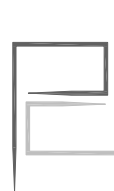




1745 W 24 ST, MIAMI BEACH

MIAMI BEACH DRB21-0759 - FINAL SUBMITTAL

◦ NEW 2 STORY HOME REPLACING EXISTING 2 STORY PRE-1942 HOME

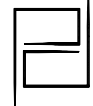


MIAMI BEACH DRB 21-0759 - FINAL SUBMITTAL

SUNSET ISLAND RESIDENCE

1745 W 24 ST, MIAMI BEACH, FL 33140

DATE: 12.06.2021



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G-01

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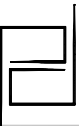
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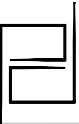


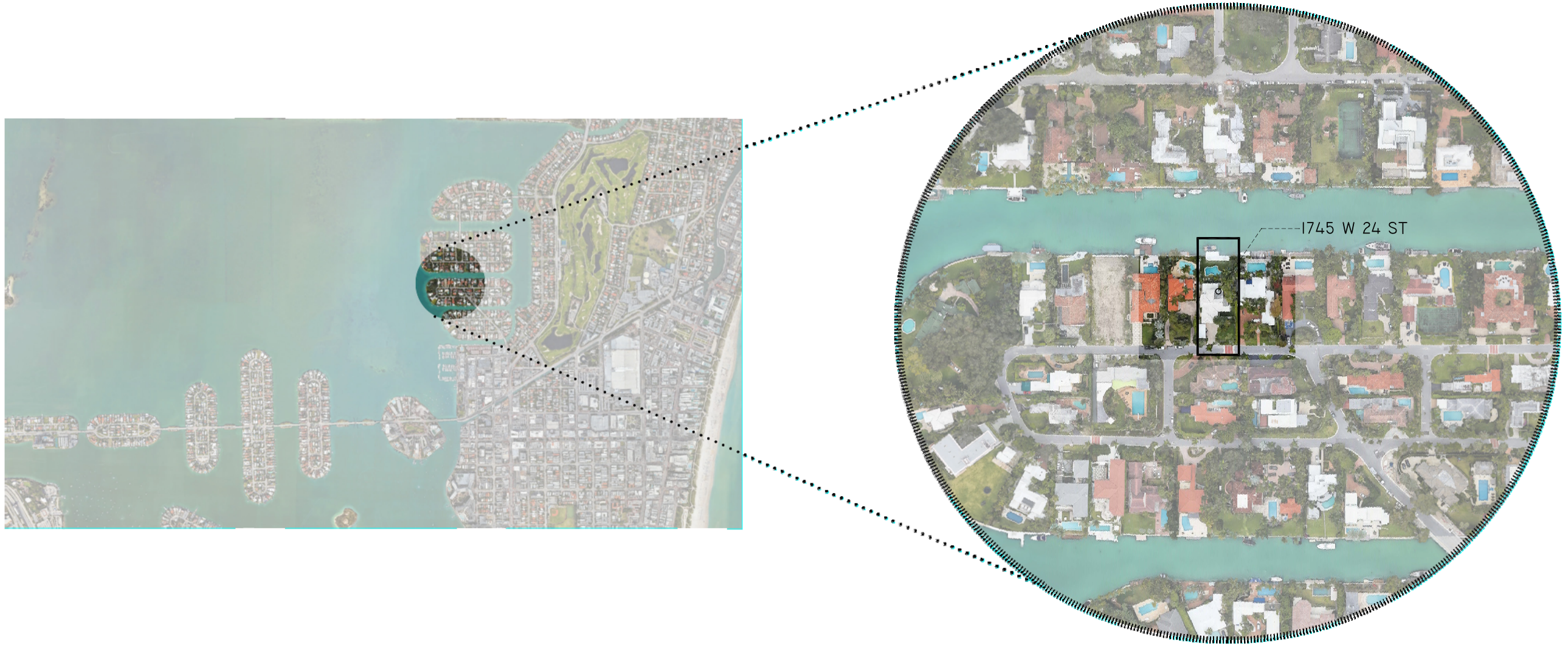
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FILE N# DRB21-0759

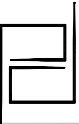
ITEM #	ZONING INFORMATION					ZONING INFORMATION	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
1	ADDRESS	1745 W 24 STREET, MIAMI BEACH FL, 33140			17	HEIGHT	24'	N/A	24'	
2	FOLIO NUMBER	02-3228-001-1840								
3	BOARD AMD FILE NUMBER				18	SETBACKS				
4	YEAR BUILT	1937	ZONING DISTRICT	RS-3	19					
5	BASED FLOOD ELEVATION	+8.0 FT	GRADE VALUE IN NGVD	+4.37 FT	20	FRONT	30'	N/A	30'	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.19 FT	FREE BOARD	+9 FT (1 FT)	21	EAST SIDE	10'	N/A	11'-7"	
7	LOT AREA	13,154 SFT			22	WEST SIDE	10'	N/A	10'-8"	
8	LOT WIDTH	75.17 FT	LOT DEPTH	175 FT	23	REAR	26.25'	N/A	29'-8"	
9	MAX LOT COVERAGE SF AND %	30% = 3,946 SFT	PROPOSED LOT COVERAGE SF AND %	29.28% = 3,851 SFT	24	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET)	N/A	N/A	N/A	
10	EXISTING LOT COVERAGE SF AND %		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF							
11	FRONT YARD OPEN SPACE SF AND %	68.6% = 1,031.6 SFT	REAR YARD OPEN SPACE SF AND %	70.24% = 1,382.5 SFT	25	ACCESSORY STRUCTURE REAR				
12	MAX UNIT SIZE SF AND %	50% = 6,577 SFT	PROPOSED UNIT SIZE SF AND %	48.9% = 6,435 SFT	26	SUM OF SIDE YARD	20' MIN	N/A	22'-3"	
13	EXISTING FIRST FLOOR UNIT SIZE		PROPOSED UNDERSTORY UNIT SIZE SF AND %	N/A	27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	N/A			
14	EXISTING SECOND FLOOR UNIT SIZE		PROPOSED FIRST FLOOR UNIT SIZE SF AND %	3,665 SFT						
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %	2,770 SFT	28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE	N/A			
16			PROPOSED ROOF DECK AREA SF AND %	696 SFT = 24.7% 2ND FLOOR AREA (2,809 SF)	29	DETERMINATED TO BE ARCHITECTURALLY SIGNIFICANT?	YES			
					NOTES					
					IF NOT APPLICABLE WRITE N/A					
					ALL OTHER DATA INFORMATION SHOULD BE PRESENTED LIKE THE ABOVE FORMAT					





LOCATION - 1/2 MI RADIUS

SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
DATE: 12.06.2021



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A-02



00 LOCATION MAP



02 NORTH FACADE (REAR VIEW)



01 SOUTH FACADE (FRONT VIEW)



03 STREET VIEW



EXISTING CONDITIONS

SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
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00 LOCATION MAP



02 NEIGHBORING PROPERTY ACROSS 24TH ST



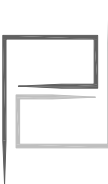
01 WEST NEIGHBORING PROPERTY - STREET VIEW



03 EAST NEIGHBORING PROPERTY - STREET VIEW

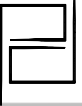


04 NEIGHBORING PROPERTIES ACROSS CANAL



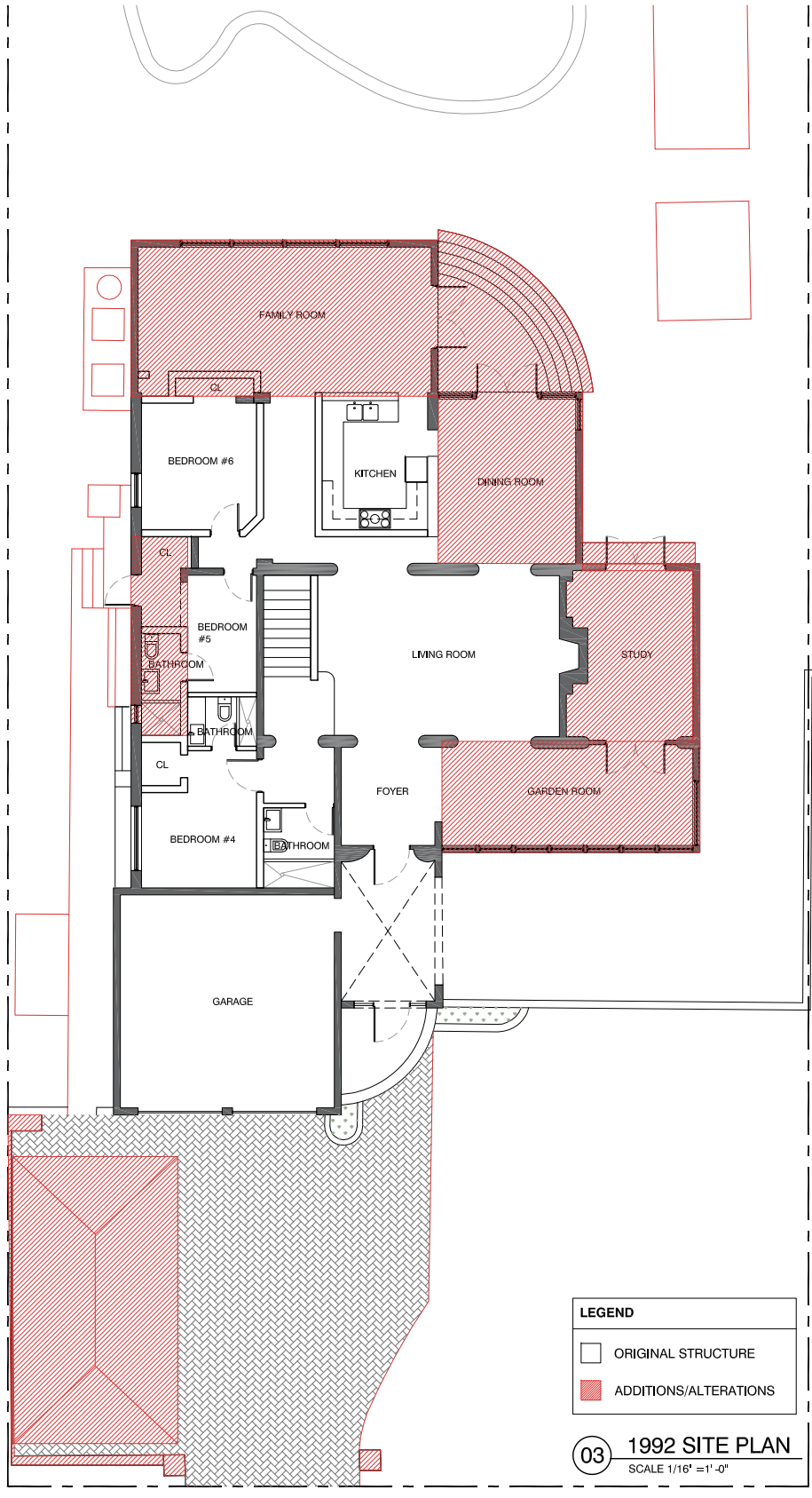
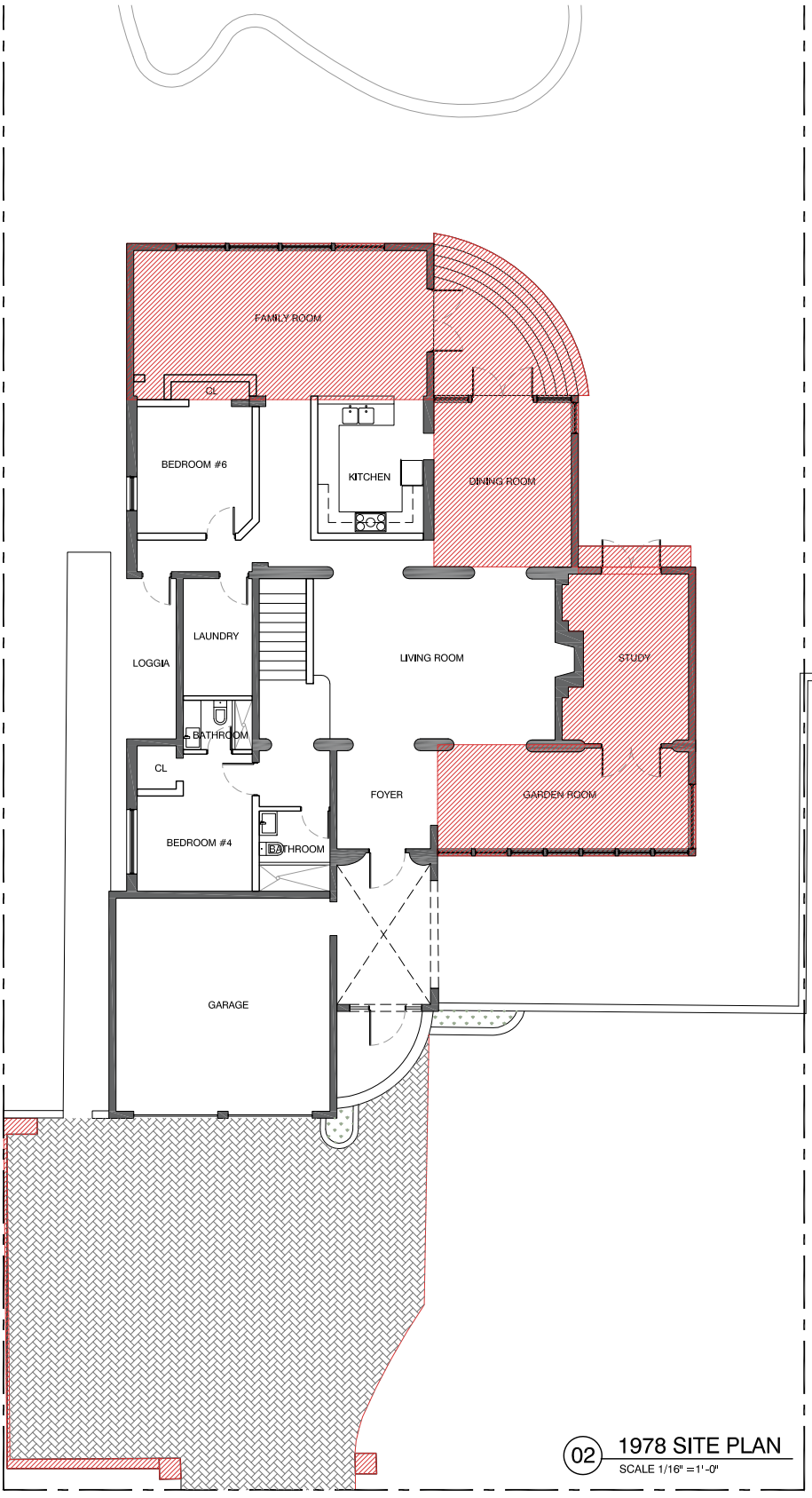
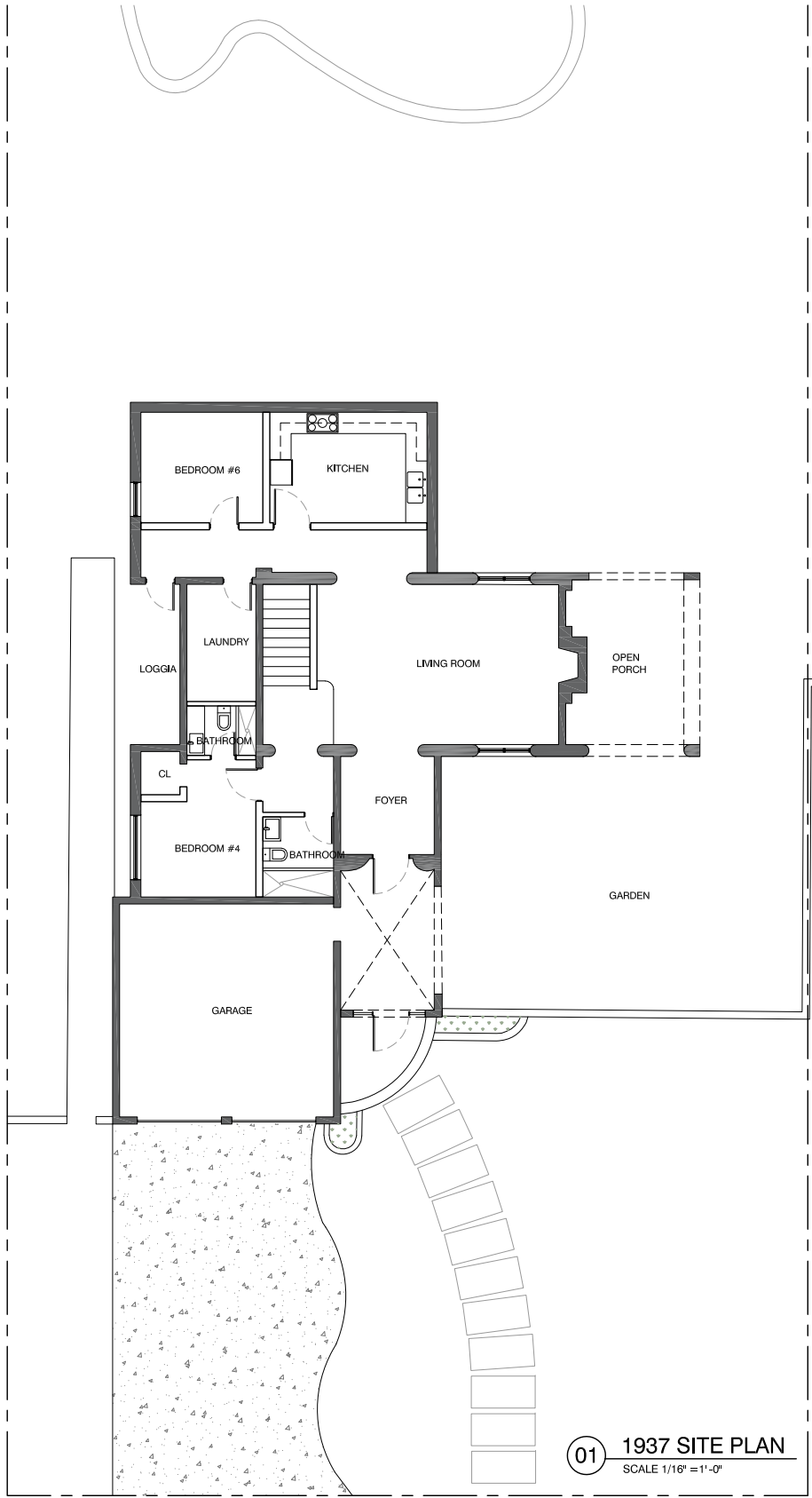
EXISTING CONDITIONS - NEIGHBORING SITES

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LEGEND	
	ORIGINAL STRUCTURE
	ADDITIONS/ALTERATIONS

1937

1978

1992



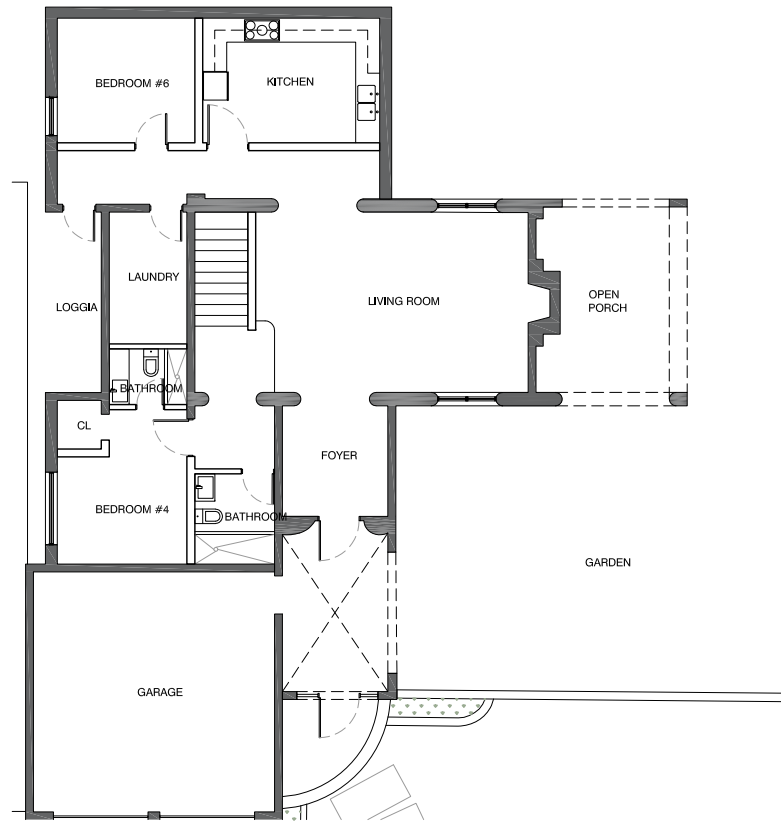
SITE PLAN EVOLUTION TIMELINE
SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
DATE: 12.06.2021



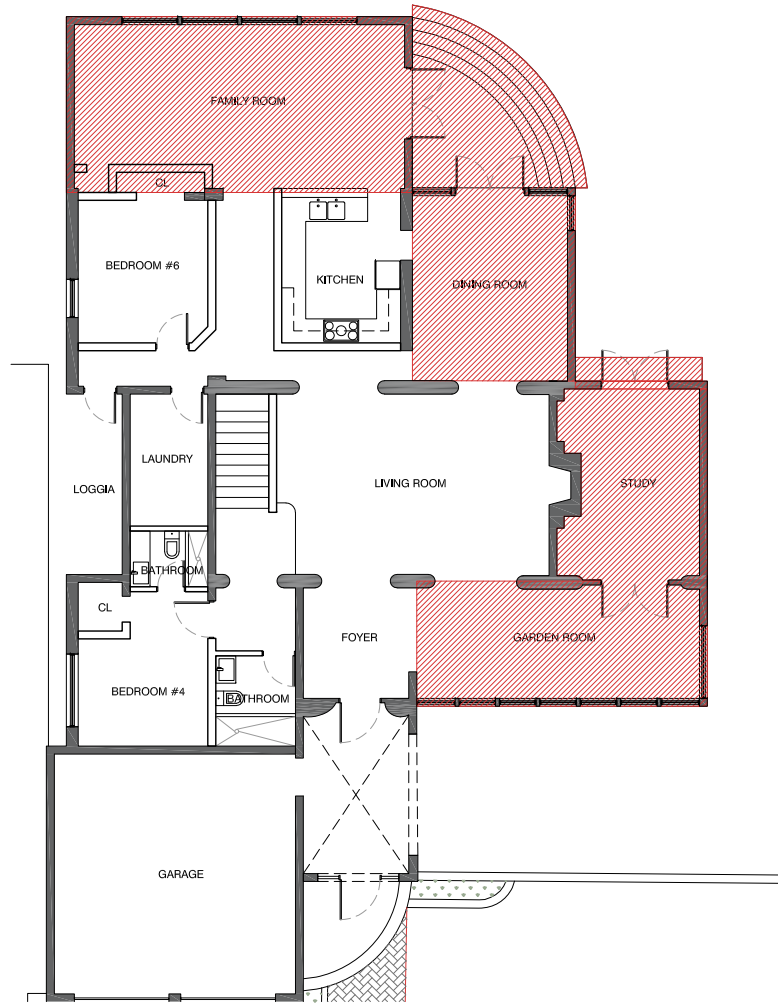
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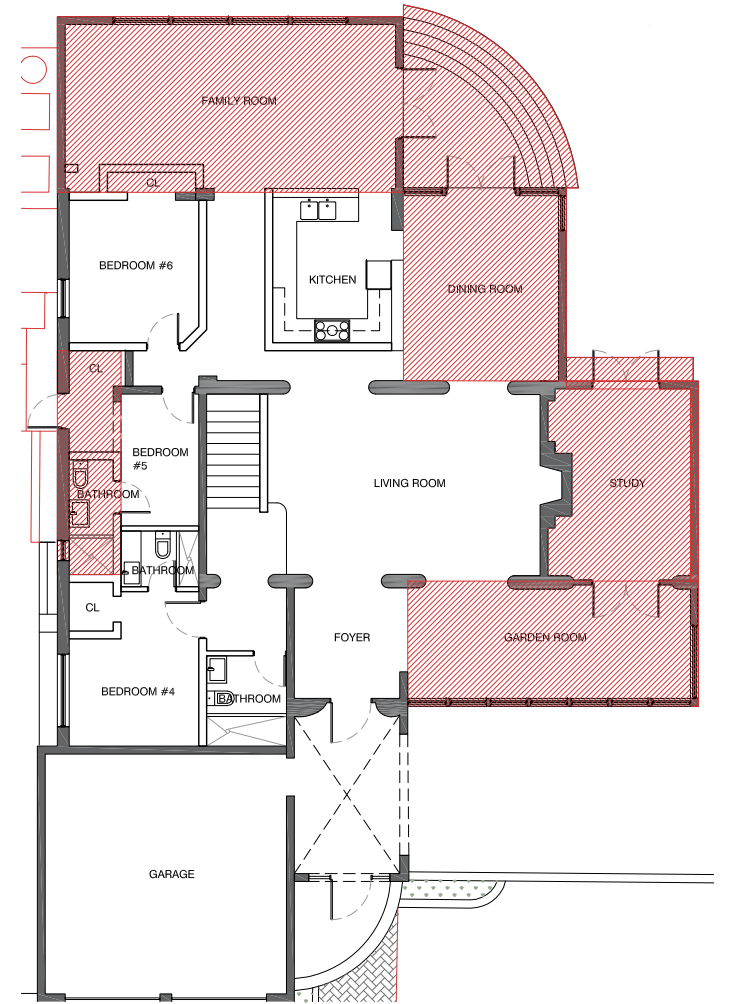
A-05



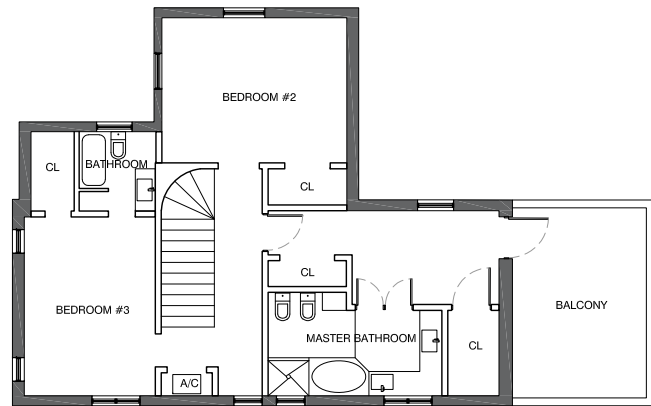
01 1937 FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



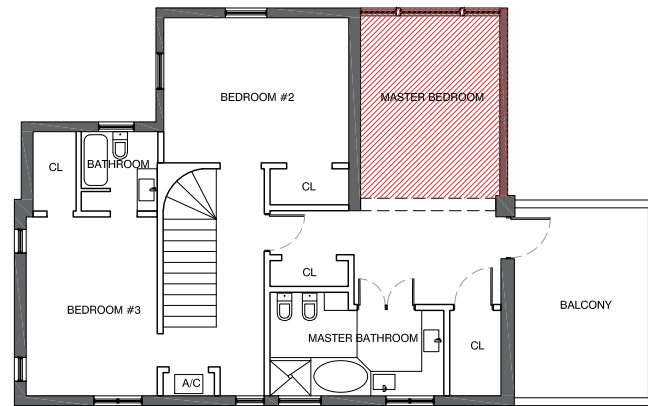
03 1978 FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



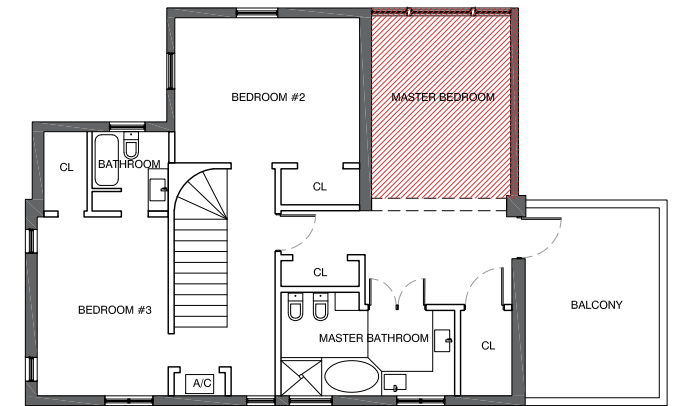
05 1992 FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



02 1937 SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"



04 1978 SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"



06 1992 SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"

1937

1978

1992

FLOOR PLAN EVOLUTION TIMELINE

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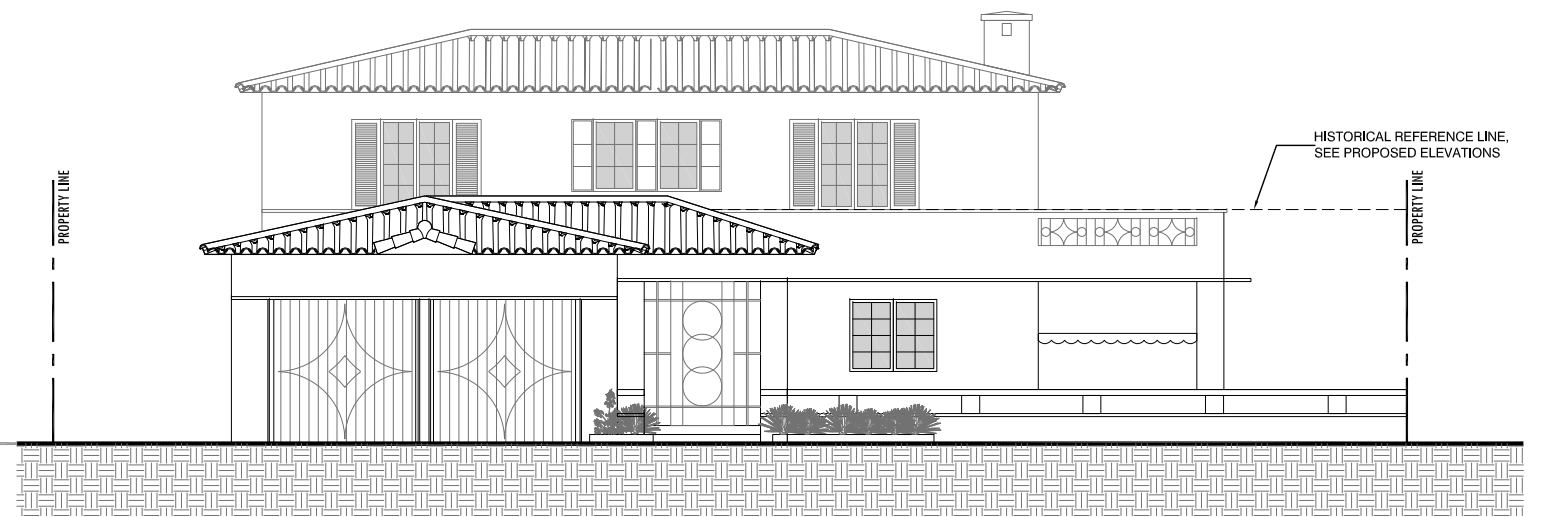
01 1937 FRONT PHOTOGRAPH



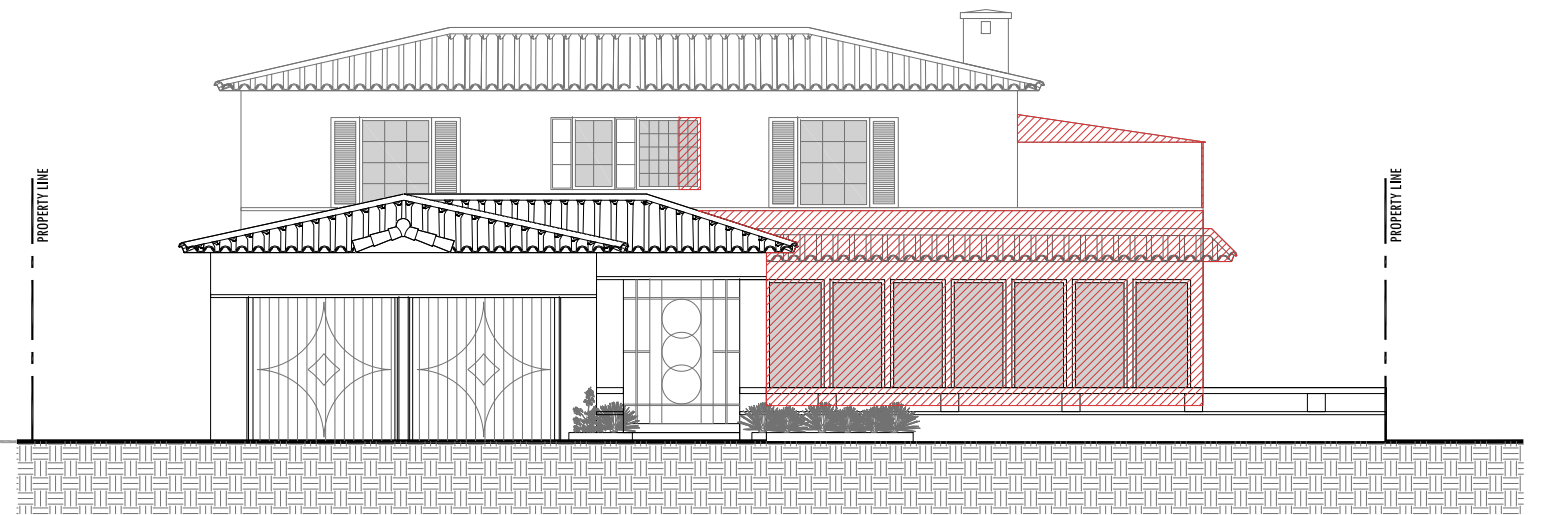
03 1965 FRONT PHOTOGRAPH



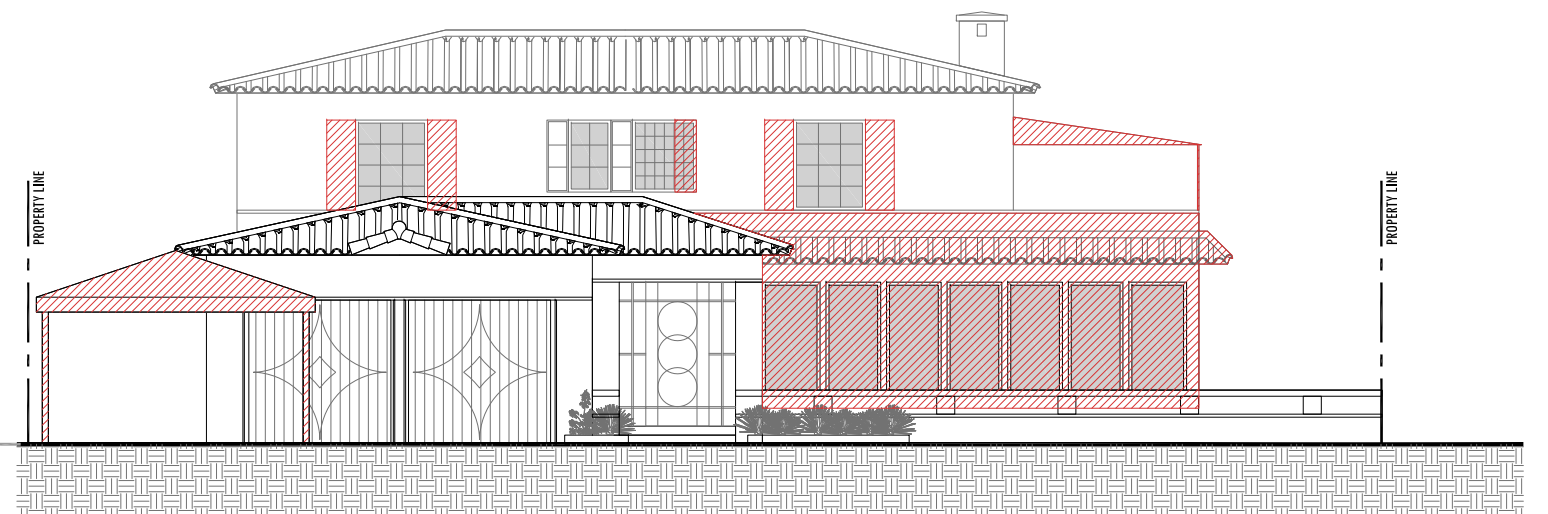
05 CURRENT FRONT PHOTOGRAPH



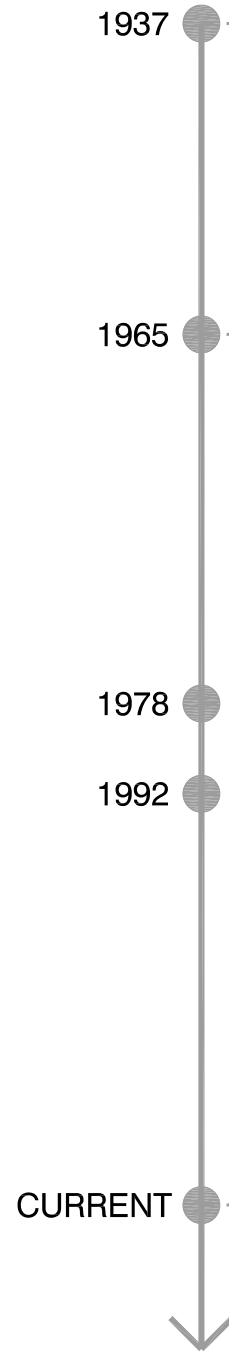
02 1937 FRONT ELEVATION
SCALE 3/32" = 1'-0"



04 1978 FRONT ELEVATION
SCALE 3/32" = 1'-0"

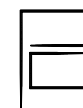


06 1992 FRONT ELEVATION
SCALE 3/32" = 1'-0"



FRONT FACADE EVOLUTION TIMELINE

SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
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1937

1965

1978

1992

CURRENT



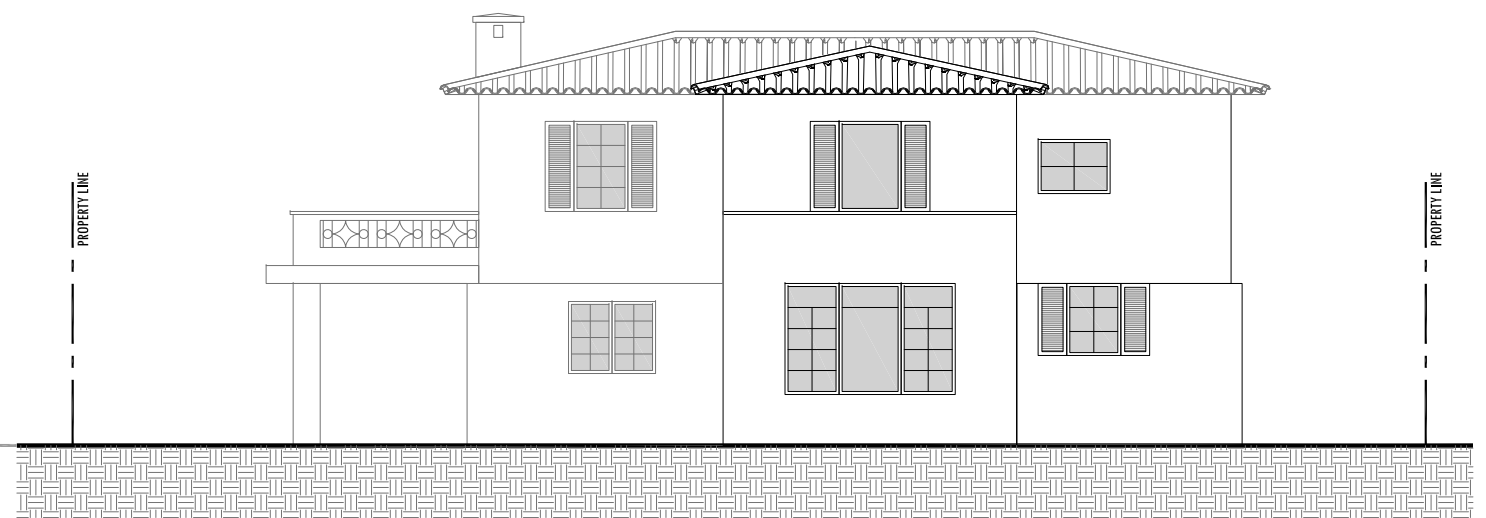
01 1965 REAR PHOTOGRAPH



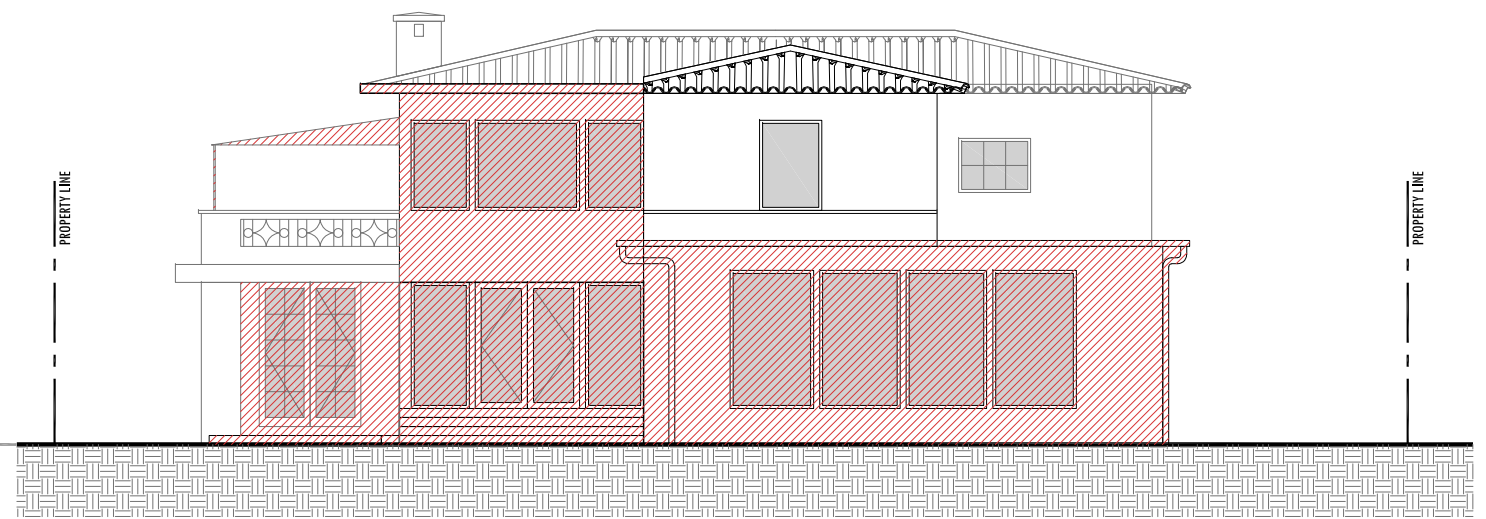
03 REAR PHOTOGRAPH



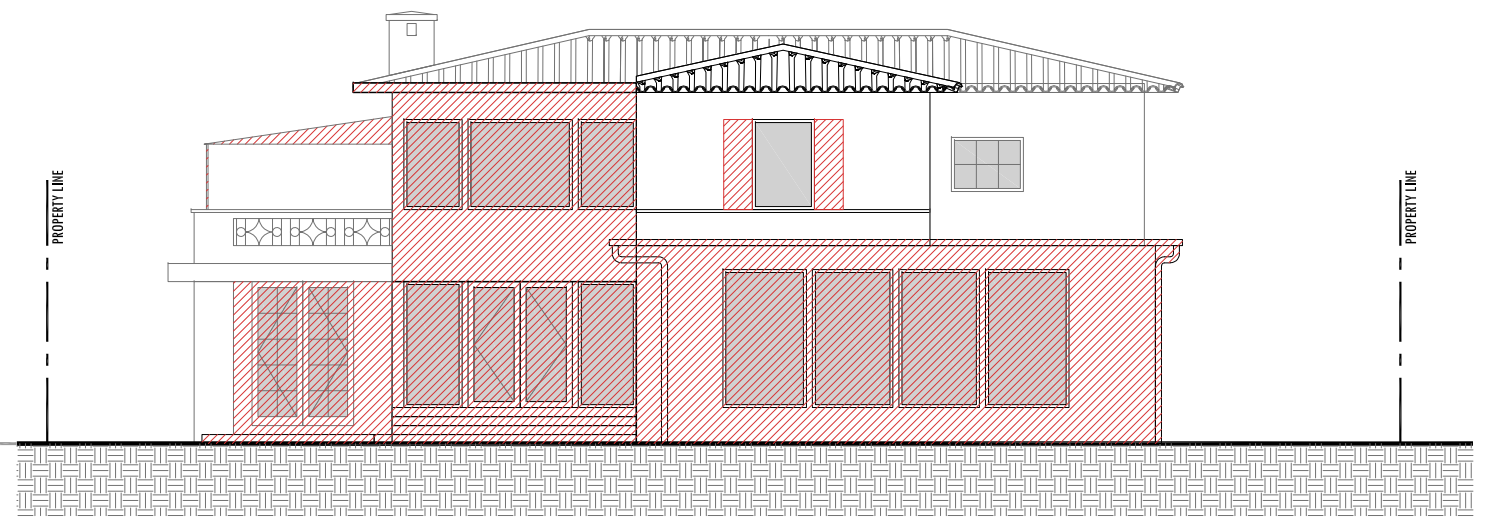
05 CURRENT REAR PHOTOGRAPH



02 1937 REAR ELEVATION
SCALE 3/32" = 1'-0"



04 1978 REAR ELEVATION
SCALE 3/32" = 1'-0"



06 1992 REAR ELEVATION
SCALE 3/32" = 1'-0"

REAR FACADE EVOLUTION TIMELINE

SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140

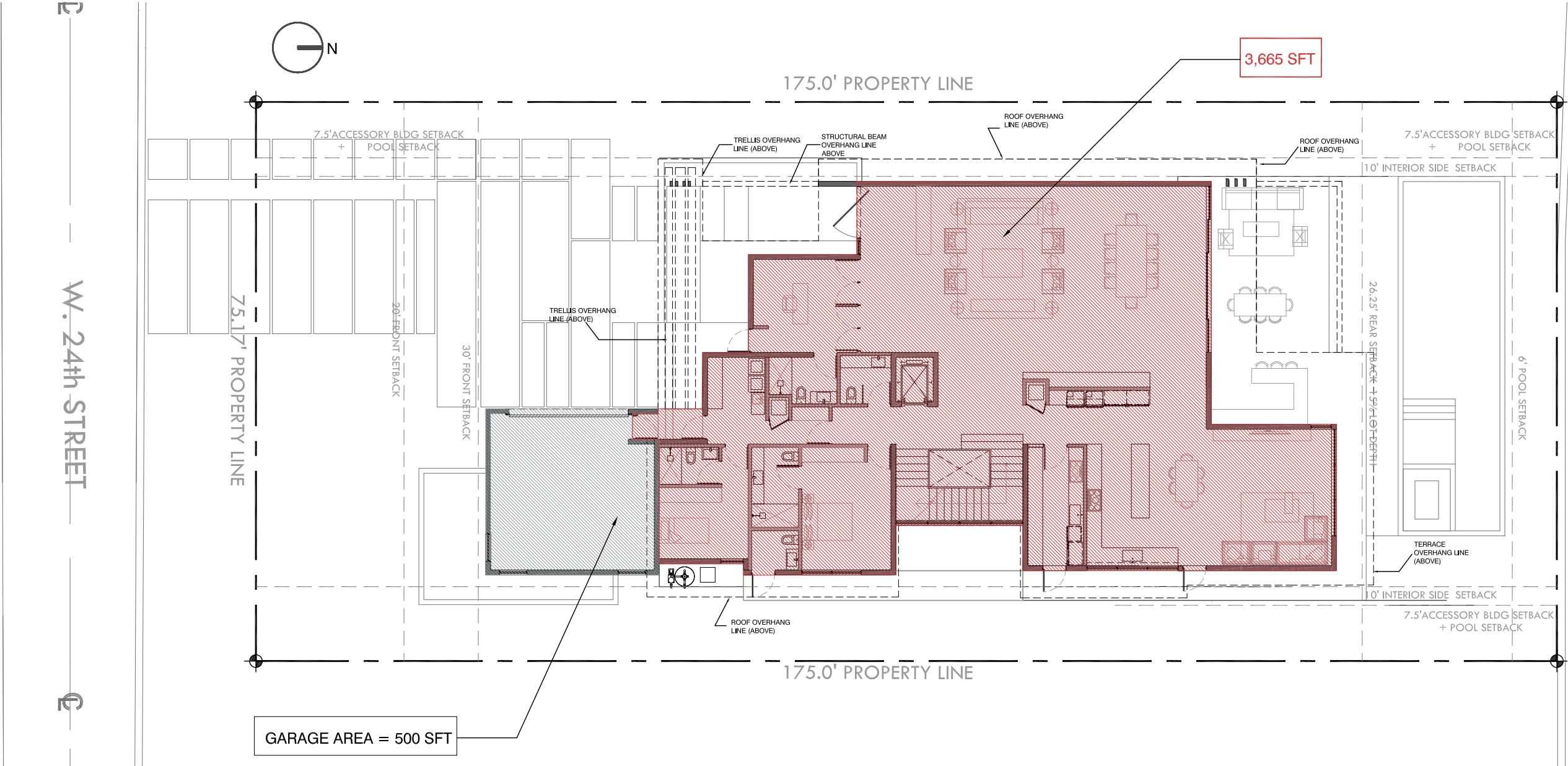
DATE: 12.06.2021

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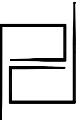
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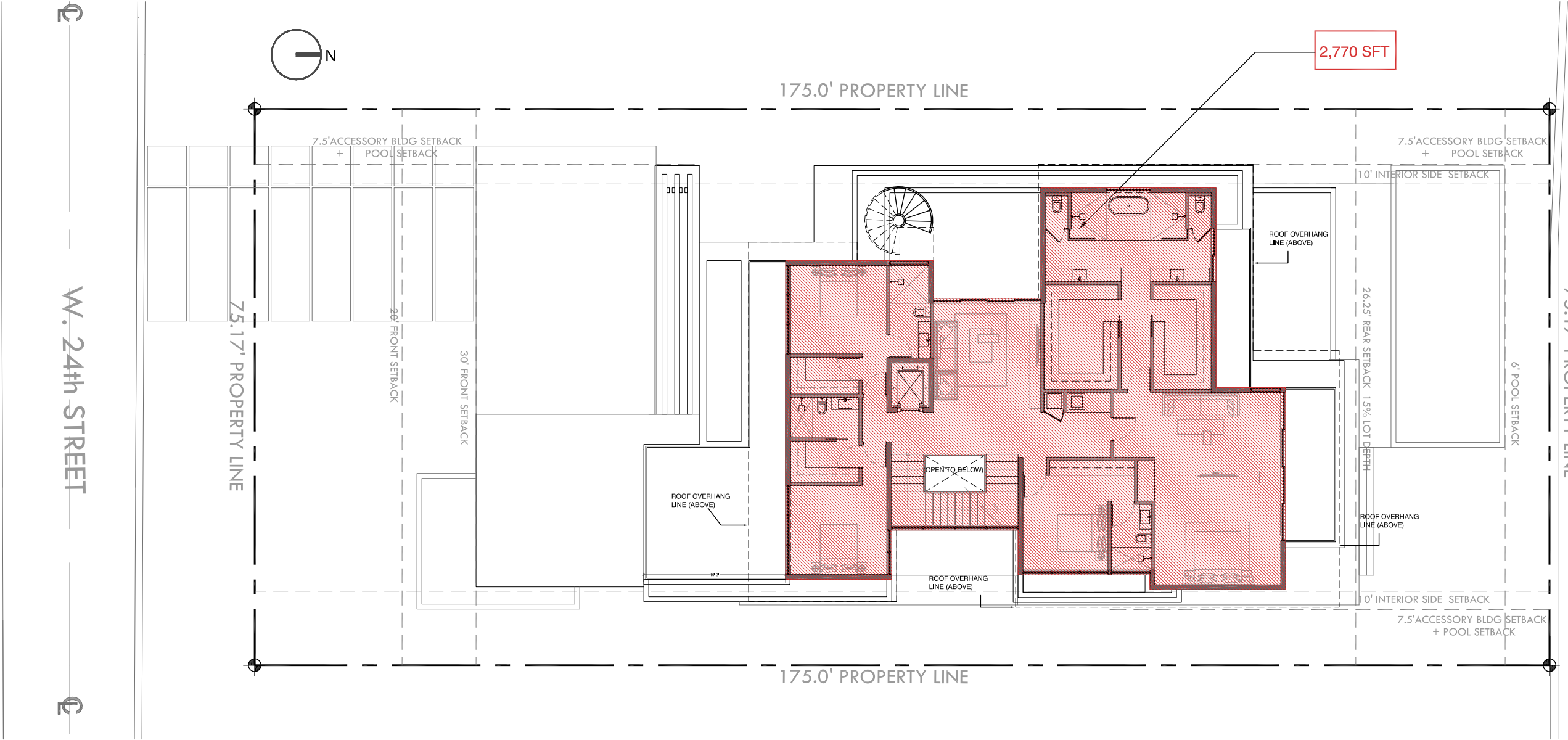
UNIT SIZE CALCULATIONS	
MAXIMUM PERMITTED = 50% = 6,577 SFT	
PROVIDED SFT	
-	FIRST FLOOR = 3,665 SFT
-	SECOND FLOOR = 2,770 SFT
TOTAL UNIT SIZE PROVIDED = 48.9%=6,435 SFT	



01 FIRST FLOOR UNIT SIZE



UNIT SIZE CALCULATIONS	
MAXIMUM PERMITTED = 50% = 6,577 SFT	
PROVIDED SFT	
-	FIRST FLOOR = 3,665 SFT
-	SECOND FLOOR = 2,770 SFT
TOTAL UNIT SIZE PROVIDED = 48.9%=6,435 SFT	

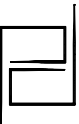


01 SECOND FLOOR UNIT SIZE



UNIT SIZE DIAGRAM - SECOND FLOOR

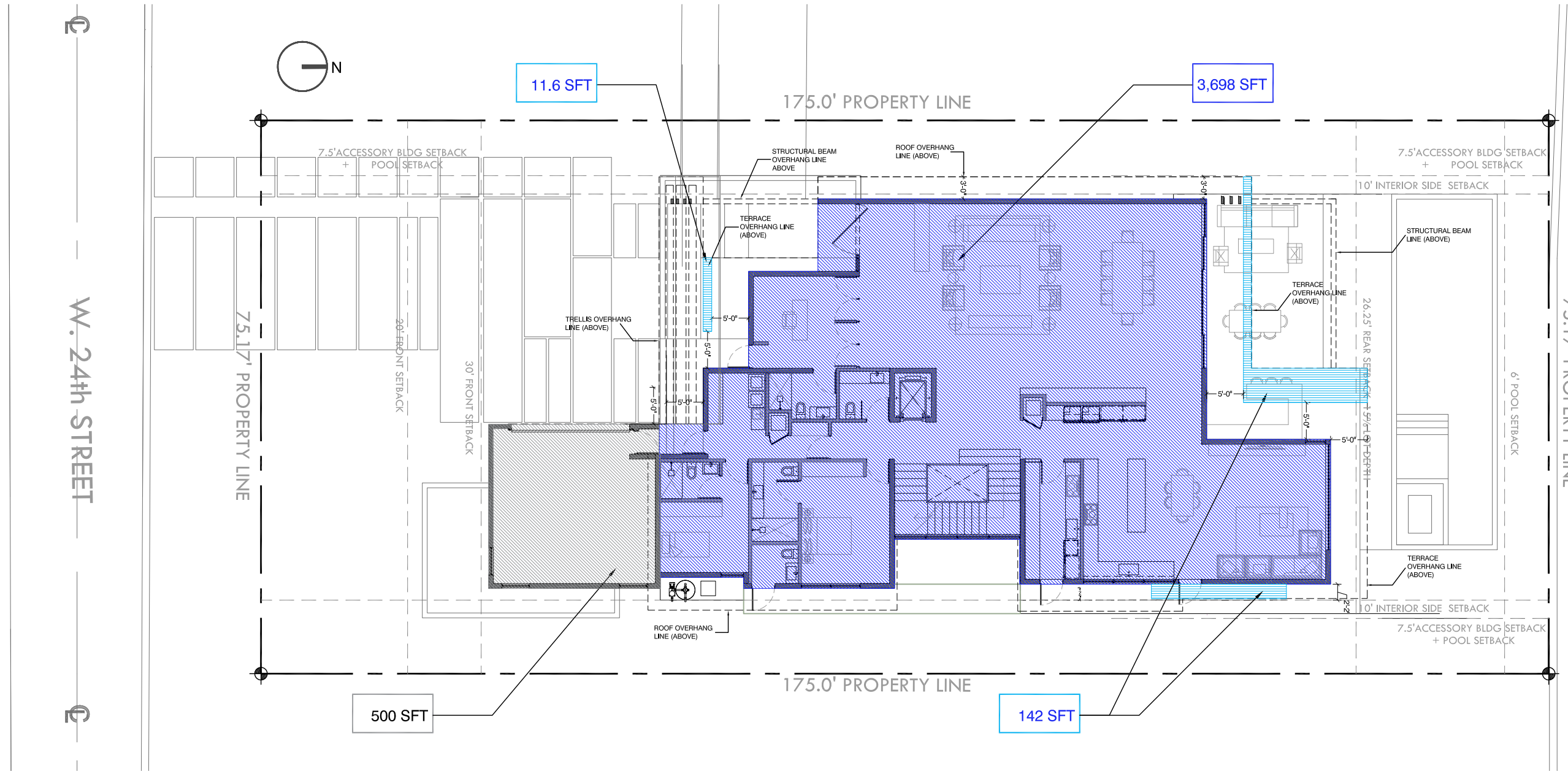
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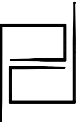
LOT COVERAGE CALCULATIONS
MAXIMUM PERMITTED = 30% = 3,946 SFT
PROVIDED = 29.28%=3,851.6 SFT



01 LOT COVERAGE DIAGRAM



ZONING DATA - LOT COVERAGE
SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
DATE: 12.06.2021



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FRONT YARD: 1,503.4 SFT
REQUIRED OPEN SPACE: 751.7 (50%)
PROPOSED OPEN SPACE: 1,031.6 SFT (68.6%)

Site plan showing property boundaries, setbacks, and areas open to the sky.

Property Lines:

- 175.0' PROPERTY LINE (Top and Bottom)
- 75.17' PROPERTY LINE (Right)

Setbacks:

- 7.5' ACCESSORY BLDG SETBACK
- 7.5' ACCESSORY BLDG SETBACK + POOL SETBACK
- 10' INTERIOR SIDE SETBACK
- 6' POOL SETBACK
- 30' FRONT SETBACK

Areas Open to the Sky:

- AREA OPEN TO THE SKY = 135 SF = 1.03% OF LOT AREA
- AREA OPEN TO THE SKY = 132 SF = 1.00% OF LOT AREA

Other Features:

- GREEN AREA = 1,031.6 SFT
- POOL = 693 SFT
- POOL X 0.5 = 346.5 SFT
- 1036 SFT
- 26.25' REAR SETBACK
- TERRACE OVERHANG LINE (ABOVE)
- STRUCTURAL BEAM OVERHANG LINE (ABOVE)
- TRELLIS OVERHANG LINE (ABOVE)

Canal:

CANAL

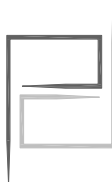
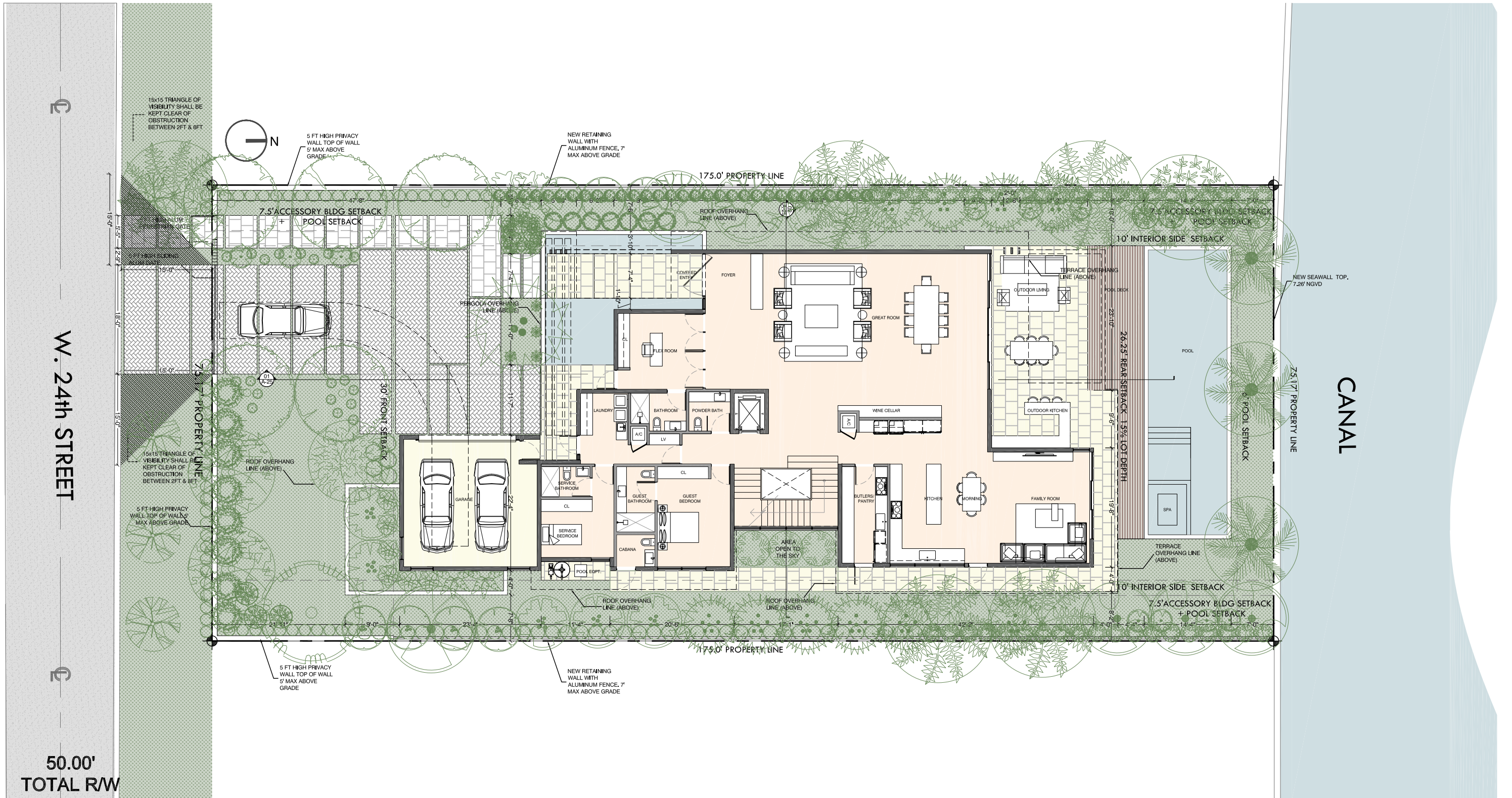


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MAXIMUM PERMITTED = 25% OF SECOND FLOOR
ENCLOSED AREA
PROVIDED = 696 SFT = 24.7%





SITE PLAN

SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
DATE: 12.06.2021

SCALE: 1/32" = 1'-0"

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