

EXISTING F.A.R. SCHEDULE OF AREAS

LEVEL 4- AREA BREAKDOWN
TYPE FAR
VERT. CIRCULATION 407 S.F.
PARKING 0 S.F.
COMMERCIAL 1,191 S.F.
MECH./ELEC. 191 S.F.
ADDITION 249 S.F.
TOTAL 2,038 S.F.

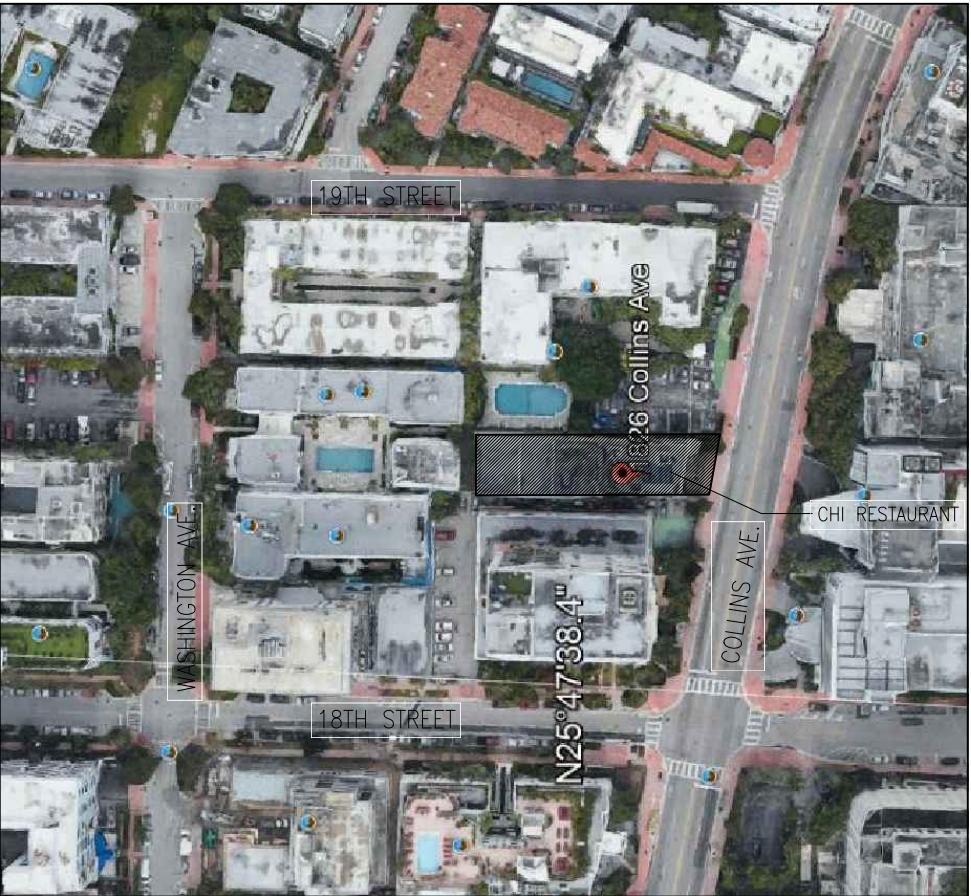
LEVEL 3- AREA BREAKDOWN
TYPE FAR
VERT. CIRCULATION 510 S.F.
PARKING 0 S.F.
COMMERCIAL 2,050 S.F.
MECH./ELEC. 115 S.F.
TOTAL 2,675 S.F.

LEVEL 2- AREA BREAKDOWN
TYPE FAR
VERT. CIRCULATION 640 S.F.
PARKING 0 S.F.
COMMERCIAL 1,968 S.F.
MECH./ELEC. 87 S.F.
TOTAL 2,695 S.F.

LEVEL 1- AREA BREAKDOWN
TYPE FAR
VERT. CIRCULATION 460 S.F.
PARKING 0 S.F.
COMMERCIAL 530 S.F.
MECH./ELEC. 250 S.F.
TOTAL 1,240 S.F.

FLOOR AREA RATIO (FAR):
MAX. ALLOWED 1.5 (14,335 SF)
EXIST. TOTAL 8,399 SQ.FT.
PROPOSED TOTAL 8,648 SQ.FT.

ZONING DEPARTMENT DATA					
SCOPE OF WORK PER FBC: CONDITIONAL USE PERMIT					
MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET					
ITEM #	Project Information				
1	Address:	1826 COLLINS AVE, MIAMI BEACH 33139			
2	Board and file numbers:	1903			
3	Folio number(s):	02-3234-019-0050			
4	Year constructed:	2012	Zoning District:	CD-2	
5	Based Flood Elevation:	8	Grade value in NGV5		
6	Adjusted grade (Flood+Grade/2):		Lot Area:	9,557 SF	
7	Lot width:	50'	Lot Depth:	195.29'	
8	Minimum Unit Size		Average Unit Size		
9	Existing use:	S-2 & A-2	Proposed use:	EXISTING A-2	
Zoning Information / Calculations		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	50'-0"	50'-0"	
11	Number of Stories	5 STORIES	4 STORIES	4 STORIES	
12	FAR	14,355 SF	8,648 SF	8,648 SF	
13	Gross square footage				
14	Square Footage by use	N/A	N/A	N/A	
15	Number of units Residential	N/A	N/A	N/A	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy/load	N/A	N/A	N/A	
Setbacks		Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	N/A	N/A	N/A	
20	Side Setback:	N/A	N/A	N/A	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	N/A	N/A	N/A	
At Grade Parking:					
24	Front Setback:	N/A	N/A	N/A	
25	Side Setback:	N/A	N/A	N/A	
26	Side Setback:	N/A	N/A	N/A	
27	Side Setback facing street:	N/A	N/A	N/A	
28	Rear Setback:	N/A	N/A	N/A	
Pedestal:					
29	Front Setback:	0'-0"	15'-1"	15'-1"	
30	Side Setback:	0'-0"	1'-2"	1'-2"	
31	Side Setback:	0'-0"	0'-0"	0'-0"	
32	Side Setback facing street:	0'-0"			
33	Rear Setback:	10'-0"	10'-0"	10'-0"	
Tower:					
34	Front Setback:	0'-0"	19'-0"	19'-0"	
35	Side Setback:	0'-0"	1'-2"	1'-2"	
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	0'-0"	0'-0"	0'-0"	
37	Side Setback facing street:	0'-0"			
38	Rear Setback:	10'-0"	10'-0"	10'-0"	
Parking		Required	Existing	Proposed	Deficiencies
39	Parking district	#1	#1		
40	Total # of parking spaces	52	138		
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	COMMERCIAL 52	PUBLIC USE 86 COMMERCIAL SPACE 52	PUBLIC USE 86 COMMERCIAL SPACE 52	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	GROUN LEVEL 2 SECOND LEVEL 10 THIRD LEVEL 20 FOURTH LEVEL 20	GROUN LEVEL 2 SECOND LEVEL 10 THIRD LEVEL 20 FOURTH LEVEL 20	
43	Parking Space Dimensions	8.5"x 18"	LIFT SATION PARKING	LIFT SATION PARKING	
44	Parking Space configuration (45o, 60o, 90o, Parallel)		90	90	
45	ADA Spaces	1	1	1	
46	Tandem Spaces	0	0	0	
47	Drive aisle width		22'-6"	22'-6"	
48	Vallet drop off and pick up	0	0	0	
49	Loading zones and Trash collection	1	1	1	
50	Bicycle parking, location and Number of racks	0	0	0	
Restaurants, Cafes, Bars, Lounges, Nightclubs		Required	Existing	Proposed	Deficiencies
51	Type of use	COMMERCIAL	A-2	A-2	
52	Number of seats located outside on private property	0	0	0	
53	Number of seats inside	200	200	200	
54	Total number of seats	200	200	200	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)				
56	Total occupant content	217	217	217	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)				
58	Proposed hours of operation	5 PM TO 4 AM			
59	Is this an NIE? (Neighboot Impact establishment, see CMB 141-1361)	NO			
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	YES			
61	Is this a contributing building?	NO			
62	Located within a Local Historic Distric	YES			
Additional data or information must be presented in the format outlined in this section					
Notes: If not applicable write N/A					



LEGAL DESCRIPTION:
LOT 4, LESS THE WESTERLY 25.00 FEET THERE OF, BLOCK 2, FISHER'S FIRST SUBDIVISION OF ALTON BEACH, AS RECORDED IN PLAT BOOK 2 AT PAGE 77 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, 1826 COLLINS AVE, FLORIDA, 33139. PROPERTY CONTAINS 9,557 SQUARE FEET, MORE OR LESS, OR 0.219 ACRES, MORE OR LESS.

LOCATION MAP
SCALE: N.T.S.

LIST OF DRAWINGS		
ARCHITECTURAL		
A-1	GEN NOTES, PROJECT INFORMATION	SCALE= N.T.S.
A-2	EXTERIOR & INTERIOR SITE AND PROJECT COLORED PHOTOGRAPH	SCALE= 1/4"=0'
A-3	EXISTING SITE PLAN	SCALE= 1/4"=0'
A-4	EXISTING GROUND LEVEL FLOOR PLAN	SCALE= 1/4"=0'
A-5	EXISTING SECOND LEVEL FLOOR PLAN	SCALE= 1/4"=0'
A-6	EXISTING THIRD LEVEL FLOOR PLAN	SCALE= 1/4"=0'
A-7	EXISTING FOURTH LEVEL FLOOR PLAN	SCALE= 1/4"=0'
A-8	EXISTING ROOF LEVEL	SCALE= 1/4"=0'
A-9	EXISTING ELEVATIONS	SCALE= 1/4"=0'
A-10	EXISTING ELEVATIONS	SCALE= 1/4"=0'
A-11	EXISTING SECTIONS	SCALE= 1/4"=0'
SP-1	SPEAKER PLAN	SCALE= 1/4"=0'

ZONING OCCUPANT LOAD FACTOR TABLE 7.3.1.2 NFPA 2017 EDITION & F.B.C. TABLE 1004.1.1			
GROUP A: ASSEMBLY OCCUPANCY	AREA s.f.	AREA PER OCCUPANT	TOTAL
GROUND LEVEL: ENTRANCE AREA	228	15 SF PER PERSON (NET)	17
SECOND LEVEL: DINING AREA	1,213	15 SF PER PERSON (NET)	80
KITCHEN	255	100 SF PER PERSON (NET)	
MECH. ROOM			
THIRD LEVEL: DINING AREA	709	15 SF PER PERSON (NET)	70
BAR	160	7 SF PER PERSON (NET)	
BACK BAR	173	100 SF PER PERSON (NET)	
KITCHEN	570	100 SF PER PERSON (NET)	
STORAGE	74	100 SF PER PERSON (NET)	
FOURTH LEVEL: DINING AREA	704	15 SF PER PERSON (NET)	50
DRY STORAGE	218	300 SF PER PERSON (NET)	
WALK-IN COOLERS	158	300 SF PER PERSON (NET)	
STORAGE	74	300 SF PER PERSON (NET)	
TOTAL			217

RESTAURANT TOTAL SEAT BY LEVEL	
EXISTING SECOND LEVEL	82 SEATS
EXISTING THIRD LEVEL	67 SEATS
EXISTING FOURTH LEVEL	51 SEATS
GROUND TOTAL	200 SEATS

FIRST SUBMITTAL:	JULY 12TH, 2021
SECOND SUBMITTAL:	AUGUST 30TH, 2021

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EME EXCLUSIVE CLUB
1826 COLLINS AVE. Miami Beach, Fl. 33139



CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.
architect planner interiors
1665 WASHINGTON AVE. 2nd. FLOOR MIAMI BEACH, FLORIDA 33139
ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42.136

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SCALE
AS SHOWN
DATE
8-3-2021

PROJECT NUMBER
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A-1
OF
11





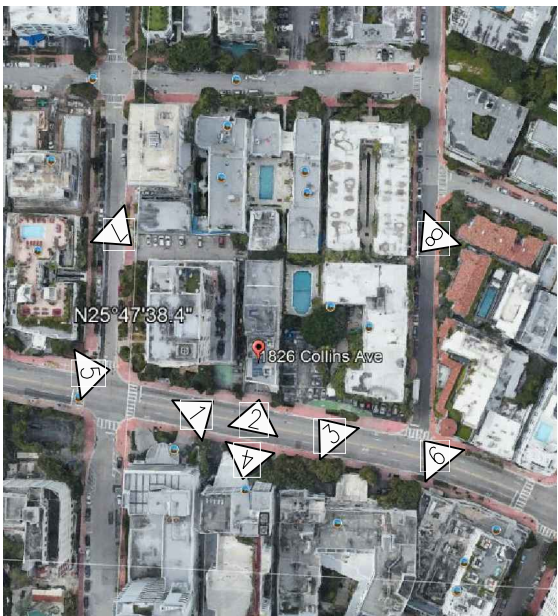
EXTERIOR PHOTO #1



EXTERIOR PHOTO #2



EXTERIOR PHOTO #3



EXTERIOR PROJECT & SITE EXISTING PHOTOGRAPH KEY PLAN
SCALE: N.T.S.



EXTERIOR PHOTO #4



EXTERIOR PHOTO #5



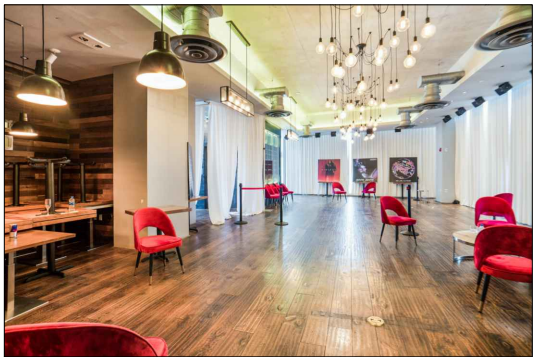
EXTERIOR PHOTO #6



EXTERIOR PHOTO #7



EXTERIOR PHOTO #8



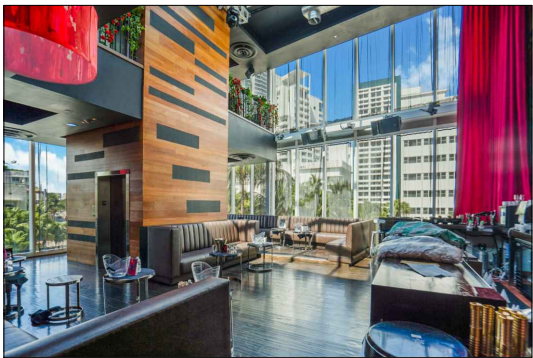
INTERIOR 2ND FLOOR EAST VIEW



INTERIOR 2ND FLOOR KITCHEN



INTERIOR 2ND FLOOR WEST VIEW



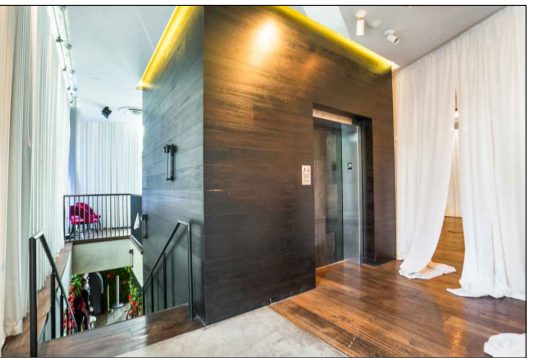
INTERIOR 3RD FLOOR EAST VIEW



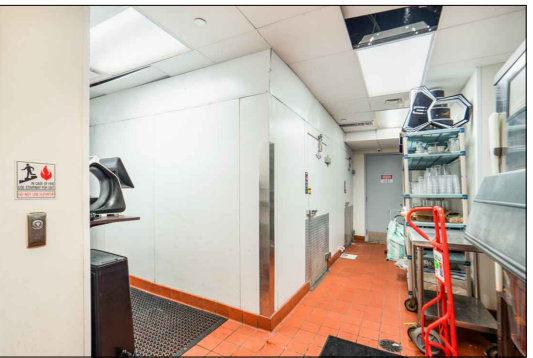
INTERIOR 3RD FLOOR SOUTH WEST VIEW



INTERIOR 4TH FLOOR NORTH WEST VIEW



INTERIOR 4TH LEVEL EAST VIEW OF ELEVATOR LOBBY



INTERIOR 4TH LEVEL KITCHEN

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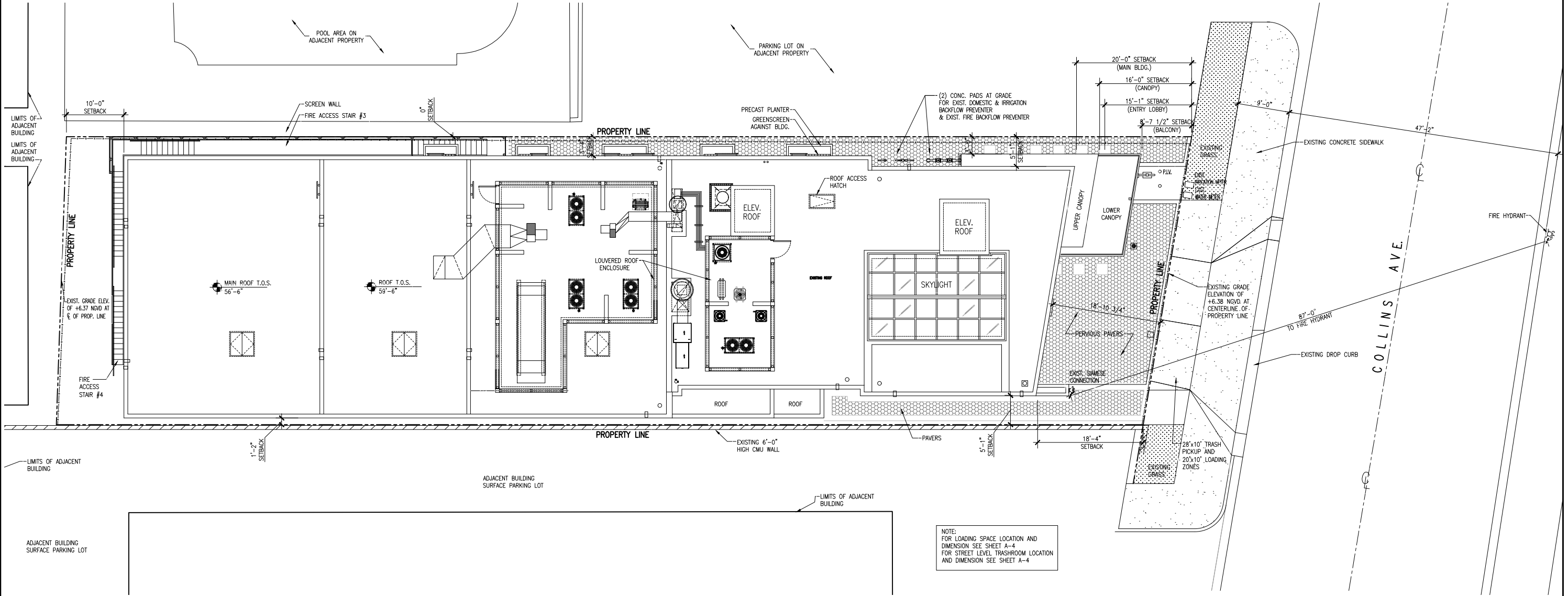
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OF
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EXISTING SITE PLAN
SCALE: 1/8"= 1'-0"

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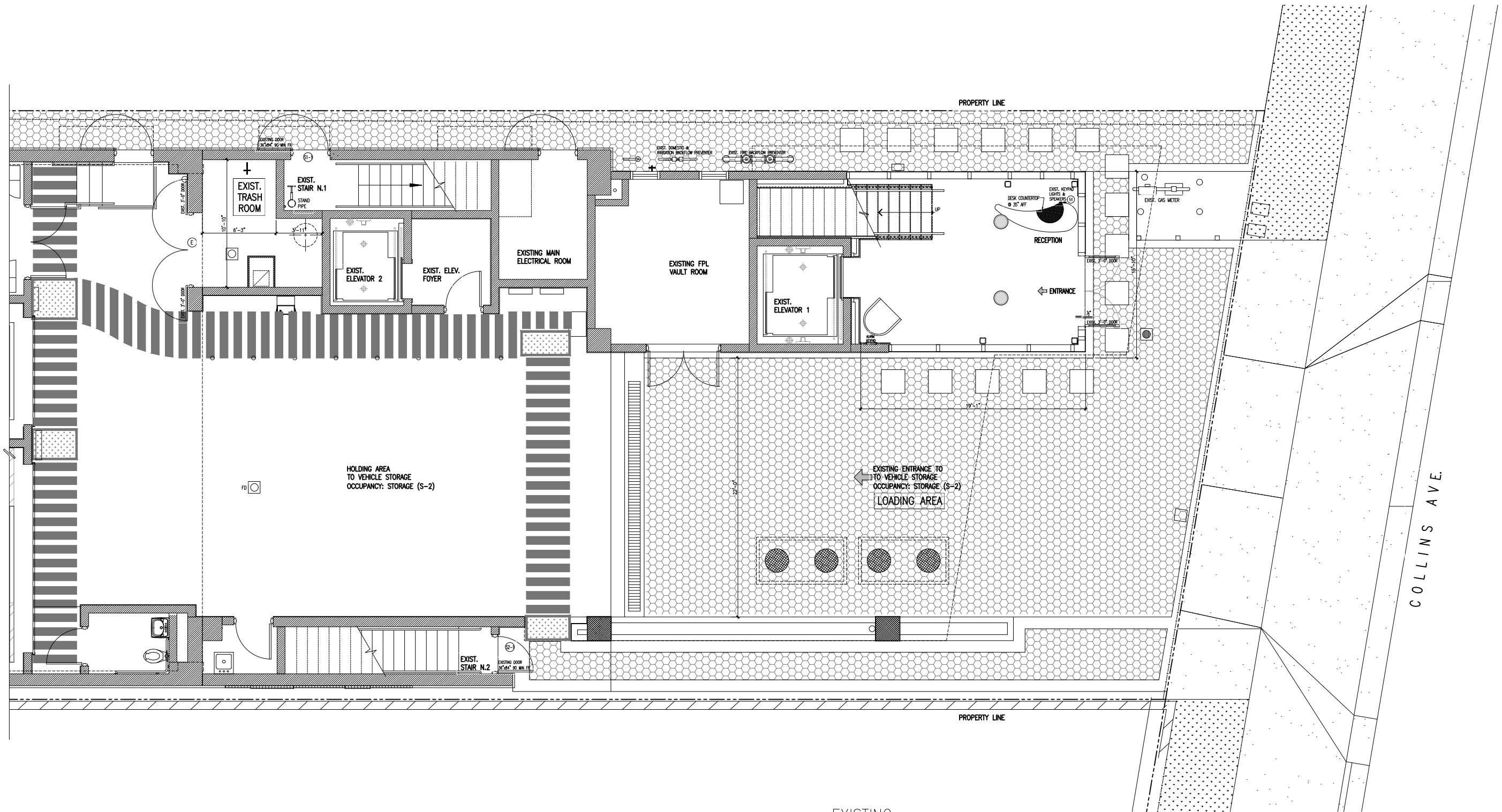
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EXISTING
GROUND LEVEL FURNITURE PLAN 
SCALE: 1/4"= 1'-0"

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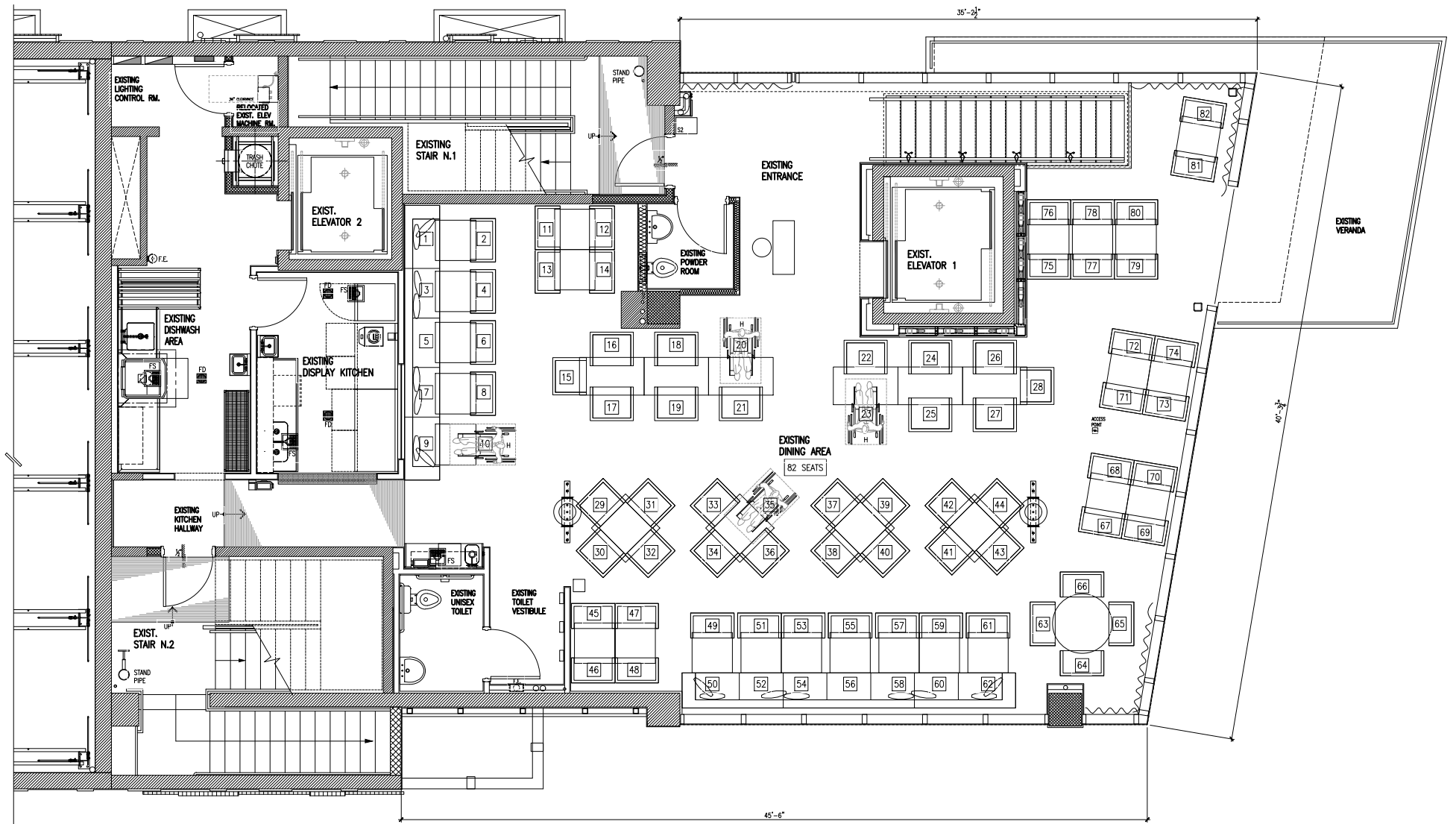
DATE
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- LEGEND**
- EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
 - 2HR. RATED PARTITION
 - NON RATED PARTITION W/SOUND INSULATION
 - PARTITION TO BE REMOVED
 - EXIST. CONCRETE COL.
 - DOOR NUMBER
 - ROOM NUMBER
 - PARTITION TYPE
 - SECTION MARK
 - ELECTRICAL PANEL
 - FIRE EXTINGUISHER
 - FLOOR SINK
 - FLOOR DRAIN



EXISTING SECOND LEVEL
EXISTING EQUIPMENT/FURNITURE PLAN
SCALE: 1/4"= 1'-0"

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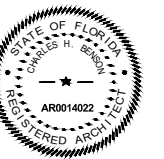
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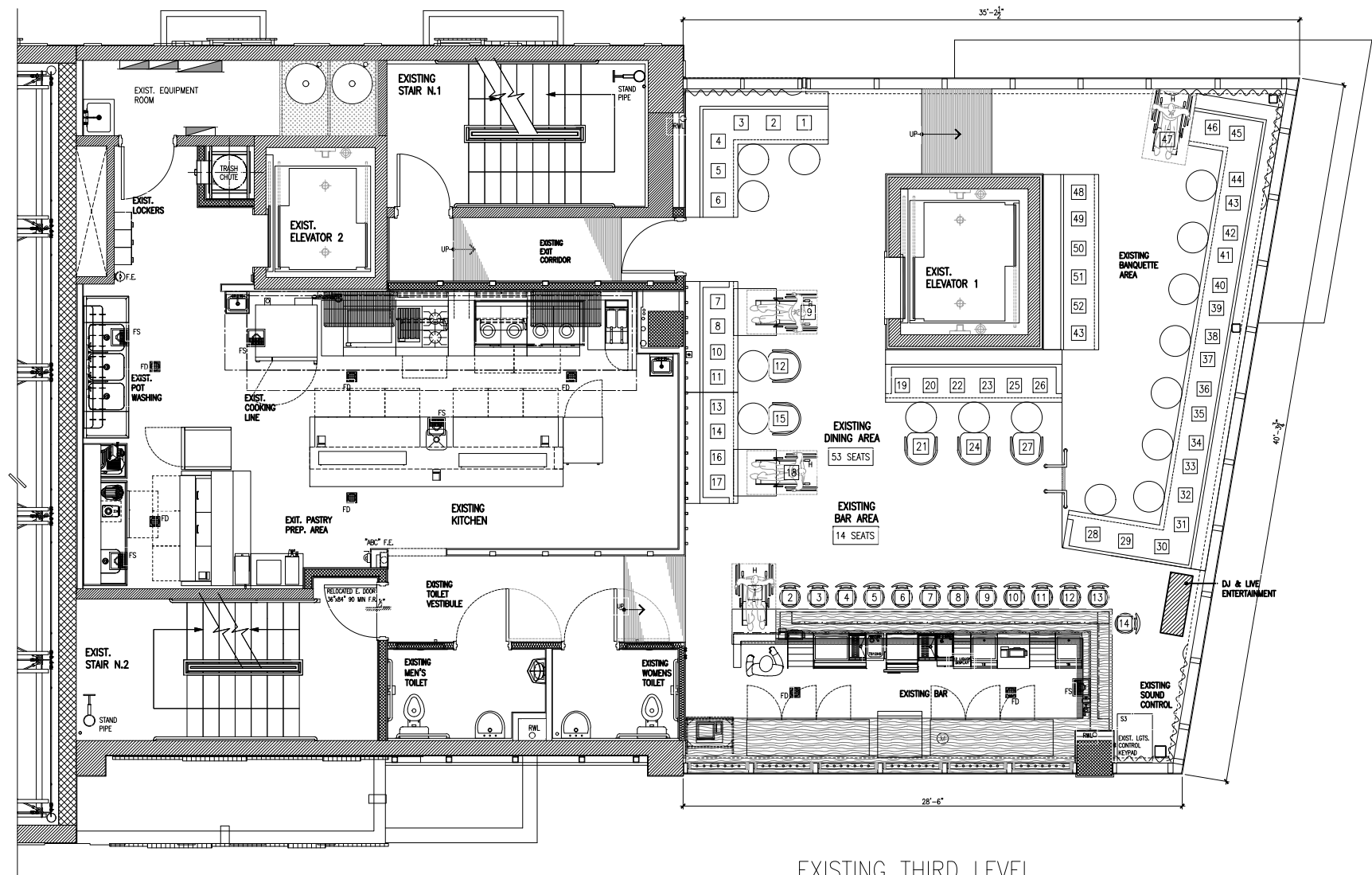
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OF
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SCALE
AS SHOWN

DATE
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- LEGEND**
- EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
 - 2HR. RATED PARTITION
 - NON RATED PARTITION W/SOUND INSULATION
 - PARTITION TO BE REMOVED
 - EXIST. CONCRETE COL.
 - DOOR NUMBER
 - ROOM NUMBER
 - PARTITION TYPE
 - SECTION MARK
 - ELECTRICAL PANEL
 - FIRE EXTINGUISHER
 - FLOOR SINK
 - FLOOR DRAIN



EXISTING THIRD LEVEL
EQUIPMENT/FURNITURE PLAN
SCALE: 1/4" = 1'-0"



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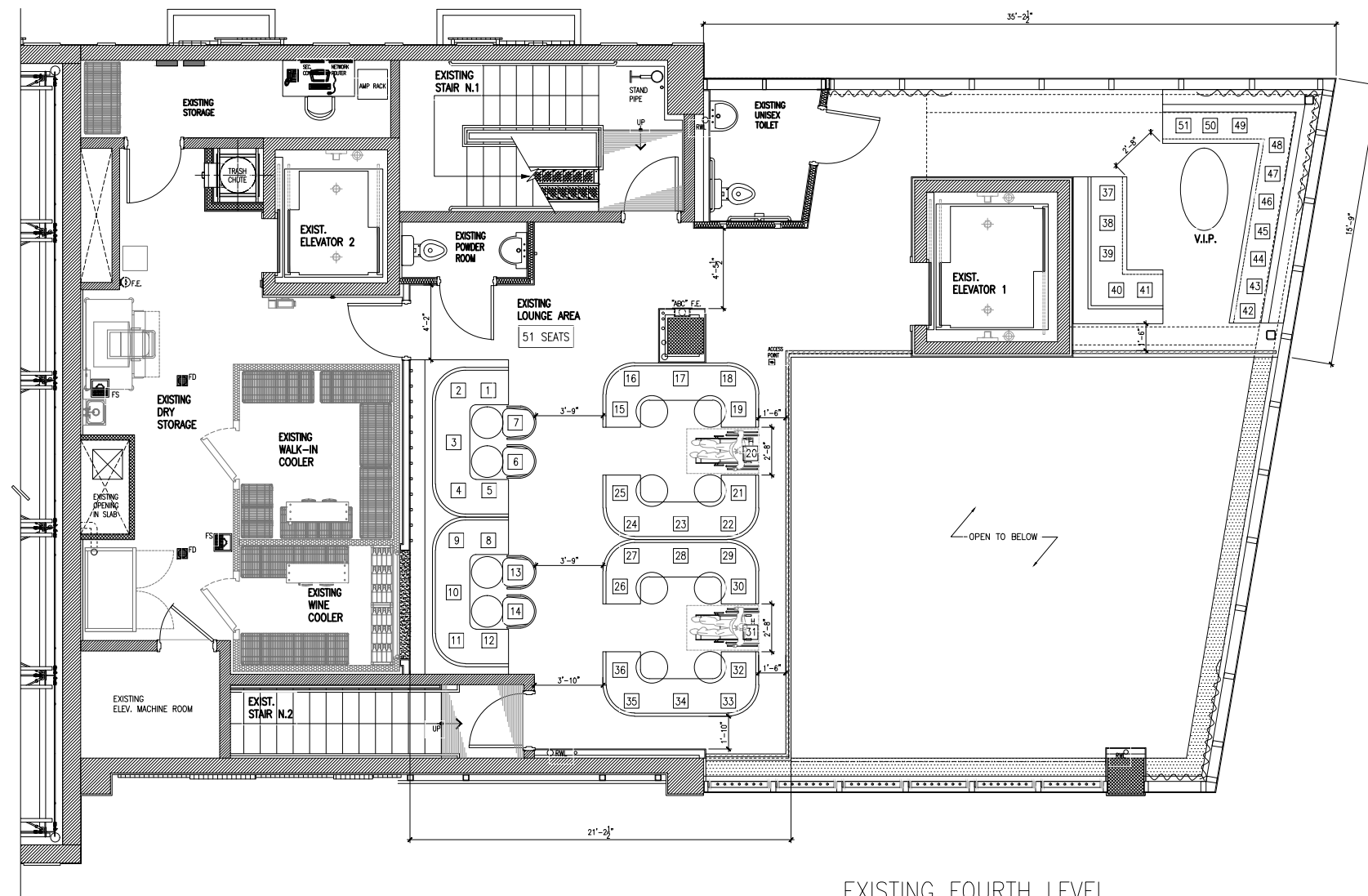
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OF
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- LEGEND
- EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
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EXISTING FOURTH LEVEL
EQUIPMENT/FURNITURE PLAN
SCALE: 1/4" = 1'-0"

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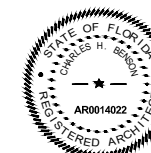
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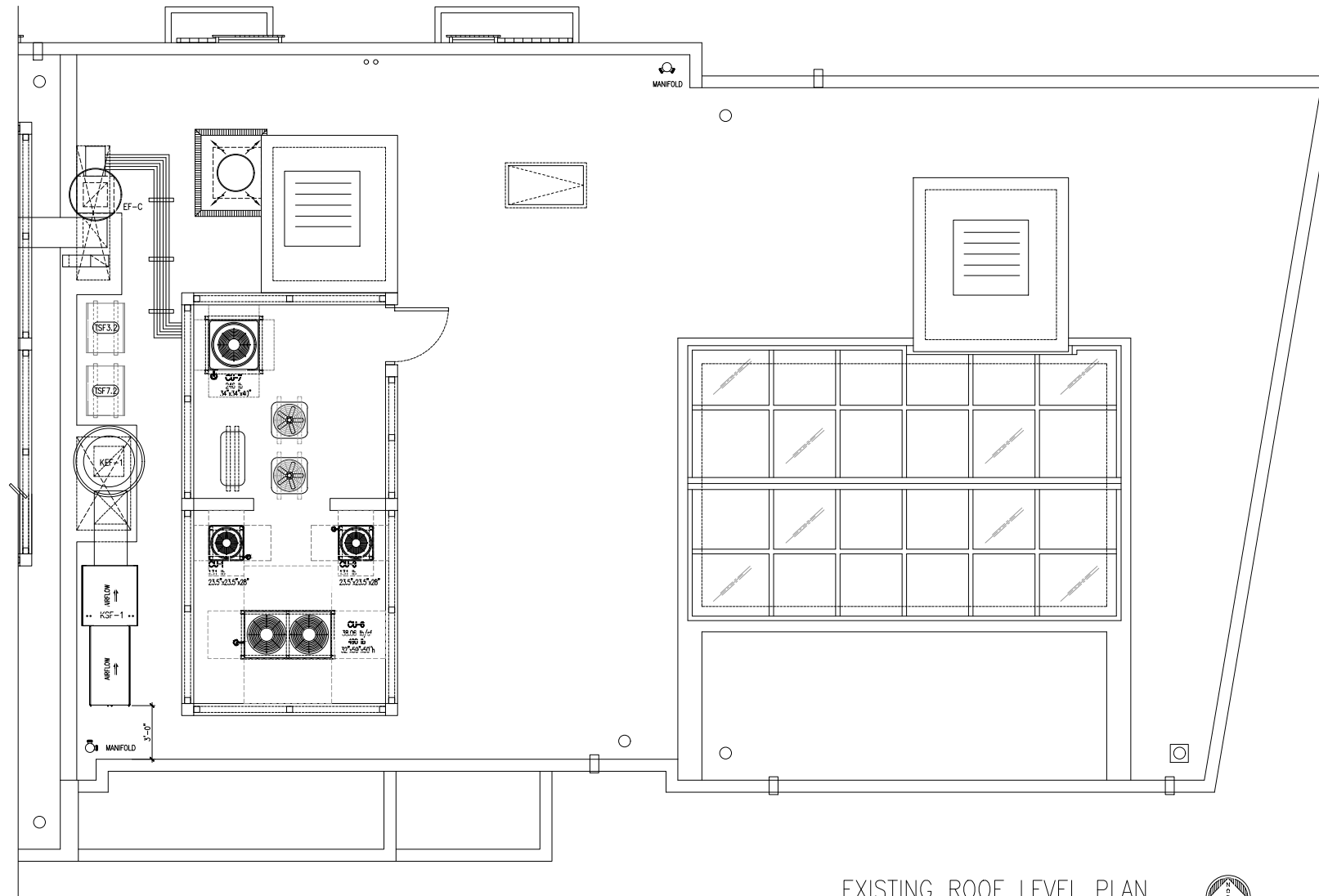
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OF
11





EXISTING ROOF LEVEL PLAN
SCALE: 1/4" = 1'-0"



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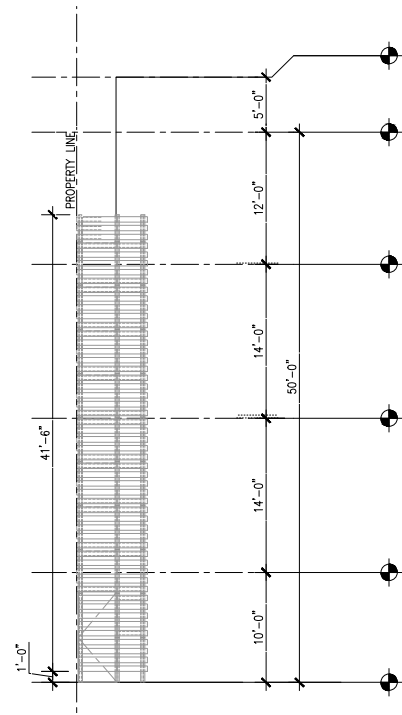
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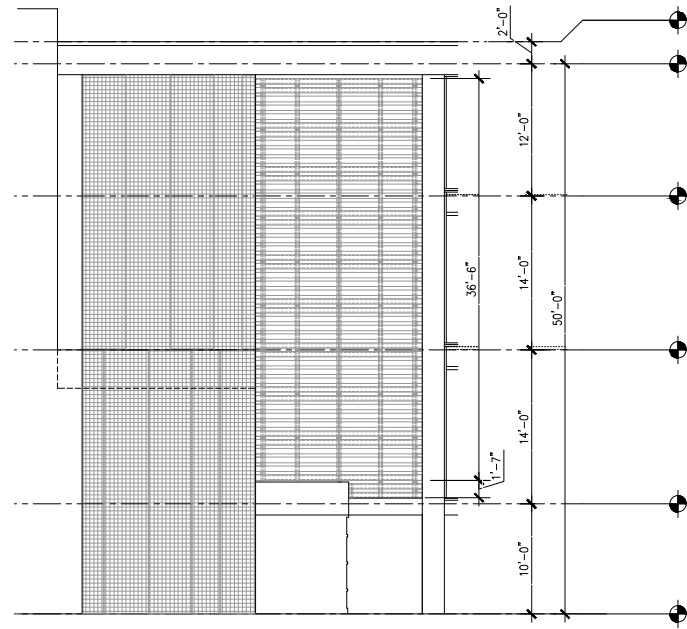
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OF
11

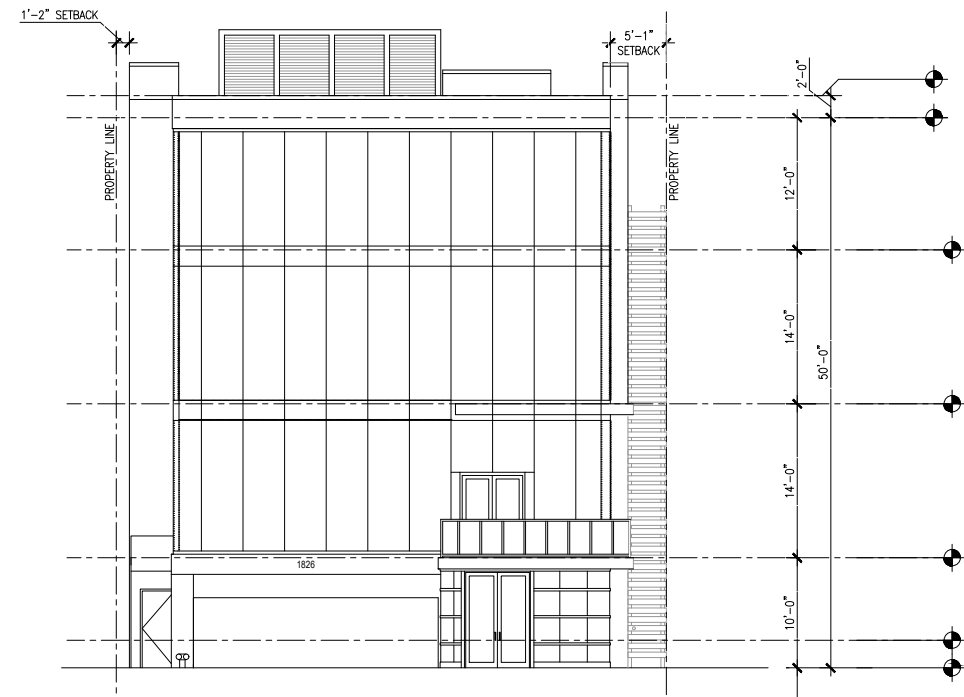




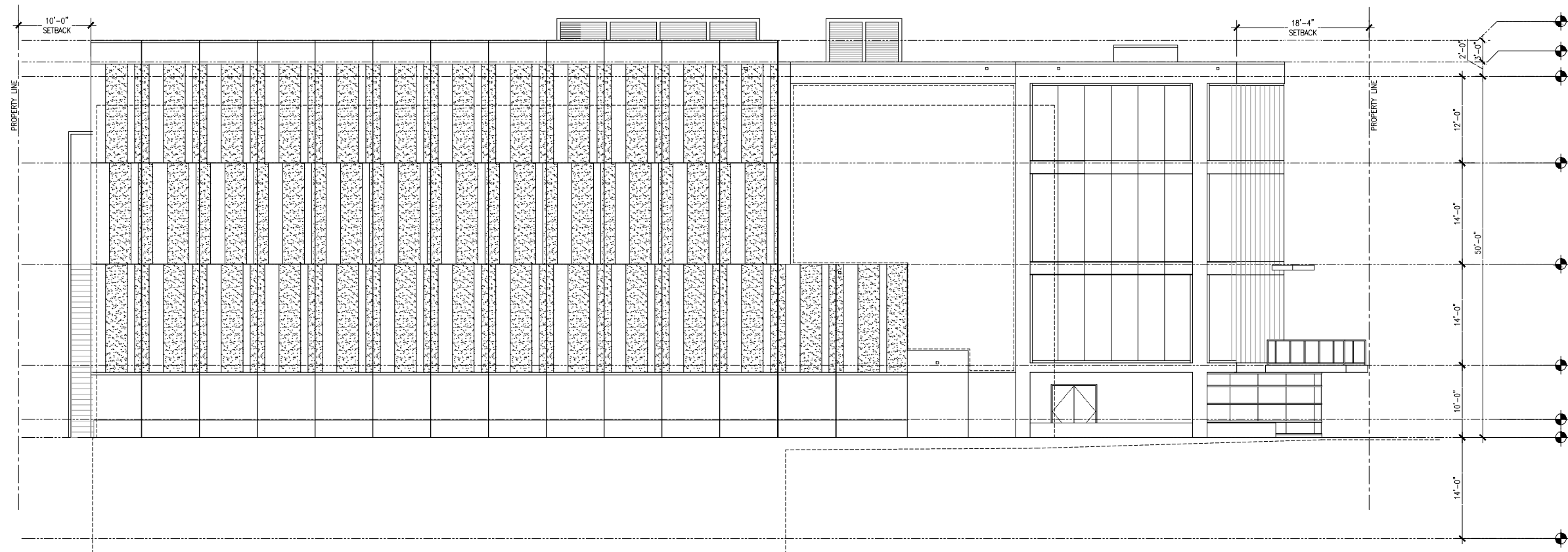
EXISTING WEST SCREEN WALL
SCALE: 1/8" = 1'-0"



EXISTING SOUTH SCREEN WALL
SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

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EME EXCLUSIVE CLUB

1826 COLLINS AVE.

Miami Beach, Fl. 33139



CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.

architect planner interiors

1665 WASHINGTON AVE. 2nd. FLOOR MIAMI BEACH, FLORIDA 33139 Ph: 305-532-6161 * Fax: 305-532-6151

ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42.136

DRAWN BY

NAIR BLAS

SCALE

AS SHOWN

DATE

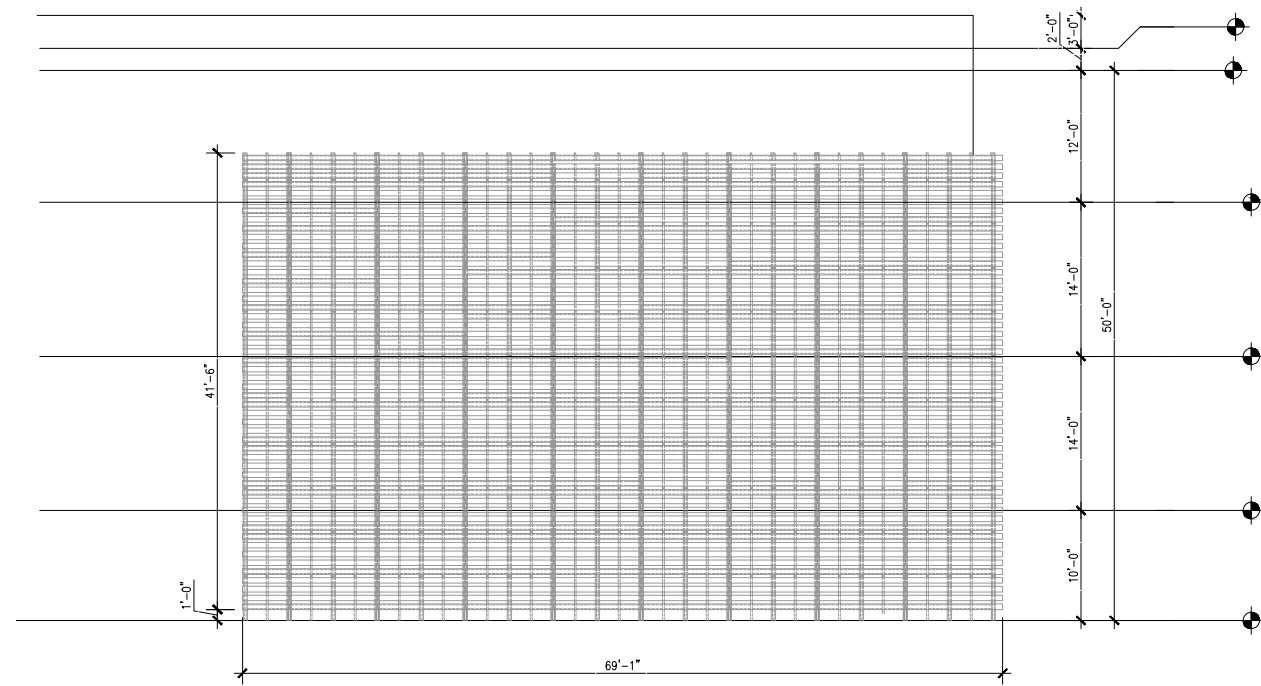
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PROJECT NUMBER

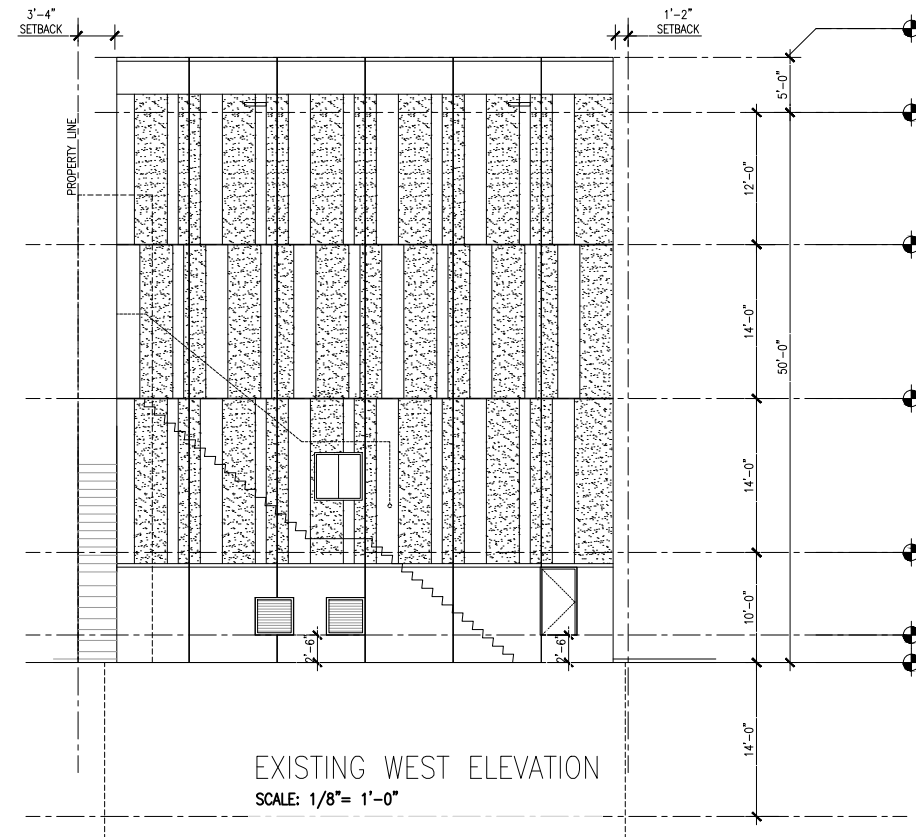
22118

A-9
OF
11

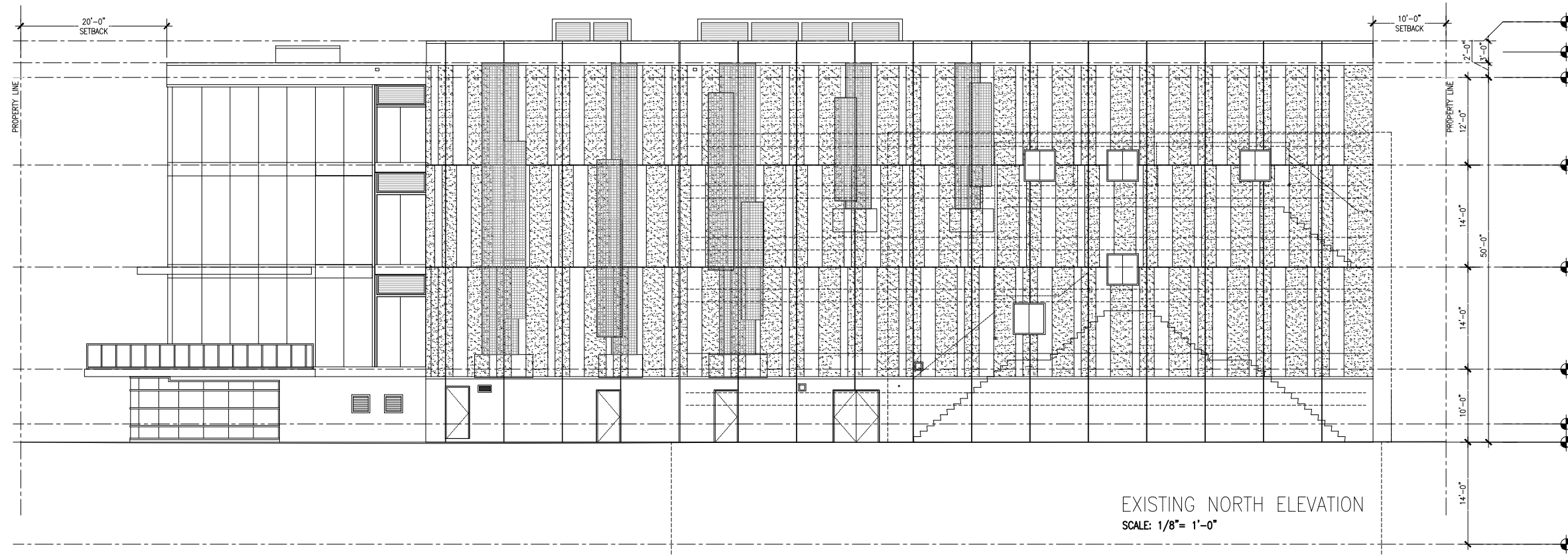




EXISTING NORTH ELEVATION
SCALE: 1/8"= 1'-0"



EXISTING WEST ELEVATION
SCALE: 1/8"= 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/8"= 1'-0"

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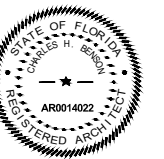
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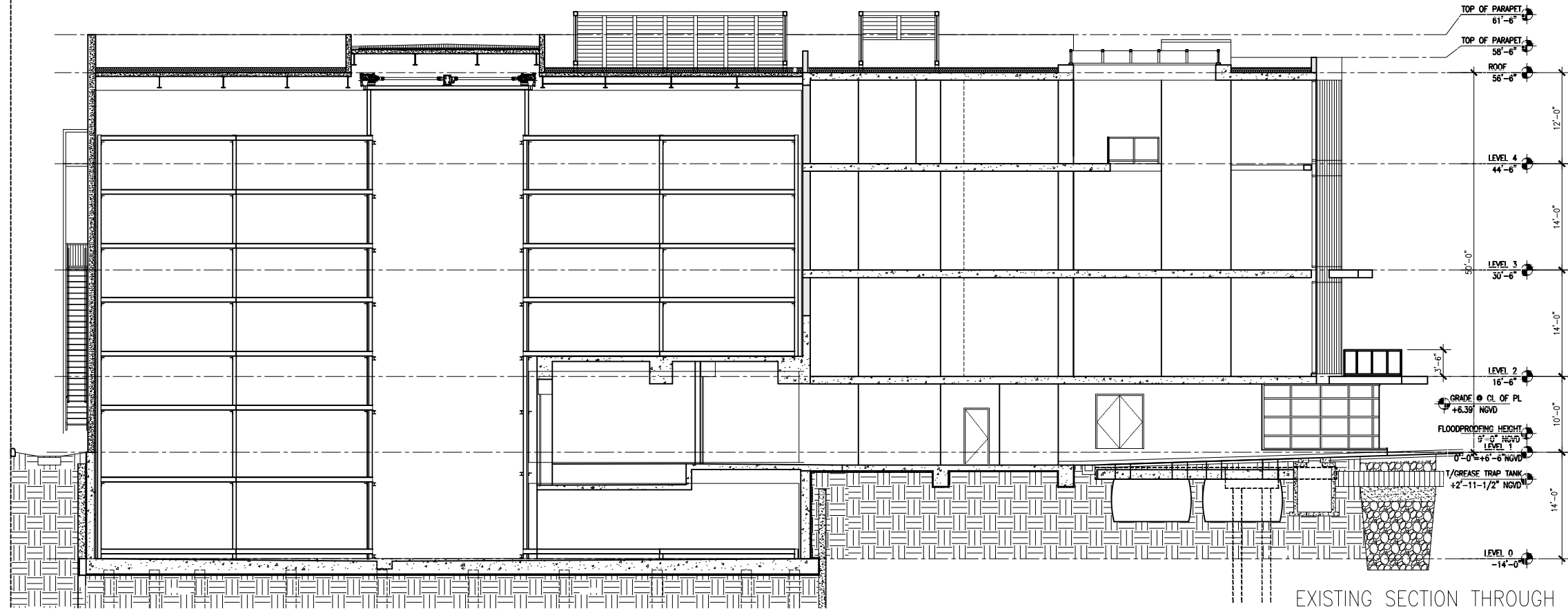
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DATE
8-3-2021

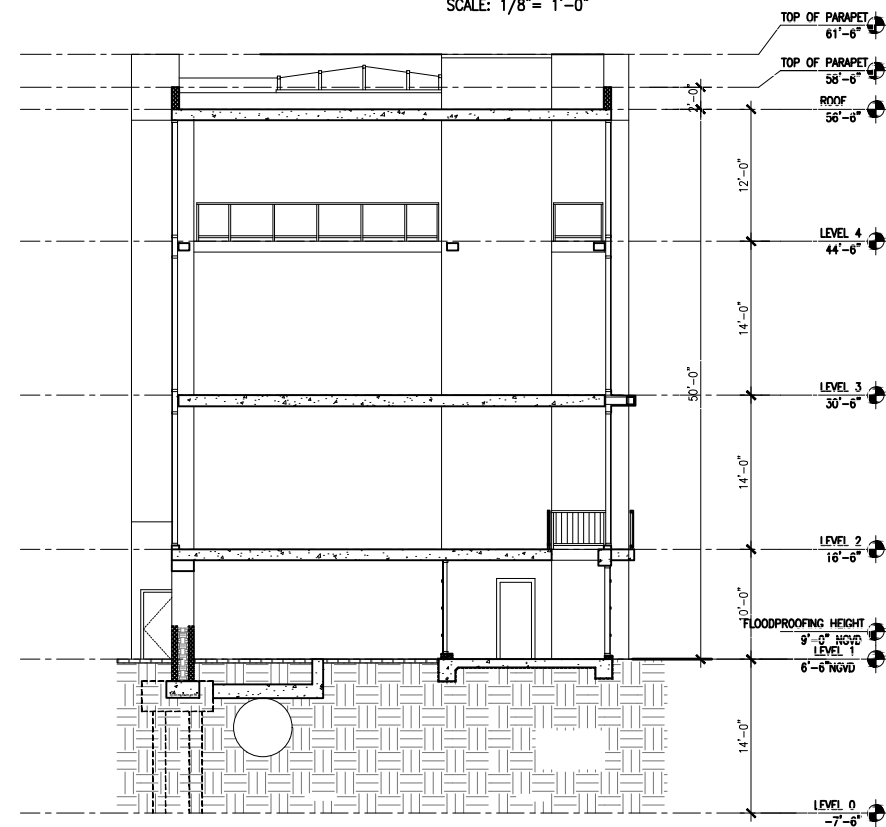
PROJECT NUMBER
22118

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OF
11





EXISTING SECTION THROUGH
PARKING ENTRY
SCALE: 1/8" = 1'-0"



EXISTING SECTION THROUGH LOBBY
SCALE: 1/8" = 1'-0"

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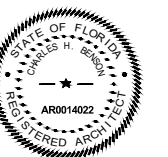
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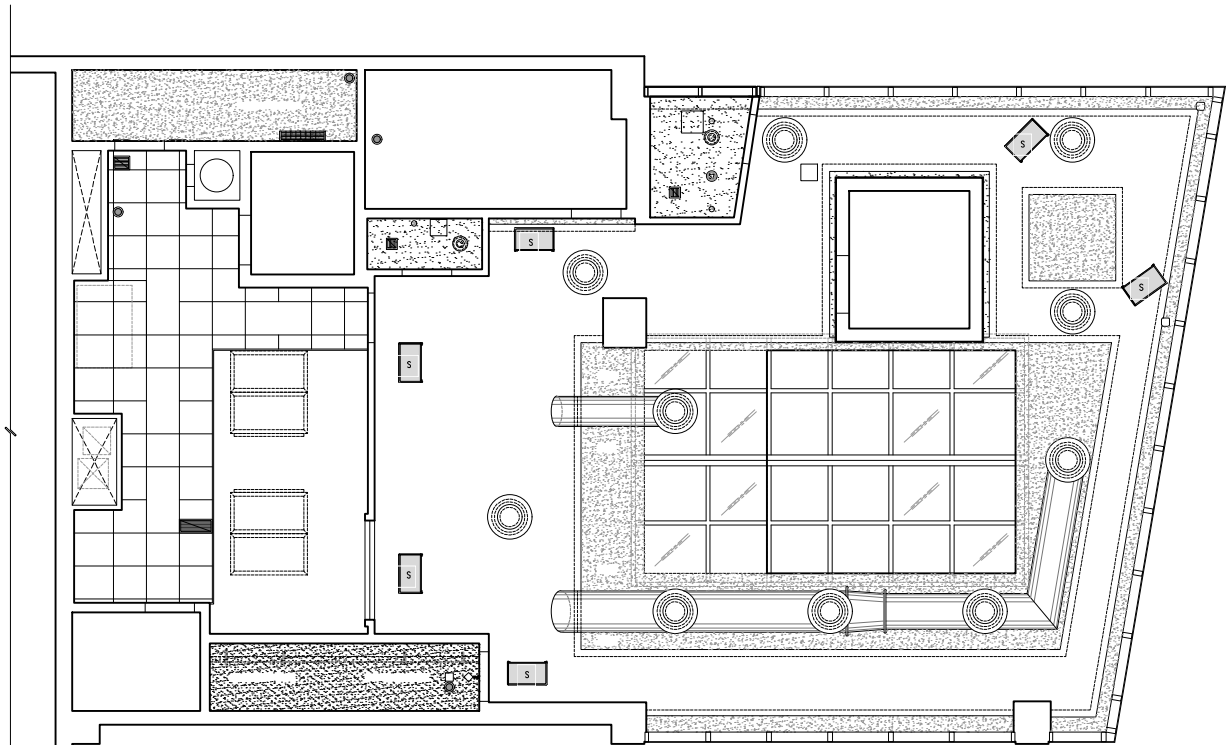
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DATE

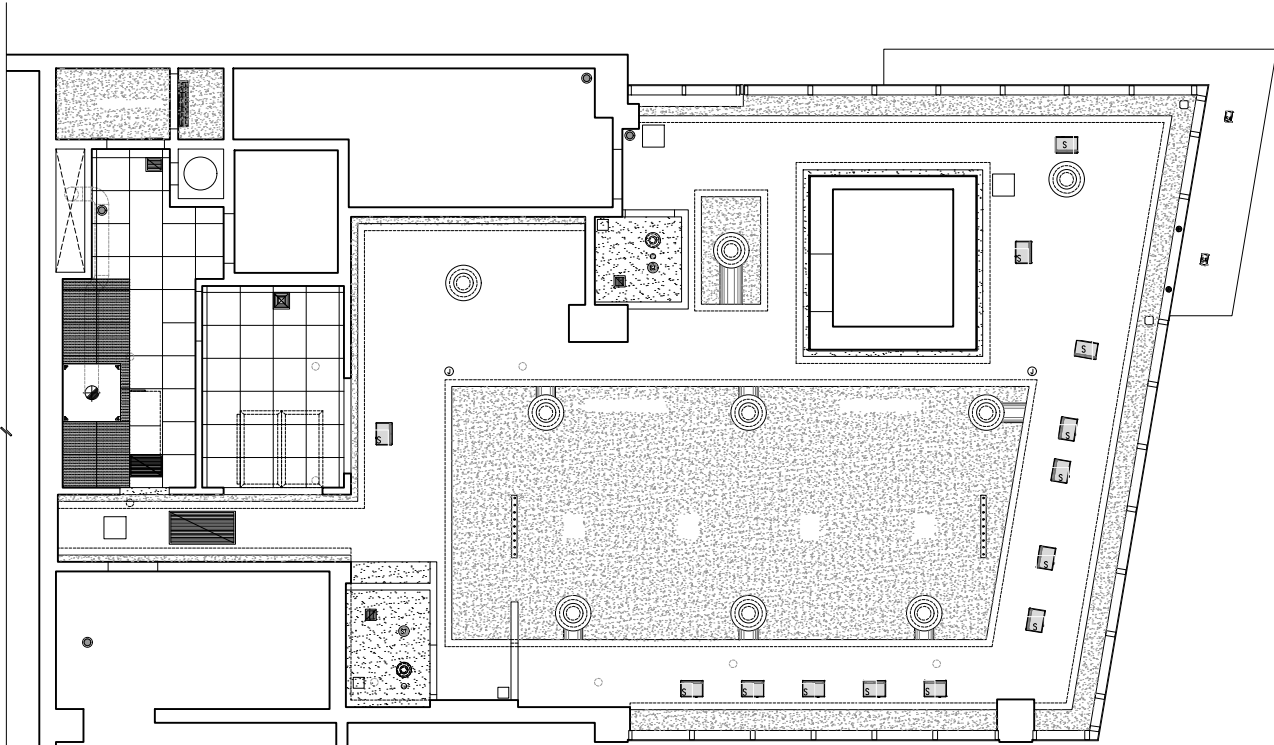
8-3-2021

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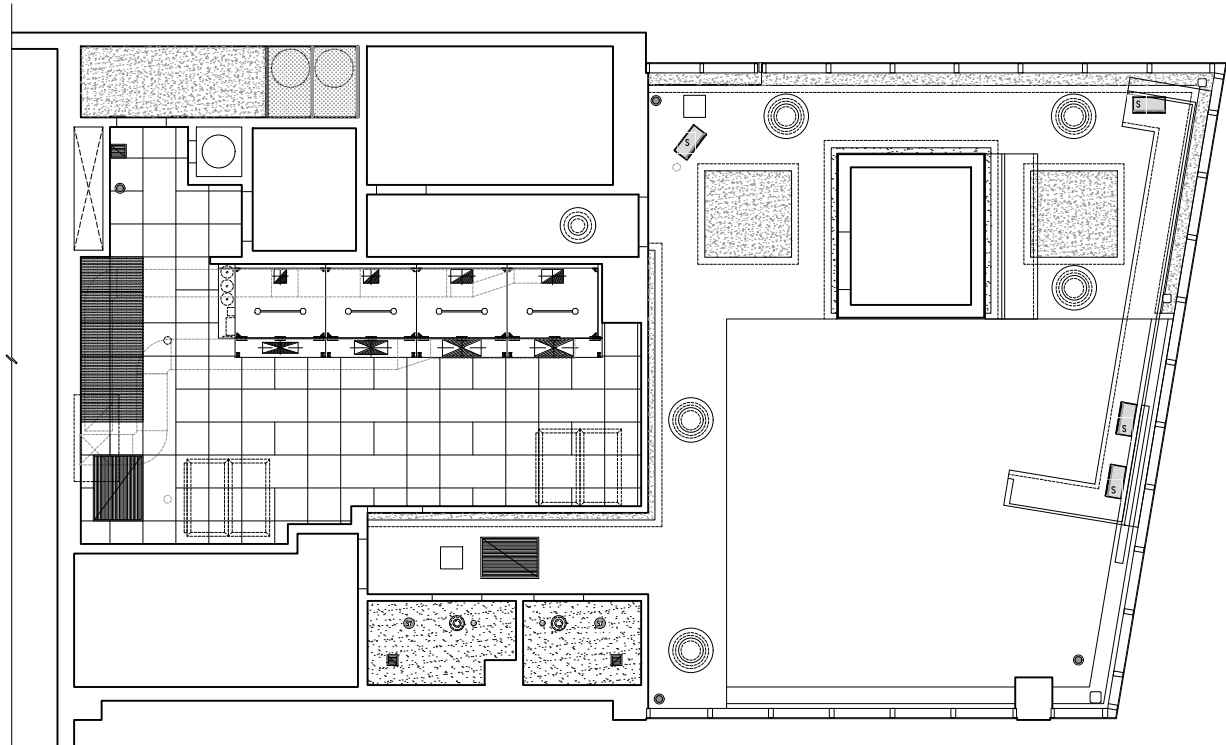




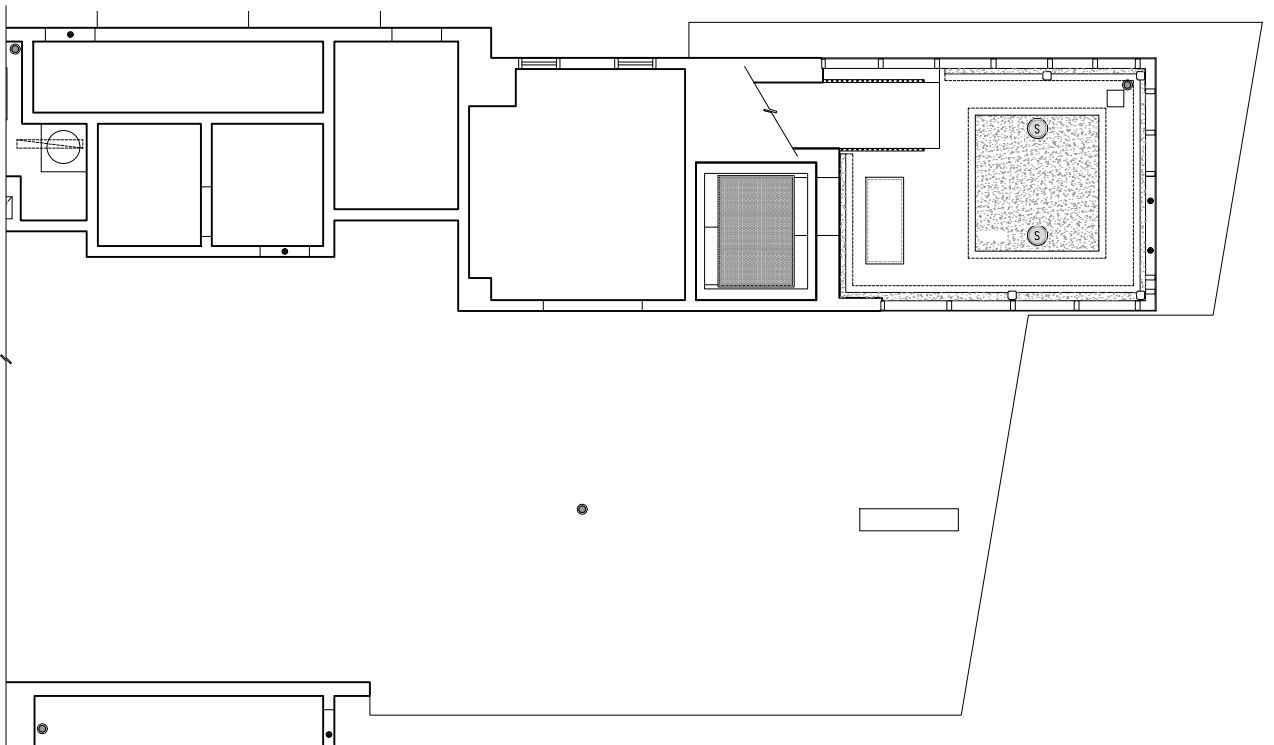
EXISTING FOURTH LEVEL
SPEAKER PLAN
SCALE: 1/8" = 1'-0"



EXISTING SECOND LEVEL
SPEAKER PLAN
SCALE: 1/8" = 1'-0"



EXISTING THIRD LEVEL
SPEAKER PLAN
SCALE: 1/8" = 1'-0"



EXISTING GROUND LEVEL
SPEAKER PLAN
SCALE: 1/8" = 1'-0"

LEGEND EXISTING DEVICES	
	EXISTING SPEAKER
	EXISTING SPEAKER

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SCALE AS SHOWN	DATE 8-3-2021		