

PRIVATE RESIDENCE

11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139

DRB FINAL SUBMITTAL PACKAGE
12-06-2021



11 EAST RIVO ALTO DRIVE, FL 33139

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MIAMI BEACH, FL 33139

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Name OWNER
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Address OWNER ADDRESS2
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Email OWNER_EMAIL

Consultant:
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Address
Address
Tel:
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Sun Dec 5, 2021
Sun Dec 5, 2021



KOBI KARP
Lic. # AR0012578



COVER SHEET

Date	11-15-2021	Sheet No.
Scale	--	A0.00
Project	2191	



11 E.RIVO ALTO



IMAGES ON SHEET A0.04-CONTEXT
C1 - E. RIVO ALTO - LOOKING EAST
C2 - E. RIVO ALTO - LOOKING WEST

IMAGES ON SHEET A0.05-EXISTING PROPERTY
E1 - FRONT YARD
E2 - SIDE YARD - EAST
E3 - SIDE YARD - WEST
E4 - REAR YARD

IMAGES ON SHEET A0.06-NEIGHBOR PROPERTY
N1 - 8 E. RIVO ALTO
N2 - 15 E. RIVO ALTO
N3 - 10 E. RIVO ALTO

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IMAGE KEY

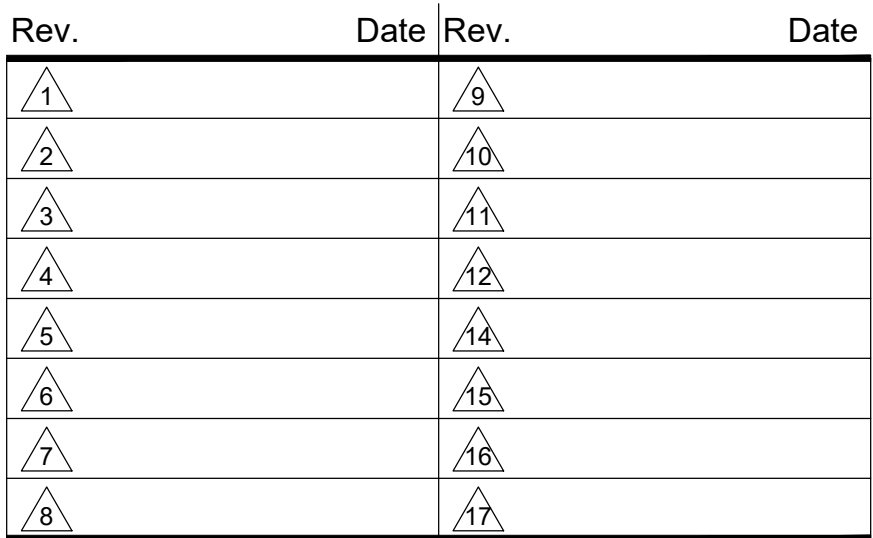
Date	11-15-2021	Sheet No.
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Project	2191	



C1 - E RIVO ALTO (VIEW TO EAST)



C2 - E RIVO ALTO (VIEW TO WEST)



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DAVID J. ODISHOO
RLA #6666969

PLANTING UNDERSTORY PLAN
LEVEL 0

Date: 12-03-2021

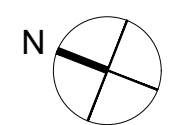
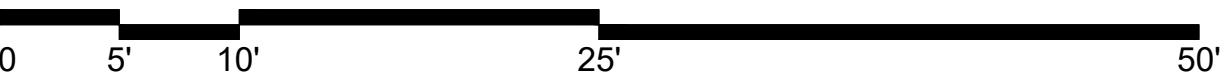
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Project # : 21024

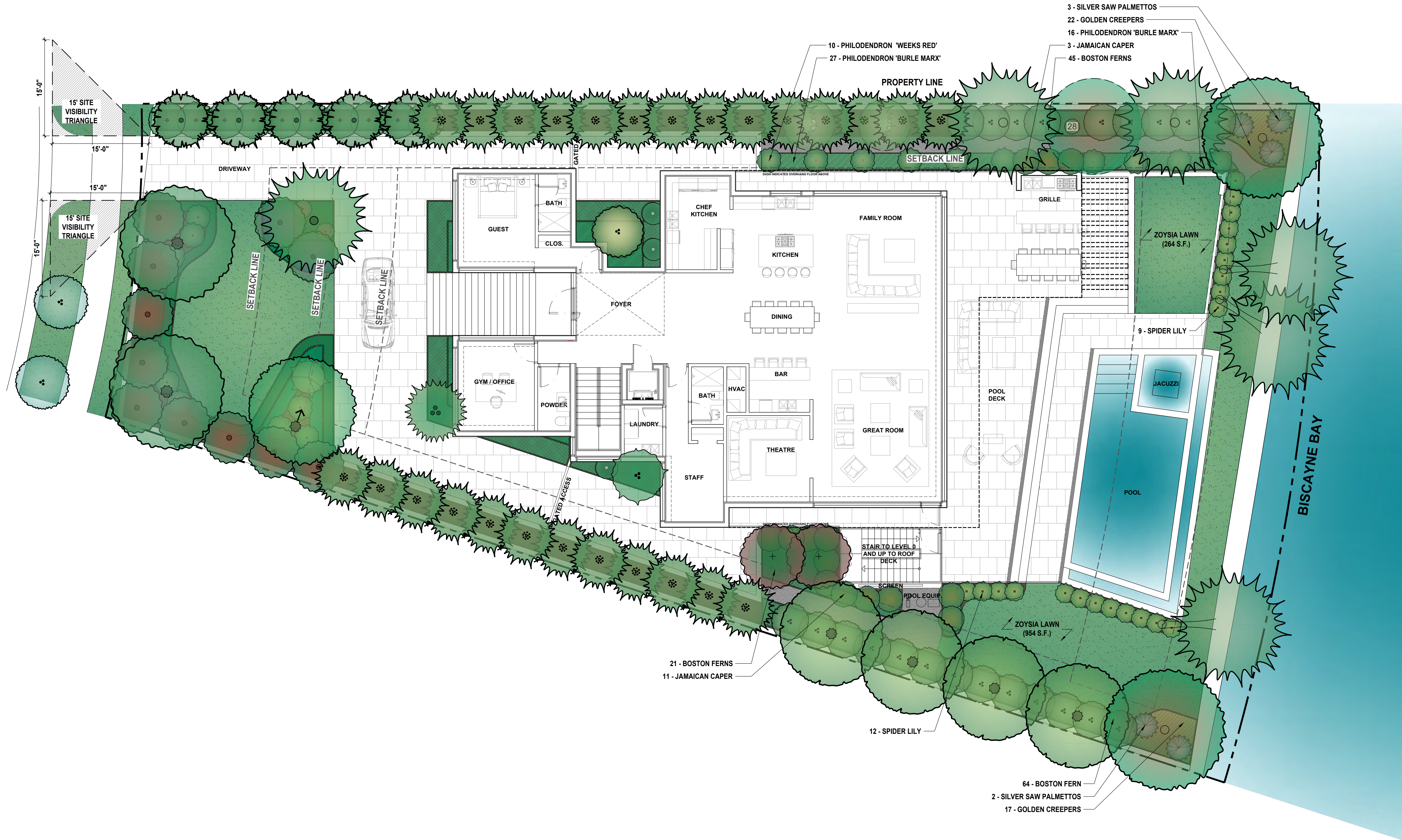
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SCALE: 1/8" = 1'-0"



E RIVO ALTO DRIVE



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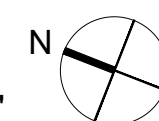
DAVID J. ODISHOO
RLA #6666969

PLANTING UNDERSTORY PLAN
LEVEL 1

Date: 12-03-2021	Sheet No.
Scale: 1/8"=1'-0"	LP-201
Project #: 21024	

PLANTING UNDERSTORY PLAN - LEVEL 1

SCALE: 1/8" = 1'-0"



E RIVO ALTO DRIVE

PROPERTY LINE

SETBACK LINE

BISCAYNE BAY

9 - ARGENTINE IVY
5 - BROMELIAD IMPERIALIS

45 - GOLDEN CREEPER
16 - WHITE FOUNTAIN GRASS
6 - SPINELESS AGAVE

6 - SPINELESS AGAVE
16 - WHITE FOUNTAIN GRASS
43 - GOLDEN CREEPER

8 - ARTICHOKE AGAVE
4 - SPINELESS AGAVE
17 - GOLDEN CREEPER

ENTRY HALL BELOW

LOUNGE

HALL

BEDROOM

BEDROOM

STAIR TO LEVEL D
AND UP TO ROOF
DECK

SCREEN

BEDROOM

BEDROOM

CLOS.

BATH

HALL

CLOS.

ENTRY HALL BELOW

LOUNGE

CLOS.

BATH

CLOS.

BATH

CLOS.

BATH

CLOS.

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BATH

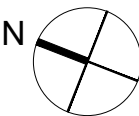
CLOS.

BATH

PLANTING UNDERSTORY PLAN - LEVEL 2

SCALE: 1/8" = 1'-0"

0 5' 10' 25' 50'



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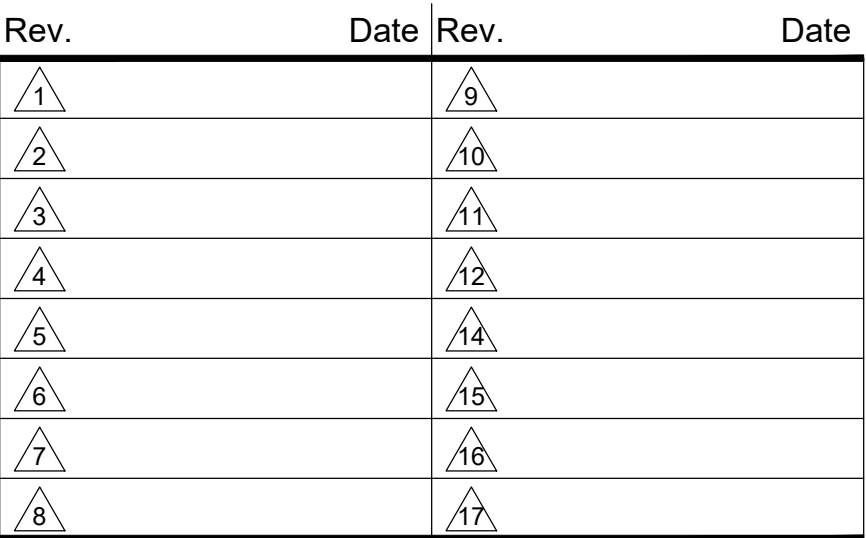
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PLANTING UNDERSTORY PLAN
LEVEL 2

Date: 12-03-2021	Sheet No.
Scale: 1/8"=1'-0"	LP-202
Project #: 21024	



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PLANTING UNDERSTORY PLAN
ROOF LEVEL

Date: 12-03-2021

Scale : 1/8"=1'-0"

Project # : 21024

Sheet No.

LP-203

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RENDERINGS

Date	11-15-2021	Sheet No.
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1 RENDERING FRONT VIEW
N.T.S.



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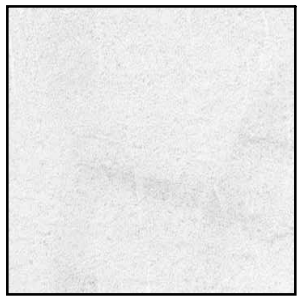


RENDERINGS

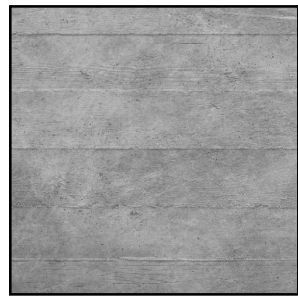
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Scale	--	A1.02
Project	2191	

1 RENDERING REAR VIEW
N.T.S.

ELEVATION MATERIAL LEGEND



1 - WHITE STUCCO



2 - FORMED CONCRETE



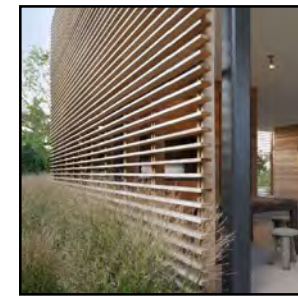
3 - TRAVERTINE



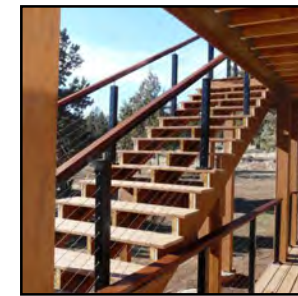
4 - WOOD SOFFIT



5 - ANODIZED



6 - LOUVERED SCREEN



7 - RAIL



8 - GREEN WALL



A FRONT ELEVATION

Scale: 1/8" = 1'-0"



B REAR ELEVATION

Scale: 1/8" = 1'-0"

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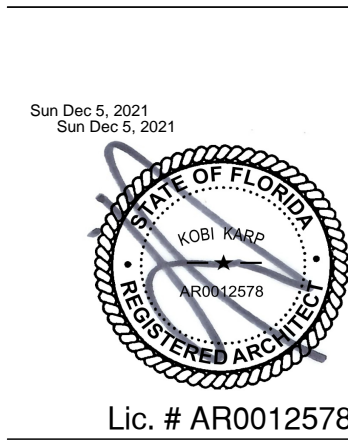
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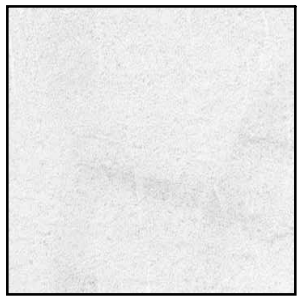
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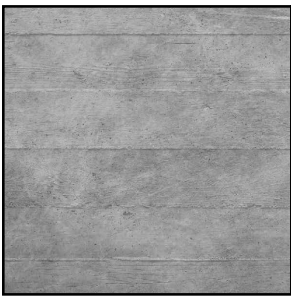
RENDERED ELEVATIONS

Date	11-15-2021	Sheet No.
Scale	--	A4.03
Project	2191	

ELEVATION MATERIAL LEGEND



1- WHITE STUCCO



2- FORMED CONCRETE



3- TRAVERTINE



4- WOOD SOFFIT



5- ANODIZED



6- LOUVERED SCREEN



7- RAIL



8- GREEN WALL



- TOP OF PARAPET +40.00' NGVD
- TOS ROOF +39.00' NGVD
- TOS LEVEL 2 +27.00' NGVD
- TOS LEVEL 1 +15.00' NGVD
- BFE +10.00' NGVD
- GRADE + 30" +8.25' NGVD
- ADJUSTED GRADE +7'-9" NGVD
- MIN. SIDE YARD ELEV. +6.56' NGVD
- GRADE +5.75' NGVD
- TOS LEVEL 0 +5.50' NGVD
- CROWN OF ROAD +4.15' NGVD

C EAST ELEVATION

Scale: 1/8" = 1'-0"



- TOP OF PARAPET +40.00' NGVD
- TOS ROOF +39.00' NGVD
- TOS LEVEL 2 +27.00' NGVD
- TOS LEVEL 1 +15.00' NGVD
- BFE +10.00' NGVD
- GRADE + 30" +8.25' NGVD
- ADJUSTED GRADE +7'-9" NGVD
- MIN. SIDE YARD ELEV. +6.56' NGVD
- GRADE +5.75' NGVD
- TOS LEVEL 0 +5.50' NGVD
- CROWN OF ROAD +4.15' NGVD

D WEST ELEVATION

Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

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11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139

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Address OWNER_ADDRESS2
Tel: OWNER_PHONE
Email OWNER_EMAIL

Consultant:
Name
Address
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Email

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Consultant:
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RENDERED ELEVATIONS

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AXONOMETRIC NE VIEW



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A

AXONOMETRIC

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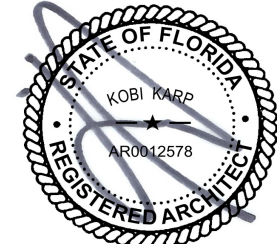
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AXONOMETRIC SW VIEW



B AXONOMETRIC

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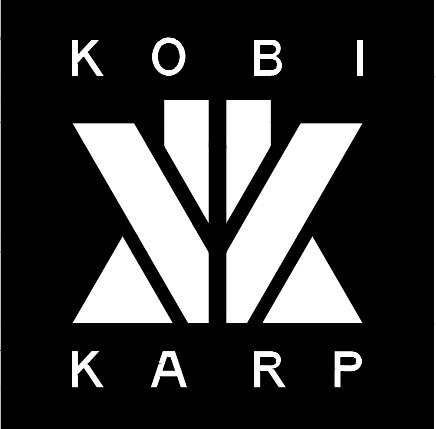
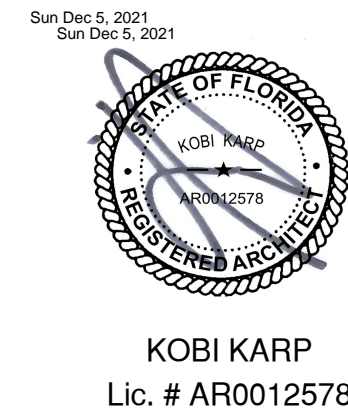
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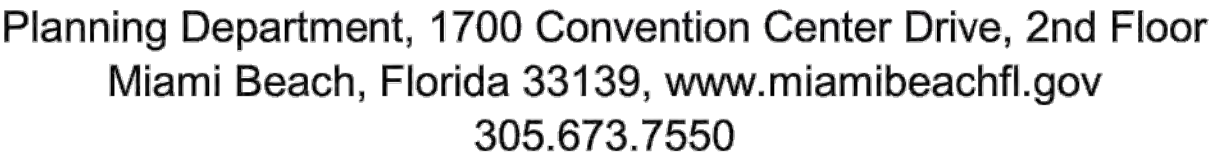
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AXONOMETRICS

Date	11-15-2021	Sheet No.
Scale	--	A4.11
Project	2191	



ITEM #	Project Information			
1	Address:	11 EAST RIVO ALTO DRIVE, MIAMI BEACH, FL 33139		
2	Folio number(s):	02-3233-001-0540		
3	Board and file numbers :			
4	Year built:(EXISTING TO BE DEMO'D.)	1935	Zoning District:	RS-3
5	Base Flood Elevation:	+10.00' NGVD	Grade value in NGVD: +4.15' NGVD - CROWN OF ROAD	
6	Adjusted grade (Flood+Grade/2):		Free board:	
7	Lot Area:	12,900 SF		
8	Lot width:	55'-8" AT 20' SETBACK	Lot Depth: 183'-0" AVERAGE TWO SIDE LENGTHS	
9	Max Lot Coverage SF and %:	3,870 SF (30.00%)	Proposed Lot Coverage SF and %:	3,869 SF (29.9)
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:	
11	Front Yard Open Space SF and %:	790 SF (75.16 %)	Rear Yard Open Space SF and %:	2,060 SF (72.6
12	Max Unit Size SF and %:	6,450 SF (50.00 %)	Proposed Unit Size SF and %:	6,449 SF (99.9
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size:	3,343 SF (51.8
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	
15			Proposed Second Floor Unit Size SF and % :	2,603 SF (40.3
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	632 SF (24.3

	Zoning Information / Calculations	Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" FLAT		24'-0" FLAT	
18	Setbacks:				
19	Front First level:	20'-0"		47'-7"	
20	Front Second level:	30'-0"		67'-1"	
21	Side 1: EAST SIDE 1:	10'-0" MIN.		10'-1"	
22	Side 2 or (facing street): WEST SIDE 2:	10'-0" MIN.		10'-1"	
23	Rear:	27'-6"		27'-7"	
	Accessory Structure Side 1:	N / A		N / A	
24	Accessory Structure Side 2 or (facing street) :	N / A		N / A	
25	Accessory Structure Rear:	N / A		N / A	
26	Sum of side yard :	20'-0" MIN.		20'-2"	
27	Located within a Local Historic District?			Yes or No	
28	Designated as an individual Historic Single Family Residence Site?			Yes or No	
29	Determined to be Architecturally Significant?			Yes or No	
	Additional data or information must be presented in the format outlined in this section				

If not applicable write N/A

App/PlanRev1-16v.1

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MIAMI BEACH, FL 33139

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Date	11-15-2021	Sheet No. A0.01
Scale	--	
Project	2191	



E1 - 11 E. RIVO ALTO - VIEW TO FRONT (EXISTING STRUCTURE)



E2 - 11 E. RIVO ALTO - VIEW TO EAST SIDE (EXISTING STRUCTURE)



E3 - 11. E. RIVO ALTO - VIEW TO WEST SIDE (EXISTING STRUCTURE)



E4 - 11. E. RIVO ALTO - VIEW TO REAR (EXISTING STRUCTURE)

1

EXISTING CONDITIONS

NO SCALE

- 1
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Rev.	Date	Rev.	Date

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SITE IMAGES

Date	11-15-2021	Sheet No.
Scale	--	A0.03
Project	2191	



E5 - 11 E. RIVO ALTO - EXISTING FRONT DOOR DETAIL



E6 - 11 E. RIVO ALTO - EXISTING ENTRY COURTYARD DETAIL

1 EXISTING CONDITIONS

NO SCALE

- 1
- 2
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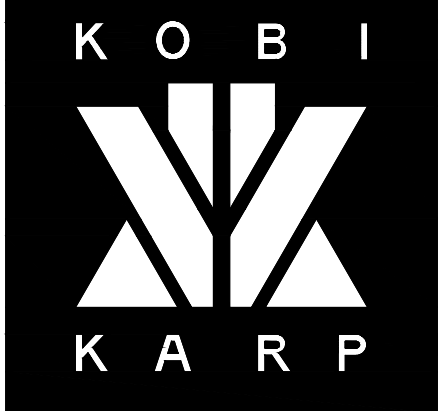
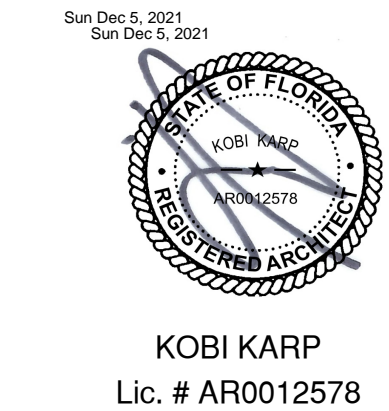
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SITE IMAGES

Date	11-15-2021	Sheet No.
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N1 - 8 E. RIVO ALTO (NEIGHBOR)



N2 - 15 E. RIVO ALTO (NEIGHBOR)



N3 - 10 E. RIVO ALTO (NEIGHBOR)

- 1
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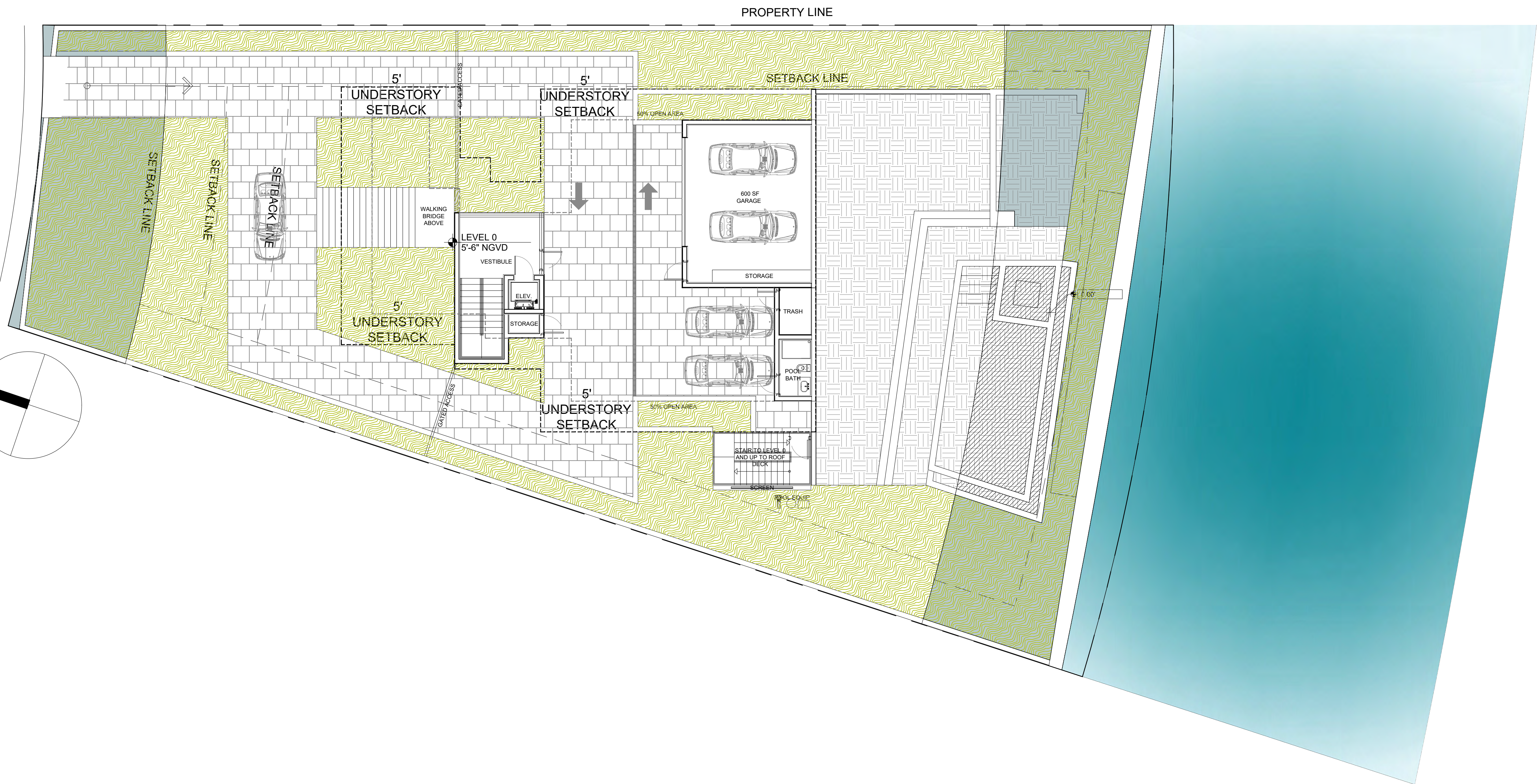
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CONTEXT IMAGES

Date	11-15-2021	Sheet No.
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Project	2191	

11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139
CROWN 4.15'

PLAN
NORTH



PROPOSED PERVIOUS CALCULATION
REQUIRED FRONT YARD (30'-0" SETBACK)
1,051 SF = 735 SF (70%) MIN. PERVIOUS SPACE REQUIRED
790 (75.16%) PERVIOUS SPACE PROPOSED
REQUIRED REAR YARD
2,835 SF = 1,984 SF (70%) MIN. PERVIOUS SPACE REQUIRED
2,060 SF (72.66%) PERVIOUS SPACE PROPOSED

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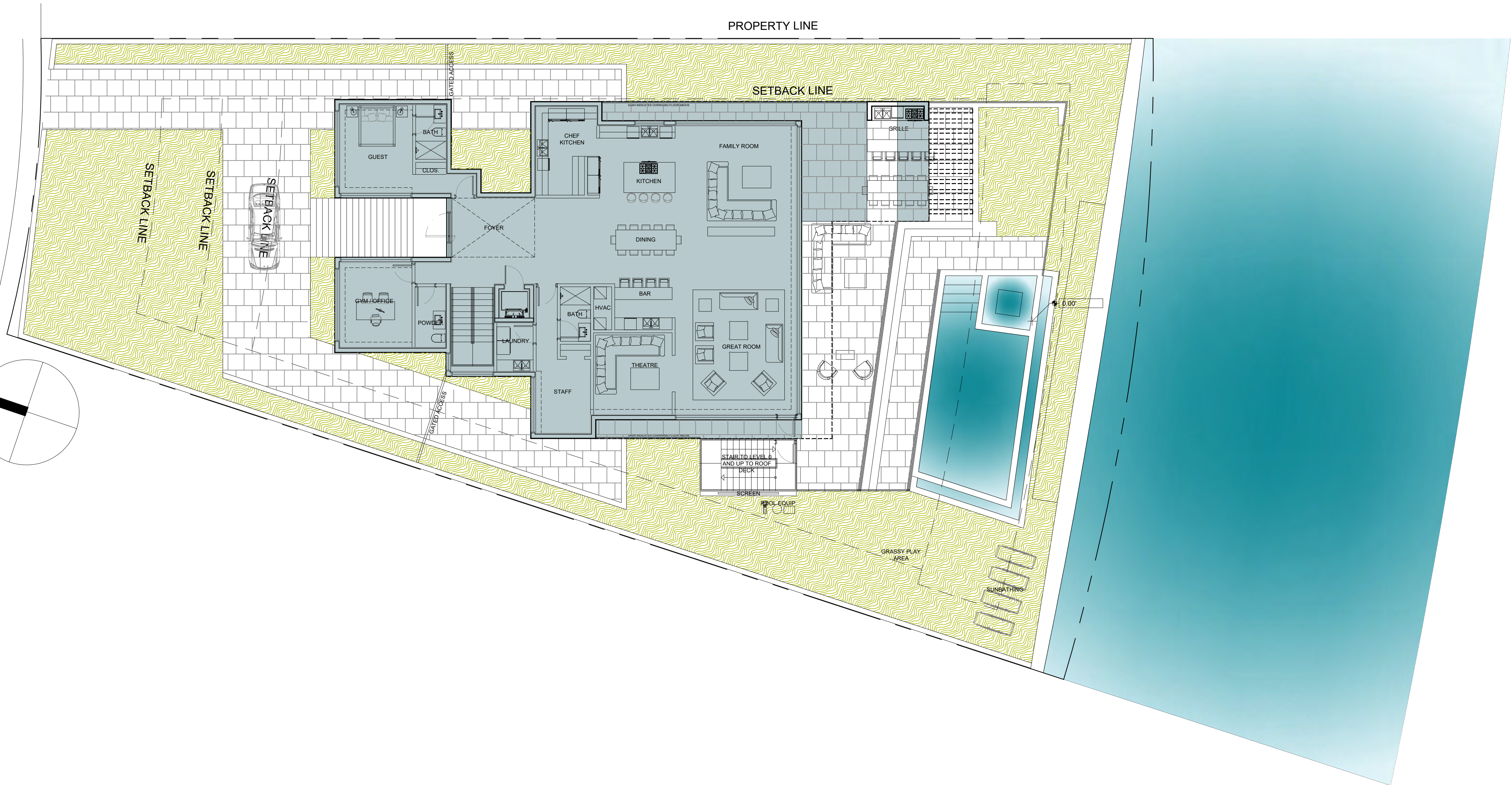
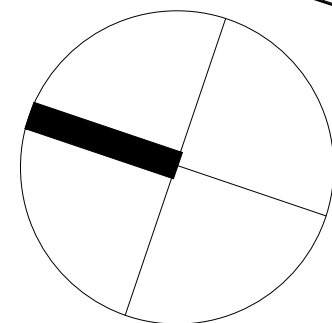


ZONING DIAGRAMS

Date	11-15-2021	Sheet No.
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11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139
CROWN 4.15'

PLAN
NORTH



PROPOSED LOT COVERAGE CALCULATION	
LOT SIZE	12,900 SF
MAXIMUM LOT COVERAGE	3,870 SF (30.00%)
MAIN RESIDENCE	3,869 SF
TOTAL	3,869 SF (30.00%)

1 LOT COVERAGE
Scale: 3/32" = 1'-0"

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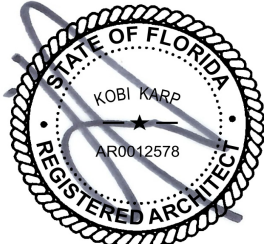
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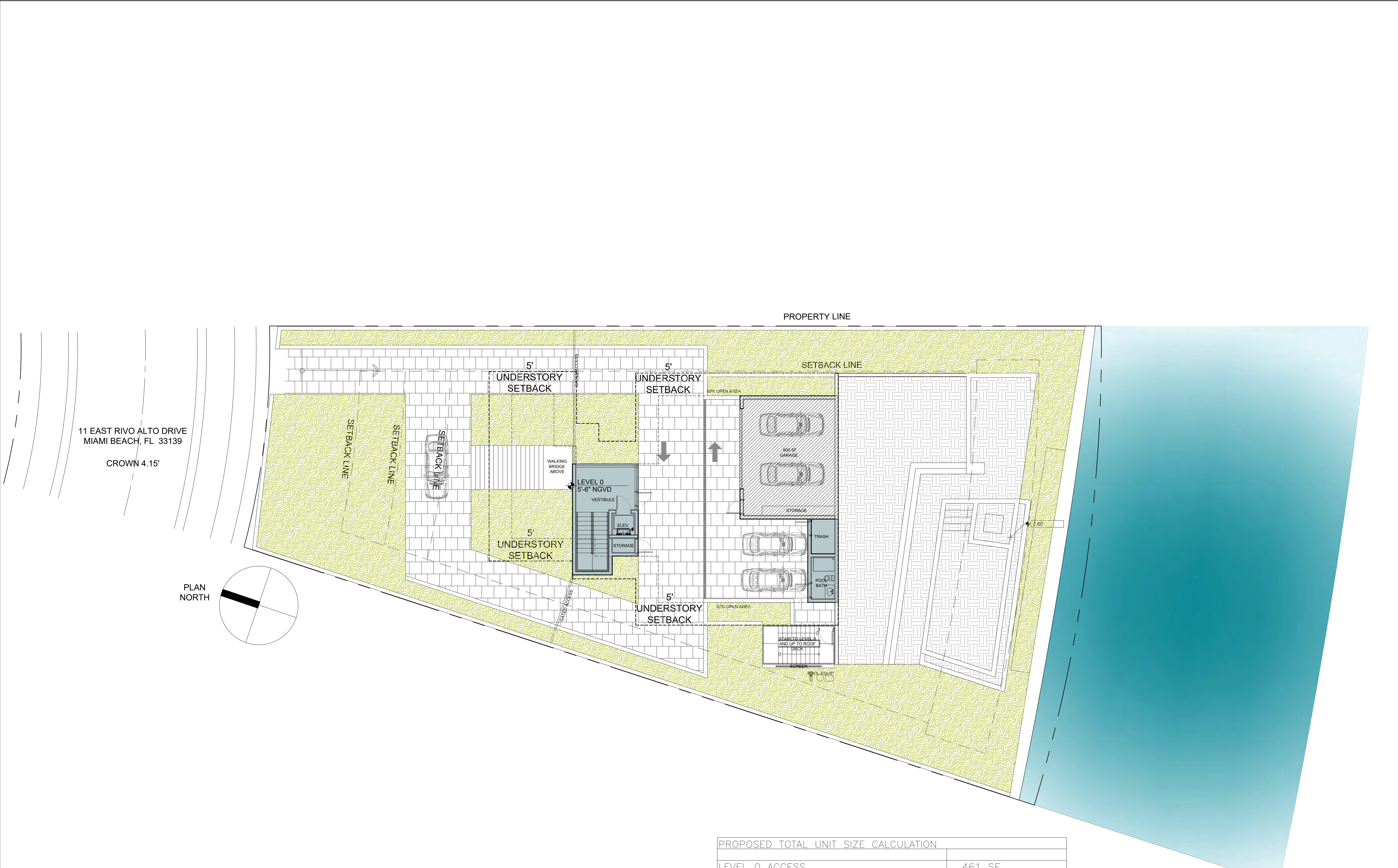


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ZONING DIAGRAMS

Date	11-15-2021	Sheet No.
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PROPOSED TOTAL UNIT SIZE CALCULATION	
LEVEL 0 ACCESS	461 SF
LEVEL 0 GARAGE	600 SF (NOT INCL.)
LEVEL 0 GARAGE OVERAGE	0 SF
LEVEL 1 MAIN RESIDENCE	3,343 SF
LEVEL 2 MAIN RESIDENCE	2,603 SF
LEVEL ROOF	42 SF
TOTAL	6,449 SF (50.00%)

LOT SIZE = 12,900 SF
MAX 6,450 SF
MAIN RESIDENCE = 6,449 SF (50.00%)

PROPOSED UNIT SIZE CALCULATION LEVEL 0	
MAIN RESIDENCE ACCESS	461 SF
GARAGE	600 SF
GARAGE OVERAGE	0 SF
TOTAL	461 SF

UNIT SIZES

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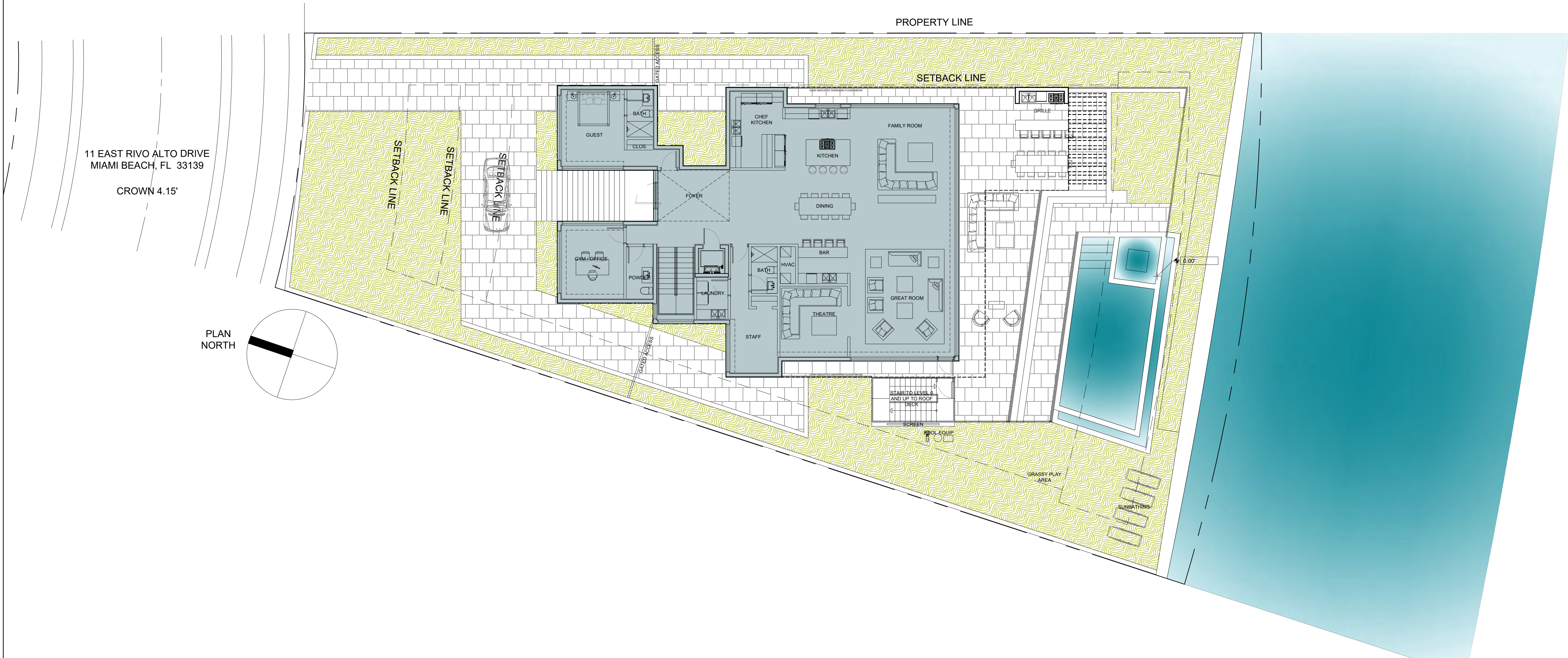
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Date	11-15-2021	Sheet No.
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PROPOSED UNIT SIZE CALCULATION LEVEL 1		
MAIN RESIDENCE	3,343 SF	
TOTAL	3,343 SF	(51.82%)

1 UNIT SIZES

Scale: 1/8" = 1'-0"

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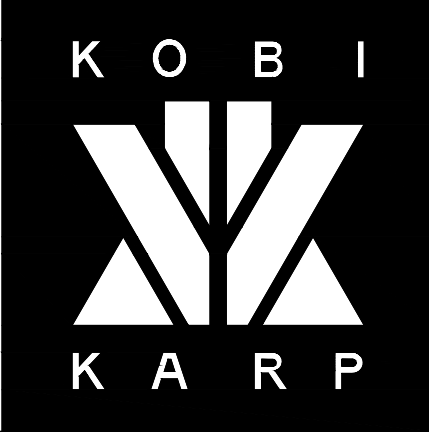
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ZONING DIAGRAMS

Date	11-15-2021	Sheet No.
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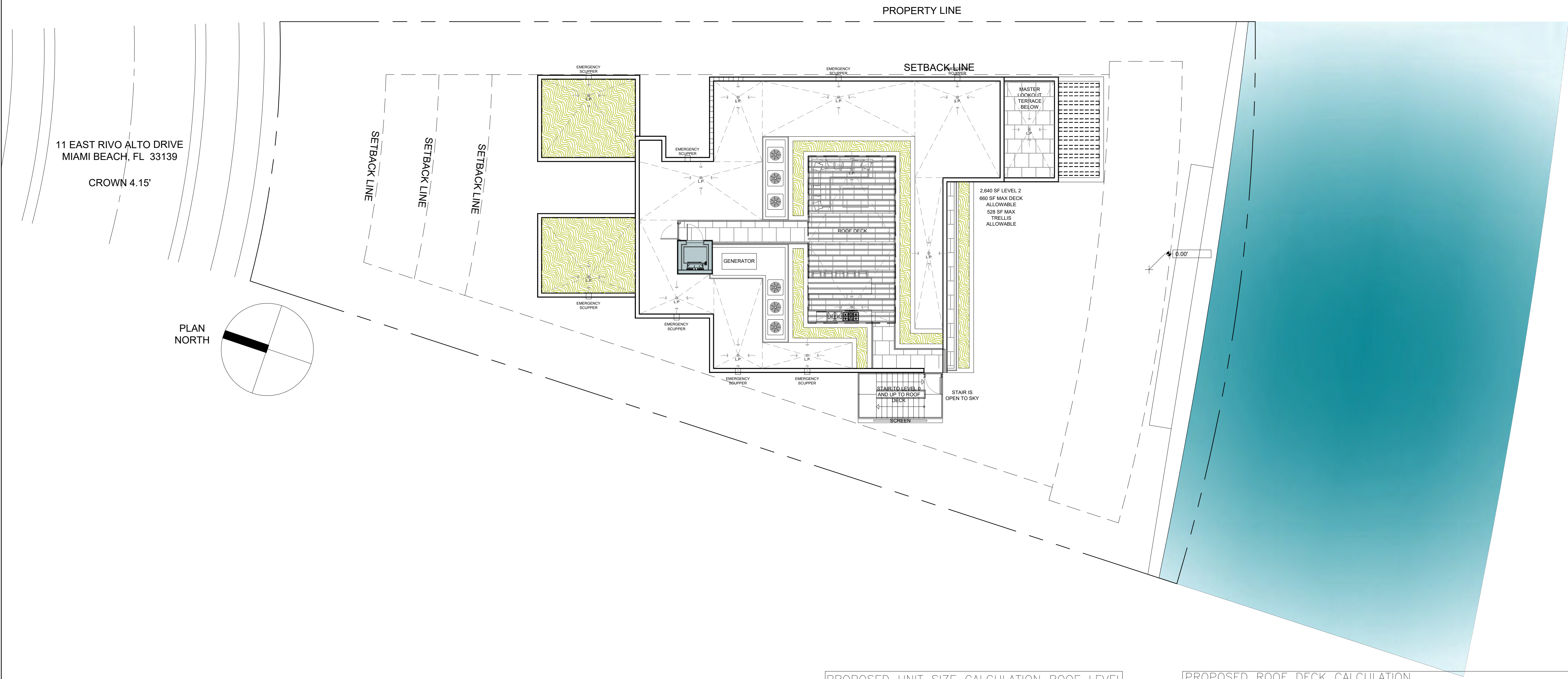
ZONING DIAGRAMS

Date	11-15-2021	Sheet No.
Scale	--	A1.14
Project	2191	

PROPOSED UNIT SIZE CALCULATION LEVEL 2		
MAIN RESIDENCE	2,603 SF	
TOTAL	2,603 SF	(40.35%)

1 UNIT SIZES

Scale: 1/8" = 1'-0"



PROPOSED UNIT SIZE CALCULATION ROOF LEVEL	
ELEVATOR BULKHEAD	42 SF
TOTAL	42 SF

PROPOSED ROOF DECK CALCULATION			
SECOND FLOOR ENCLOSED AREA	2,603 SF		
MAX USEABLE ROOF DECK ALLOWED	650 SF	(25.00%)	
TOTAL PROPOSED USEABLE ROOF DECK	632 SF	(24.30%)	
MAXIMUM TRELLIS 20%	520 SF	(20.00%)	
PROPOSED TRELLIS	520 SF	(20.00%)	

1 UNIT SIZES

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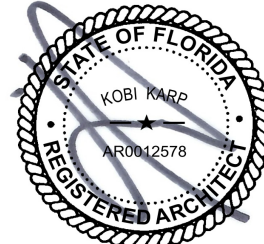
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Name
Address
Address
Tel:
Email

Consultant:
Name
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Consultant:
Name
Address
Address
Tel:
Email

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street,
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

Sun Dec 5, 2021
Sun Dec 5, 2021

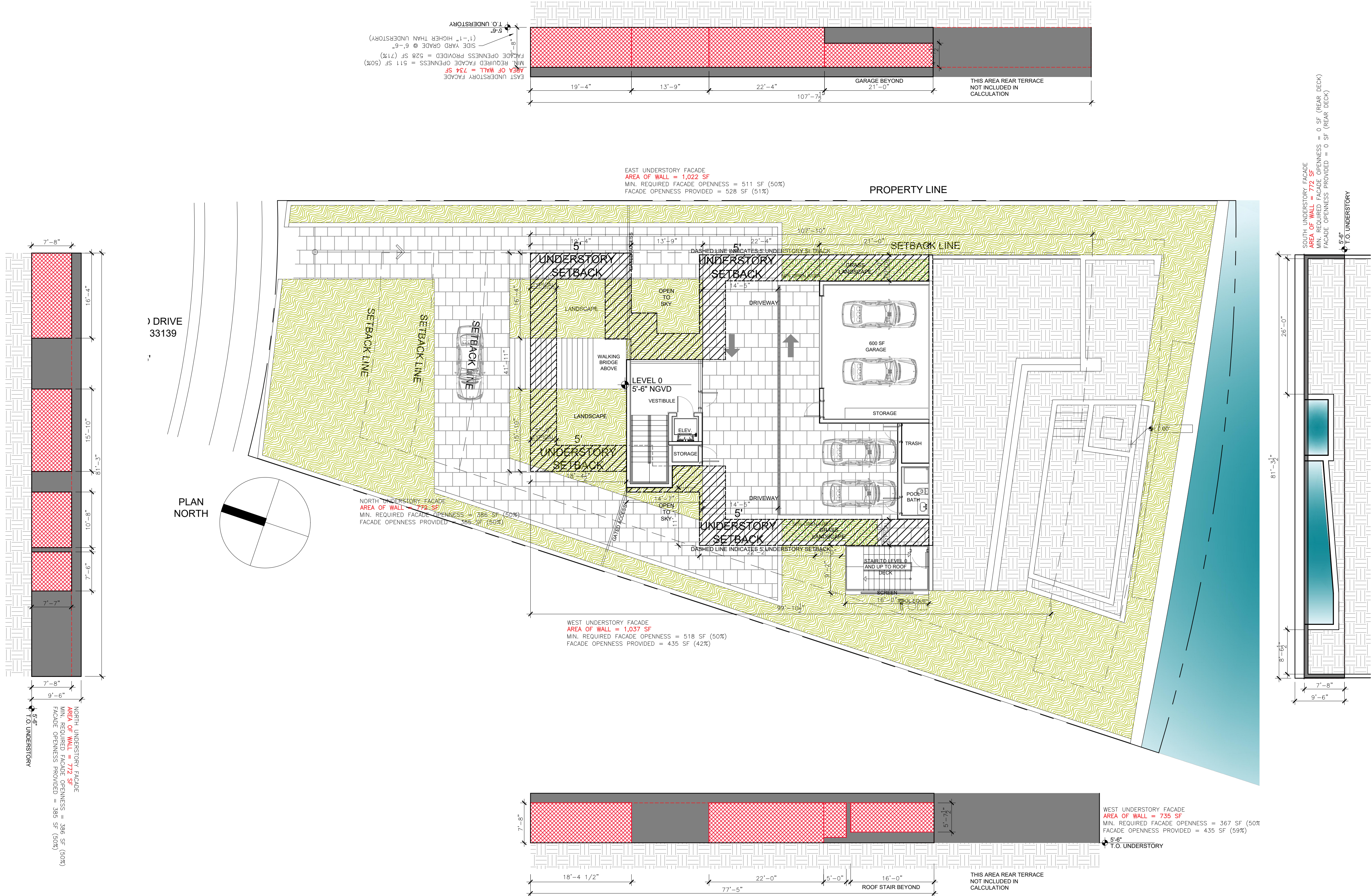


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ZONING DIAGRAMS

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Rev.	Date	Rev.	Date

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PRIVATE RESIDENCE
11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139

Owner:
Name OWNER
Address OWNER ADDRESS1
Address OWNER ADDRESS2
Tel: OWNER PHONE
Email OWNER EMAIL

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect:
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Sun Dec 5, 2021
Sun Dec 5, 2021



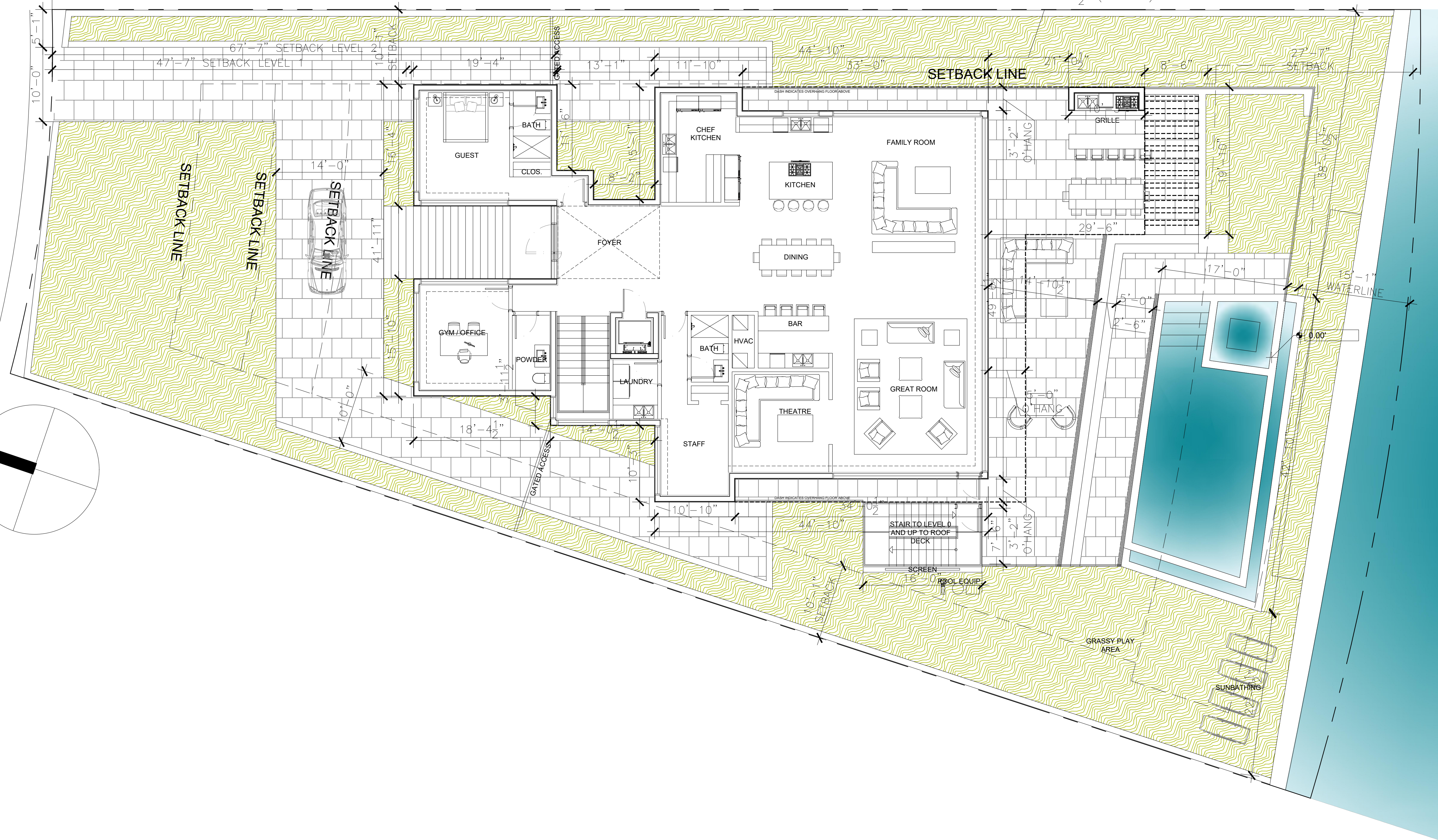
Kobi Karp
Lic. # AR0012578

K O B I
K A R P

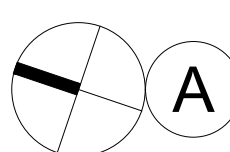
UNDERSTORY DIAGRAM

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Project	2191	

CROWN 4.15



PLAN
NORTH



PROPOSED SITE PLAN

Scale: $1/8" = 1'-0"$

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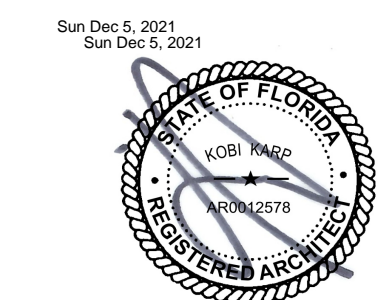
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Address   OWNER_ADDRESS1
Address   OWNER_ADDRESS2
Tel:      OWNER_PHONE
Email     OWNER_EMAIL
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Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street,
Miami, Florida 33127 USA
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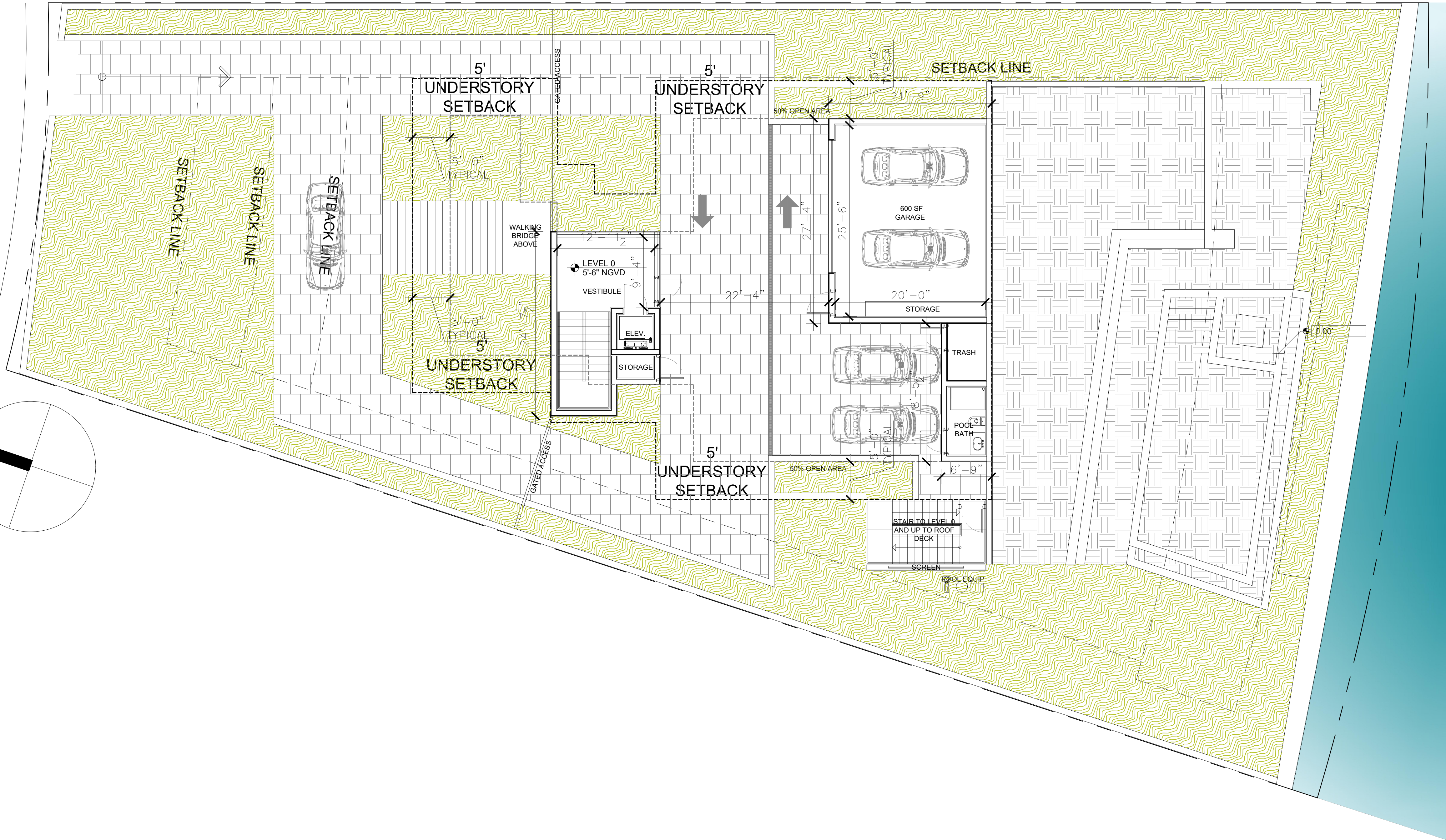
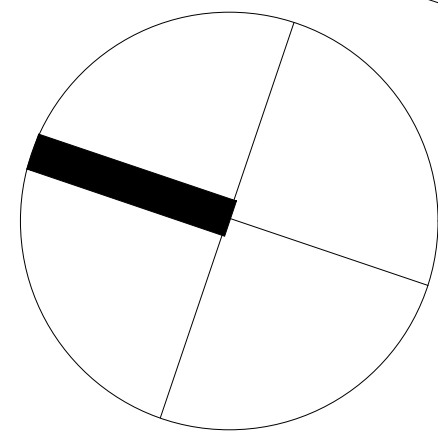
PROPOSED SITE PLAN

Date	11-15-2021	Sheet No. A2.01
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ST RIVO ALTO DRIVE
MI BEACH, FL 33139

CROWN 4.15'

PLAN
NORTH



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11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139

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Name
Address
Tel:
Email

OWNER
OWNER_ADDRESS1
OWNER_ADDRESS2
OWNER_PHONE
OWNER_EMAIL

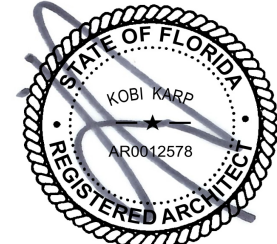
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Tel:
Email

Consultant:
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Consultant:
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Address
Tel:
Email

Architect:
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Sun Dec 5, 2021
Sun Dec 5, 2021

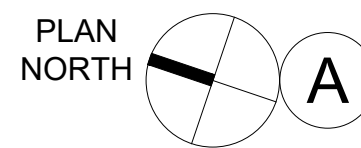


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PROPOSED LEVEL 0

Date	11-15-2021	Sheet No.
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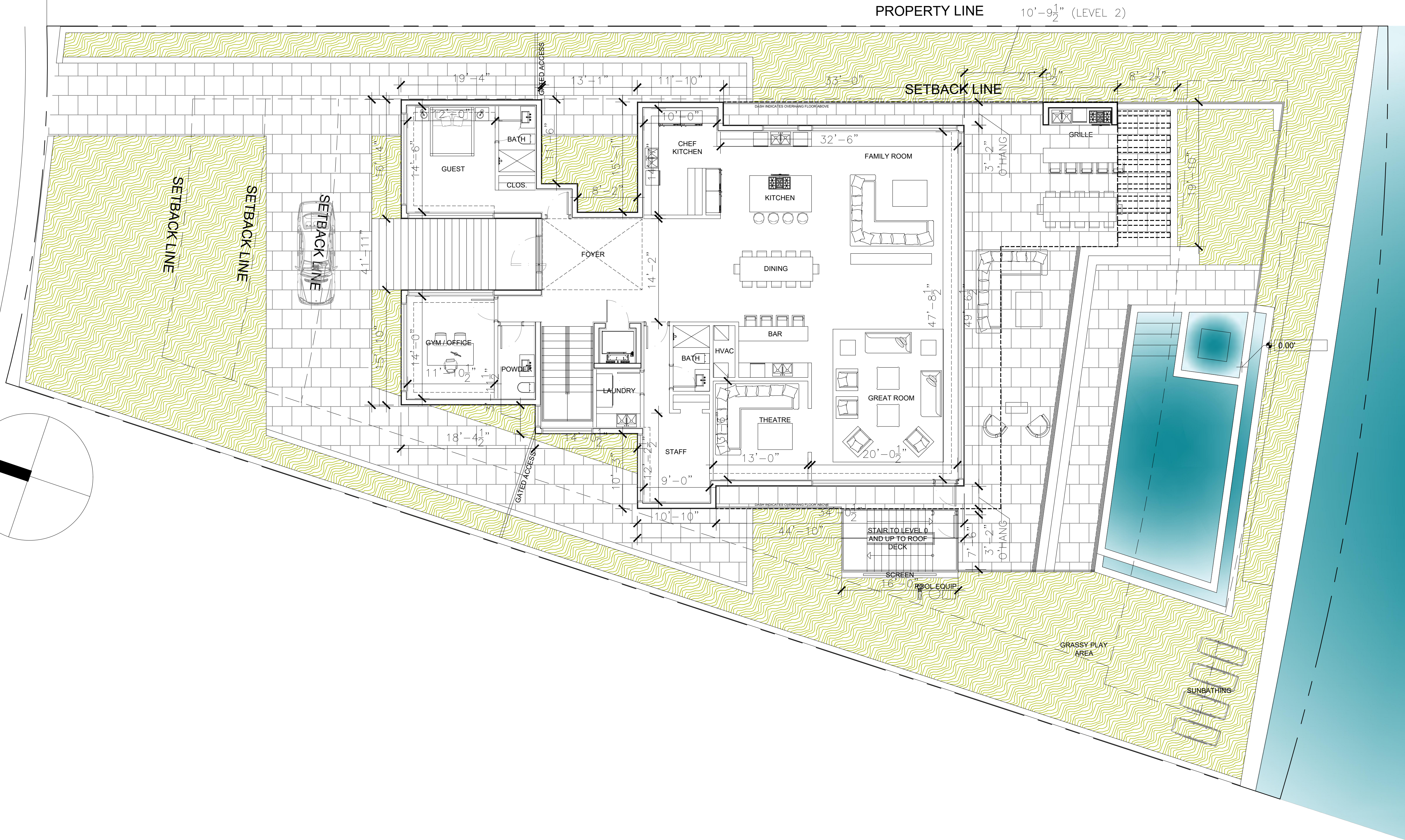
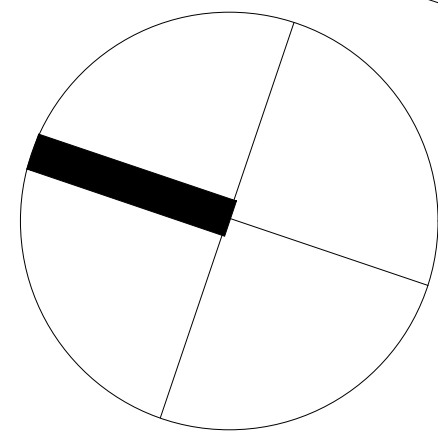
PROPOSED PLANS

Scale: 1/8" = 1'-0"

ST RIVO ALTO DRIVE
MI BEACH, FL 33139

CROWN 4.15'

PLAN
NORTH



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11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139

Owner:
Name
Address
Tel.
Email

OWNER
OWNER_ADDRESS1
OWNER_ADDRESS2
OWNER_PHONE
OWNER_EMAIL

Consultant:
Name
Address
Tel.
Email

Consultant:
Name
Address
Tel.
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Consultant:
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Tel.
Email

Architect:
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PROPOSED LEVEL 1

Date	11-15-2021	Sheet No.
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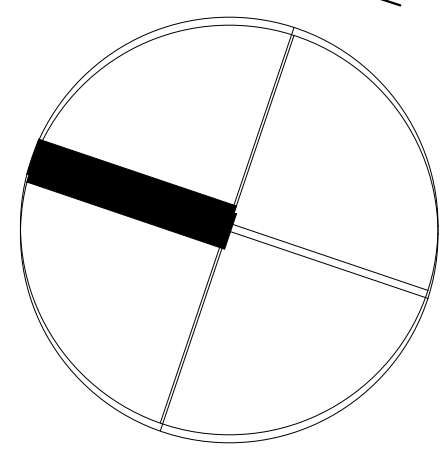
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ST RIVO ALTO DRIVE
MI BEACH, FL 33139

CROWN 4.15'

PLAN
NORTH



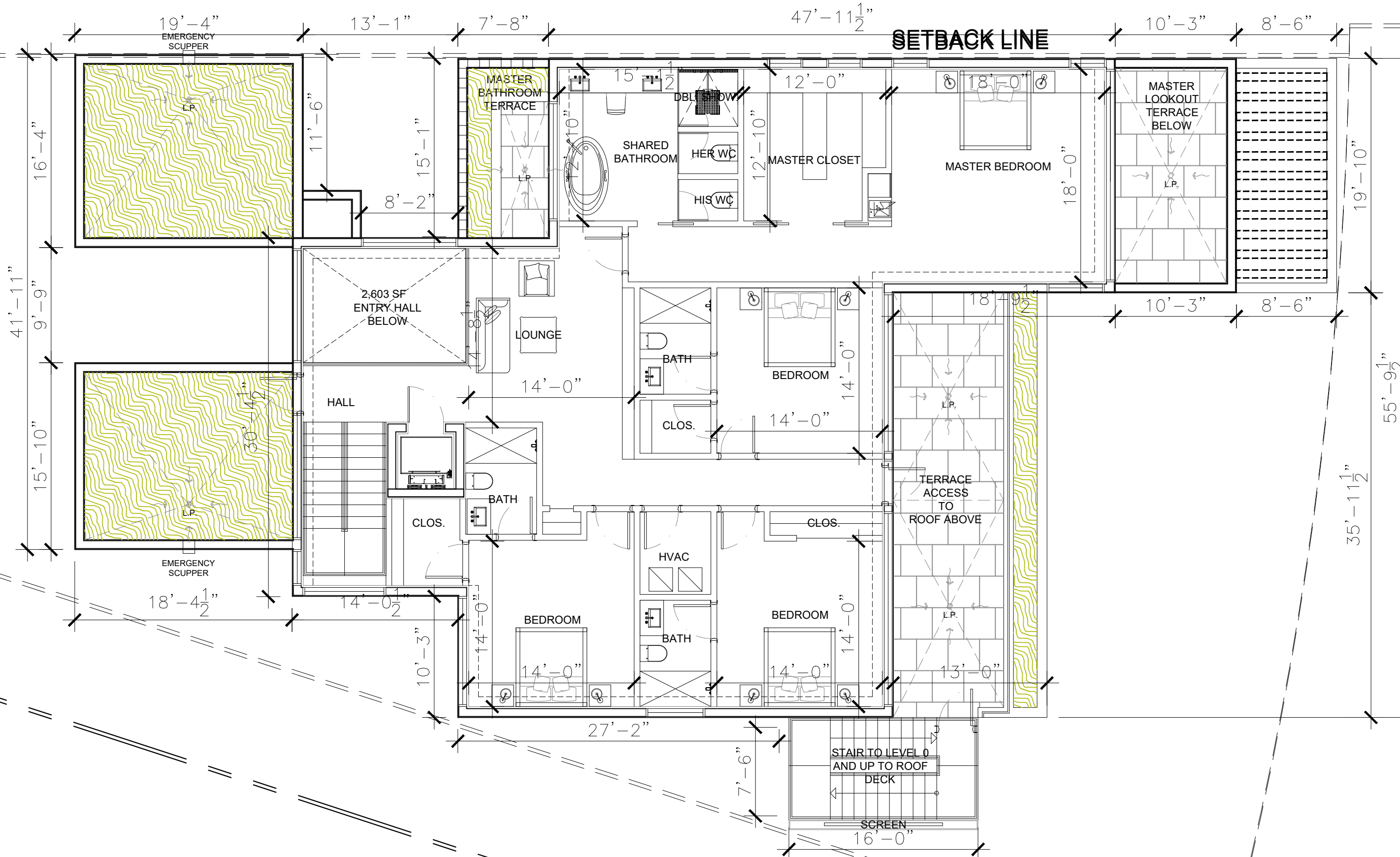
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SETBACK LINE

SETBACK LINE

PROPERTY LINE

SETBACK LINE



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MIAMI BEACH, FL 33139

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Address: OWNER ADDRESS1
Address: OWNER ADDRESS2
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Email: OWNER EMAIL

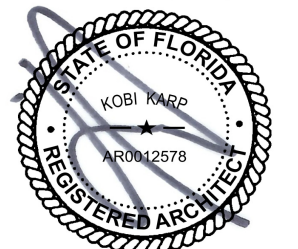
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Consultant:
Name:
Address:
Address:
Tel:
Email:

Architect:
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PROPOSED LEVEL 2

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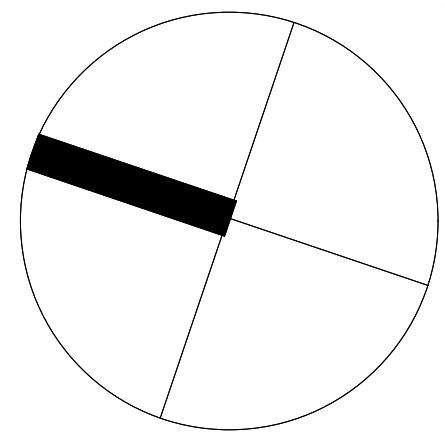
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ST RIVO ALTO DRIVE
MI BEACH, FL 33139

CROWN 4.15'

PLAN
NORTH



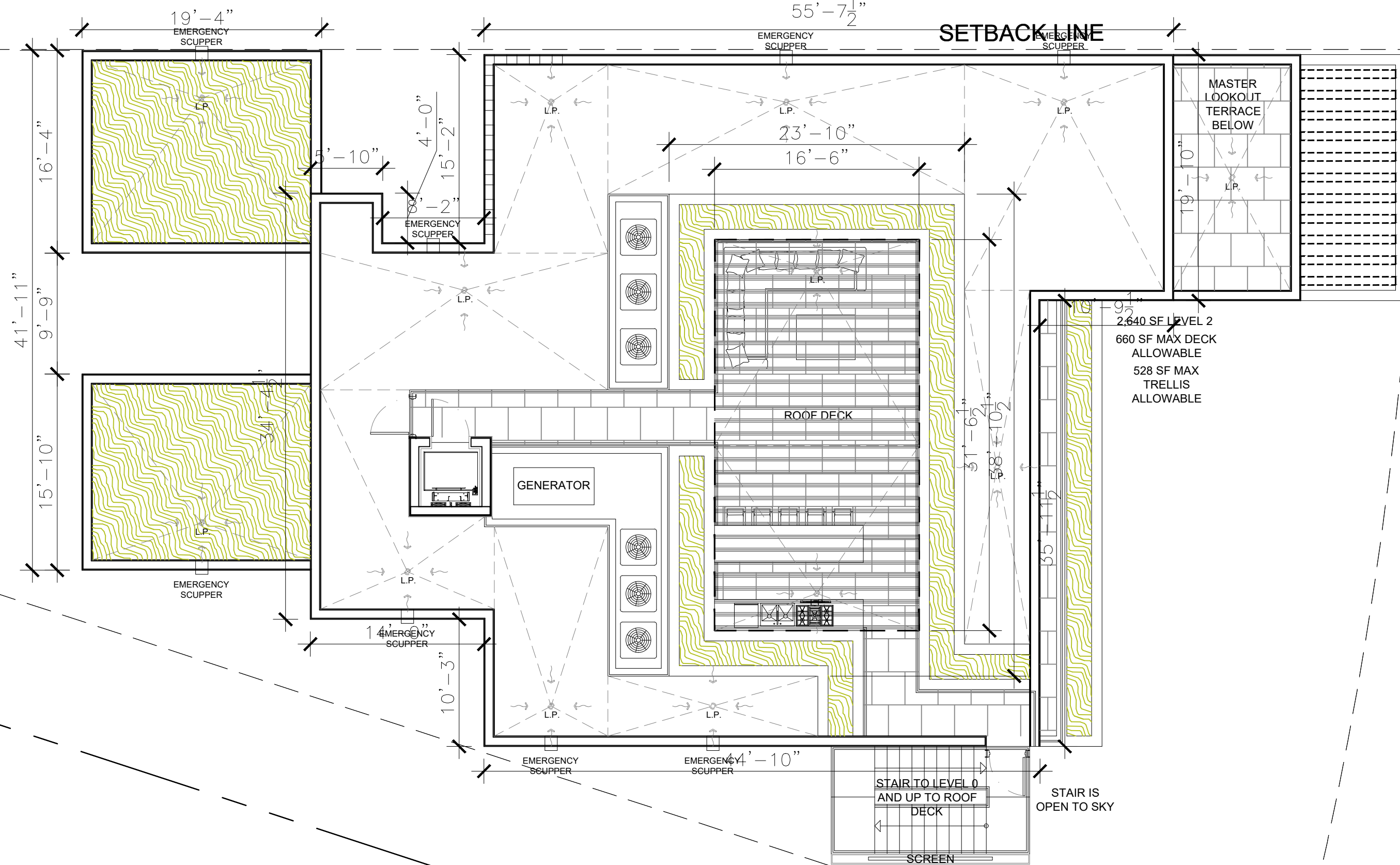
SETBACK LINE

SETBACK LINE

SETBACK LINE

PROPERTY LINE

SETBACK LINE



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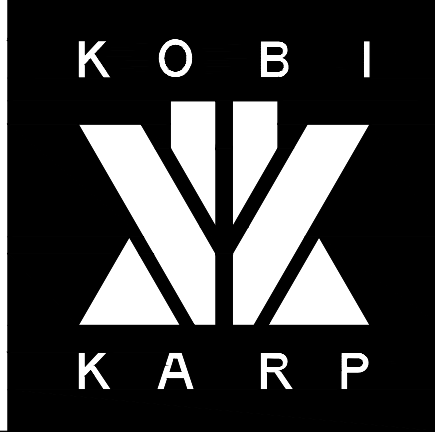
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Tel:
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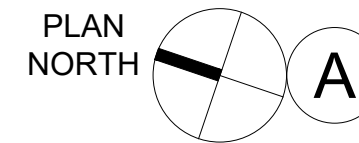
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Address:
Tel:
Email:

Consultant:
Name:
Address:
Address:
Tel:
Email:

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street,
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



PROPOSED ROOF LEVEL

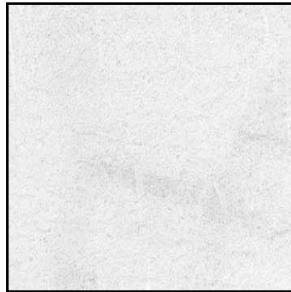


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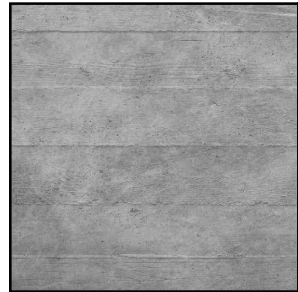
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Project	2191	

ELEVATION MATERIAL LEGEND



1- WHITE STUCCO



2- FORMED CONCRETE



3- TRAVERTINE



4- WOOD SOFFIT



5- ANODIZED



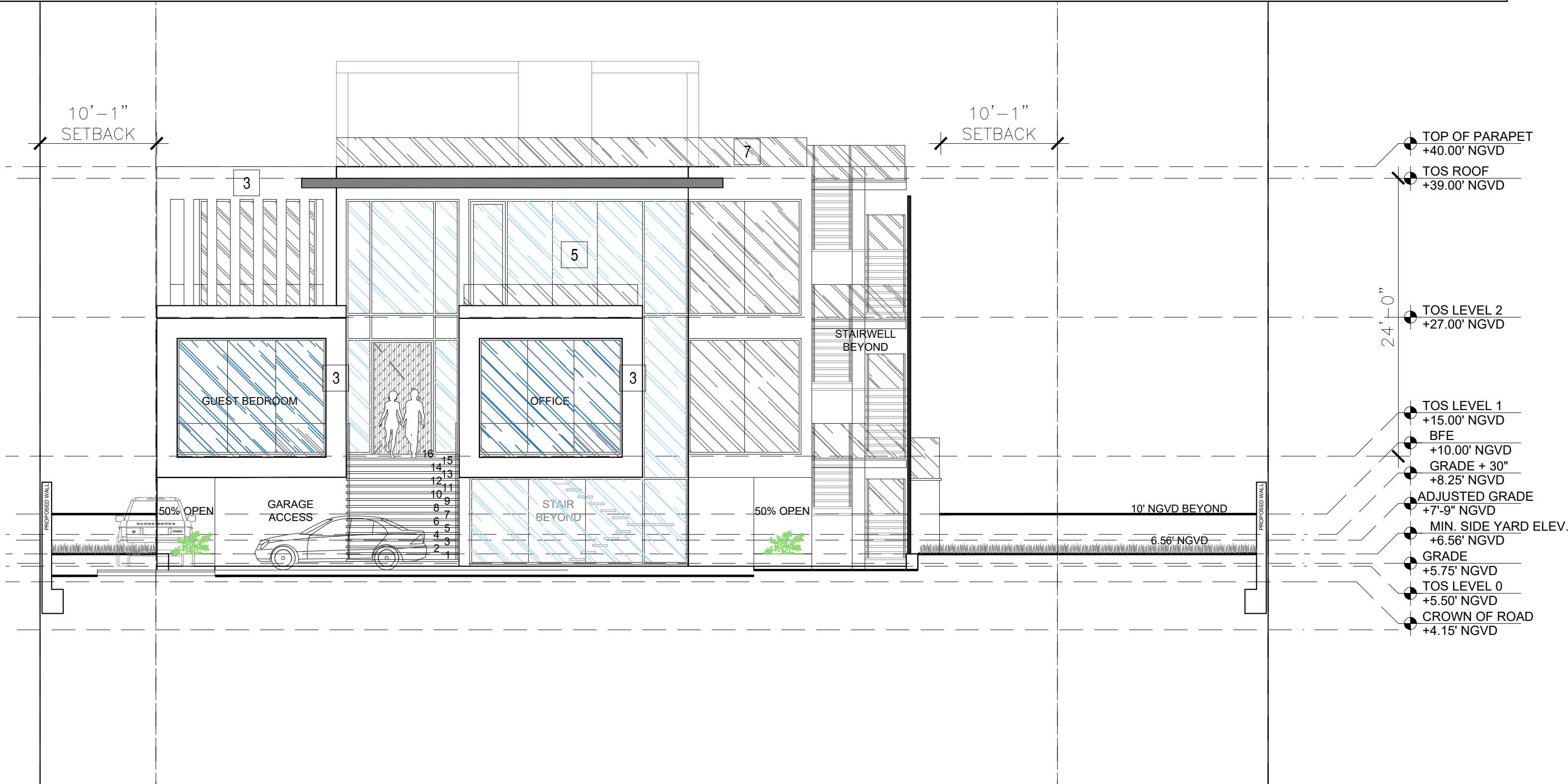
6- LOUVERED SCREEN



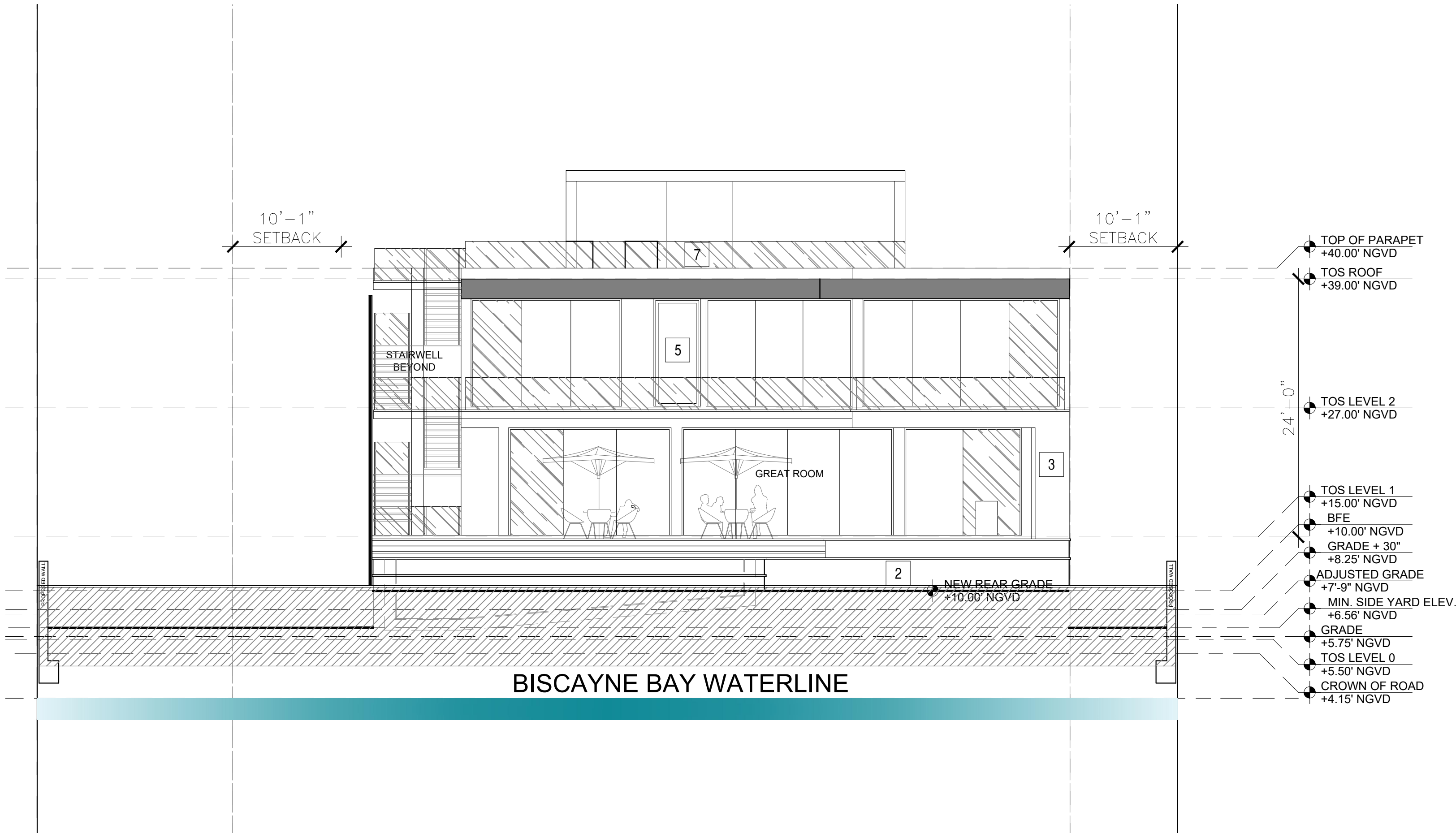
7- RAIL



8- GREEN WALL



A FRONT ELEVATION
Scale: 1/8" = 1'-0"



B REAR ELEVATION
Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

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11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139

Owner:
Name OWNER
Address OWNER ADDRESS1
Address OWNER ADDRESS2
Tel: OWNER_PHONE
Email OWNER_EMAIL

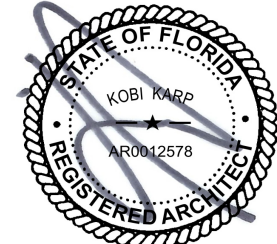
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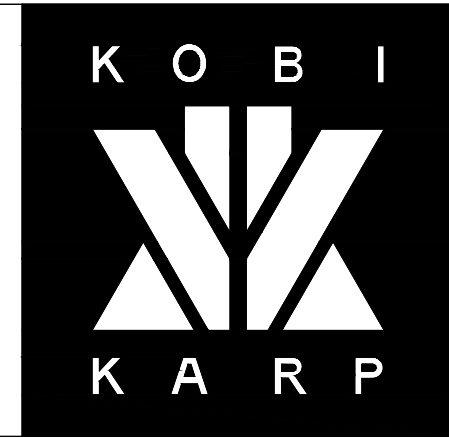
Consultant:
Name
Address
Address
Tel:
Email

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street,
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

Sun Dec 5, 2021
Sun Dec 5, 2021



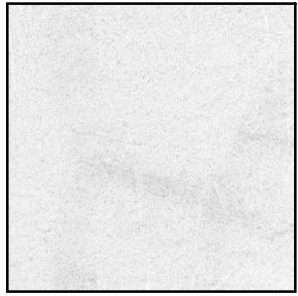
KOBİ KARP
Lic. # AR0012578



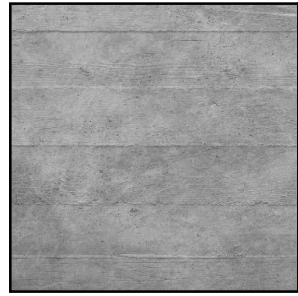
ELEVATION

Date	11-15-2021	Sheet No.
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ELEVATION MATERIAL LEGEND



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2 - FORMED CONCRETE



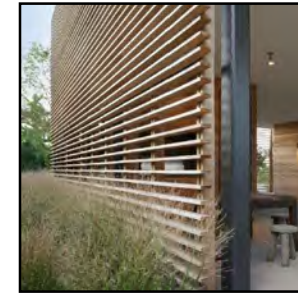
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4 - WOOD SOFFIT



5 - ANODIZED



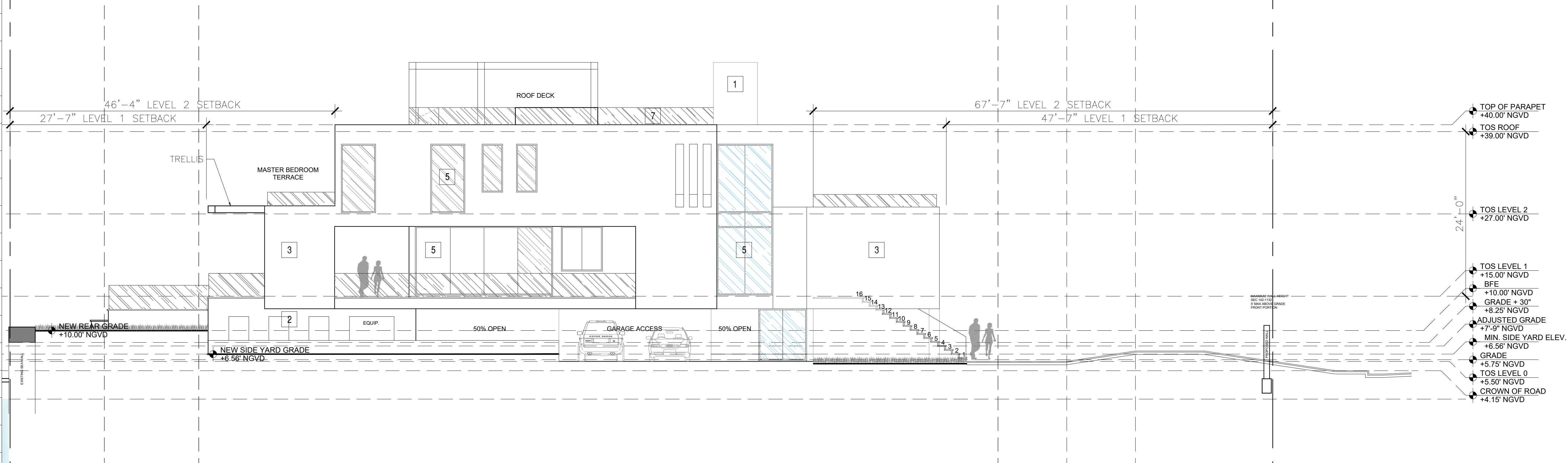
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7 - RAIL

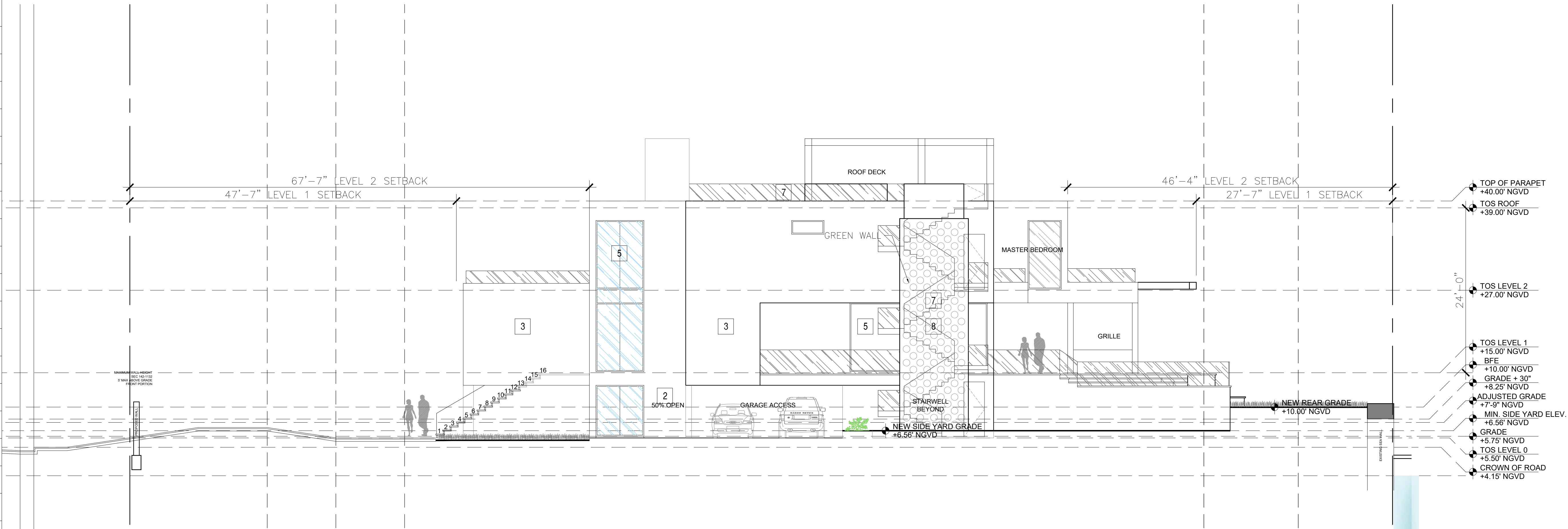


8 - GREEN WALL



C EAST ELEVATION

Scale: 1/8" = 1'-0"



D WEST ELEVATION

Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

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11 EAST RIVO ALTO DRIVE
MIAMI BEACH, FL 33139

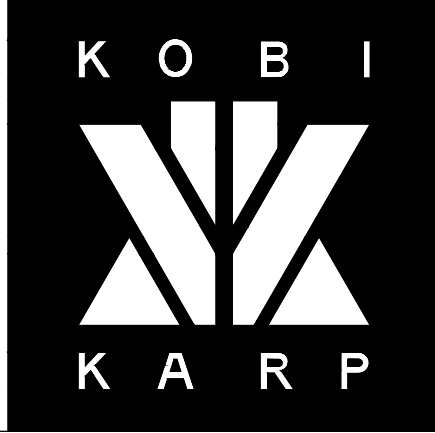
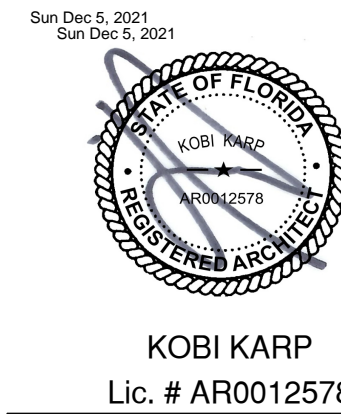
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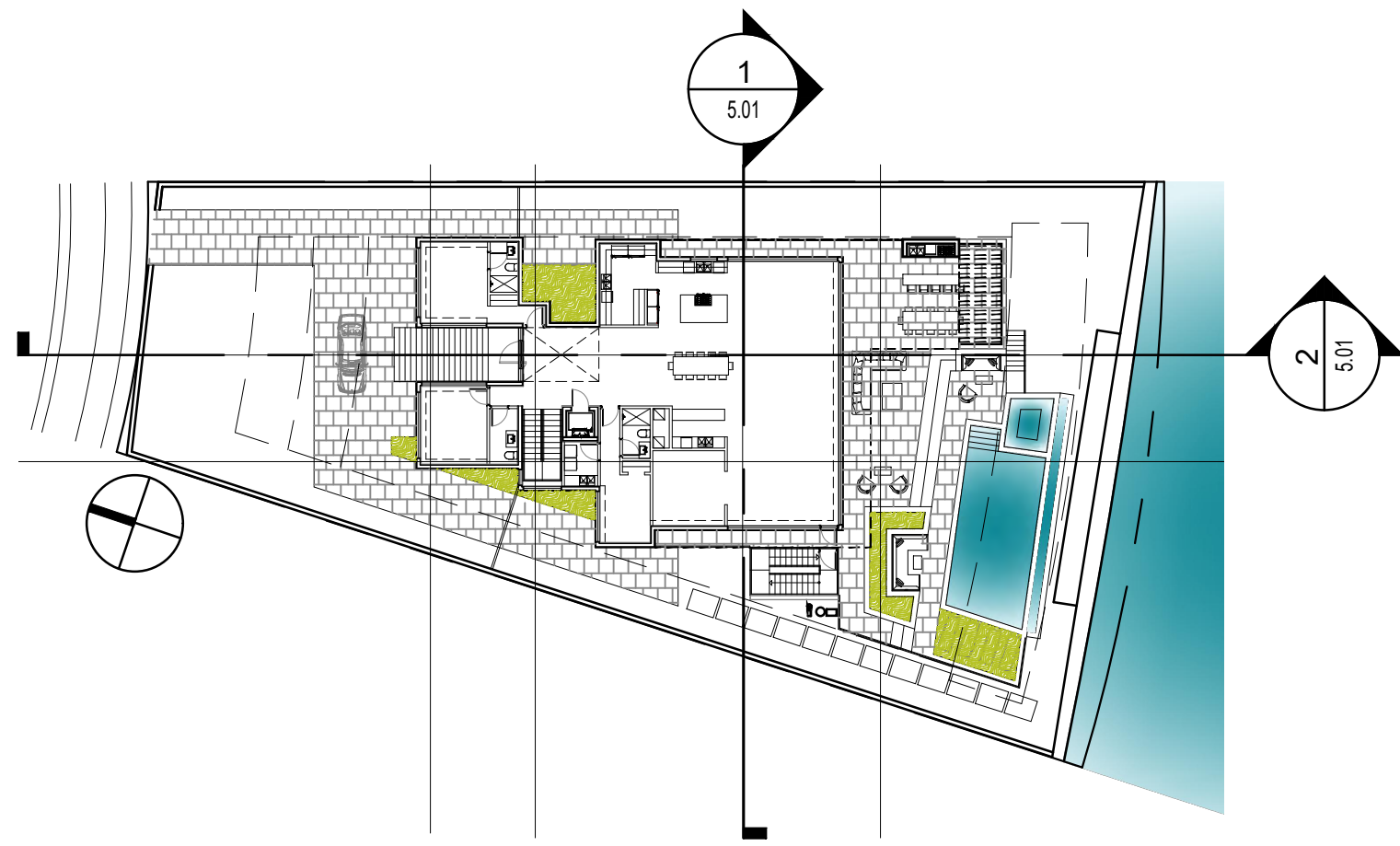
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Name
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Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street,
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

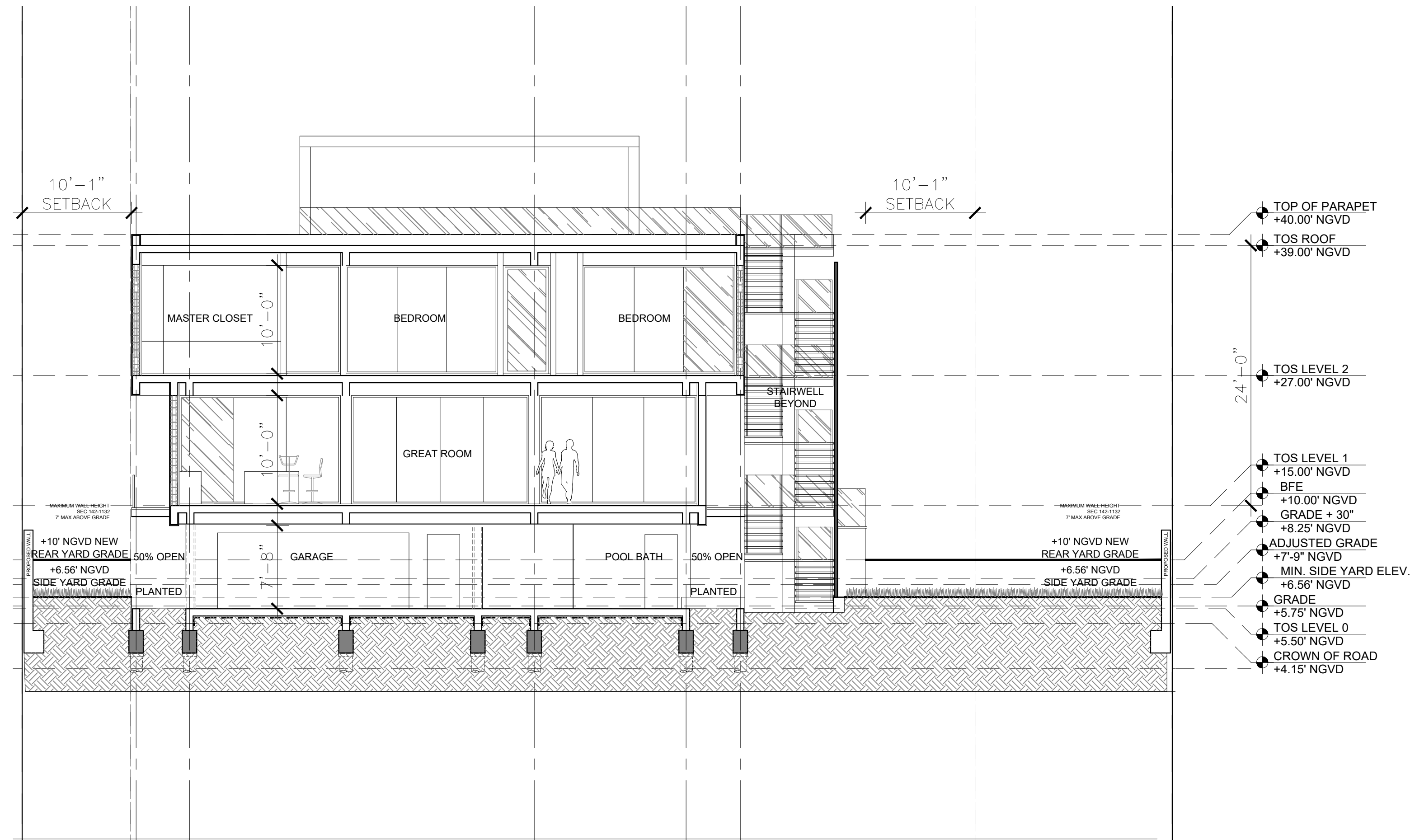


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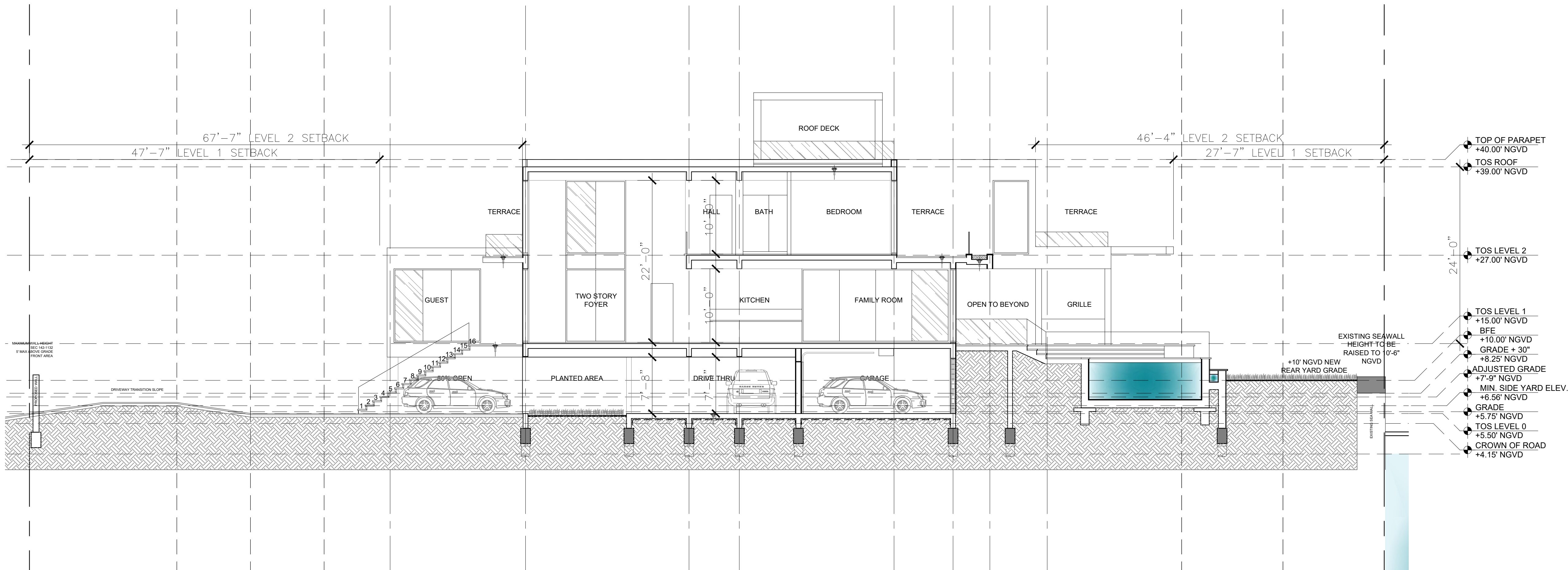


SECTION KEY



SECTION 1

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SECTION 2

Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

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MIAMI BEACH, FL 33139

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Name: OWNER
Address: OWNER ADDRESS1
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Tel: OWNER PHONE
Email: OWNER EMAIL

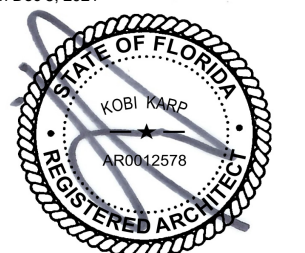
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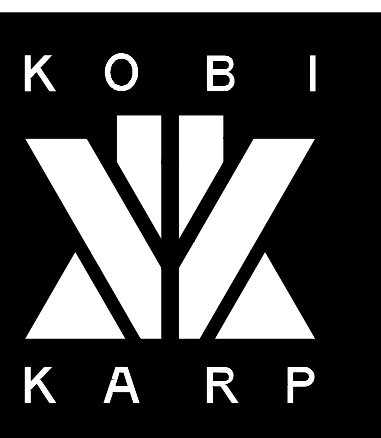
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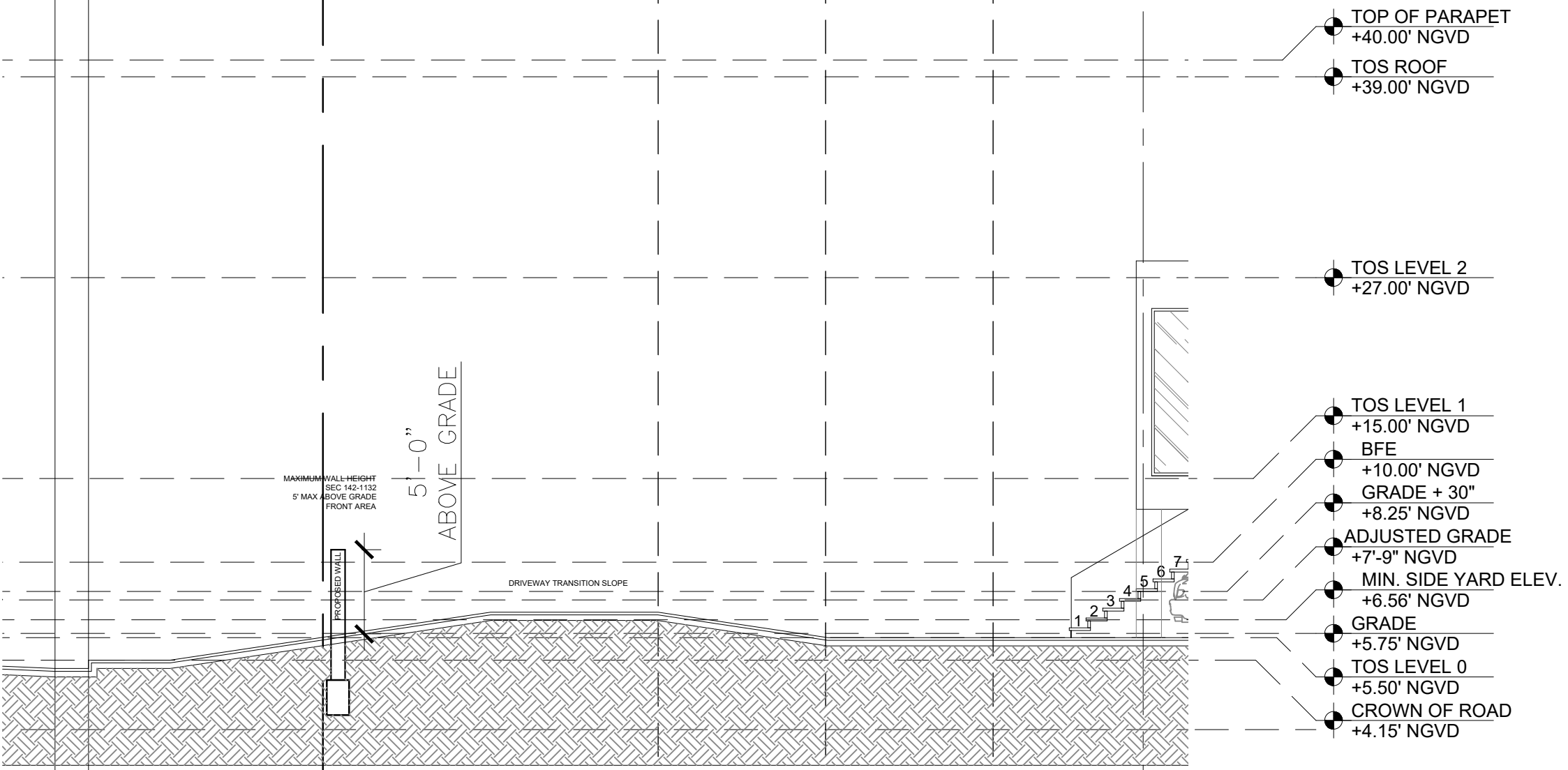


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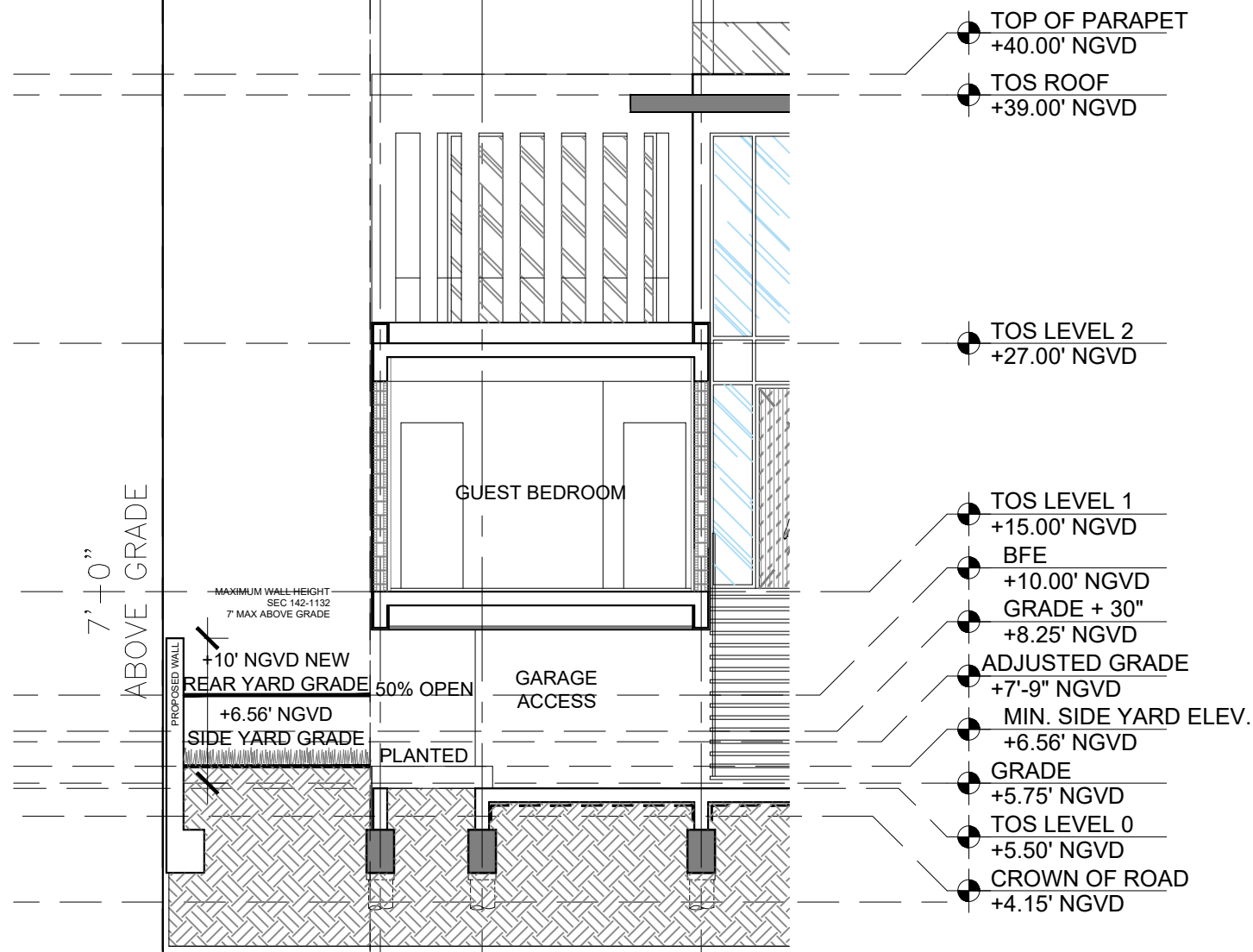


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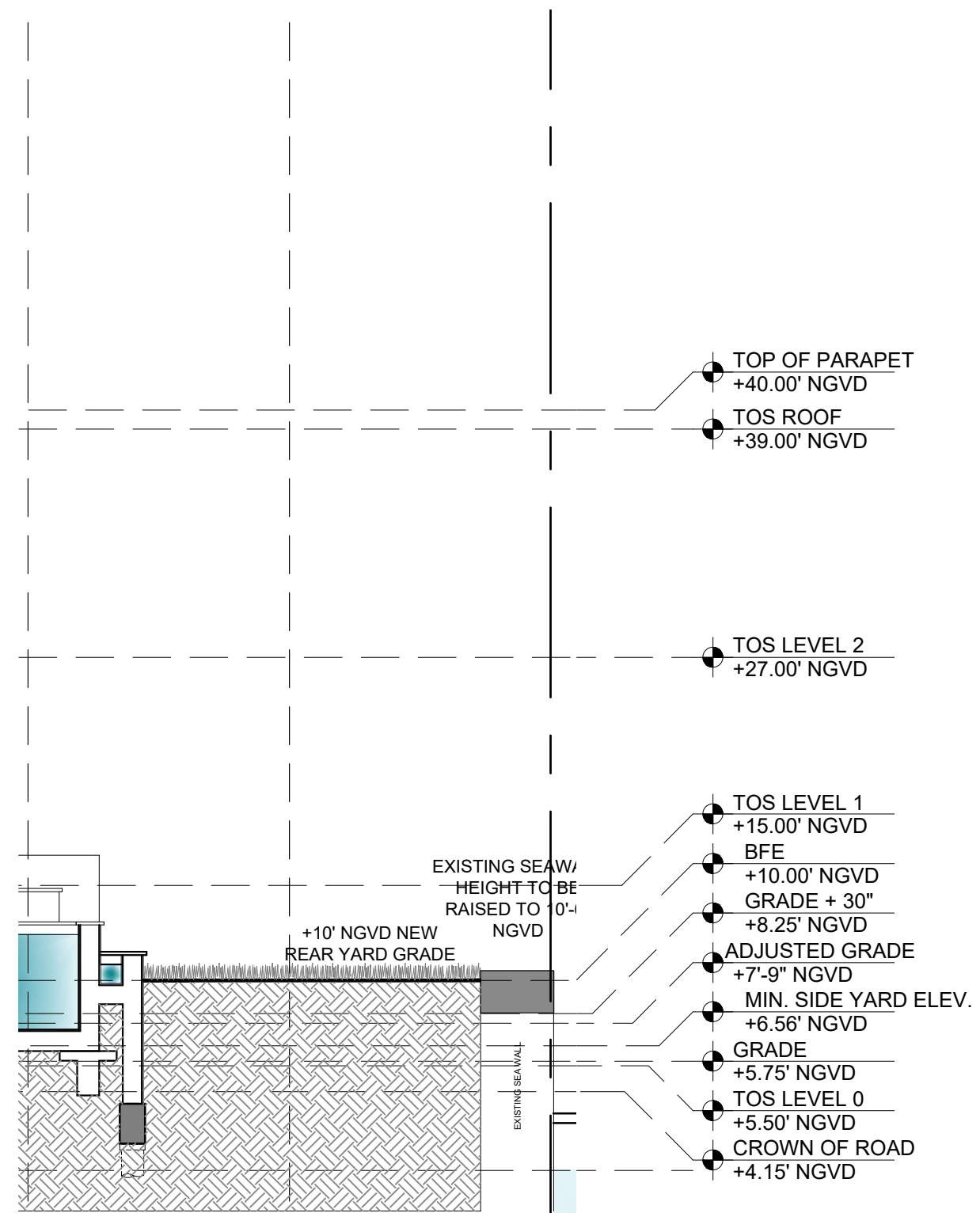
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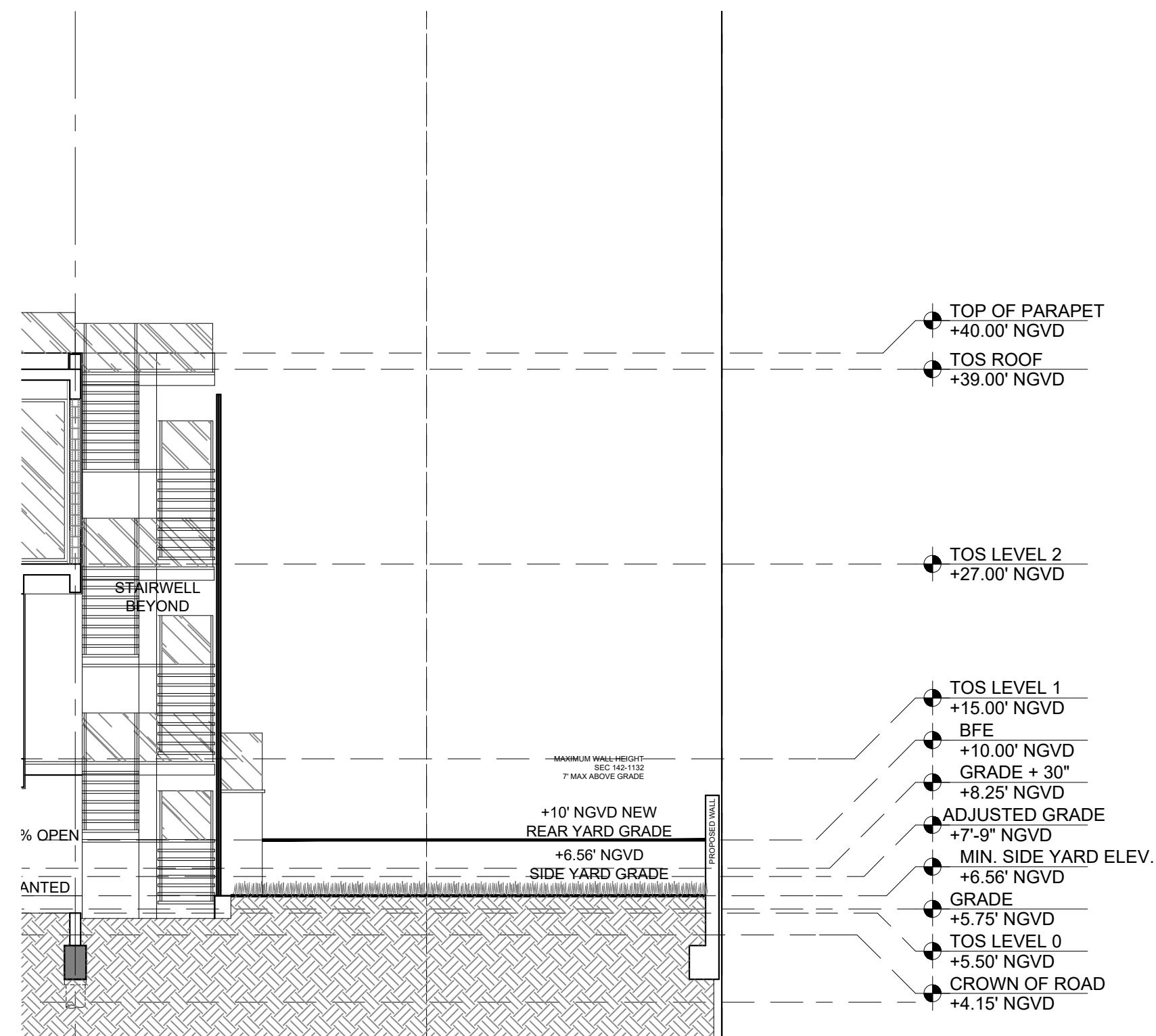
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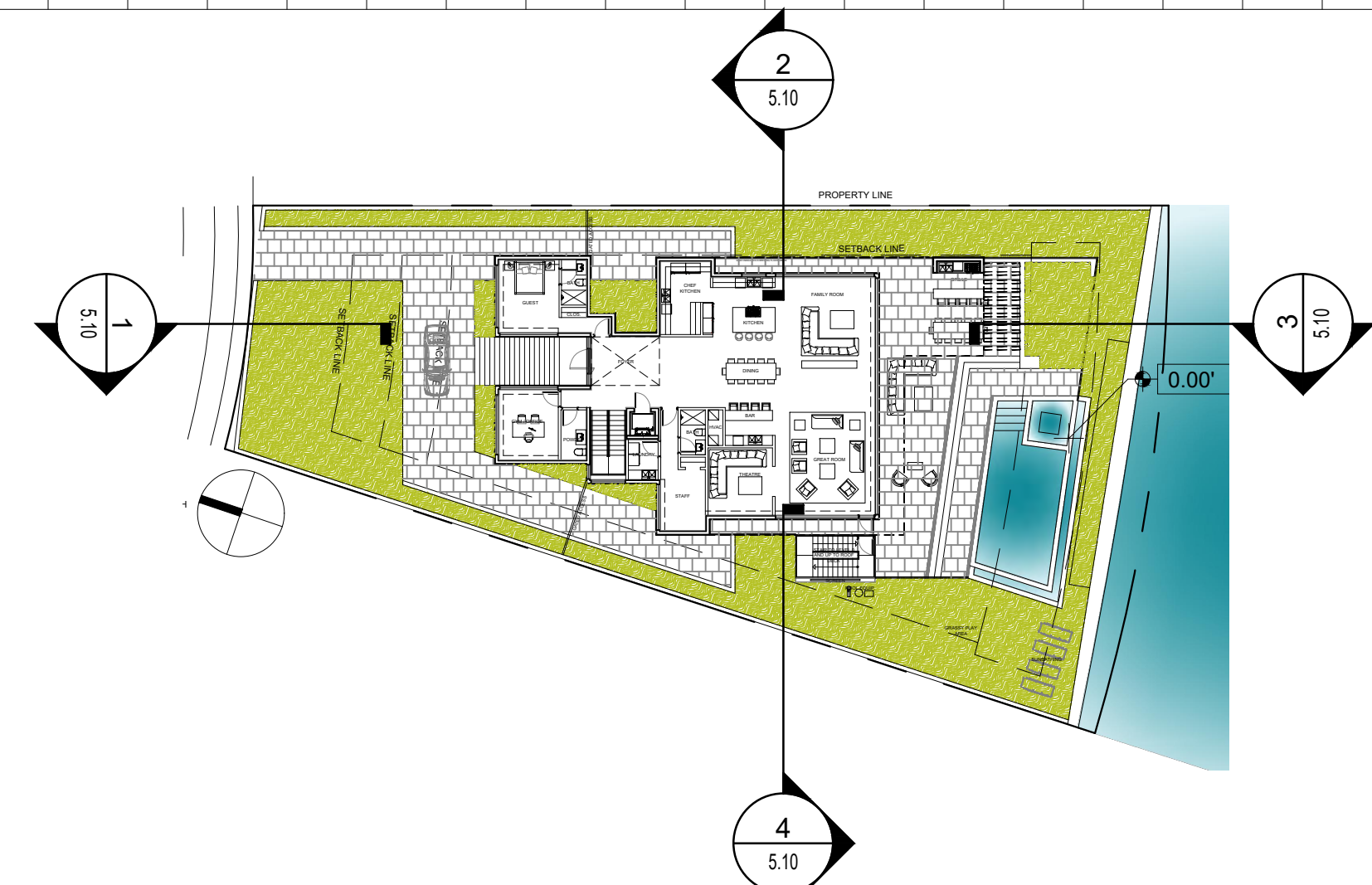
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3 REARYARD SITE SECTION
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4 WEST SIDEYARD SITE SECTION
Scale: 1/8" = 1'-0"



SECTION LOCATION KEY

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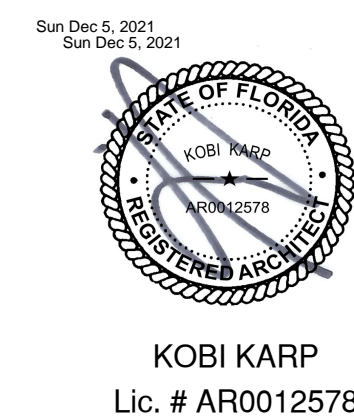
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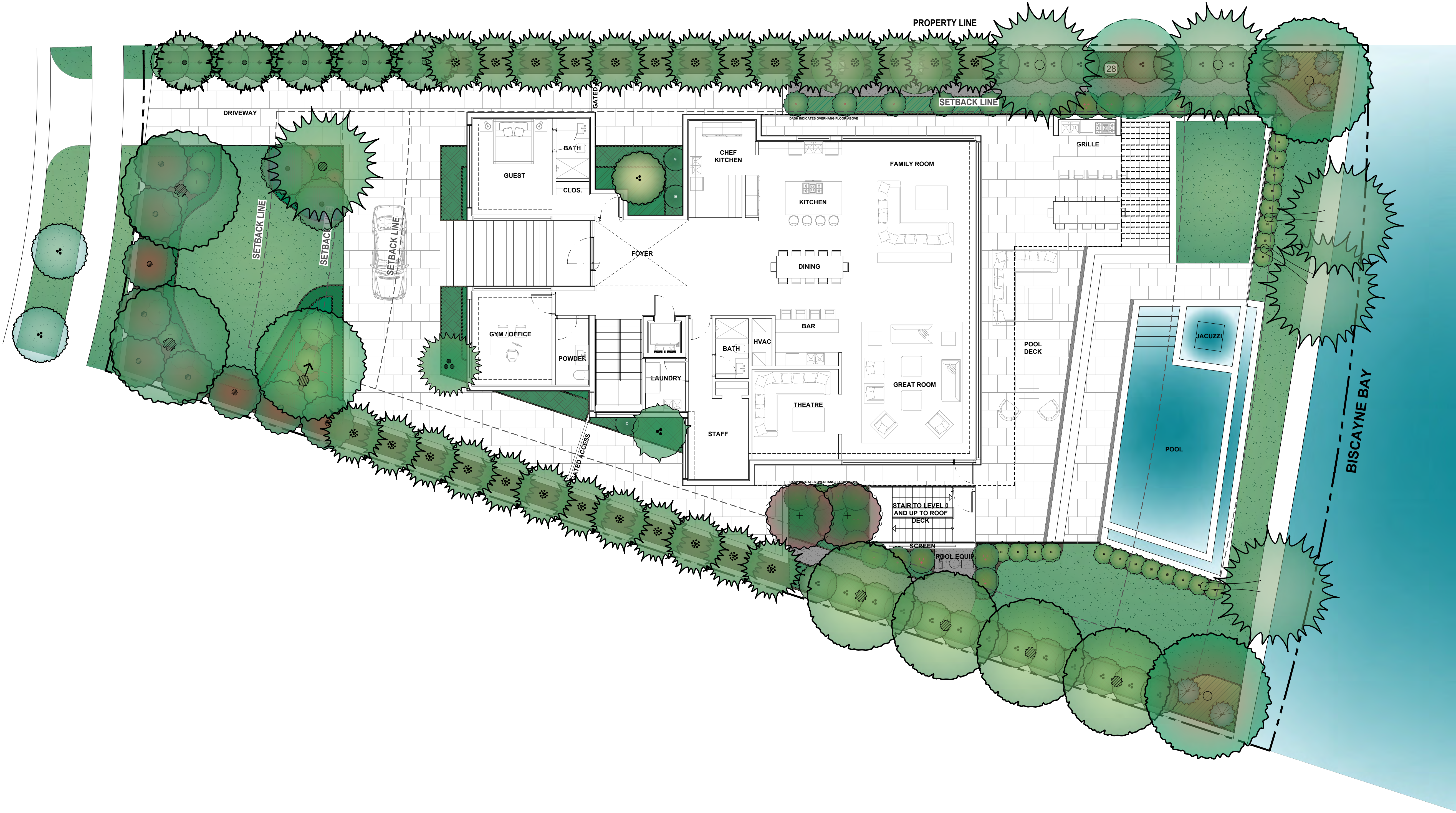
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SECTION

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E RIVO ALTO DRIVE



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LR-200	TREE DISPOSITION SCHEDULE & DETAILS
LR-300	TREE DISPOSITION GENERAL NOTES
LP-100	PLANTING CANOPY PLAN
LP-200	PLANTING UNDERSTORY PLAN - LEVEL 0
LP-201	PLANTING UNDERSTORY PLAN - LEVEL 1
LP-202	PLANTING UNDERSTORY PLAN - LEVEL 2
LP-203	PLANTING UNDERSTORY PLAN - ROOF LEVEL
LP-300	PLANTING SCHEDULE & GENERAL NOTES
LP-400	TREE REPLACEMENT SCHEDULE & LANDSCAPE LEGEND



Rev.	Date	Rev.	Date
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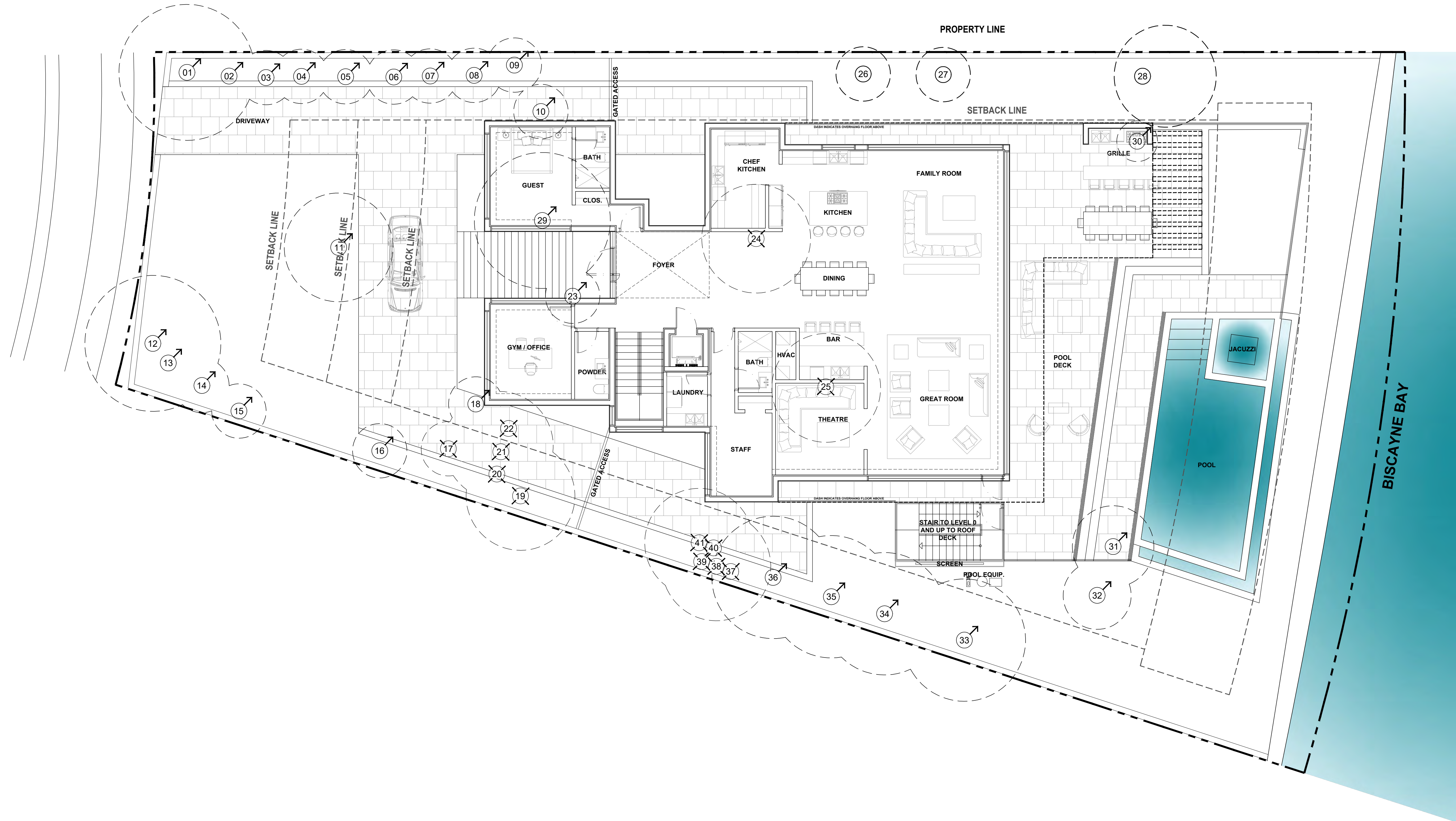
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DAVID J. ODISHOO
RLA #6666969

COVER AND INDEX

Date: 12-03-2021	Sheet No.
Scale: 1/8"=1'-0"	GI-100
Project #: 21024	

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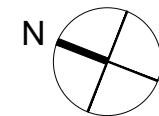


EXISTING TREE & PALM LEGEND	
	= TREE OR PALM TO REMAIN
	= TREE OR PALM TO RELOCATE
	= TREE OR PALM TO REMOVE

TREE DISPOSITION PLAN

SCALE: 1/8" = 1'-0"

0 5' 10' 25' 50'



Rev.	Date	Rev.	Date

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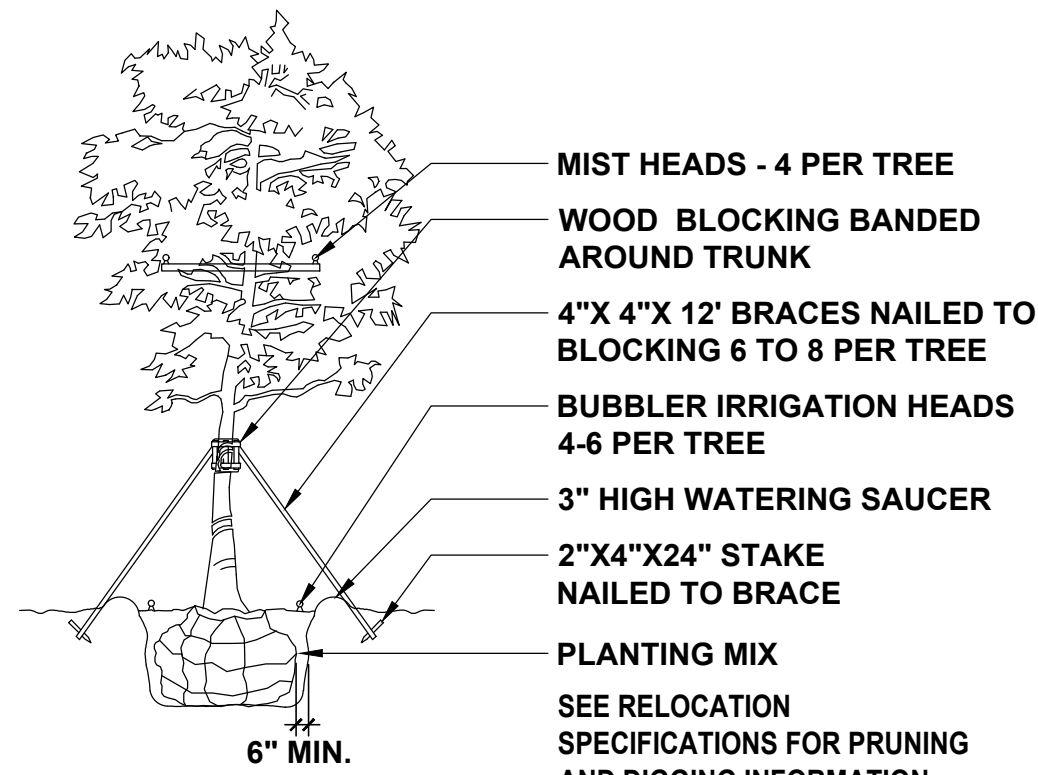
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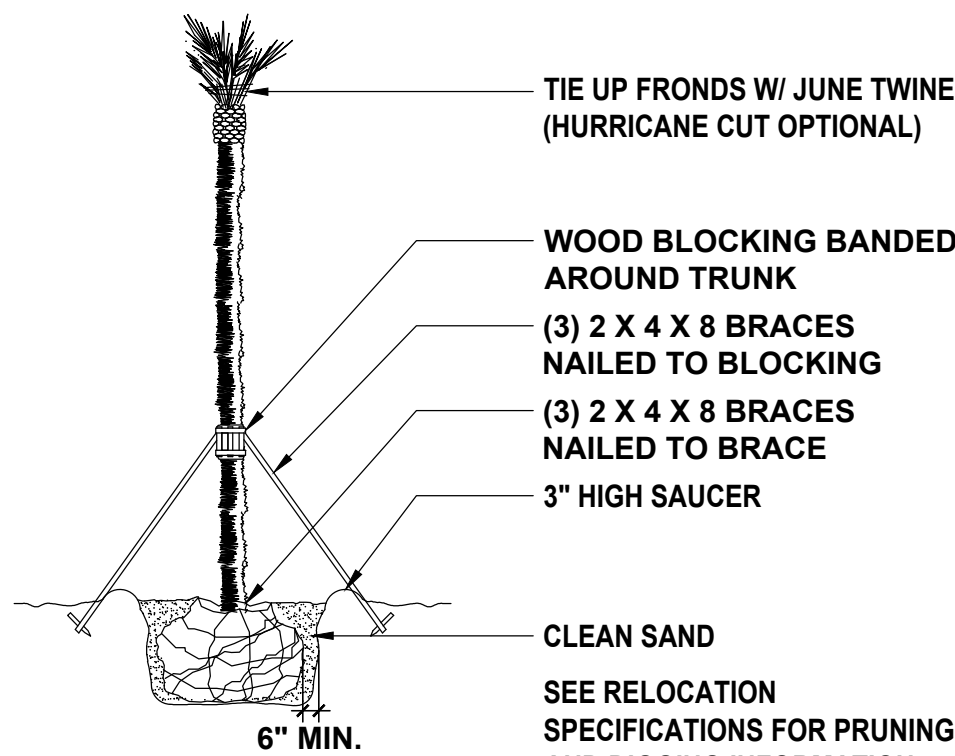
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TREE DISPOSITION PLAN

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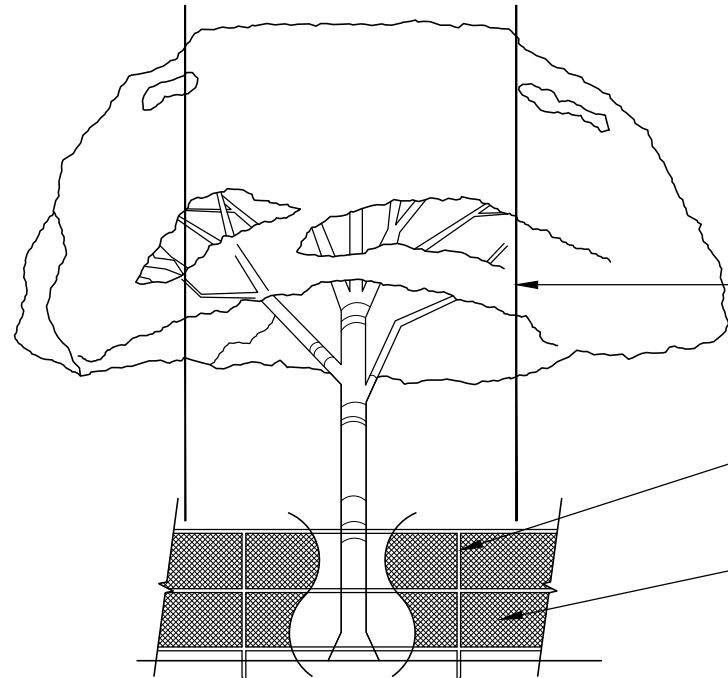
1 TREE RELOCATION DETAIL



2 PALM RELOCATION DETAIL

TREE / PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES / PALMS THAT ARE 'TO REMAIN, BE PROTECTED, OR BE RELOCATED'

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING 'VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC.



IN NO CASE SHALL THE FENCE BE INSTALLED LESS THAN TEN FEET FROM THE TRUNK

TREE + PALM PROTECTION BARRIERS TO EXTEND BEYOND THE 'DRIPLINE' OR TO THE 'CRITICAL ROOT ZONE AREA' OF ALL TREES / PALMS TO BE PROTECTED. EXTEND WHERE NECESSARY TO PROTECT TREE CANOPY ROOTS. BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH, AND SHALL BE CONSTRUCTION OF CONTINUOUS CHAIN LINK FENCE WITH METAL POSTS AT EIGHT-FOOT SPACING, OR OF TWO-BY-FOUR-INCH POSTS WITH THREE EQUALLY SPACED TWO-BY-FOUR-INCH RAILS. POSTS MAY BE SHIFTED TO AVOID ROOTS.

PROTECTION DETAIL NOTE
CONTRACTOR TO INSTALL 'TREE / PALM PROTECTION FENCE BARRIERS' AROUND ALL EXISTING TREES OR PALMS AT THE START OF THE PROJECT. BARRIERS TO REMAIN IN PLACE THROUGHOUT THE DURATION OF PROJECT AND SHOULD NOT BE REMOVED OR DROPPED FOR ANY REASON WITHOUT AUTHORIZATION FROM THE CITY OF MIAMI BEACH URBAN FORESTED + PLANNING + ZONING DEPARTMENT.

3 CITY OF MIAMI BEACH TREE / PALM PROTECTION DETAIL

EXISTING TREE DISPOSITION SCHEDULE (PROPERTY)

TREE NUMBER	COMMON NAME	SCIENTIFIC NAME	NATIVE	DIAMETER (IN)	HEIGHT (FT)	CANOPY (FT)	TRUNKS	CONDITION	DISPOSITION
1	Live Oak	Quercus virginiana	Yes	9	30	20			Relocate
2	Christmas Palm	Adonidia merrillii	No	5	24	8	Double		Relocate
3	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
4	Christmas Palm	Adonidia merrillii	No	5	24	8	Double		Relocate
5	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
6	Christmas Palm	Adonidia merrillii	No	5	24	8	Double		Relocate
7	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
8	Christmas Palm	Adonidia merrillii	No	5	24	8	Double		Relocate
9	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
10	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
11	Date Palm	Phoenix dactylifera	No		28	16	Single		Relocate
12	Live Oak	Quercus virginiana	Yes	12	30	20			Relocate
13	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
14	Christmas Palm	Adonidia merrillii	No	5	24	8			Relocate
15	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
16	Japanese Blueberry	Elaeocarpus decipiens	No	5	13	8			Relocate
17	Christmas Palm	Adonidia merrillii	No	5	24	8	Double		Remove
18	Japanese Blueberry	Elaeocarpus decipiens	Yes	5	13	8			Relocate
19	White Bird of Paradise	Strelitzia nicolai	No	8	35	16			Remove
20	White Bird of Paradise	Strelitzia nicolai	No	9	35	16			Remove
21	White Bird of Paradise	Strelitzia nicolai	No	10	35	16			Remove
22	White Bird of Paradise	Strelitzia nicolai	No	12	35	16			Remove
23	Song of India	Dracaena reflexa	No	4	13	8	Multi		Relocate
24	White Bird of Paradise	Strelitzia nicolai	No	12	35	16	Multi		Remove
25	White Bird of Paradise	Strelitzia nicolai	No	10	35	16	Multi		Remove
26	Christmas Palm	Adonidia merrillii	No	6	35	8	Double		Remain
27	Christmas Palm	Adonidia merrillii	No	6	35	8	Double		Remain
28	Seagrape	Coccoloba uvifera	Yes	14, 18	27	16	Double		Remain
29	Silver Trumpet Tree	Tabebuia caraiba	No	18	30	20			Relocate
30	Lignum Vitae	Guaicum sanctum	Yes	4	6	6			Relocate
31	Lignum Vitae	Guaicum sanctum	Yes	4	7	12			Relocate
32	Miraguama Palm	Coccothrinax miraguama	Yes	5	18	10	Triple		Relocate
33	Brazilian Beautyleaf	Callophyllum antillanum	No	10	35	18			Relocate
34	Brazilian Beautyleaf	Callophyllum antillanum	No	10	35	18			Relocate
35	Brazilian Beautyleaf	Callophyllum antillanum	No	10	35	18			Relocate
36	Brazilian Beautyleaf	Callophyllum antillanum	No	10	35	18			Relocate
37	White Bird of Paradise	Strelitzia nicolai	No	9	35	16			Remove
38	White Bird of Paradise	Strelitzia nicolai	No	12	35	16			Remove
39	White Bird of Paradise	Strelitzia nicolai	No	10	35	16			Remove
40	White Bird of Paradise	Strelitzia nicolai	No	9	35	16			Remove
41	White Bird of Paradise	Strelitzia nicolai	No	10	35	16			Remove

TREE DISPOSITION SUMMARY

	REMAIN	RELOCATE	REMOVE	TOTAL TREES	TOTAL PALMS	TOTAL OTHER
TREES	1	18	0	19		
PALMS	2	8	1		11	
OTHER*	0	0	11			11

*White Bird of Paradise

Rev.	Date	Rev.	Date
1		9	
2		10	
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4		12	
5		14	
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TREE DISPOSITION SCHEDULE &
TREE PROTECTION DETAILS

Date:	12-03-2021	Sheet No.
Scale :		LR-200
Project # :	21024	

TREE / PALM PROTECTION NOTES

1. CONTRACTOR QUALIFICATIONS

- 1.1. CONTRACTOR MUST BE A LICENSED LANDSCAPE CONTRACTOR.
- 1.2. CONTRACTOR MUST HAVE A MINIMUM OF 10 YEARS OF PROVEN EXPERIENCE RELOCATING LARGE SPECIMEN TREES AND PALMS IN SOUTH FLORIDA.
- 1.3. CONTRACTOR MUST HAVE PROVEN EXPERIENCE RELOCATING TREES AND PALMS OF THE SAME SPECIES AND SIZE AS THOSE TO BE RELOCATED FOR THE CURRENT PROJECT.
- 1.4. CONTRACTOR MUST HAVE A CERTIFIED ARBORIST ON STAFF.

2. CONTRACTOR REQUIREMENTS

- 2.1. CONTRACTOR MUST VISIT THE JOBSITE AND INSPECT ALL TREES AND PALMS TO BE RELOCATED AS WELL AS EXISTING SITE CONDITIONS AND RESTRICTIONS PRIOR TO PREPARING BID.
- 2.2. CONTRACTOR MUST VERIFY AND ENSURE THAT ALL TREES AND PALMS IDENTIFIED ON THE PLANS AND THOSE TAGGED ON THE JOBSITE CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO PREPARING BID.
- 2.3. CONTRACTOR MUST CONDUCT ALL WORK ASSOCIATED WITH RELOCATION AND MAINTENANCE OF TREES AND PALMS TO BE RELOCATED. NO WORK IS TO BE SUBCONTRACTED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- 2.4. CONTRACTOR MUST DESIGNATE A COMPETENT, SUPERVISOR OR FOREMAN TO OVERSEE AND DIRECT ALL RELOCATION AND MAINTENANCE ACTIVITIES AS OUTLINED IN THESE SPECIFICATIONS.
- 2.5. CONTRACTOR MUST SCHEDULE ROOT PRUNING TO PROVIDE THE MAXIMUM POSSIBLE TIME FOR NEW ROOT GROWTH: EVEN TREES AND PALMS THAT TYPICALLY DO NOT REQUIRE LONG (OR ANY) ROOT PRUNING WILL BENEFIT FROM MORE ROOT PRUNING TIME; THEREFORE, ALL TREES AND PALMS TO BE RELOCATED MUST BE ROOT PRUNED. CONTRACTOR MUST PROVIDE A ROOT PRUNE SCHEDULE FOR EACH TREE OR PALM TO BE RELOCATED AS AN ATTACHMENT TO THE BID.
- 2.6. CONTRACTOR MUST CALL SUNSHINE 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED UNDER OR IN THE VICINITY OF THE CURRENT OR FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED PRIOR TO WORK COMMENCING.
- 2.7. CONTRACTOR MUST VERIFY WITH THE GENERAL CONTRACTOR THE ABSENCE OF ANY UNDERGROUND CONSTRUCTION OR OBSTRUCTIONS (E.G., BULKHEADS, SEPTIC SYSTEMS, ETC.) IN THE CURRENT AND FUTURE LOCATIONS OF ALL TREES AND PALMS TO BE RELOCATED.
- 2.8. CONTRACTOR MUST ALERT THE LANDSCAPE ARCHITECT OF ANY TREES OR PALMS THAT WILL NOT SUCCESSFULLY RELOCATE DUE TO POOR HEALTH PRIOR TO BEGINNING ROOT PRUNING.
- 2.9. CONTRACTOR MUST FLAG ALL PROPOSED TRANSPLANT LOCATIONS FOR THE LANDSCAPE ARCHITECT'S APPROVAL, A MINIMUM OF 15 DAYS PRIOR TO RELOCATION.
- 2.10. CONTRACTOR MUST ENSURE THAT ALL TREES AND PALMS TO BE RELOCATED ARE INSTALLED AT THE CORRECT GRADE OR ELEVATION, ACCORDING TO THE GRADING PLAN.
- 2.11. CONTRACTOR MUST ENSURE THAT ALL ROOT FLARES ARE EXPOSED AFTER RELOCATION.
- 2.12. CONTRACTOR MUST REMOVE ALL RESIDUAL ROOTS, STUMPS, AND PORTIONS THEREOF AND BACKFILL PITS FROM WHICH RELOCATED TREES AND PALMS WERE REMOVED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- 2.13. CONTRACTOR MUST REPAIR ANY DAMAGE TO OTHER PLANTS, LAWN, HARDSCAPES, OR NEW CONSTRUCTION WITHIN THE RELOCATION AREA AT CONTRACTOR'S EXPENSE. HARDSCAPES INCLUDE BUT ARE NOT LIMITED TO CURBS, WALKS, ROADS, FENCES, SITE FURNISHINGS, ETC.
- 2.14. CONTRACTOR MUST PHOTOGRAPHICALLY DOCUMENT NEW ROOT GROWTH FOLLOWING EACH ROOT PRUNE AND SUBMIT THIS DOCUMENTATION TO THE LANDSCAPE ARCHITECT. THE PURPOSE OF THIS REQUIREMENT IS TO ENSURE THAT SUFFICIENT ROOT GROWTH HAS OCCURRED PRIOR TO THE SECOND AND SUBSEQUENT ROOT PRUNES AND FOLLOWING THE FINAL ROOT PRUNE PRIOR TO RELOCATION.
- 2.15. CONTRACTOR MUST INSTALL AND MAINTAIN PROTECTION FENCING AROUND EACH TREE AND PALM TO BE RELOCATED BOTH DURING ROOT PRUNING AND AFTER RELOCATION. PROTECTION FENCING MUST CONSIST OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH ATTACHED TO 4" X 4' POSTS INSERTED AROUND THE PERIMETER OF THE DRIPLINE OF THE TREE OR PALM. PROTECTION FENCING MUST BE PLUMB, TAUT, AND STURDY AT ALL TIMES AND MUST REMAIN IN PLACE THROUGHOUT THE ROOT PRUNING AND WARRANTY PERIODS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- 2.16. CONTRACTOR MUST OBTAIN ALL NECESSARY OR REQUIRED PERMITS FOR THE RELOCATION AND TRANSPORTATION OF THE TREES AND PALMS TO BE RELOCATED.
- 2.17. CONTRACTOR MUST REPLACE ANY TREES OR PALMS SCARRED OR DAMAGED DURING RELOCATION, AT THE CONTRACTOR'S EXPENSE, WITH THE SAME OR SIMILAR SPECIES, SIZE, AND QUALITY. REPLACEMENT TREES OR PALMS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION, AND/OR INSTALLATION. REPLACEMENT TREES AND PALMS MUST BE INSTALLED WITHIN 60 DAYS OF NOTICE.
- 2.18. CONTRACTOR MUST GUARANTEE ALL RELOCATED TREES AND PALMS FOR ONE YEAR FROM THE DATE OF RELOCATION TO THE FINAL LOCATION. GUARANTY MUST INCLUDE TREE HEALTH AND SETTLING.
- 2.19. CONTRACTOR MUST PROVIDE ALL MATERIAL NECESSARY TO PERFORM THE WORK COVERED HEREIN, INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTION FENCING, FLAGGING, ADDITIVES AND SUPPLEMENTS, TEMPORARY IRRIGATION, BURLAP, WIRE, SHRINK WRAP, AND ALL NECESSARY TOOLS AND EQUIPMENT.

3. ROOT PRUNING SPECIFICATIONS

3.1. GENERAL

- 3.1.1. ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 2-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- 3.1.2. EACH TREE AND PALM MUST THEN BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN, DURING THE ENTIRE ROOT PRUNING PROCESS EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- 3.1.3. TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24-HOUR PERIOD. NO TREES OR PALMS MAY BE "STOCKPILED" ONSITE OR OFFSITE FOR ANY PERIOD OF TIME WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. WHEN ALLOWED, APPROVAL FOR THE METHOD OF "STOCKPILING" MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT.
- 3.1.4. ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND; NO MACHINERY WILL BE ALLOWED. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN, SHARP TOOLS. DO NOT PAINT CUT ROOTS WITH TREE PAINT OR ANY KIND OF SEALANT.
- 3.1.5. MYCORRHIZA (ROOTS® TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURES RECOMMENDATIONS.
- 3.1.6. AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY ADDED SUPPLEMENTS DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.
- 3.1.7. ONCE THE TREE RING IS CONSTRUCTED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.

3.2. TREES

- 3.2.1. PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.
- 3.2.2. MANY TREE RELOCATION SPECIFICATIONS USE "GENERAL RULES" TO CALCULATE MINIMUM ROOTBALL DIAMETER, SUCH AS MULTIPLYING THE DIAMETER AT BREAST HEIGHT (DBH) OF THE TREE BY A FACTOR OF 10 OR ALLOWING A MINIMUM OF 9-12" OF ROOTBALL FOR EVERY 1" OF TREE CALIPER. OTHERS LIST UNREALISTIC MINIMUM SIZES FOR THE ROOTBALLS OF VARIOUS TREE CALIPERS OR HEIGHTS. IN MANY CASES, SUCH APPROACHES RESULT IN ROOTBALLS THAT ARE EITHER TOO LARGE OR TOO SMALL FOR A GIVEN TREE. THE FOLLOWING TABLE LISTS MINIMUM ROOTBALL DIAMETERS BASED ON REAL-WORLD EXPERIENCE OF TREE RELOCATION SPECIALISTS IN SOUTH FLORIDA:

CALIPER (inches)	MIN. ROOTBALL DIA. (feet)	CALIPER (inches)	MIN. ROOTBALL DIA. (feet)
1 - 4	3	12 - 14	8
4 - 5	4	15 - 17	10
6 - 7	5	18 - 24	12 - 15
8 - 9	6	25 - 30	15 - 25
10 - 11	7	30 +	as needed

- 3.2.3. WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.
- 3.2.4. MINIMUM ROOTBALL DEPTH MUST BE 24-36" FOR ALL TREES TO BE RELOCATED, WITH THE ACTUAL DEPTH TO BE DETERMINED ONLY AFTER A THOROUGH EXAMINATION OF ALL ROOTS DURING THE INITIAL ROOT INSPECTION AND BASED ON THE ABSENCE OF MAJOR ROOTS AT THE BOTTOM OF THE ROOTBALL. ROOTBALLS DEEPER THAN 36" MAY BE REQUIRED FOR LARGE SPECIMEN TREES. DEPENDING ON THE RELATIVE LOCATIONS AND DEPTHS OF THE MAJOR ROOTS AS OBSERVED DURING THE INITIAL ROOT INSPECTION.

- 3.2.5. AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10" IS 12 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 6 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 3 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- 3.2.6. AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10" OR GREATER IS 24 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- 3.2.7. CERTAIN HARDWOOD TREES AND GYMNOSPERMS REQUIRE LONGER ROOT PRUNING TIMES. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
- AVOCADO (*PERSEA AMERICANA*)
 - BLACK OLIVE (*BUCIDA BUCERAS*)
 - BRIDALVEIL (*CAESALPINIA GRANADILLO*)
 - CASSIAS (ALL SPECIES OF *CASSIA*)
 - LIGNUM VITAE (*GUAIACUM SANCTUM & G. OFFICINALE*)
 - PODOCARPUS (*PODOCARPUS* SP.)
 - LIVE OAK (*QUERCUS VIRGINIANA*)
 - MAHOGANY (*SWietenia MAHAGONI*)
 - MANGO (*MANGIFERA INDICA*)
 - PIGEON PLUM (*COCCOLOBA DIVERSIFOLIA*)
 - SWEET ACACIA (*ACACIA FARNESIANA*)
 - VERAWOOD (*BULNESIA ARBOREA*)
 - WILD TAMARIND (*LYSILOMA LATISILIQUUM & L. SABICU*)

FOR THESE TREES, THE MINIMUM ROOT PRUNE TIMES DISCUSSED IN SECTIONS 3.2.5 AND 3.2.6 ABOVE MAY BE INSUFFICIENT. ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING AN EARLIER ROOT PRUNE CAN THE NEXT ROOT PRUNE BE DONE, AND ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING THE FINAL ROOT PRUNE MAY THE TREE BE RELOCATED (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS).

3.1. PALMS

- 3.1.1. THE FOLLOWING TABLE LISTS MINIMUM ROOTBALL DIAMETERS FOR VARIOUS SPECIES OF PALMS BASED ON REAL-WORLD EXPERIENCE OF RELOCATION SPECIALISTS IN SOUTH FLORIDA:

PALM SPECIES	ROOTBALL SPECIFICATIONS
SABAL / CABBAGE PALM	36" diameter
QUEEN & FOXTAIL PALMS	12" from trunk in all directions
ROYAL & COCONUT PALMS	18 - 24" from trunk in all directions
CANARY DATE PALM	24" from trunk in all directions
SLOW-GROWING PALMS (see sec. 3.3.4)	24" from trunk in all directions

- 3.1.2. PALM ROOTBALLS MUST BE A MINIMUM OF 24" DEEP, WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.
- 3.1.3. AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR PALMS IS 6-8 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER TWO SIDES DONE A MINIMUM OF 3-4 WEEKS LATER, AND A THIRD ROOT PRUNE ON THE LAST SIDE DONE A MINIMUM OF 4-6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNES IS EVIDENT (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS). MORE TIME MAY BE NEEDED DURING THE COOLER MONTHS OF THE YEAR.
- 3.1.4. CERTAIN PALMS, IN PARTICULAR THOSE THAT ARE SLOW GROWING, REQUIRE LONGER ROOT PRUNING TIME. THESE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
- ALL SPECIES OF *ARCHONTOPHOENIX*
 - ALL SPECIES OF *CORYPHA*
 - AMERICAN OIL PALMS (ALL SPECIES OF *ATTALAEA*)
 - BISMARCK PALM (*BISMARCKIA NOBILIS*)
 - CUBAN & CARIBBEAN *COPERNICIA*
 - CUBAN BELLY PALM (*GASTROCOCOS CRISPA*)
 - GINGERBREAD/DOUM PALMS (ALL SPECIES OF *HYPHAENE*)
 - PALMYRA PALMS (ALL SPECIES OF *BORASSUS*)
 - SATAKE PALM (*SATAKENTIA LUKIUNENSIS*)
 - SAW PALMETTO (*SERENOA REPENS*)
 - SILVER PALM (*COCCOTHRIXINAX ARGENTATA*)
 - ZOMBIE PALM (*ZOMBIA ANTILLARUM*)

FOR THESE PALMS, THE MINIMUM ROOT PRUNING TIME IS 4-6 MONTHS OR GREATER. ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING AN EARLIER ROOT PRUNE CAN THE NEXT ROOT PRUNE BE DONE, AND ONLY WHEN SUFFICIENT NEW ROOT GROWTH HAS TAKEN PLACE FOLLOWING THE FINAL ROOT PRUNE MAY THE TREE BE RELOCATED (SEE SECTION 2.14 ABOVE FOR SPECIFICATIONS ON PHOTOGRAPHICALLY DOCUMENTING NEW ROOT GROWTH DURING THE ROOT PRUNE PROCESS).

4. CANOPY PRUNING SPECIFICATIONS

4.1. TREES

- 4.1.1. PRIOR TO RELOCATION, THE CANOPY OF EACH TREE TO BE RELOCATED MUST BE SELECTIVELY PRUNED TO REMOVE CROSSING, DEAD, DISEASED, BROKEN, AND LOW-HANGING BRANCHES THAT MAY INTERFERE WITH CONSTRUCTION ACTIVITIES, OR THAT MAY INTERFERE OR RESTRICT STRAPPING OR LIFTING THE TREE DURING RELOCATION.
- 4.1.2. FOR TREES BEING RELOCATED ONSITE, THE CANOPY MAY BE SELECTIVELY THINNED AND REDUCED BY NO MORE THAN 1/3 OF THE OVERALL CANOPY MASS, AT THE DIRECTION OF THE LANDSCAPE ARCHITECT; HOWEVER, THE BASIC SHAPE, FORM, AND CHARACTER OF THE TREE MUST BE PRESERVED.
- 4.1.3. FOR TREES BEING RELOCATED OFFSITE, THE CANOPY MUST BE PRUNED, AT THE DIRECTION OF THE LANDSCAPE ARCHITECT, TO FIT ON THE TRAILER FOR TRANSPORT. EVERY EFFORT MUST BE MADE TO RETAIN AS MANY LARGE BRANCHES AS POSSIBLE AND TO PRESERVE AS MUCH OF THE SHAPE, FORM, AND CHARACTER OF THE TREE AS POSSIBLE TO THE WIDEST LOAD WIDTH ALLOWABLE BY THE FLORIDA DEPARTMENT OF TRANSPORTATION. CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND ESCORTS TO TRANSPORT WIDE LOADS, PER FLORIDA LAW.
- 4.1.4. ALL CANOPY PRUNING MUST BE CONDUCTED FOLLOWING ANSI A-300 TREE PRUNING STANDARDS AND BEST MANAGEMENT PRACTICES.
- 4.1.5. ALL DEBRIS GENERATED DURING CANOPY PRUNING MUST BE REMOVED OFFSITE AND DISPOSED.

4.2. PALMS

- 4.2.1. IT IS WELL KNOWN THAT SOME PALMS SURVIVE RELOCATION BETTER WHEN ALL OF THE LEAVES ARE REMOVED (E.G., CABBAGE PALM, *SABAL PALMETTO*), AND THAT OTHER PALMS BENEFIT FROM HAVING THEIR LEAVES CUT IN HALF DURING RELOCATION (E.G., COCONUT PALM, *COCOS NUCIFERA*). BOTH OF THESE HORTICULTURAL PRACTICES, WHILE TRUE, ARE ONLY APPLICABLE WHEN PALMS ARE NOT ROOT PRUNED. LEAVES DO NOT NEED TO BE CUT IN HALF OR REMOVED FROM PALMS THAT ARE ADEQUATELY ROOT PRUNED. ON OCCASION WHEN SUFFICIENT ROOT PRUNING TIME IS NOT AVAILABLE, PALMS TO BE RELOCATED MAY HAVE THEIR LEAVES CUT IN HALF OR REMOVED ENTIRELY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- 4.2.2. PALM LEAVES MUST BE TIED UP WITH 2-PLY BIODEGRADABLE TWINE PRIOR TO RELOCATION TO PREVENT MECHANICAL DAMAGE DURING THE RELOCATION PROCESS.
- 4.2.3. PALM TRUNKS SHALL ONLY BE "CLEANED UP" ACCORDING TO THE LANDSCAPE ARCHITECT'S SPECIFICATIONS SPECIFIC TO EACH PALM.

5.RELOCATION SPECIFICATIONS

5.1. GENERAL

- 5.1.1. LANDSCAPE CONTRACTOR TO FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 15 DAYS PRIOR TO REVIEW.
- 5.1.2. ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 5 DAYS PRIOR TO ANY RELOCATION TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.
- 5.1.3. ALL ROOTBALLS MUST BE WRAPPED IN BURLAP AND THEN TIGHTLY WIRE-WRAPPED (USING RED LINE HORSE WIRE OR EQUIVALENT) TO KEEP THE ENTIRE ROOTBALL INTACT DURING RELOCATION. TREES AND PALMS GROWING IN LIMESTONE MUST BE DUG AND RELOCATED WITH THE ROOTS ATTACHED TO A SECTION OF ROCK AS PART OF THE ROOTBALL, SUCH THAT THE ROOTS REMAIN INTACT. ROOTBALLS COMING FROM SAND OR SANDY SOIL MAY ALSO NEED TO BE BOXED PRIOR TO RELOCATION, AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- 5.1.4. TREES AND PALMS BEING RELOCATED OFFSITE MUST HAVE THEIR ENTIRE ROOTBALLS THOROUGHLY AND TIGHTLY WRAPPED WITH PLASTIC SHRINK WRAP ON THE OUTSIDE OF THE WIRE WRAP, AND THE ENTIRE TREE OR PALM (INCLUDING CANOPY, TRUNK, AND ROOTBALL) MUST BE COVERED WITH A BREATHABLE TARP (E.G., SHADE CLOTH) DURING TRANSPORT.
- 5.1.5. NEW PLANTING PITS FOR RELOCATED TREES AND PALMS MUST BE PREPARED PRIOR TO LIFTING THE PALM OR TREE FROM ITS CURRENT LOCATION AND MUST BE AT LEAST 3-4 FEET WIDER THAN THE ROOTBALL AND THE SAME DEPTH AS THE ROOTBALL, SUCH THAT THE FINAL ELEVATION OF THE TOP OF THE ROOTBALL IS AT OR SLIGHTLY ABOVE (NO MORE THAN 2" HIGHER) FINAL GRADE.
- 5.1.6. TREES AND PALMS TO BE RELOCATED MUST BE LIFTED BY THE ROOTBALL ONLY, USING APPROPRIATELY SIZED (LENGTH AND STRENGTH) LIFTING STRAPS OR CHAINS. DURING LIFTING, THE TREE OR PALM MUST BE BALANCED IN A MORE-OR-LESS UPRIGHT POSITION, WITH THE STRAP ON THE TRUNK USED ONLY FOR BALANCING AND MANEUVERING THE TREE OR PALM INTO POSITION. NO CHAINS MAY BE USED AROUND OR AGAINST THE TRUNK AT ANY TIME. AT NO TIME SHALL 100% OF THE WEIGHT OF THE TREE OR PALM BE ON THE STRAP ATTACHED TO THE TRUNK. TRUNKS MUST BE HEAVILY PADDED WITH 30-60 LAYERS (DEPENDING ON SIZE AND WEIGHT) OF BURLAP BENEATH THE BALANCING STRAP.
- 5.1.7. TREES AND PALMS MUST BE LIFTED WITH A CRANE OR BACKHOE APPROPRIATELY SIZED FOR THE SIZE AND WEIGHT OF THE TREE OR PALM AND LIFTED OR CARRIED DIRECTLY TO THE FINAL INSTALL LOCATION OR TRANSPORT TRAILER.
- 5.1.8. ONCE LIFTING BEGINS, ANY UNCUT ROOTS UNDER OR AROUND THE ROOTBALL THAT MAY YET REMAIN MUST BE IMMEDIATELY SEVERED WITH HAND PRUNING TOOLS TO MINIMIZE TEARING AND ROOT DAMAGE.
- 5.1.9. AGRIFORM PLANTING TABLETS (OR APPROVED EQUIVALENT) MUST BE EVENLY DISTRIBUTED AROUND THE PERIMETER OF THE PLANTING PIT AT THE RATE OF 2 TABLETS PER 1" TRUNK CALIPER PRIOR TO BACKFILLING.
- 5.1.10. MYCORRHIZA (ROOTS® TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING.
- 5.1.11. RELOCATED TREES AND PALMS MUST BE CENTERED IN THE PLANTING PIT, AND THE PIT BACKFILLED USING A 1:1 MIXTURE OF EXISTING SOIL AND 80:20 (DOT SAND:MUCK) SOIL MIX THOROUGHLY BLENDED TOGETHER. DO NOT USE MUDDY SOIL AS BACKFILL. (SEE 5.2.2 BELOW FOR SPECIAL CONDITIONS REGARDING DATE PALM BACKFILL SPECIFICATIONS.)
- 5.1.12. SMALL TREES AND PALMS MUST BE FIRMLY BRACED USING A MINIMUM OF FOUR 4" X 4" WOODEN BRACES ATTACHED TO 2" X 4" WOODEN BATTENS HELD IN PLACE WITH TWO STEEL BANDS. LARGER TREES MAY REQUIRE 6" X 6" WOODEN POSTS OR EVEN TELEPHONE POLES TO PROVIDE SUFFICIENT BRACING STRENGTH TO PREVENT TOPPLING DURING WIND EVENTS. A SUFFICIENT NUMBER OF BATTENS MUST BE STRATEGICALLY PLACED AROUND THE TRUNK SUCH THAT THE STEEL BANDS NEVER CONTACT THE TRUNK. NO BURLAP IS TO REMAIN UNDER THE WOODEN BATTENS ON TREES DURING BRACING, BUT SEVERAL LAYERS OF BURLAP SHOULD BE LEFT UNDER THE WOODEN BATTENS WHEN BRACING PALMS. NAILS SHALL NEVER BE DRIVEN DIRECTLY INTO THE TRUNK DURING BRACING. BRACING MUST REMAIN IN PLACE FOR A MINIMUM OF ONE YEAR.
- 5.1.13. A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY SUPPLEMENTS THAT ARE ADDED DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.
- 5.1.14. ONCE THE TREE RING IS CONSTRUCTED, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN.
- 5.1.15. ROOTBALLS MUST BE THOROUGHLY WATERED IN USING A HOSE AND A JOHNSON BAR INSERTED TO THE VERY BOTTOM OF THE ROOTBALL AND SWUNG BACK AND FORTH TO PREVENT FORMATION OF AIR POCKETS. THE JOHNSON BAR TECHNIQUE MUST BE REPEATED AT LEAST ONCE MORE WITHIN ONE WEEK AFTER RELOCATION, AND AGAIN IF ANY SIGNS OF STRESS BECOME APPARENT.
- 5.1.16. ORGANIC MULCH (MELALEUCA IS PREFERRED) MUST BE APPLIED WITHIN 48 HOURS OF RELOCATION AT A DEPTH OF 3-4" OVER THE ENTIRE TOP OF THE ROOTBALL FROM THE TREE RING TO WITHIN 6" OF THE TRUNK. MULCH MUST NOT BE APPLIED OR ALLOWED TO ACCUMULATE DIRECTLY AGAINST THE TRUNK.
- 5.1.17. PITS FROM WHICH THE RELOCATED TREES AND PALMS WERE REMOVED MUST BE CLEANED OF ALL RESIDUAL ROOTS, STUMPS, AND PORTIONS THEREOF AND BACKFILLED WITH CLEAN FILL FLUSH WITH THE SURROUNDING GRADE.
- 5.1.18. RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS. MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE A MINIMUM OF ONE YEAR WARRANTY ON SETTLING AND PLANT MATERIAL FROM TIME OF SUBSTANTIAL COMPLETION.
- 5.2. SPECIAL CONDITIONS

- 5.2.1. MULTI-TRUNK TREES AND PALMS MUST BE RELOCATED AS ONE UNIT WITH A SINGLE ROOTBALL.

6. MAINTENANCE SPECIFICATIONS

6.1. GENERAL

- 6.1.1. ALL RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.
- 6.1.2. CONTRACTOR MUST MAINTAIN ALL RELOCATED TREES AND PALMS FOR ONE FULL YEAR FROM THE DATE OF RELOCATION TO THE FINAL LOCATION.
- 6.1.3. WHENEVER POSSIBLE, EACH TREE AND PALM MUST BE WATERED BY A PERMANENT AUTOMATIC IRRIGATION SYSTEM FOLLOWING RELOCATION. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH; THIS WILL REQUIRE 25-50 GALLONS OF WATER FOR SMALL TREES AND PALMS, DEPENDING ON ROOTBALL SIZE, WHILE LARGE TREES WILL REQUIRE A MINIMUM OF 10 GALLONS PER FOOT OF ROOTBALL DIAMETER (I.E., A 10' DIAMETER ROOTBALL WILL REQUIRE A MINIMUM OF 100 GALLONS PER WATERING EVENT). WATERING FREQUENCY MUST BE EVERY DAY FOR THE FIRST TWO WEEKS, EVERY OTHER DAY FOR THE NEXT THREE WEEKS, AND EVERY THIRD DAY FOR THE NEXT 6-8 WEEKS.
- 6.1.4. WHEN AN AUTOMATIC IRRIGATION SYSTEM IS NOT POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR HAND WATERING RELOCATED TREES AND PALMS THROUGHOUT THE MAINTENANCE PERIOD AND UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.
- 6.1.5. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A CONTACT ROOT ROT FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS INITIAL PREVENTATIVE MAINTENANCE.
- 6.1.6. EVERY THREE MONTHS THEREAFTER, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A BROAD-SPECTRUM SYSTEMIC FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS CONTINUING PREVENTATIVE MAINTENANCE.
- 6.1.7. IRRIGATION AND BRACING MUST BE CHECKED AND EACH TREE OR PALM THOROUGHLY INSPECTED FOR SIGNS OF STRESS, DISEASE, OR PEST PROBLEMS ON A MONTHLY BASIS.

6.2. SHADE TREES

- 6.2.1. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- 6.2.2. FOLIAR FEED FOUR TIMES PER YEAR.

6.2.3. FLOWERING TREES

- 6.2.4. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 5-10-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- 6.2.5. FOLIAR FEED FOUR TIMES PER YEAR.

6.3. PALMS

- 6.3.1. STRING MUST BE REMOVED FROM THE TIED UP LEAVES IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION IF THE PALM WAS ROOT PRUNED OR WITHIN 30-45 DAYS AFTER RELOCATION ON THE OCCASION THE LANDSCAPE ARCHITECT APPROVED RELOCATION WITHOUT ROOT PRUNING DUE TO TIME CONSTRAINTS.
- 6.3.2. IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 8-4-12 GRANULAR PALM FERTILIZER WITH MINORS MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.
- 6.3.3. FOLIAR FEED SIX TIMES PER YEAR.

7. WARRANTY

- 7.1. ALL RELOCATED TREES AND PALMS MUST BE GUARANTEED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.
- 7.2. IF A TREE OR PALM DIES WITHIN THE 1-YEAR WARRANTY PERIOD, IT MUST BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- 7.3. IF A TREE OR PALM PERFORMS POORLY WITHIN THE 1-YEAR WARRANTY PERIOD, IT MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. THE DECISION TO REPLACE BASED ON POOR HEALTH IS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- 7.4. IF A TREE OR PALM SETTLES TO AN UNHEALTHY DEPTH WITHIN THE 1-YEAR WARRANTY PERIOD, AS DEEMED BY THE LANDSCAPE ARCHITECT, IT MUST BE RAISED TO THE CORRECT GRADE AT CONTRACTOR'S EXPENSE.

Rev.	Date	Rev.	Date
<u>1</u>		<u>9</u>	
<u>2</u>		<u>10</u>	
<u>3</u>		<u>11</u>	
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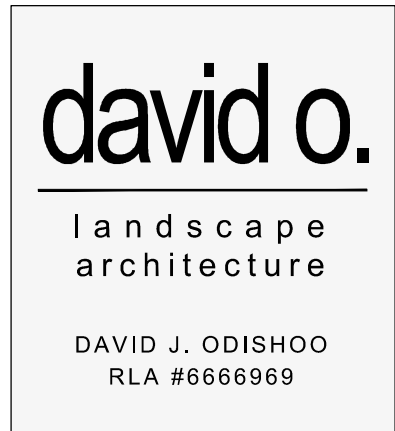
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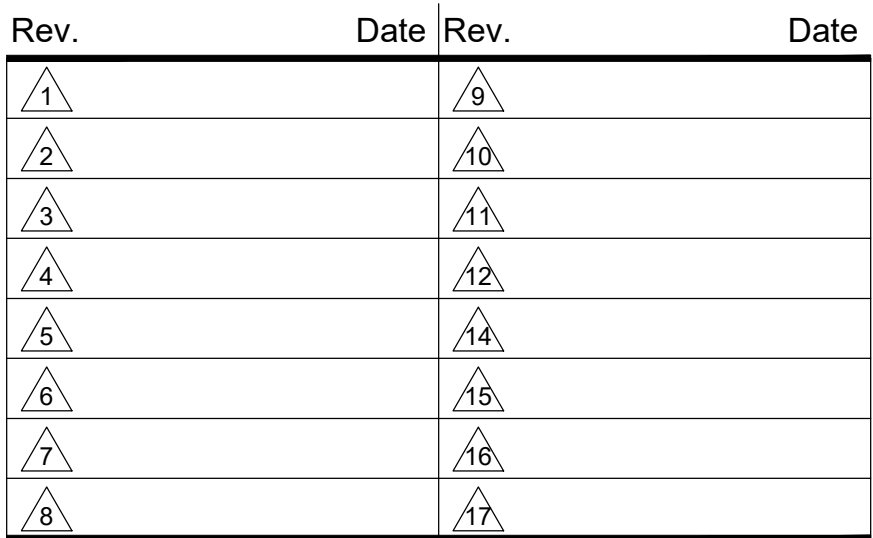
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TREE DISPOSITION GENERAL NOTES

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Scale :		LR-300
Project # :	21024	





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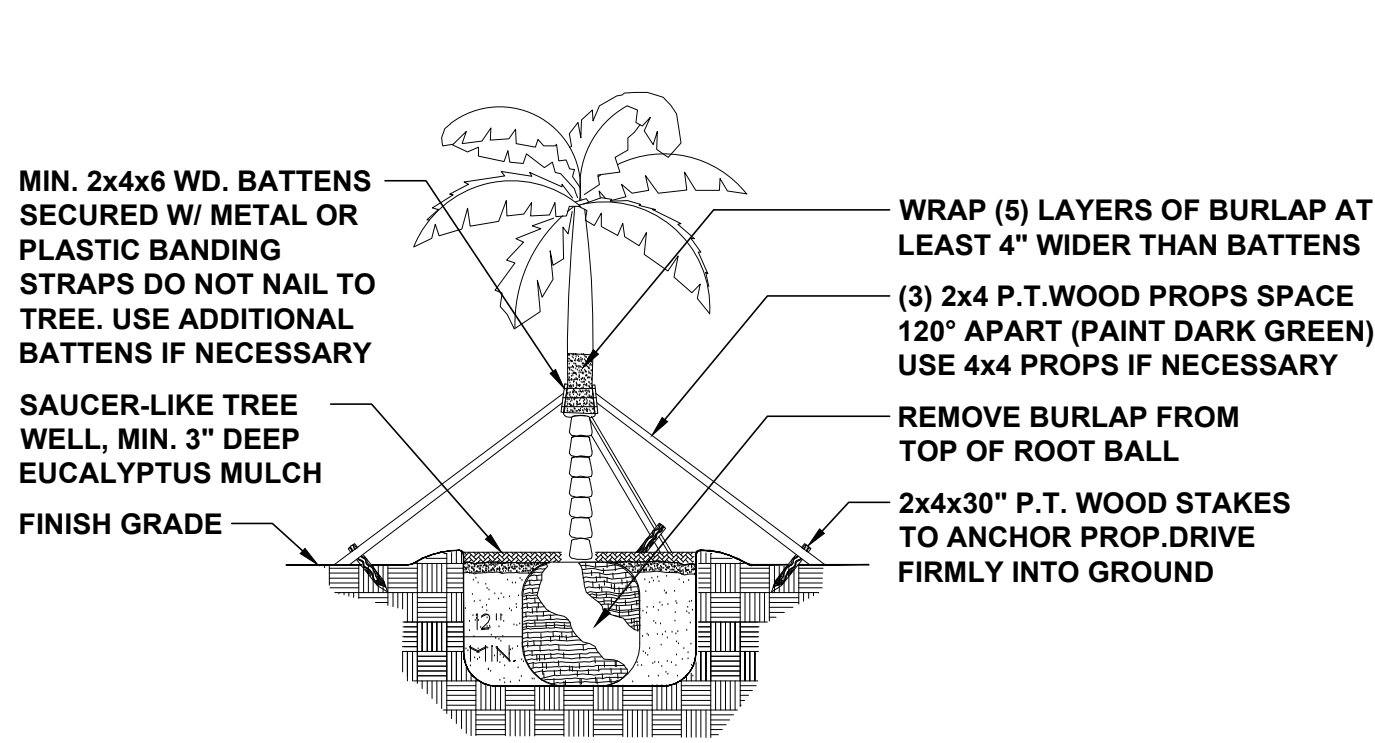
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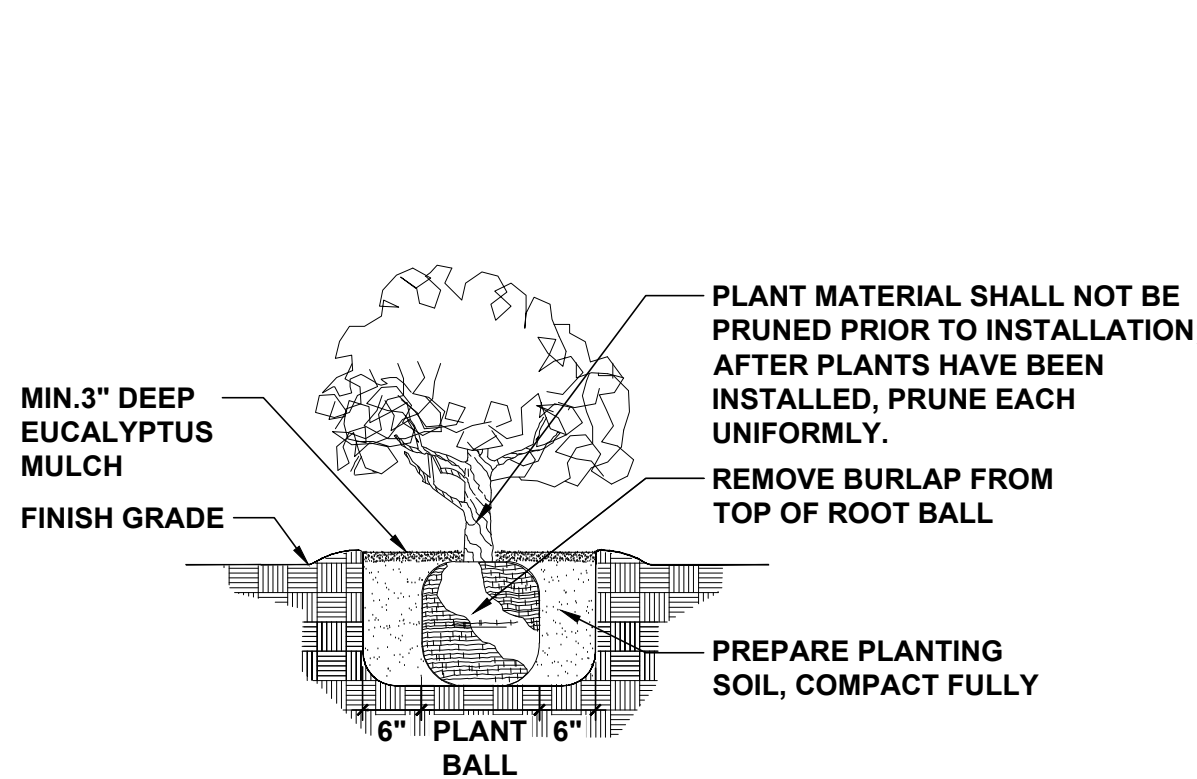
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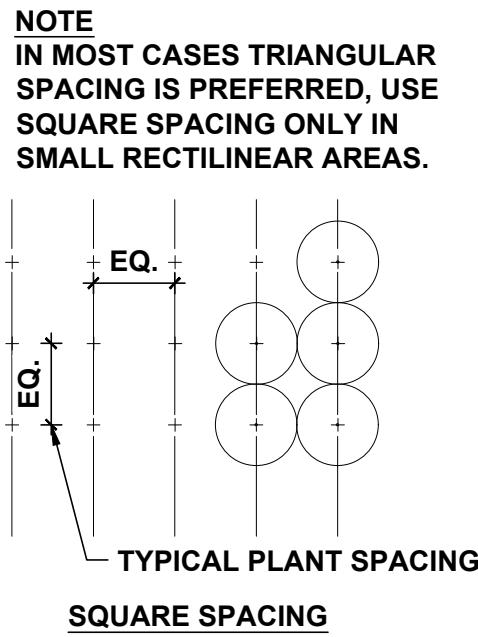
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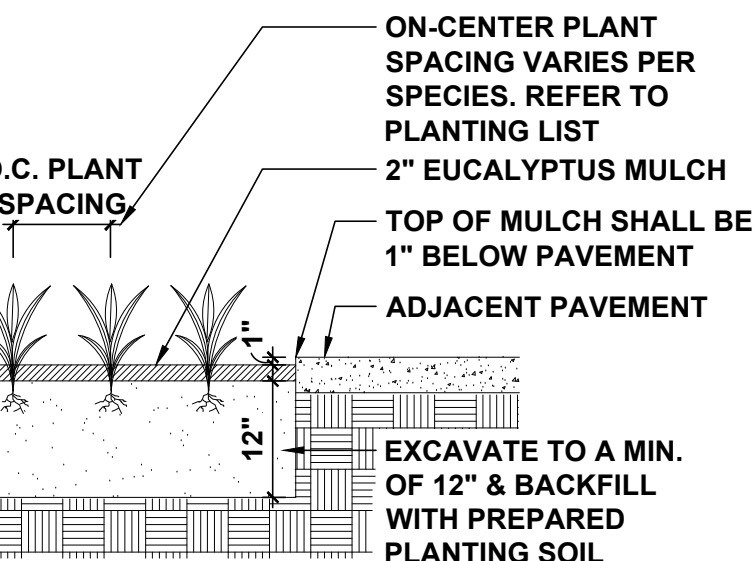
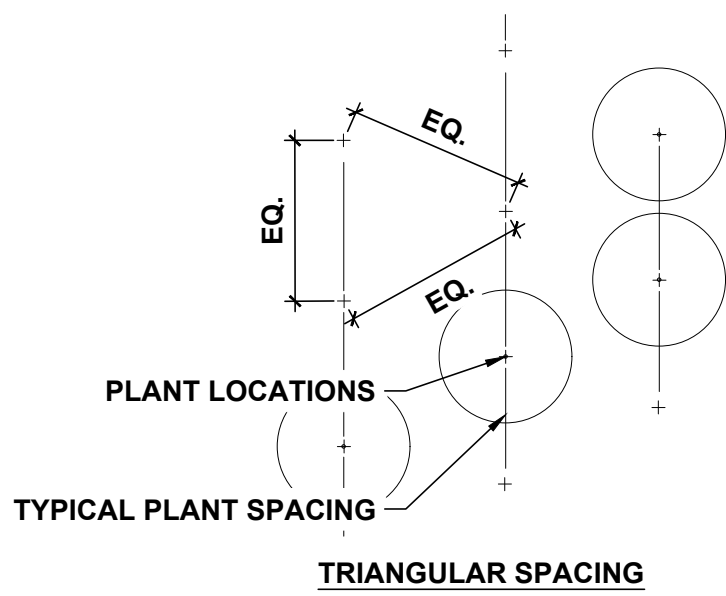
SPECIMEN TREE AND TALL PALMS SUPPORT DETAIL



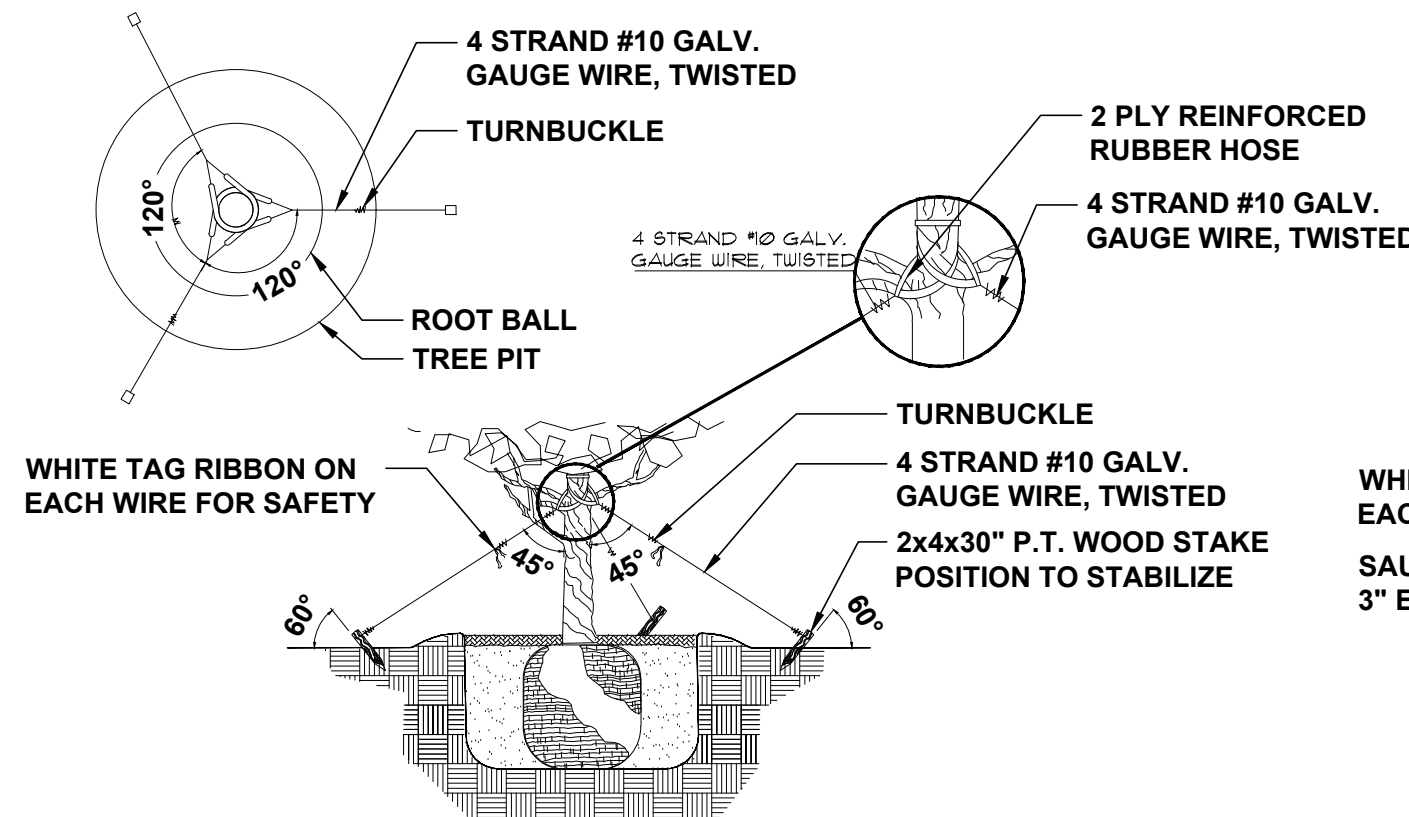
TYPICAL SHRUB PLANTING DETAIL



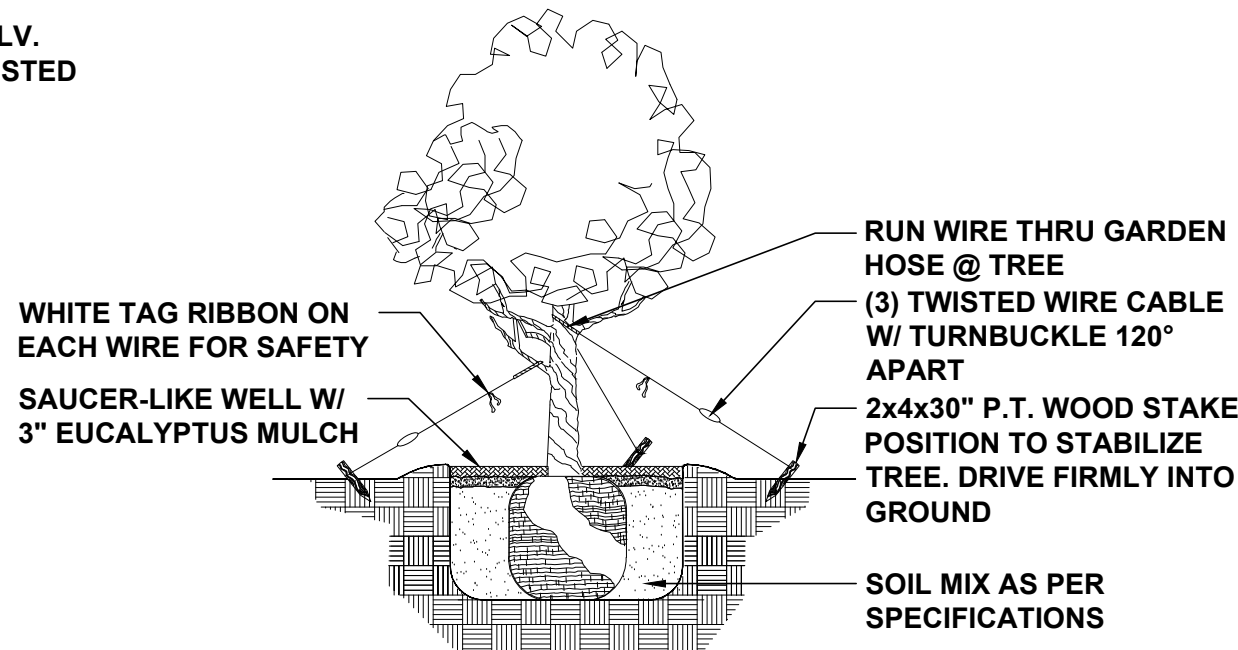
SQUARE SPACING



PLANTING DETAIL



TREE PLANTING AND GUYING DETAIL



SMALL TREE SUPPORT DETAIL

GENERAL LANDSCAPE NOTES:

1. ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II 1973, 1975 RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 2" MIN. "GRADE A" CYPRESS OR EUCALYPTUS MULCH, UNLESS OTHERWISE NOTED.
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO PLANTING DETAILS.)
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL TREE HOLDS TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH PLANTING SOIL. ALL SHRUB BEDS TO BE INSTALLED WITH PLANTING SOIL. (SEE SPECS)
6. SOD SHALL BE "FLORATAM" ST. AUGUSTINE (UNLESS OTHERWISE NOTED) SOLID SOD LAID WITH ALTERNATIVE AND ABUTTING JOINTS, WITH 2" TOP SOIL MINIMUM IF REQUIRED. (SEE SPECS)
7. ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR TWELVE MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL PALMS ARE TO BE GUARANTEED FOR ONE YEAR.
8. ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
9. ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION WITH LONG LASTING FERTILIZER, ACCORDING TO MANUFACTURES RECOMMENDATIONS. (SUBMIT SAMPLE FOR APPROVAL.) (SEE SPEC)
10. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES. (NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION.)
11. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
12. NO CHANGE SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
13. ALL MATERIAL IS SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
14. ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM. (REFER TO IRRIGATION PLAN.)
15. ALL PLANTING BEDS TO RECEIVE NEW PLANTING SOIL (1/3 EVERGLADES PEAT, 1/3 SAND, 1/3 CYPRESS SAWDUST & CHOPS) MINIMUM 6" DEEP. (REFER TO PLANTING DETAILS.)
16. CONTRACTOR WILL VISIT SITE TO FAMILIARIZED HIMSELF WITH THE SCOPE OF WORK PRIOR TO SUBMITTING A BID.
17. LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, THE IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.

18. ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED. (REFER TO DEMOLITION PLAN.)
19. ALL TREES TO BE RELOCATED WILL GET ROOT PRUNED 30 DAYS MIN. (OR MORE IF REQUIRED BY THE SPECIES). UPON RELOCATION, THIN OUT (UNDER LANDSCAPE ARCHITECT'S DIRECTION) 30% OF THE TREE CANOPY TO BE RELOCATED.
20. AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH PLANTING SOIL AND SOD DISTURBED AREA, AS REQUIRED.
21. ALL TREES ON SOD AREAS SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
22. ALL TREES SHALL HAVE A 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
23. ALL 1 GALLON MATERIAL TO HAVE A 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE A 20-24" SPREAD MINIMUM.

TREE BRACING NOTES:

- 2" AND LARGER CALIPER TREES BRACED BY GUYING -
1. CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
 2. CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
 3. SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO THE GROUND. STAKES SHOULD BE DRIVING AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
 4. PLACE THE HOSE AROUND THE TREE TRUCK JUST ABOVE THE LOWEST BRANCH.
 5. THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
 6. TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE.
 7. PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
 8. THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
 9. FLAG THE GUY WIRES WITH SURVEYOR'S FLAGGING OR APPROVED EQUAL FOR SAFETY.
 10. GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.

PLANTING SCHEDULE (PROPERTY)			
TREES & PALMS			
Native	Qty	Botanical/Common Name	Specifications
Y	2	<i>Chrysophyllum oliviforme</i> Satinleaf Tree	2" DBH x 12' Ht. x 6" Sp. Min., FL Grade #1 or Better. (See General Note #1 Below)
Y	2	<i>Coccoloba uvifera</i> Seagrape	4" DBH x 16' Ht. x 12" Sp. Min., FL Grade #1 or Better; Alternative: Gumbo Limbo (See General Note #1 Below)
N	5	<i>Cocos nucifera</i> Coconut Palm	25' Wd., Matching (3 Curved Trunks & 2 Straight Trunks) (See General Note #1 Below)
Y	1	<i>Myrcianthes fragrans</i> Simpson Stopper Tree	2" DBH x 12' Ht. x 6" Sp. Min., FL Grade #1 or Better. (See General Note #1 Below)

BAMBOOS			
N	26	<i>Bambusa textilis</i> 'Gracilis' Graceful Bamboo	45 Gal., 15'-18' Ht., Full, 10-15 Canes Min., 6 Ft O.C. (See General Note #1 Below)

SHRUBS, GROUND COVERS AND VINES			
Native	Qty	Botanical/Common Name	Specifications
N	22	<i>Agave attenuata</i> Spineless Agave	17" Pot (Level 2, Roof Level)
N	20	<i>Agave parryi</i> var <i>truncata</i> Artichoke Agave	10 Gal., Min. (Level 2, Roof Level)
N	7	<i>Alcantarea imperialis</i> Bromeliad Imperialis	17" Pot (Level 0, Level 2)
N	34	<i>Barleria repens</i> Coral Creeper	3 Gal., 24" O.C. (Roof Floor)
Y	14	<i>Capparis cynophallophora</i> Jamaican Caper	10-15 Gal. Full to Base, 4'-6' Ht., Shrub/Bush Form, Multi Stem (Level 1)
N	1	<i>Dioon mejiae</i> Giant Dioon	4'x4' Min. (Level 0)
Y	144	<i>Ernodea littoralis</i> Golden Creeper	3 Gal., 24" O.C. (Level 1, Level 2)
Y	22	<i>Eugenia foetida</i> Spanish Stopper	45 Gal., 12' Ht.
N	44	<i>Ficus microcarpa</i> 'Green Island' Ficus Green Island	3 Gal., Min., 24" O.C. (Level 0)
Y	21	<i>Hymenocallis latifolia</i> Spider Lily	7 Gal., 30" O.C. (Level 1)
N	122	<i>Liriope muscari</i> 'Big Blue' Big Blue Liriope	3 Gal., 18" O.C. (Level 0)
N	66	<i>Monstera deliciosa</i> Swiss Cheese Plant	15 Gal., 42" O.C. (Level 0)
Y	302	<i>Nephrolepis exaltata</i> Boston Fern	3 Gal., 24" O.C. (Level 0, Level 1)
N	32	<i>Pennisetum setaceum</i> 'Alba' White Fountain Grass	3 Gal., 30" O.C. (Level 2)
N	43	<i>Philodendron</i> 'Burle Marx' Philodendron Burle Marx	3 Gal., 24" O.C. (Level 1)
N	9	<i>Philodendron speciosum</i> Philodendron Speciosum	10 Gal. (Level 0)
N	10	<i>Philodendron</i> 'Weeks Red Hybrid' Philodendron Weeks Red	10 Gal. (Level 1)
N	15	<i>Podocarpus macrophyllus</i> 'Pringles' Podocarpus 'Pringles'	15 Gal., 30" O.C., 4ft Ht Min. (Roof Level)
Y	5	<i>Serenoa repens</i> Silver Saw Palmetto	10 Gal., Min. (Level 1)
N	16	<i>Spathiphyllum</i> sp. Peace Lily	7 Gal., Min. (Level 0)
N	9	<i>Tradescantia microfolia</i> 'Argentine Ivy' Argentine Ivy	3 Gal., Min., 24" O.C. (Level 2)
Y	10	<i>Viburnum obovatum</i> Water Viburnum	10 Gal., Min.

MISCELLANEOUS			
Native	Qty	Botanical/Common Name	Specifications
N	1,758 S.F.	<i>Zoysia</i> Sod	Empire (Level 0, Level 1)

PLANTING SCHEDULE (RIGHT-OF-WAY)			
TREES			
Native	Qty	Botanical/Common Name	Specifications
Y	2	<i>Conocarpus erectus</i> 'Sericeus' Silver Buttonwood Tree	4ft Clear Trunk, 12-14ft Overall Height, 3in Min. Caliper, 2in DBH, Single Leader, Florida Grade #1

MISCELLANEOUS			
Native	Qty	Botanical/Common Name	Specifications
N	362 S.F.	<i>Zoysia</i> Sod in Right-of-Way	Empire

RELOCATED MATERIAL			
TREES			
Tree #	Qty	Botanical/Common Name	Specifications
2, 4, 6, 8, 14	5	<i>Adonidia merrillii</i> Christmas Palm	Refer to Sheets LR-200
33, 34, 35, 36	4	<i>Callophyllum antillanum</i> Brazilian Beautyleaf	Refer to Sheets LR-200
32	1	<i>Coccothrinax miraguama</i> Miraguama Palm	Refer to Sheets LR-200
23	1	<i>Dracaena reflexa</i> Song of India	Refer to Sheets LR-200
3, 5, 7, 9, 10, 13, 15, 16, 18	9	<i>Eleocharis decipiens</i> Japanese Blueberry	Refer to Sheets LR-200
30, 31	2	<i>Guaicum sanctum</i> Lignum Vitae	Refer to Sheets LR-200
11	1	<i>Phoenix dactylifera</i> Date Palm	Refer to Sheets LR-200
1, 12	2	<i>Quercus virginiana</i> Live Oak	Refer to Sheets LR-200
29	1	<i>Tabebuia caraiba</i> Silver Trumpet Tree	Refer to Sheets LR-200

GENERAL NOTES	
1	Landscape Contractor shall provide photographic submittal with person for scale reference to Landscape Architect for review and approval prior to purchasing plants.
2	Landscape Architect to approve all specimen trees & palms in person.
3	All plant locations to be approved on site by Landscape Architect.
4	Final grades shall be approved in the field by Landscape Architect prior to planting.
5	Landscape contractor to coordinate installation with Landscape Architect at least 1 month prior to installation date.
6	In addition to the above plant list and specifications there is to be an additional \$5,000.00 wholesale plant allowance.

Rev.	Date	Rev.	Date
1		9	
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4		12	
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PLANTING SCHEDULE, DETAILS, & NOTES

Date:	12-03-2021	Sheet No.
Scale :		LP-300
Project # :	21024	

EXISTING PALMS MITIGATION SCHEDULE (PROPERTY)					
TREE NUMBER	COMMON NAME	SCIENTIFIC NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)
17	Christmas Palm	Adonidia merrillii	5	24	8
Total Amount of Palms to be Mitigated = 1					

MITIGATION REQUIREMENTS (PROPERTY)		
TOTAL PALMS REMOVED	REQUIREMENT	PROVIDED
1 Palm	1 Trees @ 12ft Ht. x 2in D.B.H. Min.	3 Trees @ 12ft Ht. X 2in D.B.H. Min. 2 Trees @ 16ft Ht. x 4in D.B.H. Min.
Note 1: Chapter 46-61, (1) (c): The removal of a palm shall be replaced with one canopy tree 12 feet overall height with a two-inch DBH.		

PROPOSED TREES MITIGATION SCHEDULE (PROPERTY)			
NATIVE	QUANTITY	BOTANICAL/COMMONG NAME	SPECIFICATIONS
Y	2	Chrysophyllum oliviforme Satinleaf Tree	2" DBH. x 12' Ht. x 6' Sp. Min., FL Grade #1 or Better.
Y	2	Coccoloba uvifera Seagrape	4" DBH. x 16' Ht. x 12' Sp. Min., FL Grade #1 or Better.
Y	1	Myrcianthes fragrans Simpson Stopper Tree	2" DBH. x 12' Ht. x 6' Sp. Min., FL Grade #1 or Better.
Total Trees Required = 1 Trees at 12ft Ht. x 2in D.B.H. Min.			
Total Trees Provided = 3 Trees at 12ft Ht. x 2in D.B.H. Min. 2 Trees at 16ft Ht. x 4in D.B.H. Min.			

CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District RS-3 Lot Area 12,900 Sq.Ft. Acres 0.3

OPEN SPACE

	REQUIRED/ ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = 12,900 s.f.x 50 % = 6,450 s.f.	6,450 s.f.	6,299 s.f.
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces N/A x 10 s.f. parking space =	N/A	N/A
C. Total square feet of landscaped open space required: A+B=	6,450 s.f.	6,299 s.f.

LAWN AREA CALCULATION

A. Square feet of landscaped open space required	6,450 s.f.	6,299 s.f.
B. Maximum lawn area (sod) permitted= 50 % x 6,299 s.f.	3,149.50 s.f.	1,758 s.f.

TREES

A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements= 12 trees x N/A net lot acres - number of existing trees=	12	24 Total (5 new + 19 existing trees to remain & relocated)
B. % Natives required: Number of trees provided x 30% =	8	10 (5 new + 5 existing)
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	12	18 (5 new + 13 existing)
D. Street Trees (maximum average spacing of 20' o.c.) 49.5 linear feet along street divided by 20'=	3	2 (2 of 3 due to conflicts with Site Visibility Triangles.
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): N/A linear feet along street divided by 20'=	N/A	7 Trees planted along Private Property Street Frontage.)

SHRUBS

A. Number of shrubs required: Sum of lot and street trees required x 12=	180	804
B. % Native shrubs required: Number of shrubs provided x 50%=	402	518

LARGE SHRUBS OR SMALL TREES

A. Number of large shrubs or small trees required: Number of required shrubs x 10%=	18	52
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	26	37

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Consultant:

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landscape
architecture

DAVID J. ODISHOO
RLA #6666969

TREE REPLACEMENT SCHEDULE &
LANDSCAPE LEGEND

Date: 12-03-2021	Sheet No.
Scale :	LP-400
Project # : 21024	