRISTINA PIERRE	October 22, 2019 11:42 am
17. E' bin 26 -1 set of plans	CHRISTINA PIERRE	October 22, 2019 11:42 am
18. 3X Review Meeting schedd for 11/06/2019 at 2:30pm.	JACQUELINE PEREZ	November 6, 2019 7:24 am
19. 7th submittal, 2 sets of plans, evaluation report, proposal, noa, struc calcs	Ernesto Saenz	November 8, 2019 11:10 am
20. E BIN 26 -1 SET OF PLANS	Frank Fernandez	November 8, 2019 12:26 pm
21. 8th Submittal, 2 sets of appraisers each one is different.	Alexander Crespo	January 7, 2020 2:40 pm
22. 9TH SUBMITTAL, 2 SETS OF PLANS	Ernesto Saenz	February 18, 2020 2:15 pm
23. E-BIN 26 - 1 set of plans	Frank Fernandez	February 18, 2020 2:35 pm
24. 10TH SUBMITTAL, 2 SETS OF PLANS	Jose Archila Rios	March 23, 2020 2:35 pm
25. E-BIN 26 - 1 set of plans	Jose Archila Rios	March 23, 2020 2:35 pm
26. universalgroup@mail.com PLANS SENT	Ernesto Saenz	July 25, 2020 9:51 am
27. SPECIAL INSPECTOR FORM FOR SOIL COMPACTION, REINFORCED MASONRY, STEEL CONNECTIONS AND WOOD FRAMING BY L. HUGH ANGLIN, PE 63844	Adalberto Viciedo	February 11, 2021 8:58 am
28. STOP WORK due to e-mail from planning director. AMS.	Ana Salgueiro	September 23, 2021 1:31 pm

PERMIT DETAILED REPORT (BC1704595)

Type of Hold	Created By	Date Created	Comments	Active
Plan Review Hold	CHRISTINA PIERRE	5/28/2019 2:49:37PM	out for scan	No
Contractor Certification Expiration Hold	System Administrator	9/30/2019 8:05:24PM	IAA Contractor Certification Expiration Hold - 2019-09-30 20:05:24.040	No
ABANDON PERMIT HOLD	EnerGov Service	4/17/2019 3:34:23AM	<p>Your permit application is currently in abandoned status, there was lack of progress in the last 180 days.</p> <p>Per Florida building code 105.3.2: Time limitation of application. An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued.</p> <p>For reference or inquiries, you may visit our main webpage at the link below:</p> <p>https://www.miamibeachfl.gov/city-hall/building/</p>	No
Notice/Comment	Miguel Anderson	5/28/2020 6:52:57AM	<p>Ana, (Azicri)</p> <p>Your waiver was approved by the Council Friday and now goes to the Commission on Tuesday the 2nd at 8:30 A.M. I am attaching a link to the agenda. It will be a teleconference / webinar.</p> <p>http://www.floridabuilding.org/fbc/commission/FBC_0620/index.htm</p> <p>Regards, Chip Sellers Government Operations Consultant Florida Building Commission T: 850.717.1827 E: chip.sellers@myfloridalicense.com</p>	No
Lock	Ana Salgueiro	9/23/2021 1:30:35PM	STOP WORK per planning department	Yes
Contractor Certification Expiration Hold	EnerGov Service	10/1/2017 6:46:08AM	Contractor Certification Expiration Hold - 2017-10-01 06:46:08.03738953	No
Contractor Certification Expiration Hold	System Administrator	8/31/2018 12:06:13AM	IAA Contractor Certification Expiration Hold - 2018-08-31 00:06:13.213 - 2018-08-31 00:06:13.21345713	No
Notice/Comment	Pedro Martinez	5/28/2020 2:02:52PM	3x review meeting held 5/28/2020 1:30PM	No
Inspection Hold	Dominique Isaac	7/7/2017 10:32:43AM	Fees are due. Inspection Hold applied. - 2017-07-07 10:32:43.11347672	No

PERMIT DETAILED REPORT (BC1704595)

Issue Hold	Carlos Guerrero	11/21/2017 9:24:43AM	Plans include work for 4 buildings located on two separate Parcel No. - Needs a separate Permit for the buildings on Address 333 Jefferson Av. Parcel No. 02-4203-009-5250 (Buildings 333 and 337) Address 343 Jefferson Av. Parcel No. 02-4203-009-5260 (Buildings 343 and 345) DISREGARD NOTE. UNITY OF TITLE IS ATTACHED. - 2017-11-21 09:24:42.610	No
Contractor Certification Expiration Hold	System Administrator	9/19/2018 12:05:57AM	IAA Contractor Certification Expiration Hold - 2018-09-19 00:05:57.253 - 2018-09-19 00:05:57.253	No
Issue Hold	Gabi Chamoun	2/12/2018 9:58:57AM	DERM required - 2018-02-12 09:58:57.367	No
Contractor Certification Expiration Hold	System Administrator	7/22/2021 12:05:05AM	IAA Contractor Certification Expiration Hold - 2021-07-22 00:05:04.583	No
Contractor Certification Expiration Hold	System Administrator	9/19/2021 12:05:11AM	IAA Contractor Certification Expiration Hold - 2021-09-19 00:05:10.777	No
Plan Review Hold	Nisca Cesar	4/6/2020 10:05:22AM	3x review meeting required	No
Notice/Comment	Alexander Crespo	5/27/2020 10:12:54AM	Plans for 3x review meeting have been uploaded in M drive 11th submittal	No
Notice/Comment	Gabi Chamoun	2/12/2018 3:02:00PM	as-builts REQUIRED - 2018-02-12 15:01:59.697	No
Contractor Certification Expiration Hold	System Administrator	10/13/2020 8:05:05PM	IAA Contractor Certification Expiration Hold - 2020-10-13 20:05:04.613	No
Contractor Certification Expiration Hold	System Administrator	9/30/2020 8:05:09PM	IAA Contractor Certification Expiration Hold - 2020-09-30 20:05:08.507	No
Contractor Certification Expiration Hold	System Administrator	10/13/2019 8:05:05PM	IAA Contractor Certification Expiration Hold - 2019-10-13 20:05:05.323	No
Inspection Hold - manual	Dominique Isaac	7/7/2017 10:42:14AM	CUSTOMER ADVISED, CONTRACT REQUIRED - 2017-07-07 10:42:13.823	No
Parcel Alert	Ana Salgueiro	12/29/2021 9:04:59AM	STOP WORK FOR PERMIT ONLY EMERGENCY STUCTURAL WORK IS PERMITTED TO TAKE PLACE	Yes

EXHIBIT "C"

February 2, 2022

City of Miami Beach

Historic Preservation Board

File Number: HPB21-0490

Property: 333 Jefferson Avenue

Folio: 02-4203-009-5250

The following is a summary of the inspections associated with the application. We need to understand the meaning of a "Passed Partial Inspection." As you progress in construction of an existing and deteriorated building conditions uncovered at the site requires revisions and approvals. At which time, the inspectors tags a "partial approval" to continue and correct the findings. Additionally, when a permit includes multiple buildings a "partial" is issued to that specific building understanding that related inspections will fallow to the pending buildings.

The 333 Jefferson Avenue Summary attached is a review of the inspection log from the City of Miami Beach website:

The tagged number below corresponds to the items on the Inspection 333 Jefferson Avenue Summary:

- 1) 2/10/21 **Correction Required Plumbing Inspection** (PBI-437155-2021) Must pass foundation
- 2) 2/10/21 **Partial Pass Window Inspection** (BDI-437170-2021) Bldgs. 345-337 only passed partial windows inspections
- 3) 2/10/21 **Building Inspection** (BDI-437170-2021) Building foundation. Inspector requested footers to be open for inspections
- 4) 2/11/21 **Building Inspection** (BDI-437694-2021) Building Columns Re-inspection. Columns added to the plans because the conditions found at the site was unidentified at the time of submittal. The stucco on the south side of building 343 had excessive deterioration and the stucco completed delaminated. The windows needed reinforcement.
- 5) 5)2/24/21 **Structural Revision** (RV-2114565) Revision General. See revised sheet S-06.1 Revision to the front and rear buildings 343 and 337
- 6) 6)3/19/21 **Partial Passed** BDI-445178-2021 Building Columns Inspection Building 343 (Reinforced all the buildings second floor complete). First floor reinforcement upon completion of plumbing underground. The first level the floor had to be saw cut to accommodate the plumbing work.
- 7) 3/24/21 **Partial Pass** (BDI-445924-2021) Building Columns Inspection (Re-inspection of building 345-footer and foundation)
- 8) 3/24/21 **Partial Pass** (PBI-445916-2021) Building-Plumbing Underground Inspection. Rear buildings 337 and 345)
- 9) 3/24/21 **Partial Pass** (BDI-445922-2021) Building Foundation Inspection - Bldg 345-footer and wood joists passed

- 10) **5/21/21 Reinspection Required** (BDI-458854-2021) Building Framing Inspection. Inspector requested to pass all MEP rough before calling building inspections. Made all corrections began plumbing underground.
- 11) **5/21/21 Partial Pass** (PBI-458831-2021) Building-Plumbing Underground Inspection. Rough underground for Bldg 343. Because the slab floor was reinforced, and the underground plumbing was complete, and the slab re-poured. As we moved to building 343, we realized that the wood joists and top beam completely disintegrated and rotted by terminated and the elements.
- 12) **8/27/21 Reinspection Required** (PBI-478969-2021) Building - Plumbing Underground Inspection. Canceled on-site by plumber
- 13) **9/8/21 Partial Pass** (PBI-481285-2021) Building - Plumbing Underground Inspection. Underground building 333.
 - a. Note: Because the plumbing sanitary lines are gravity feed the rear buildings were complete first. The final connection is in the front of the building.

333 Jefferson Ave.
Inspection Summary

Exhibit "C"

Item	Inspection Number	Description	Status	Request Date	Inspector Name	Inspector's Comments
1	BDI-445178-2021	Building - Columns Inspection	Partial Pass	3/19/2021	Nathan Stanley	SN-BLDG 343 FIRST FLOOR COLUMNS OK
2	BDI-445924-2021	Building - Columns Inspection	Partial Pass	3/24/2021	Nathan Stanley	SN-BLDG-345-WOOD AND STEEL COLUMNS OK
3	Building Inspection BDI-437170-2021	Building - Foundation Inspection	Concealed Work Without Inspections	2/10/2021	Nathan Stanley	SN-CONCEALED FOOTERS, NO PERMISSION TO USE SPECIAL INSPECTOR
4	Building Inspection BDI-437694-2021	Building - Columns Inspection	Reinspection Required	2/11/2021	Nathan Stanley	SN-PLANS DO NOT SHOW COLUMNS AT 1st FLOOR (BUILD 343)
5	Building Inspection BDI-445922-2021	Building - Foundation Inspection	Partial Pass	3/24/2021	Nathan Stanley	SN-BLDG-345-FOOTERS OK, WOOD JOISTS OK
6	Building Inspection BDI-458854-2021	Building - Framing Inspection	Reinspection Required	5/21/2021	Nathan Stanley	SN-MUST PASS ALL MEP ROUGHS
7	Plumbing Inspection PBI-437155-2021	Building - Plumbing Underground Inspection	Reinspection Required	2/10/2021	Ojeda Rafael	RO UNDERGROUND SANITARY MUST COMPLY WITH FBC AND APPROVED PLANS, NEED TO CORRECT VENT, AND MUST REMOVE CELLULAR CORE PIPING, PLANS ASKING FOR PVC SCHD 40, PIPING MUST HAVE HANGERS AND NEED A TEST.
8	Plumbing Inspection PBI-445916-2021	Building - Plumbing Underground Inspection	Partial Pass	3/24/2021	Ojeda Rafael	RO CORRECTIONS DONE FROM LAST INSPECTION, MATERIAL WAS CHANGED TO PVC SCH 40, UNDERGROUND SANITARY FOR BLDG 337 AND 345 (REAR BLDGS ONLY) OK.
9	Plumbing Inspection PBI-458831-2021	Building - Plumbing Underground Inspection	Partial Pass	5/21/2021	Ojeda Rafael	RO UNDERGROUND SANITARY FOR BLDG 343 (FRONT NORTH SIDE) INSIDE AND CONNECTIONS WITH REAR BLDG, OK, INCLUDING W/M. BLDG FROM FRONT SOUTH SIDE STILL PENDING
10	Plumbing Inspection PBI-478969-2021	Building - Plumbing Underground Inspection	Reinspection Required	8/27/2021	Ojeda Rafael	RO CANCELED ON SITE BY THE PLUMBING CONTRACTOR, MARTIN

**333 Jefferson Ave.
Inspection Summary**

Exhibit "c"

Item	Inspection Number	Description	Status	Request Date	Inspector Name	Inspector's Comments
11	Plumbing Inspection PBI-481285-2021	Building - Plumbing Underground Inspection	Partial Pass	9/8/2021	Sosa Luis	LS UNDERGROUND FOR BUILDING 333 (SOUTHWEST MOST) TESTED AND APPROVED INCLUDE JANITOR SINK UNDER STAIRS
12	Structural Revision RV2114565	Revisions General	Finale	2/24/2021	Viciedo Adalberto	REVISION to BC1704595/ Missing reinf. Masonry sheet of 1st Floor to build 343 & 337 plan for structural set Planning Review • Pass • Brito Alberto • Completed : 03/01/2021 Comment RV2114565 /// 333 Jeff. Ave M#BC1704595 * REV. 4 - Structural Update.
13	Window Inspection BDI- 437167-2021	Building - Buck / Anchors Inspection	Partial Pass	2/10/2021	Nathan Stanley	SN-BLDGS-345 & 337-BUCKS OK, MUST HAVE PERMIT CARD

Work Permit RV2114565 Revision

Master Permit: BOA2107054

Status: Finaled Date: 3/10/2021
Site Address: 333 JEFFERSON AVE Applied: 02/24/2021
Parcel #: 0242030095250 Issued: 03/10/2021
Expiration Date: 09/07/2021
Total Job Value: \$0.00 PIN: 152744
Contractor: Owner: NATHANAEL COHEN
3050 BISCAYNE BLVD 801
MIAMI, FL 33137
Description: REVISION to BC1704595/ Missing reinf. Masonry sheet of 1st fl to build 343 & 337 plan for structural set
Inspector Area: Class Code:

Statement of Work	Quantity	Total Fee
Commercial Minor Revisions, 1-5 pages - Building	0.00	\$204.00
Total of All Fees:		\$204.00
Total of All Payments:		\$204.00
Balance Due:		\$0.00

City of Miami Beach

Last Completed Item Reviews Across All Submittals

Permit Type: Revision Work Class: General Application Date: 02/24/2021 Status: Final

Address: 333 JEFFERSON AVE

Reviewed For Compliance
Permit: RV2114565

Item Review Type	Status	Version	Completed Date	Assigned User
Building Review	Pass	1	03/04/2021	Gabi Chamoun
Fire Building Review	Pass	1	03/04/2021	Raul Cardoso
Structural Review	Pass	1	03/01/2021	Adalberto Vicedo
Planning Review	Pass	1	03/01/2021	Alberto Brito
Submittal Version Complete	Pass	2	03/10/2021	Rose Hernandez
Permit Intake Review	Pass	2	03/10/2021	CHRISTINA PIERRE