

# PRIVATE RESIDENCE

1255 N BISCAYNE POINT ROAD, MIAMI BEACH, FL 33141  
ZONING PACKAGE  
DRB FINAL SUBMITTAL 12/06/2021

SCOPE OF WORK

NEW CONSTRUCTION OF A 2 STORY RESIDENTIAL BUILDING .



1255 N Biscayne Point Rd, Florida

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ARCHITECTS

KOBI KARP ARCHITECTURE &  
INTERIOR DESIGN

2915 BISCAYNE BOULEVARD SUITE 200  
MIAMI, FL 33137  
TEL: 305.573.1818

LANDSCAPE DESIGN

CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC

780 NE 69th STREET, SUITE 200  
MIAMI, FLORIDA 33138  
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1255 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FL 33141

Owner:

PRIVATE RESIDENCE

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

Name  
Address  
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Email

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COVER SHEET

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DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



1 LOCATION MAP-1/2 MI RADIUS

Scale: N.T.S.



2 LOCATION MAP

Scale: N.T.S.

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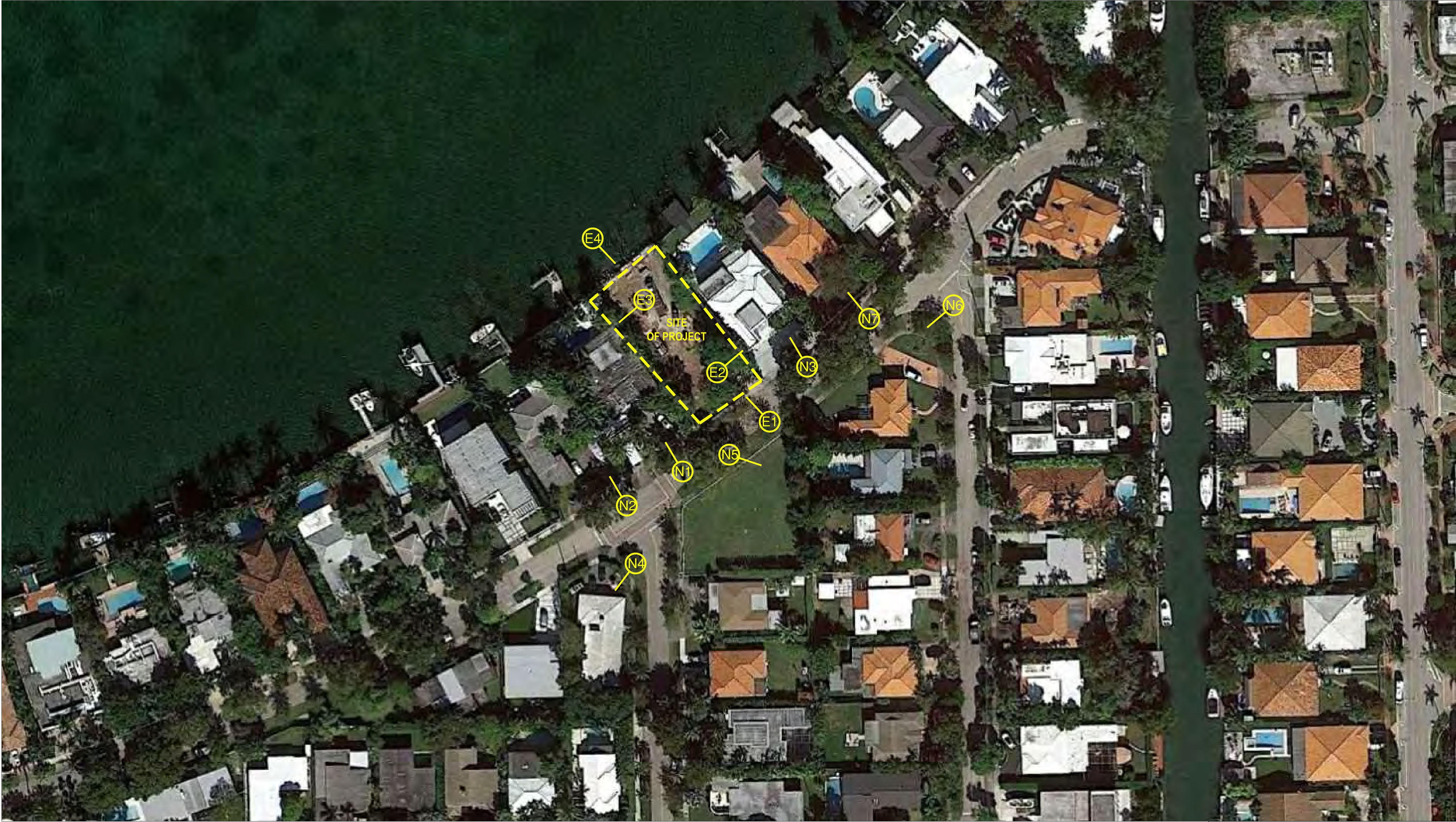
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LOCATION MAP

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DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



 1  
IMAGE KEY PLAN  
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IMAGES ON SHEET A0.04-CONTEXT  
C1 - W 57TH ST  
C2 - PINE TREE DR - NORTH  
C3 - PINE TREE DR - SOUTH

IMAGES ON SHEET A0.05-EXISTING PROPERTY  
E1 - FRONT YARD  
E2 - REAR YARD  
E3 - REAR YARD  
E4 - SIDE YARD

IMAGES ON SHEET A0.06-NEIGHBOR PROPERTY  
N1 - 5681 PINE TREE DR  
N2 - 5699 PINE TREE DR  
N3 - 5701 PINE TREE DR  
N4 - 5655 PINE TREE DR

IMAGES ON SHEET A0.07-NEARBY PROPERTY  
N5 - 5641 PINE TREE DR  
N6 - 5640 PINE TREE DR  
N7 - 5650 PINE TREE DR  
N8 - 5656 PINE TREE DR

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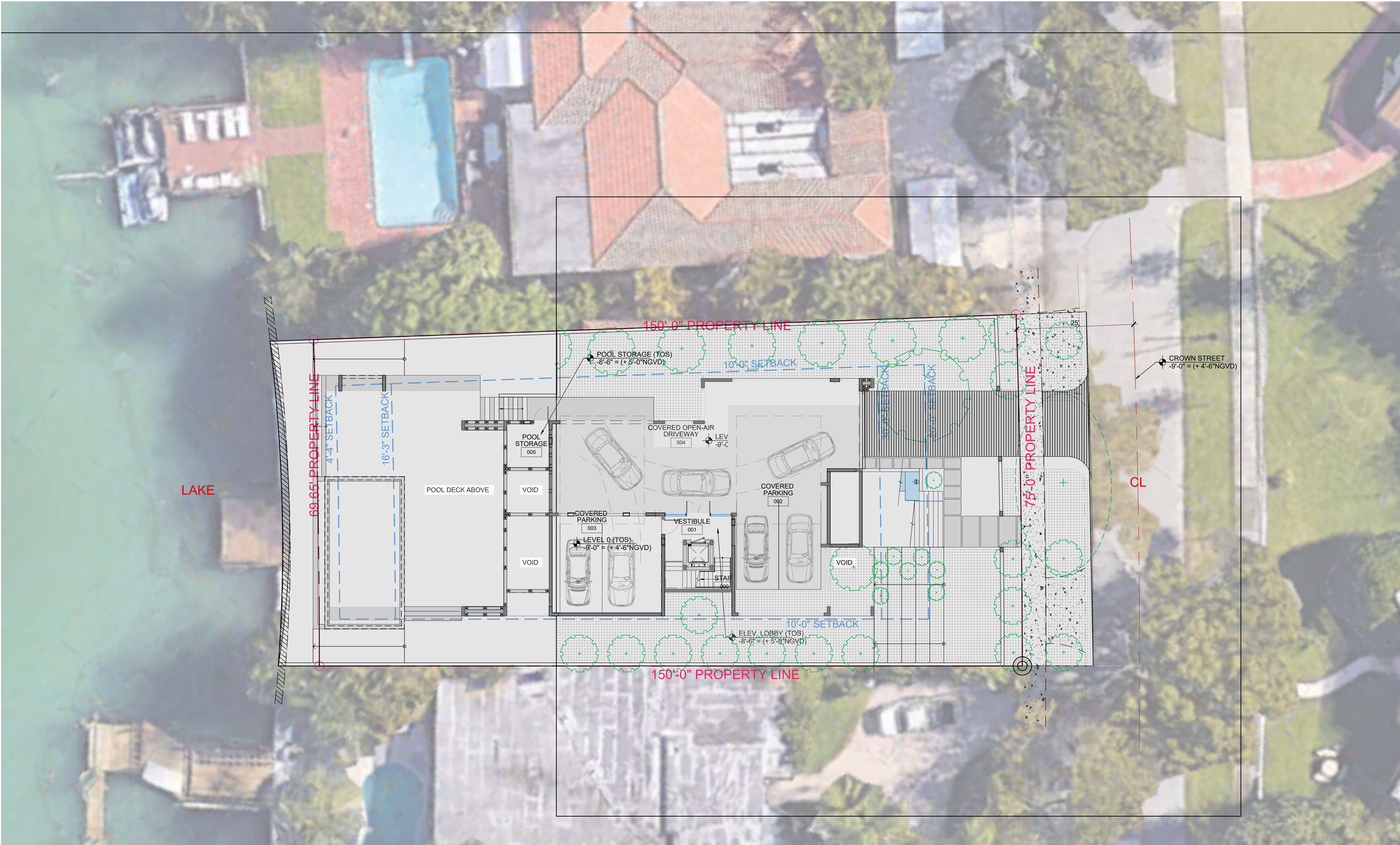
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## IMAGE KEY PLAN

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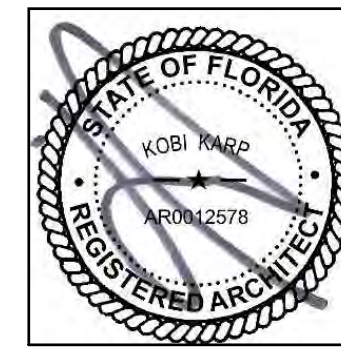
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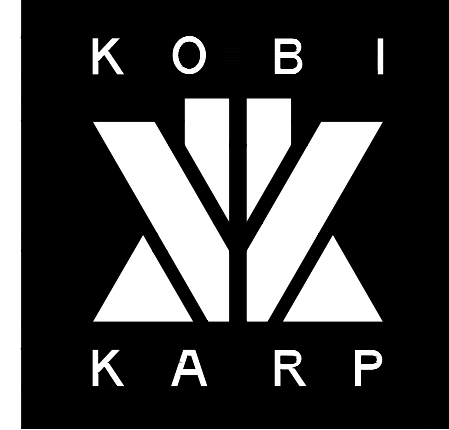
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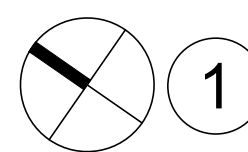


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## SITE PLAN - LEVEL 0

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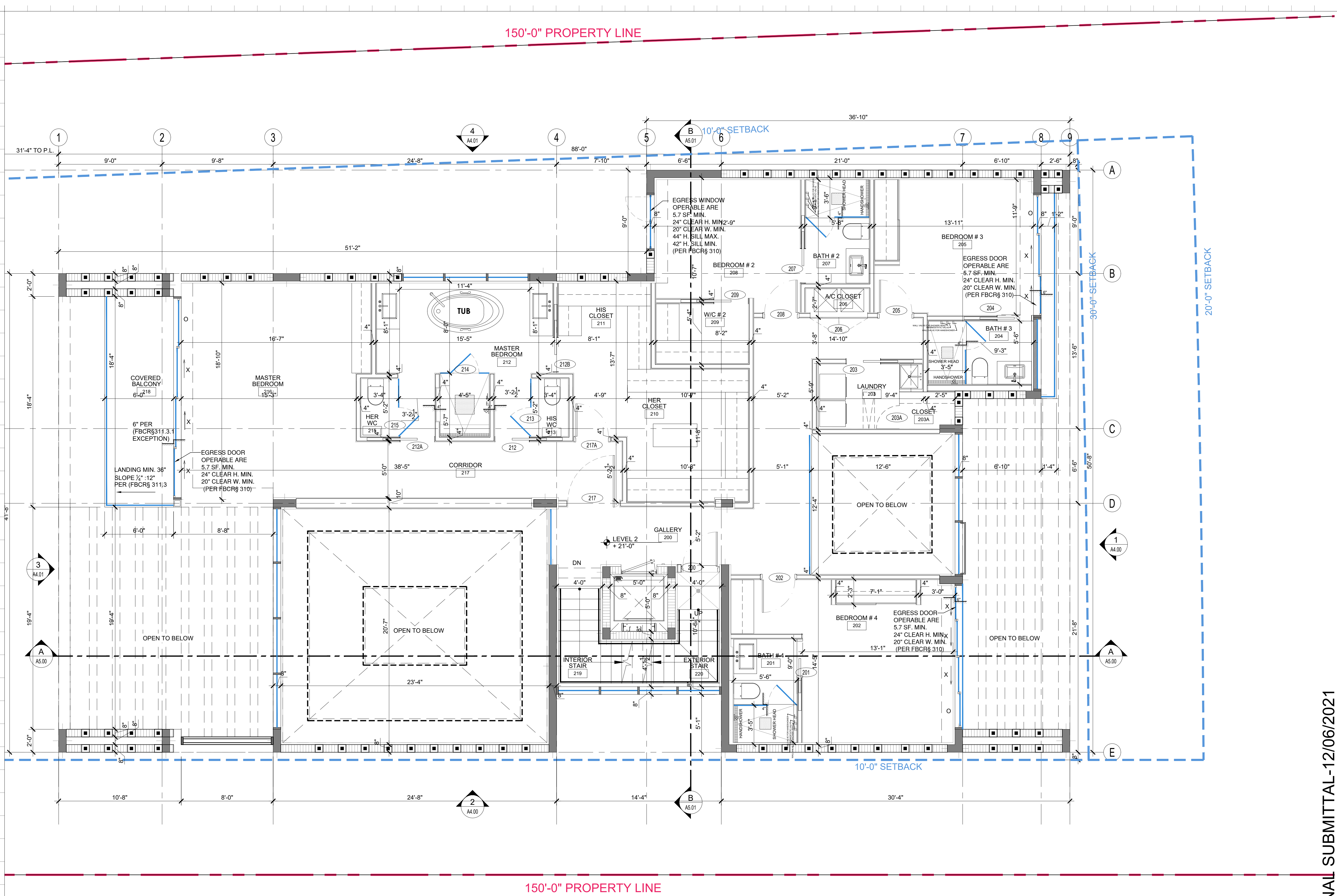


## SITE PLAN - LEVEL 0

SCALE: 3/32" = 1'-0"

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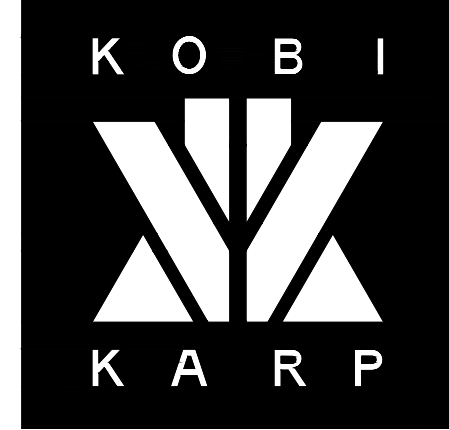
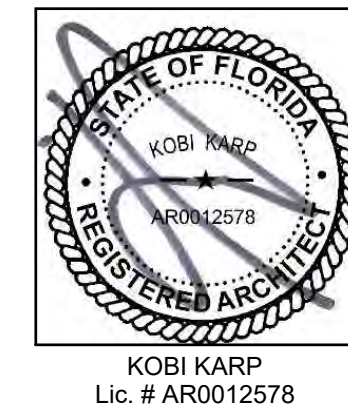
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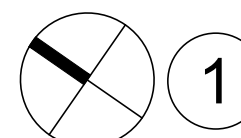
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FLOOR PLAN - LEVEL 2

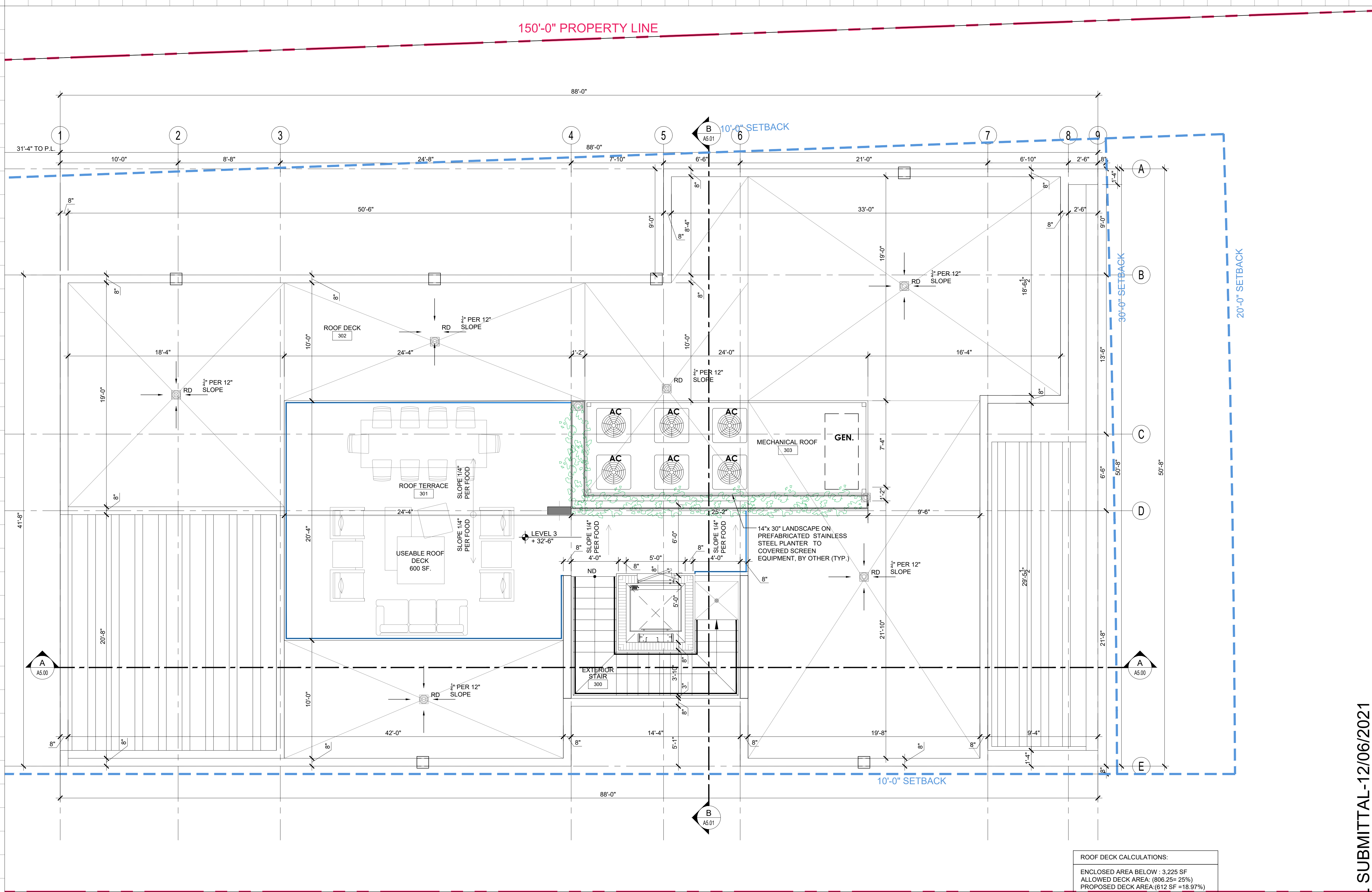
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FLOOR PLAN - LEVEL 2

SCALE: 1/4" = 1'-0"

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ROOF DECK CALCULATIONS:	
ENCLOSED AREA BELOW :	3,225 SF
ALLOWED DECK AREA: (806.25= 25%)	
PROPOSED DECK AREA:(612 SF =18.97%)	

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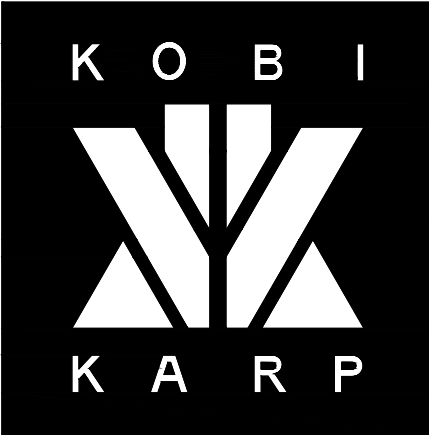
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ROOF PLAN

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1 ROOF PLAN

SCALE: 1/4" = 1'-0"

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CONSTRUCTION DOCUMENTS

100% Submission

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MIAMI BEACH, FL 33141

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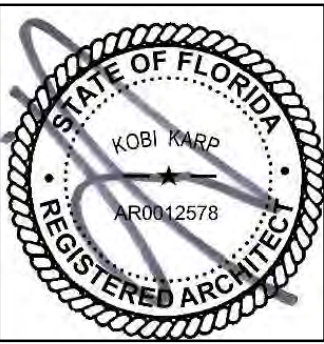
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RENDERING

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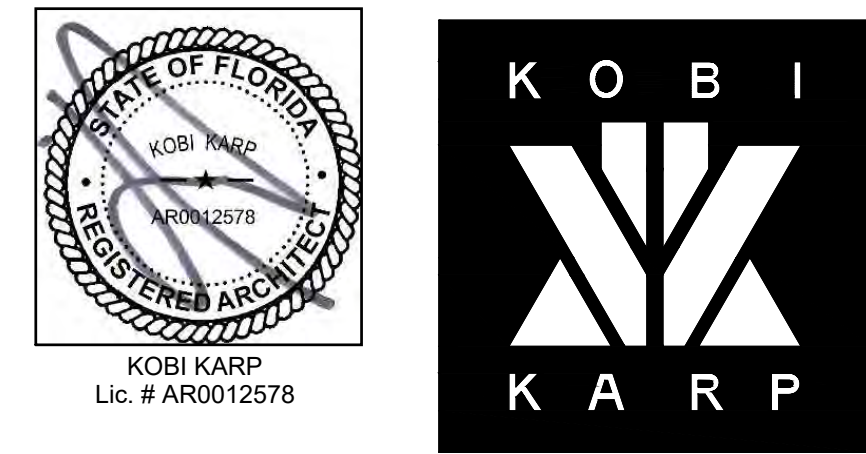
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1  
ANODIZED GRAY ALUMINUM  
GLAZING FRAMES



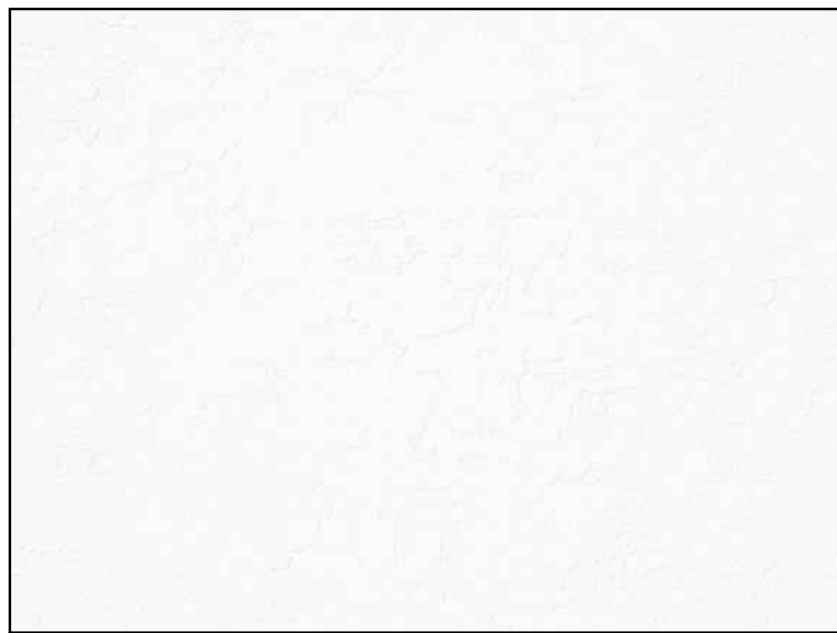
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WOOD CLADDING



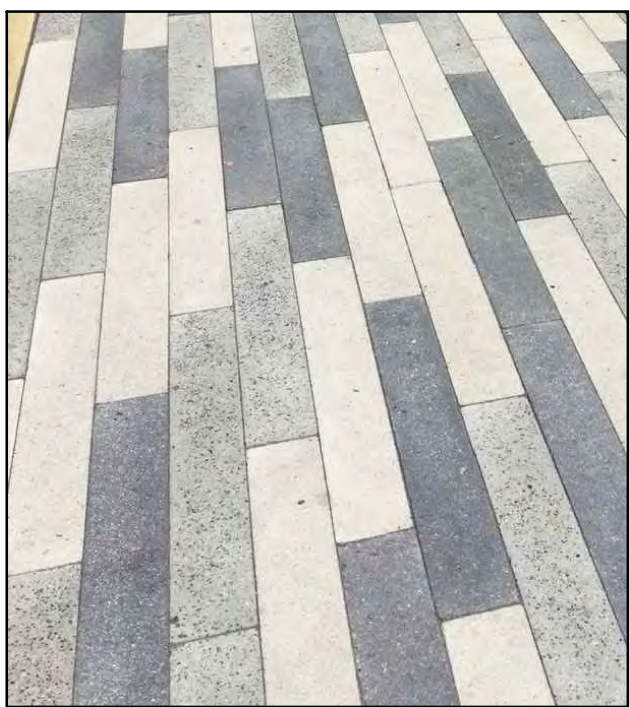
4  
TRAVERTINE STONE CLADDING



5  
SMOOTH WHITE STUCCO



7  
CONCRETE DRIVEWAY PAVERS  
GENERAL NOTE  
DRIVEWAY AND WALKWAY WITHIN FRONT  
YARD SHALL BE OF A HIGH ALBEDO AND  
HAVE A LIGHT REFLECTANCE VALUE OF AT  
LEAST 0.65 TO MEET URBAN HEAT ISLAND  
ORDINANCE REQUIREMENTS



NOTE:  
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MIAMI BEACH, FL 33141

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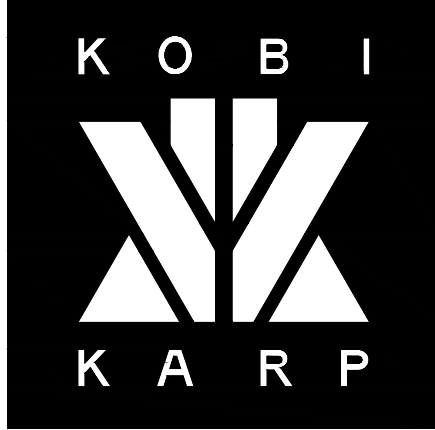
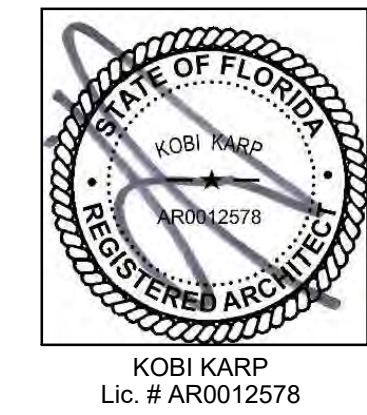
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## MATERIAL BOARD

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DBR ZONING SET - FINAL SUBMITTAL-12/06/2021





Planning Department, 1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	1255 N BISCAYNE POINT ROAD, MIAMI BEACH , FL 33141-1703		
2	Folio number(s):	02-3203-001-2410		
3	Board and file numbers :	NOT APPLICABLE		
4	Year built:	NOT APPLICABLE	Zoning District:	RS-3
5	Base Flood Elevation:	ZONE AE 8.0' NGVD	Grade value in NGVD:	4.79' NGVD
6	Adjusted grade (Flood+Grade/2):	8.0' NGVD +1' = 9.0' NGVD	Free board:	N/A
7	Lot Area:	REQ. 10,000 SF. MIN. / PROPOSED 10,844 SF		
8	Lot width:	50' MIN. / PORPOSED 75'	Lot Depth:	REQ. N/A. / PROPOSED 150'
9	Max Lot Coverage SF and %:	REQ. 30 % = (3,253 SF) MAX.	Proposed Lot Coverage SF and %:	PROPOSED 30% = (3,253 SF.)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	REQ. 50% OF FRONT YARD = 813 SF. PROPOSED 1,618 SF.	Rear Yard Open Space SF and %:	REQ. 50% OF REAR YARD = 163 SF. PROPOSED 676 SF
12	Max Unit Size SF and %:	REQ. 50% = 5,422 SF	Proposed Unit Size SF and %:	PROPOSED 5,422 SF. = 50% PROPOSED (2,810 SF.)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	PROPOSED (2,307 SF.) =82% OF THE FIRST FLOOR
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	PROPOSED (2,307 SF.) =82% OF THE FIRST FLOOR
15			Proposed Second Floor Unit Size SF and % :	3,465 SF (25.43%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	826.5 SF (23.68%)

	Zoning Information / Calculations	Required	Existing	Proposed	Deficiencies
17	Height:	24'- FLAT ROOFS		24'-0"	
18	Setbacks:				
19	Front First level:	20'-0"		30'-0"	
20	Front Second level:	30'-0"		30'-0"	
21	Side 1:	7'-5" MIN.		7'-5"	
22	Side 2 or (facing street):	N/A		N/A	
23	Rear:	15% OF LOT DEPTH MIN. = 22.5'		31'-0"	
	Accessory Structure Side 1:		N/A		
24	Accessory Structure Side 2 or (facing street) :	N/A		N/A	
25	Accessory Structure Rear:				
26	Sum of side yard :				
27	Located within a Local Historic District?			Yes or <input type="checkbox"/> No	
28	Designated as an individual Historic Single Family Residence Site?			Yes or <input type="checkbox"/> No	
29	Determined to be Architecturally Significant?			Yes or <input type="checkbox"/> No	
	Additional data or information must be presented in the format outlined in this section				

Notes:

If not applicable write N/A

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PROJECT DATA

Date	12-06-2021	Sheet No.  A0.01
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DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



1 E1  
Scale: N.T.S.



2 E2  
Scale: N.T.S.



3 E3  
Scale: N.T.S.



4 E4  
Scale: N.T.S.

DBR ZONING SET - FINAL SUBMITTAL-12/06/2021

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MIAMI BEACH, FL 33141

Owner:

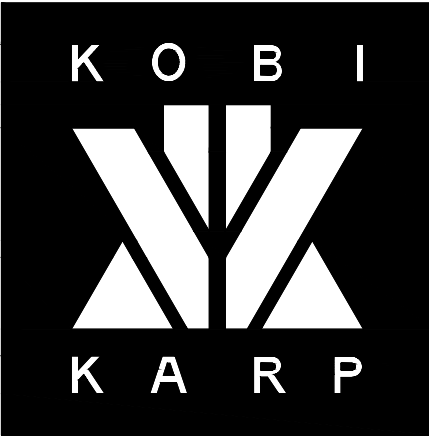
PRIVATE RESIDENCE

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Name  
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Tel:  
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Name  
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Consultant:  
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EXISTING SITE

Date	12-06-2021	Sheet No.
Scale		A0.10
Project	1942	



1 N1  
Scale: N.T.S.



2 N2  
Scale: N.T.S.



3 N3  
Scale: N.T.S.



4 N4  
Scale: N.T.S.

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## NEIGHBORING HOME IMAGES

Date	12-06-2021	Sheet No.
Scale		A0.04
Project	1942	

DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



1 N5  
Scale: N.T.S.



2 N6  
Scale: N.T.S.



3 N7  
Scale: N.T.S.



4 N8  
Scale: N.T.S.

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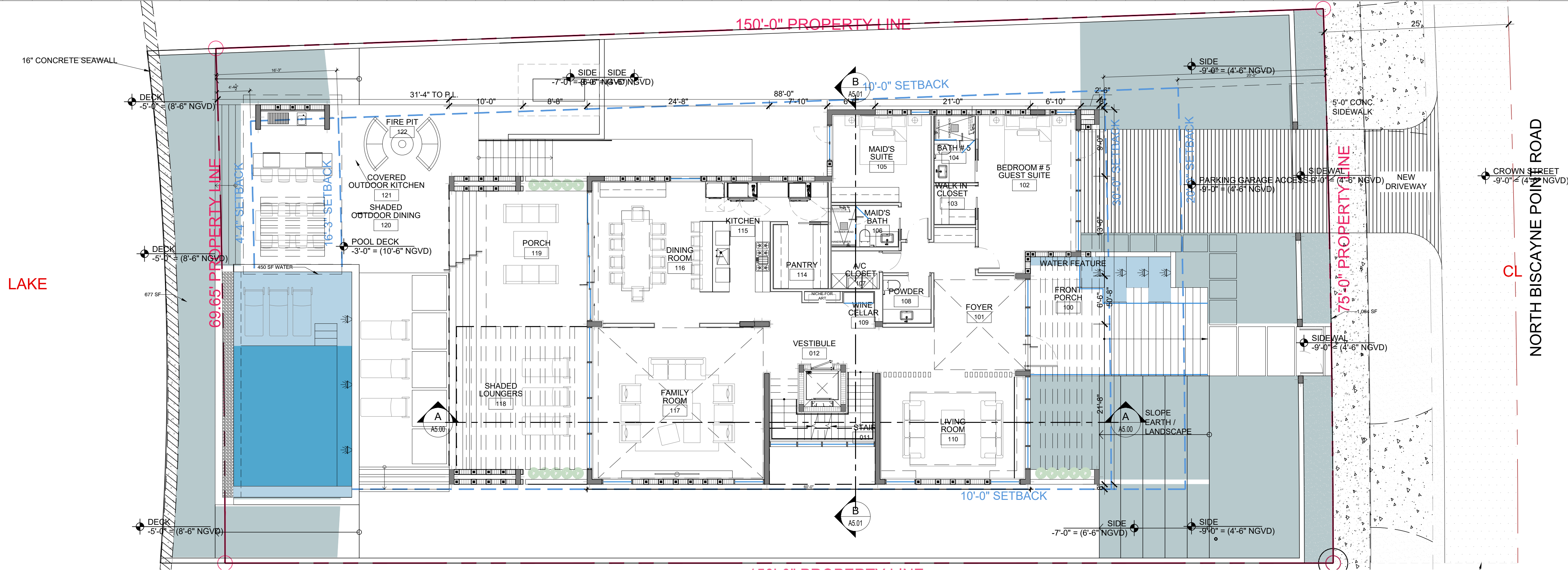
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## NEIGHBORING HOME IMAGES

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Project	1942	

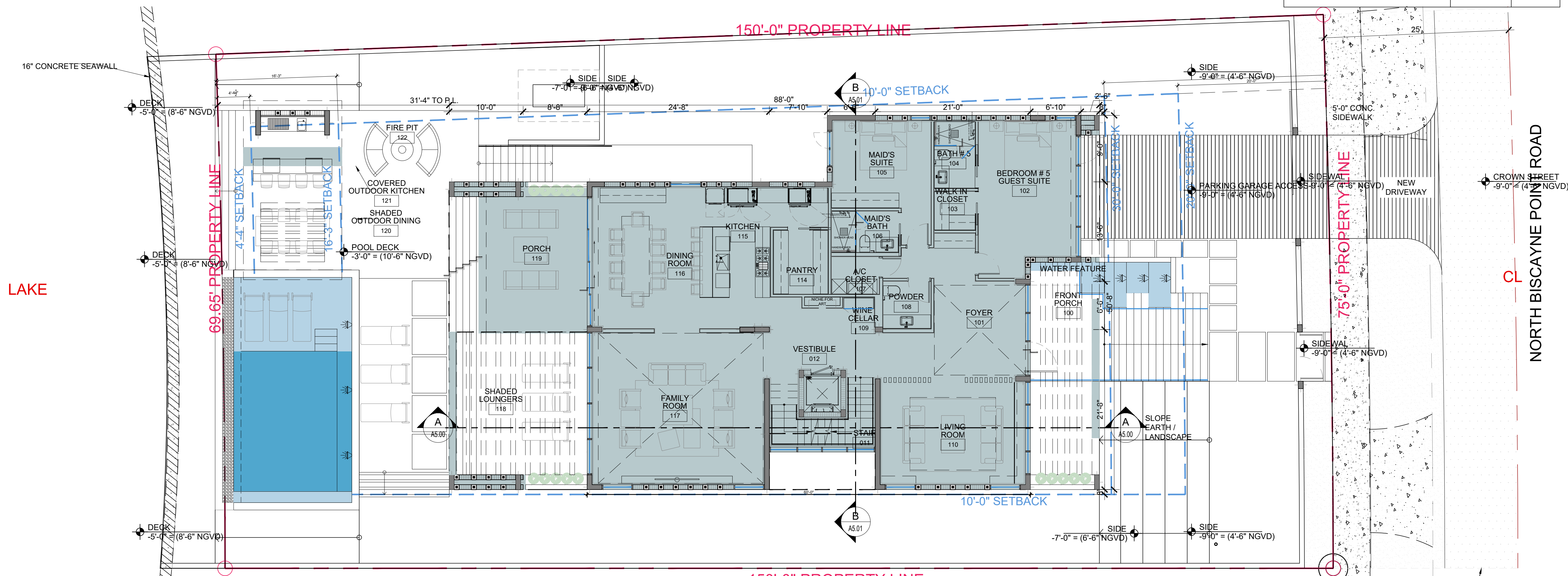
DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



1 PERVIOUS CALCULATIONS

Scale: 1/8"=1'-0"

TOTAL LOT AREA: 10,844SF		
PERVIOUS CALCULATION	REQUIRED	PROVIDED
PERVIOUS (MIN 30% OF LOT AREA)	3253 SF	4,610 SF
FRONT YARD	813 SF	1618 SF
REAR YARD	163 SF	676SF



2 LOT COVERAGE CALCULATIONS

Scale: 1/8"=1'-0"

LOT COVERAGE CALCULATIONS	
LOT AREA	10,844 SF
MAXIMUM ALLOWED	3,253 SF (30.00%)
PROVIDED	3,208 SF

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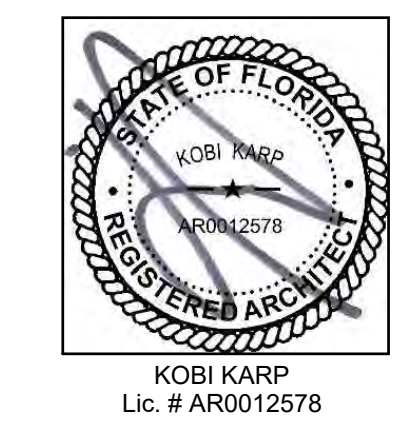
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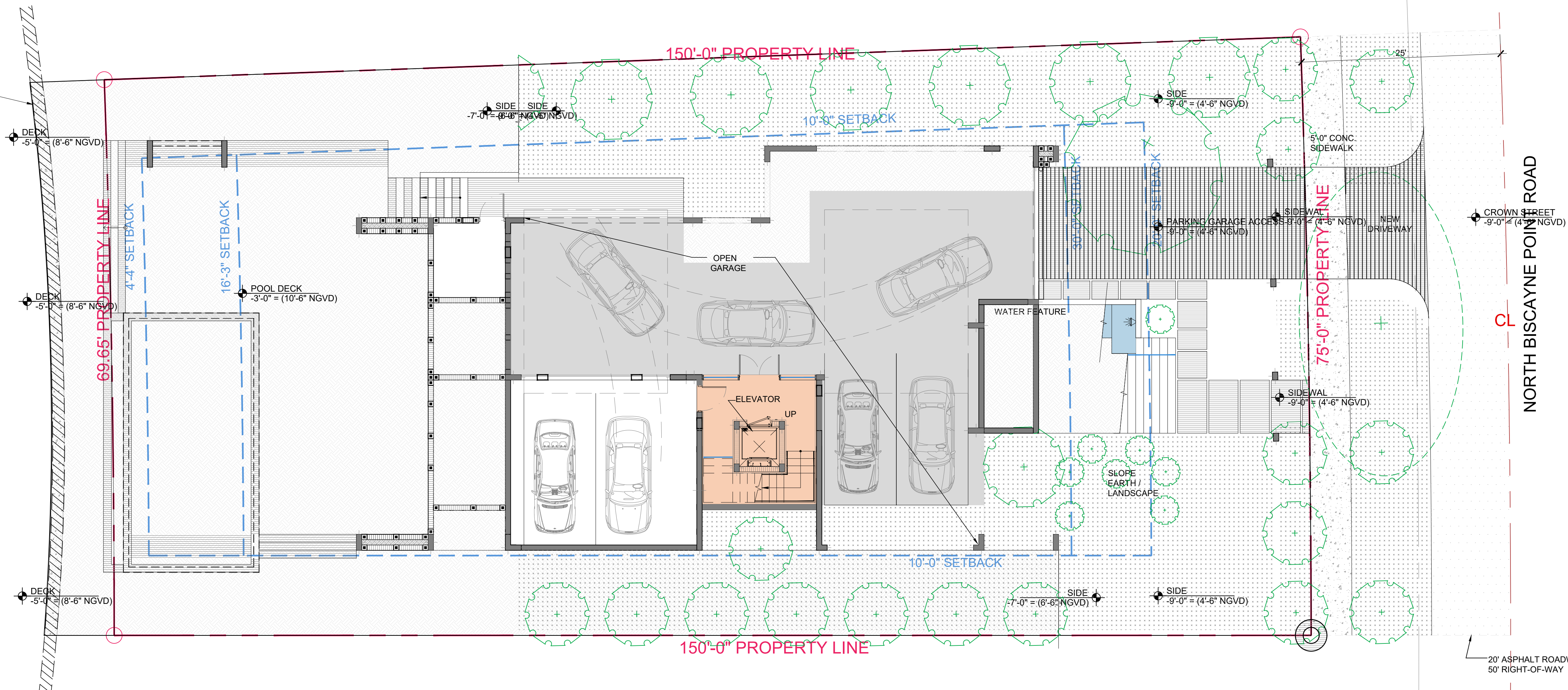
PERVIOUS & LOT COVERAGE DIAGRAMS

Date	12-06-2021	Sheet No.
Scale		A0.06
Project	1942	

DBR ZONING SET - FINAL SUBMITTAL-12/06/2021

LAKE

LAKE



1 LEVEL - 0 (265 SF.) SCALE: 3/32" = 1'-0"

(LOT AREA 10,844) MAX. UNIT SIZE ALLOWED 5,422 SF

UNIT SIZE CALCULATION	
LEVEL	AREA PROVIDED
BASEMENT	265 SF
LEVEL 1	2,810 SF
LEVEL 2	2,307 SF
ROOF LEVEL	40 SF
TOTAL	5,422 SF

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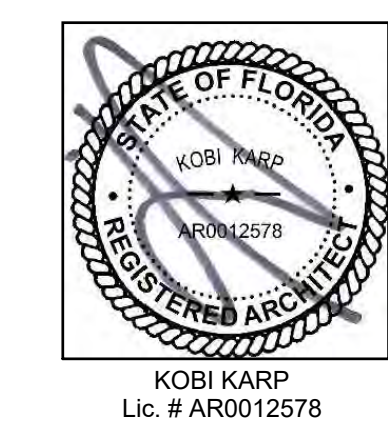
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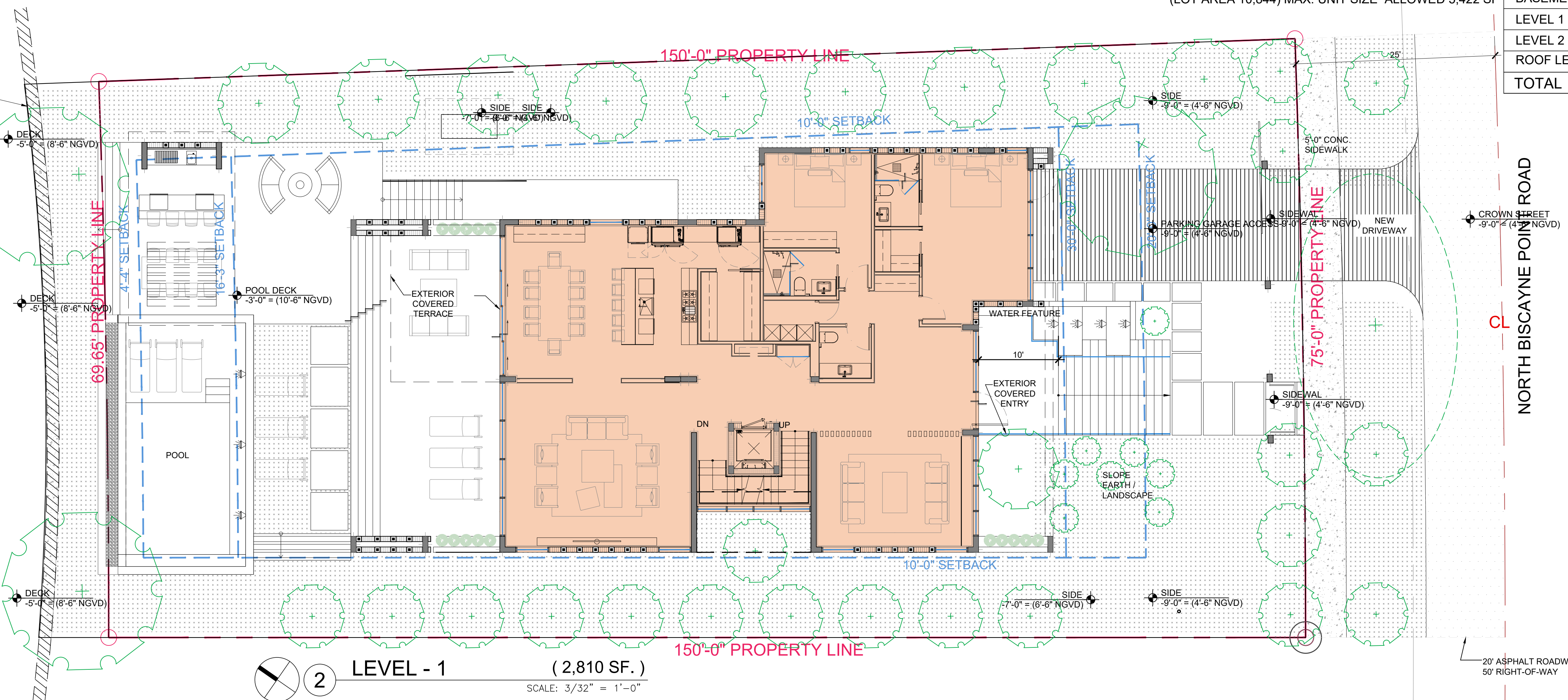
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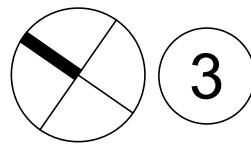
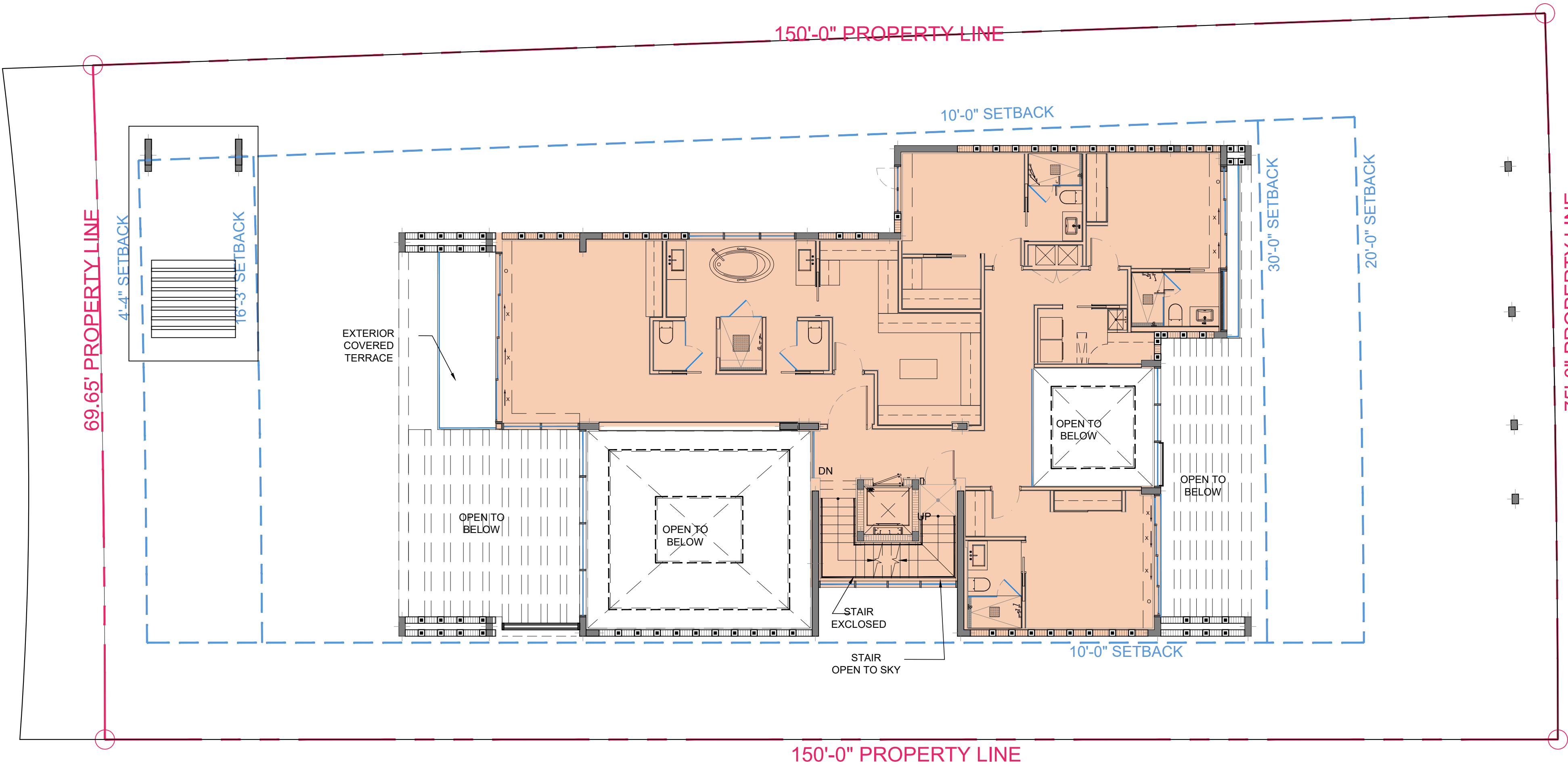
## UNIT SIZE CALCULATION

Date	12-06-2021	Sheet No.
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Project	1942	

2 LEVEL - 1 (2,810 SF.) SCALE: 3/32" = 1'-0"



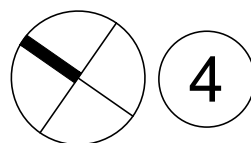
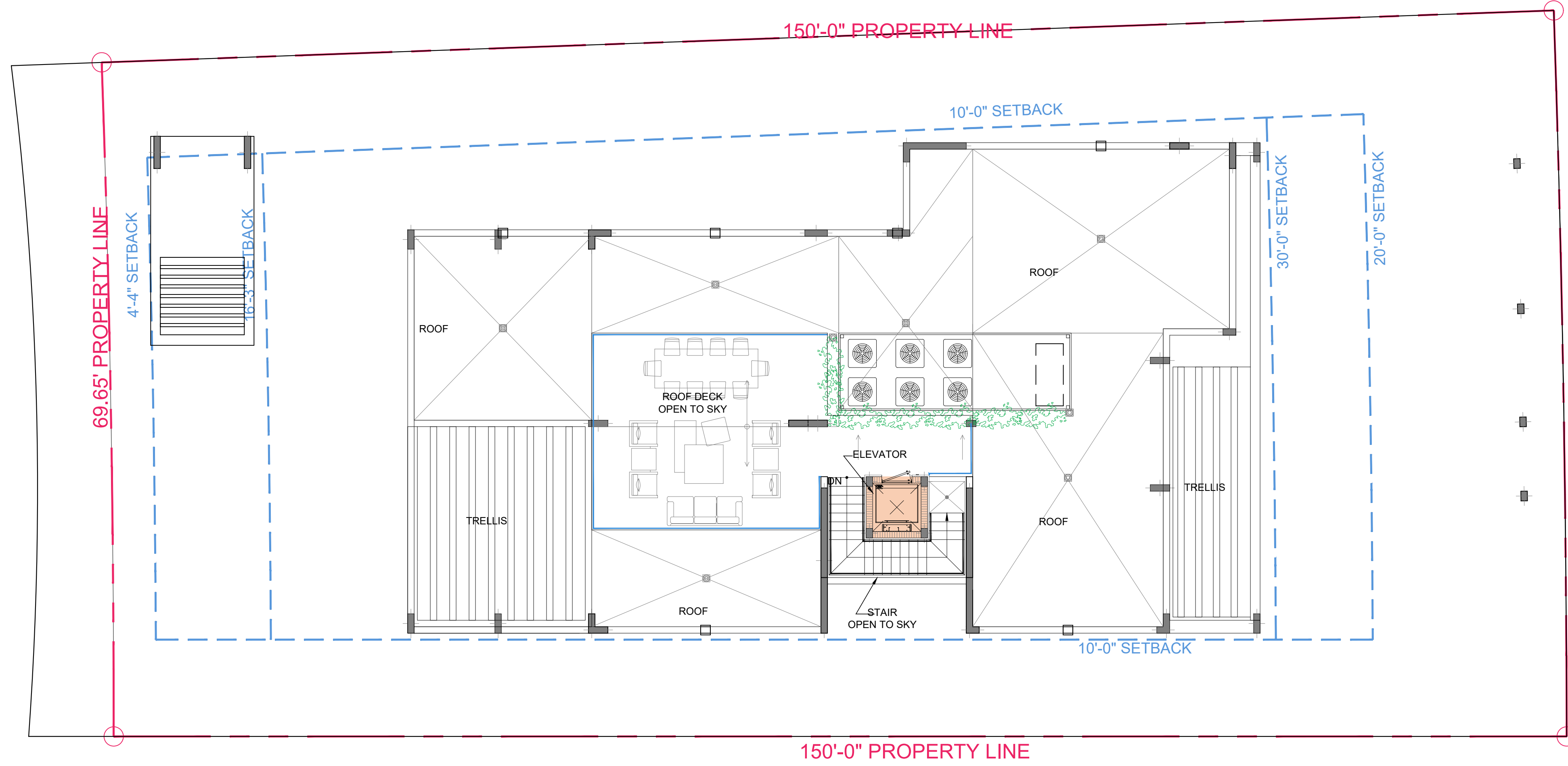
LAKE



3 LEVEL 2 ( 2,307 SF. )

SCALE: 3/32" = 1'-0"

LAKE



4 ROOF LEVEL ( 40 SF. )

SCALE: 3/32" = 1'-0"

UNIT SIZE CALCULATION	
LEVEL	AREA PROVIDED
BASEMENT	265 SF
LEVEL 1	2,810 SF
LEVEL 2	2,307 SF
ROOF LEVEL	40 SF
TOTAL	5,422 SF

(LOT AREA 10,844) MAX. UNIT SIZE ALLOWED 5,422 SF

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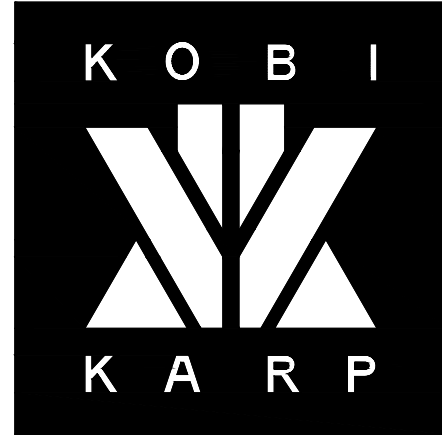
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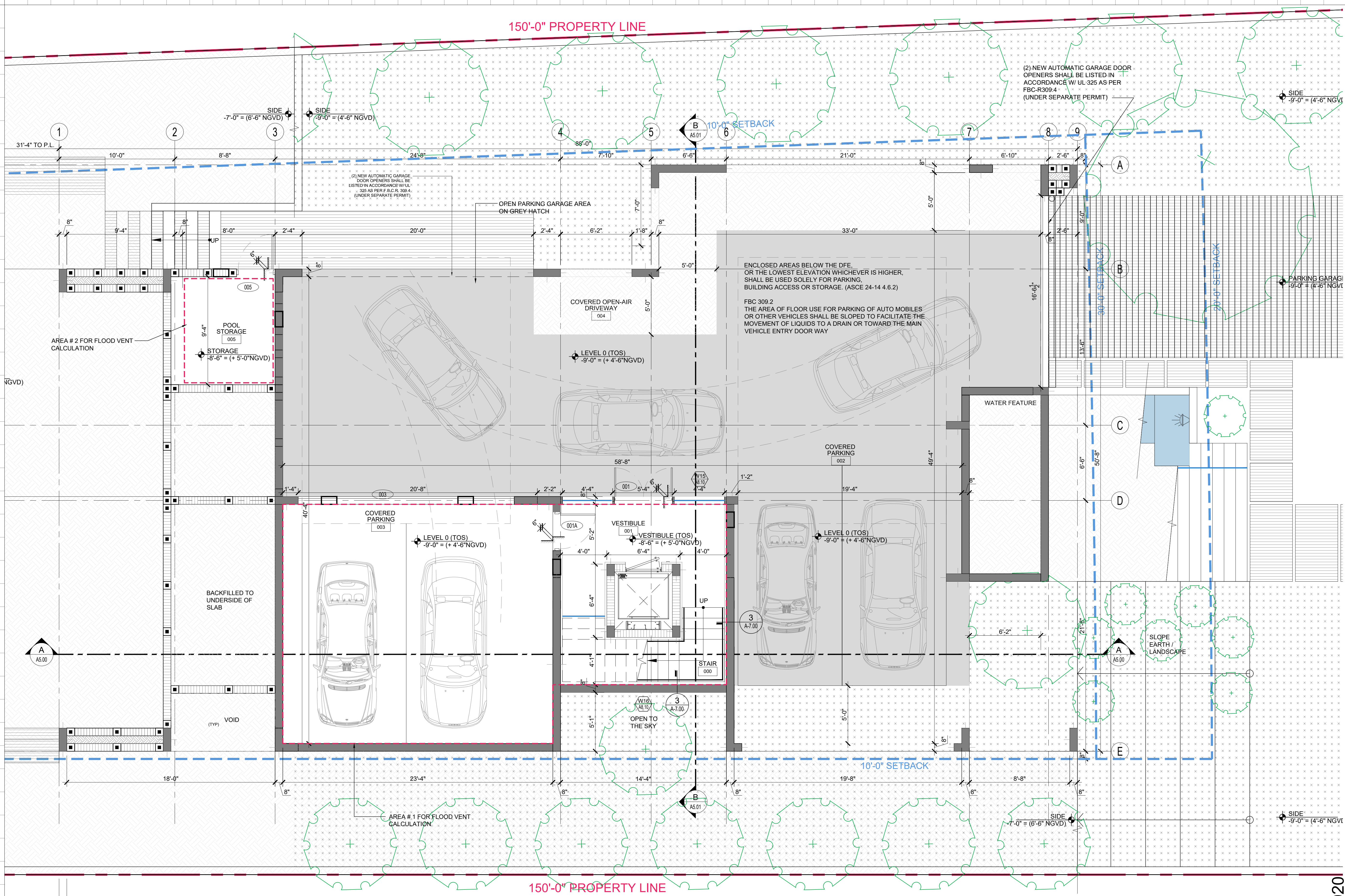


UNIT SIZE CALCULATION

Date	12-06-2021	Sheet No.
Scale		A0.08
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DBR ZONING SET - FINAL SUBMITTAL-12/06/2021





1 FLOOR PLAN - LEVEL 0  
SCALE: 1/4" = 1'-0"

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8		16	
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MIAMI BEACH, FL 33141

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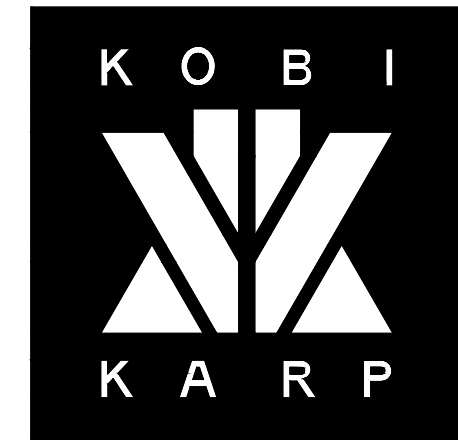
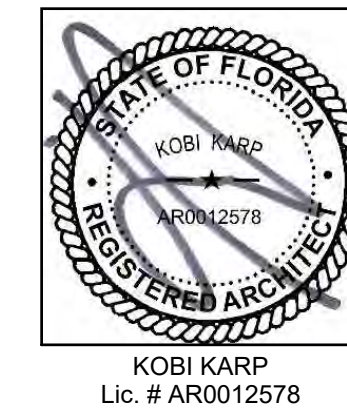
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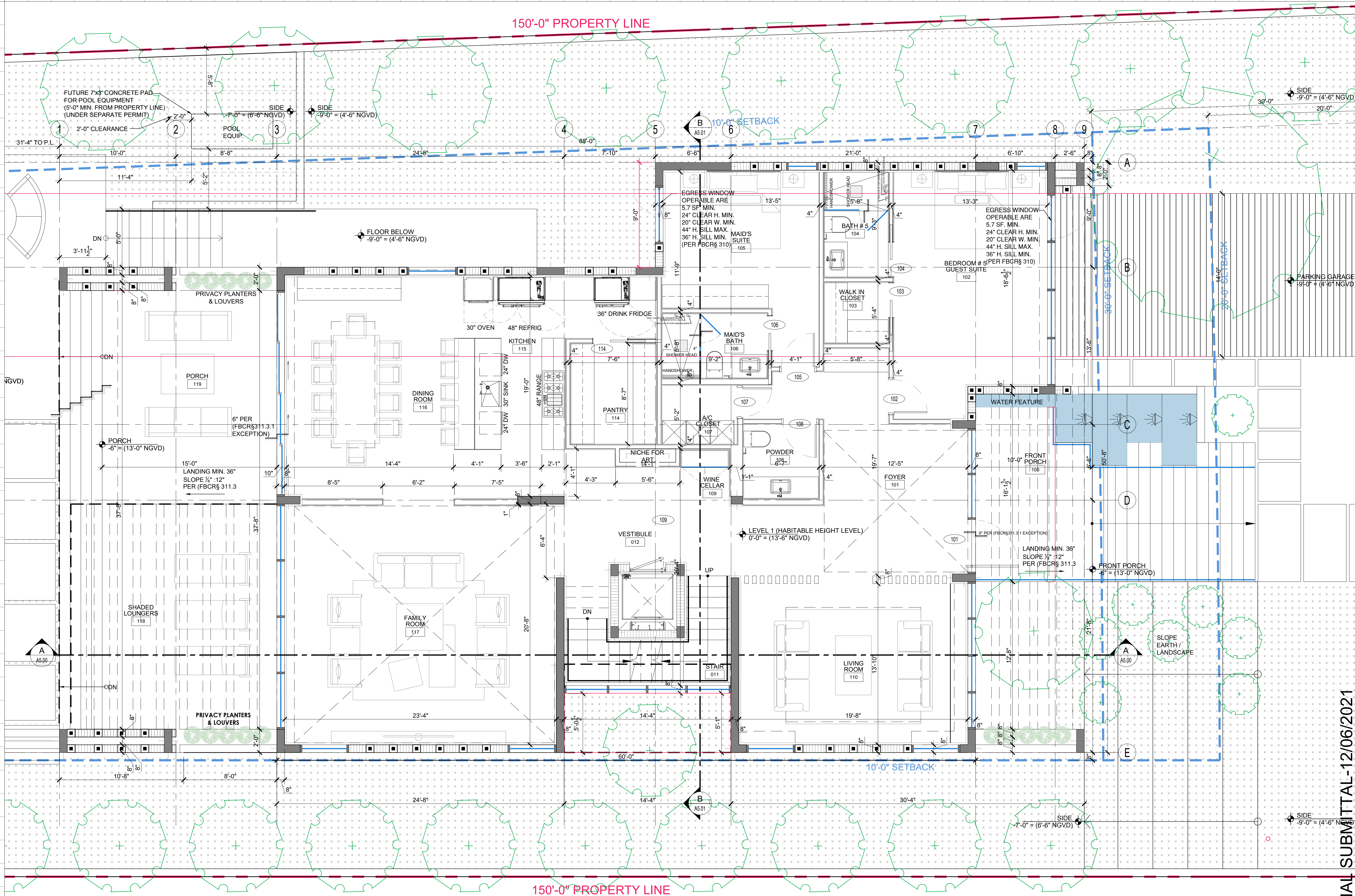
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## FLOOR PLAN - LEVEL 0

Date	12-15-2020	Sheet No.
Scale		A3.00
Project	1942	

PERMIT SET - 12/15/2020



1 FLOOR PLAN - LEVEL 1  
SCALE: 1/4" = 1'-0"

HABITABLE HEIGHT ELEVATION 0'-0" = 13'-6" NGVD  
THE POOL WILL BE UNDER SEPARATE PERMIT.  
REF. TO SITE PLAN PAGE A2.01

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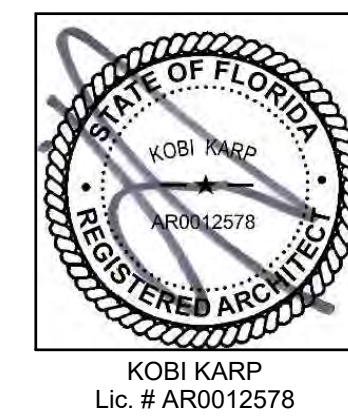
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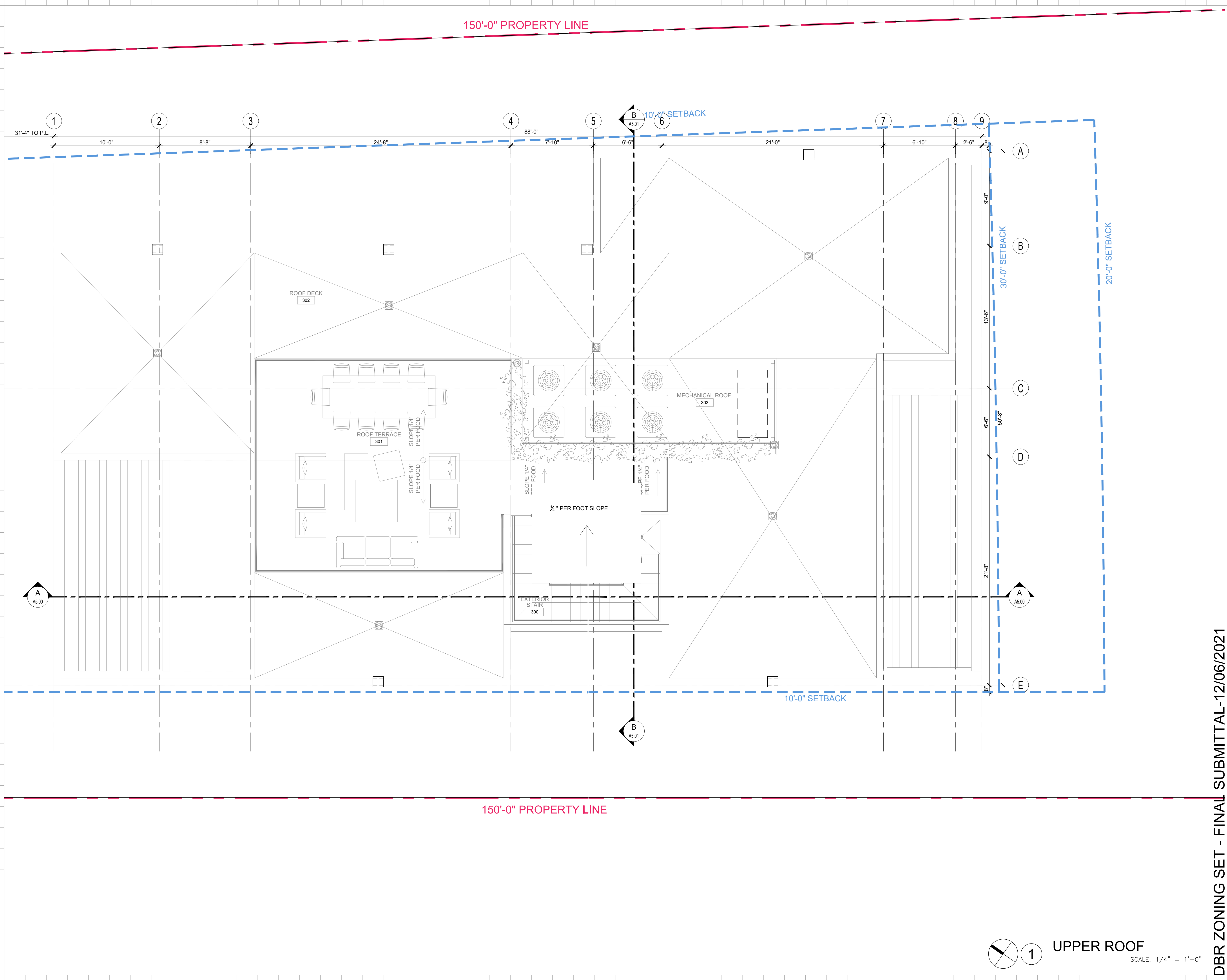
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FLOOR PLAN - LEVEL 1

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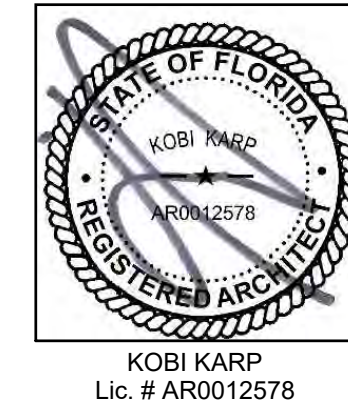
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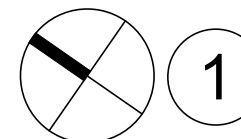
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## UPPER ROOF PLAN

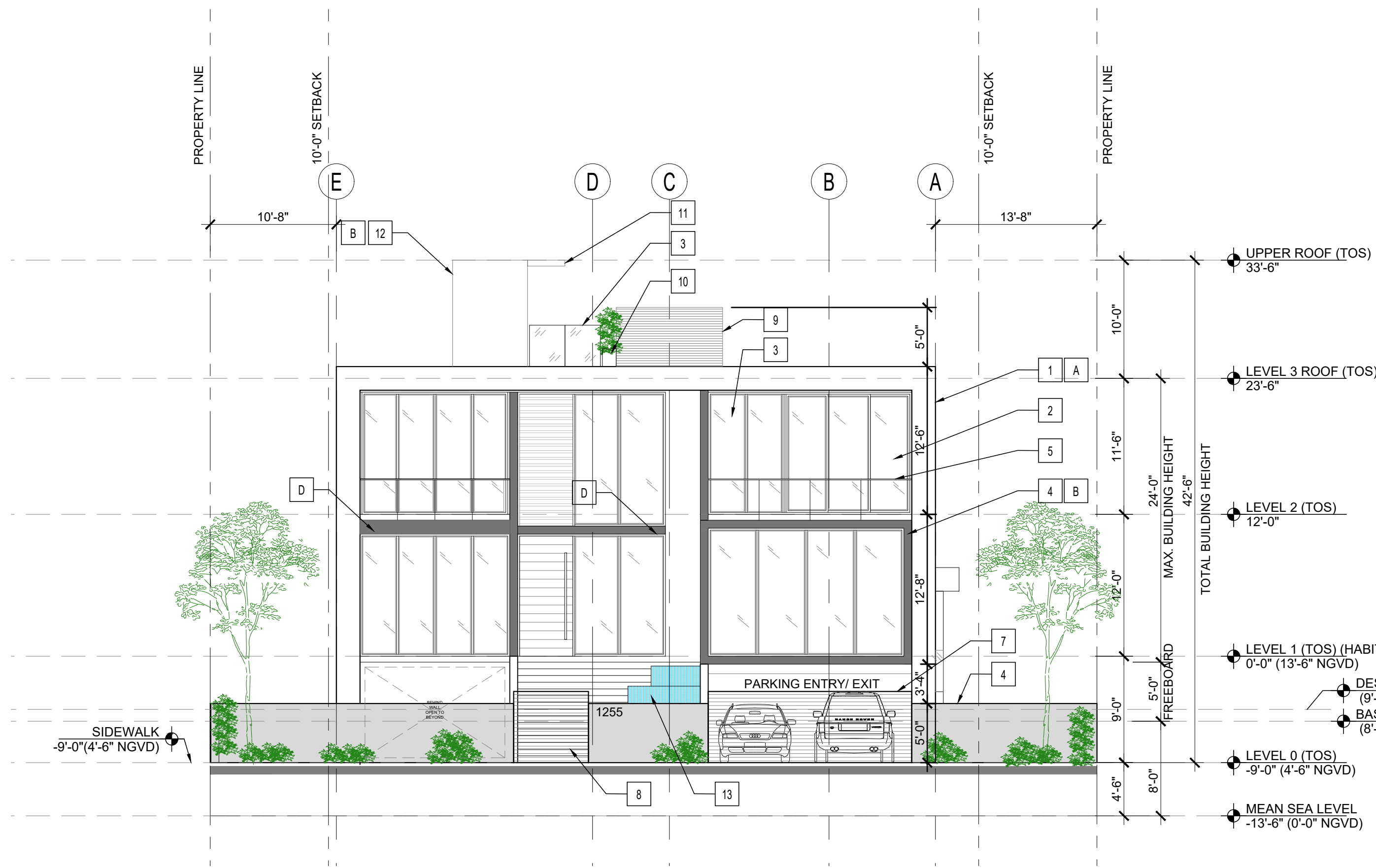
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UPPER ROOF

SCALE: 1/4" = 1'-0"

DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



1 BUILDING ELEVATION  
SCALE: 1/8" = 1'-0"

BLDG ELEVATION NOTES	
1	-CONCRETE OR CMU WALL WITH SMOOTH STUCCO FINISH, COLOR : SW 7006 EXTRA WHIRE (LOCATOR #257-C1)
2	-ALUMINUM SLIDING WINDOW (FRAME COLOR : GREY) (TINTED GLASS: GRAY)
3	-ALUMINUM FIX WINDOW (FRAME COLOR : GREY) (TINTED GLASS: GRAY)
4	-METAL CLADDING
5	-GLASS RAILING
6	-6' HEIGHT FENCE
7	-METAL PARKING GATE
8	-METAL ENTRY DOOR
9	-METAL SCREEN TO COVERED THE MECHANICAL EQUIPMENT
10	-PLANTER TO COVERED THE METAL SCREEN
11	-CONCRETE OVERHANG
12	-ELEVATOR HOISTWAY
13	-ENTRY WATER FEATURE
14	-CONCRETE STAIR
15	-METAL LOUVER
16	-EXPOSED CONCRETE WALL COLOR : SEE REFERENCE COLOR BELOW
17	-EXPOSED CONCRETE WALL COLOR : SEE REFERENCE COLOR BELOW
18	-IP WOOD DECK COLOR : SEE REFERENCE COLOR BELOW
19	-POOL DECK PAVER COLOR : SEE REFERENCE COLOR BELOW
20	-ARTIFICIAL GRASS COLOR : SEE REFERENCE COLOR BELOW
21	-METAL BEAM, COVERED WITH CLADDING TO MATCH WINDOW. COLOR : SEE REFERENCE COLOR BELOW
22	-CONCRETE BAR
23	-CONCRETE STEP
24	-SLOPE GROUND TO REDUCE HEIGHT FROM ENTRY LEVEL
25	-ALUMINUM DOOR (FRAME COLOR : GREY) (TINTED GLASS: GRAY)
26	-CONCRETE TRELLIS SYSTEM GC. TO PROVIDE SHOP DWG'S FOR A & E. APPROVAL

Rev.	Date	Rev.	Date
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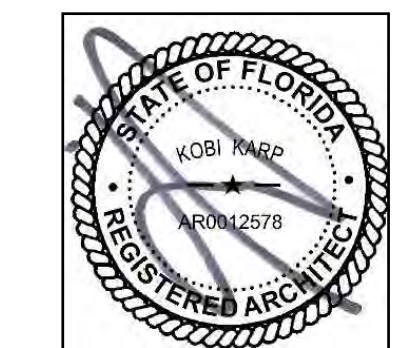
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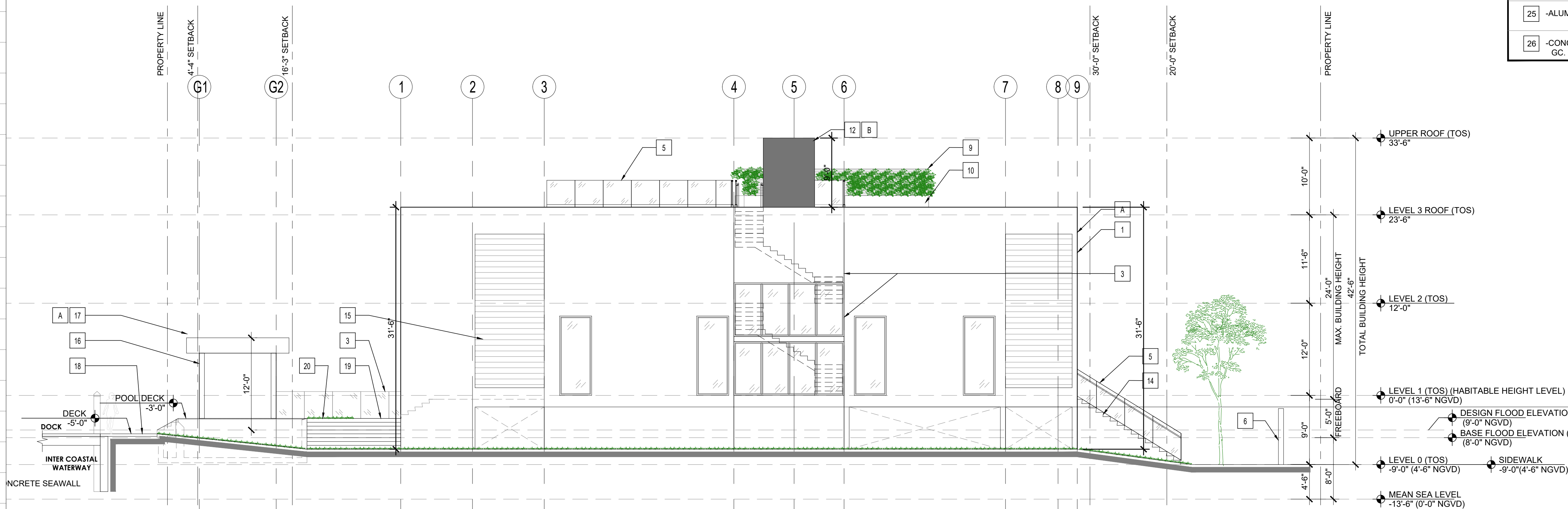


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## BUILDING ELEVATION 1 & 2

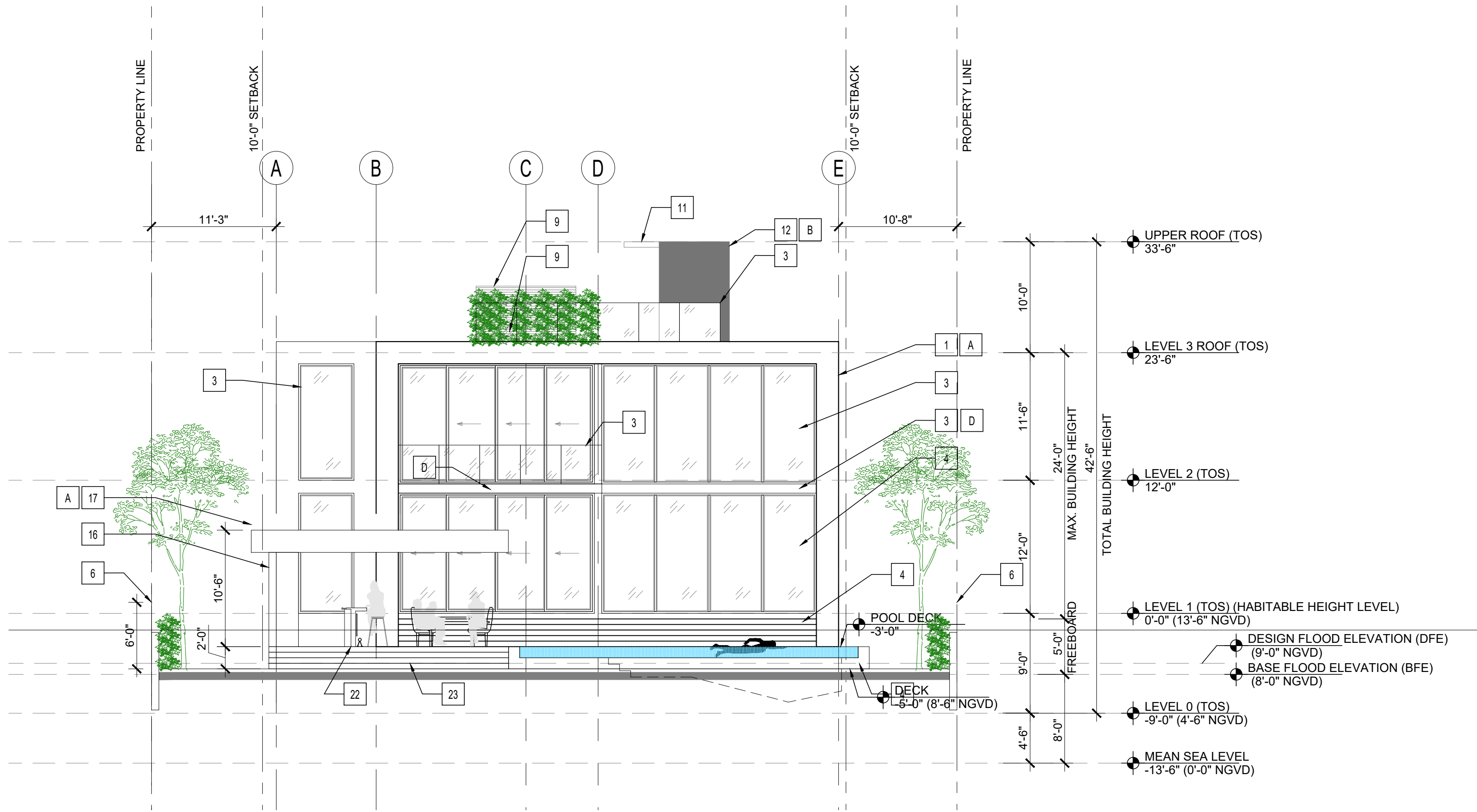
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Project	1942	



2 BUILDING ELEVATION  
SCALE: 1/8" = 1'-0"

BUILDING ELEVATION 1 & 2  
SCALE: 1/8" = 1'-0"

DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



3 BUILDING ELEVATION  
SCALE: 1/8" = 1'-0"

BLDG ELEVATION NOTES	
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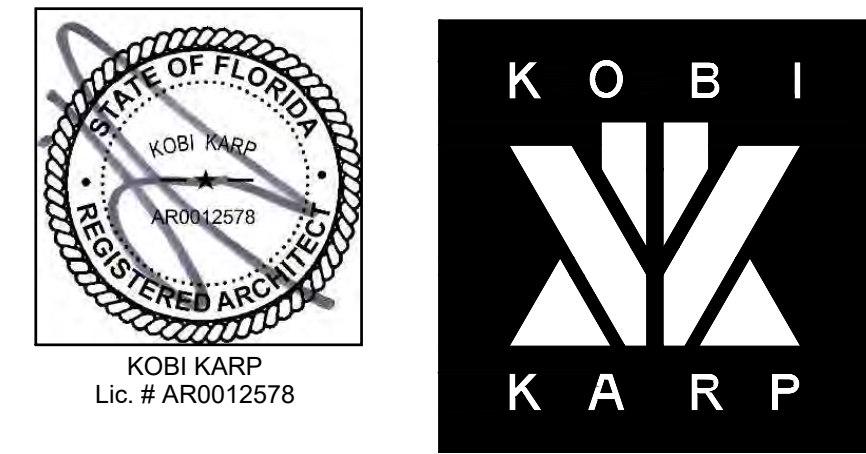
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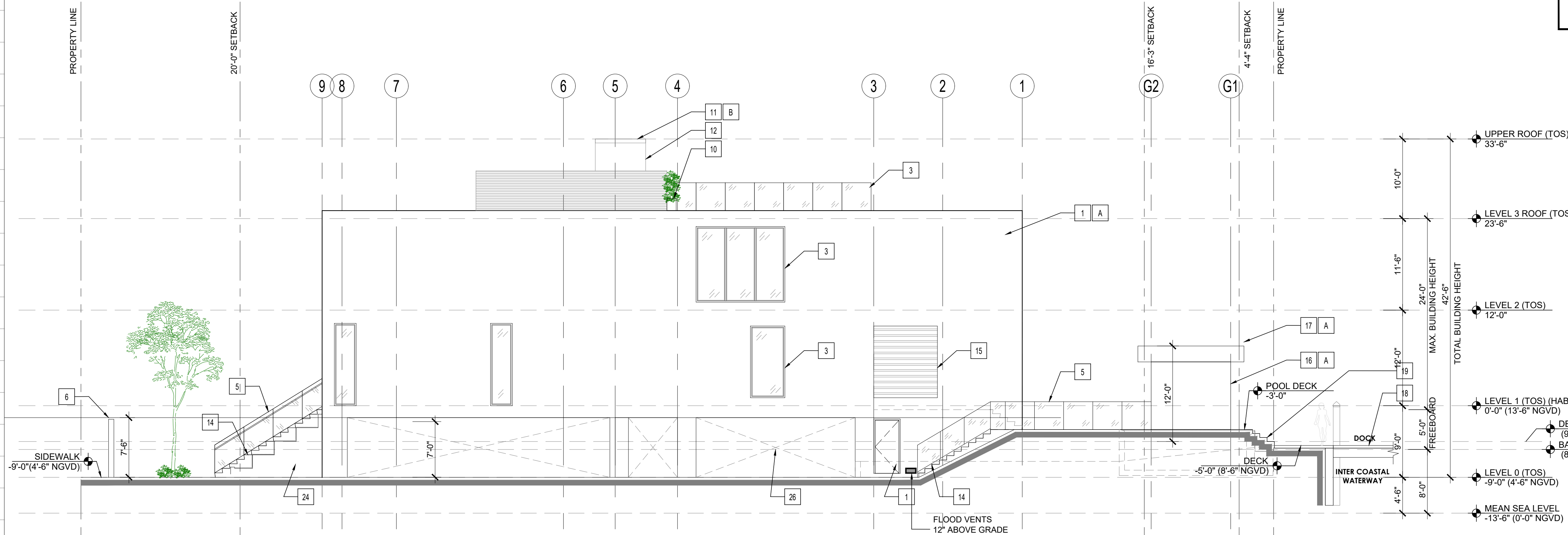
Consultant:  
Name  
Address  
Tel:  
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Architect:  
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## BUILDING ELEVATION 3 & 4

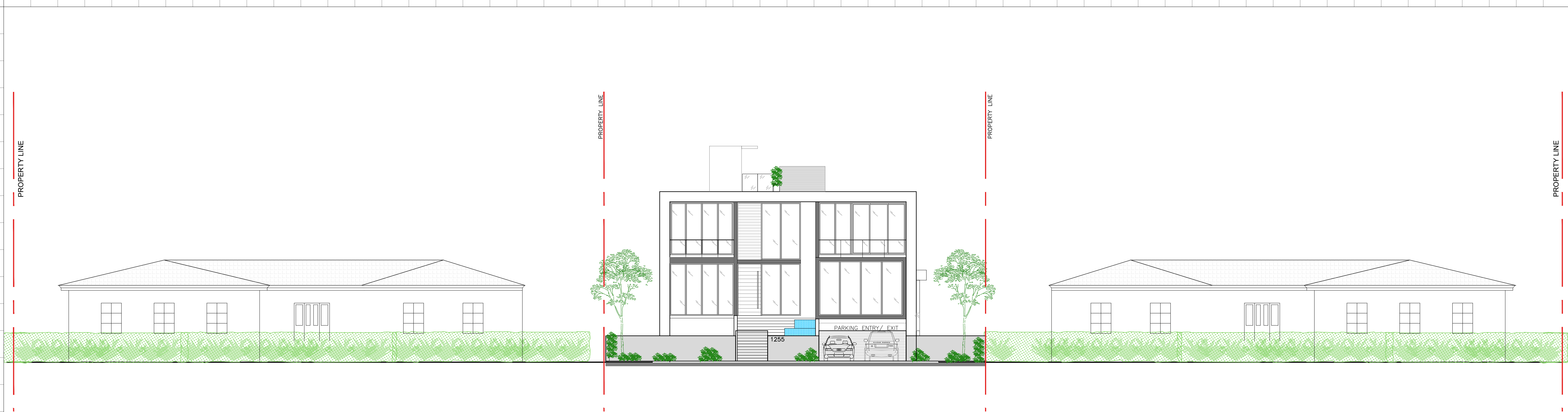
Date	12-15-2020	Sheet No.
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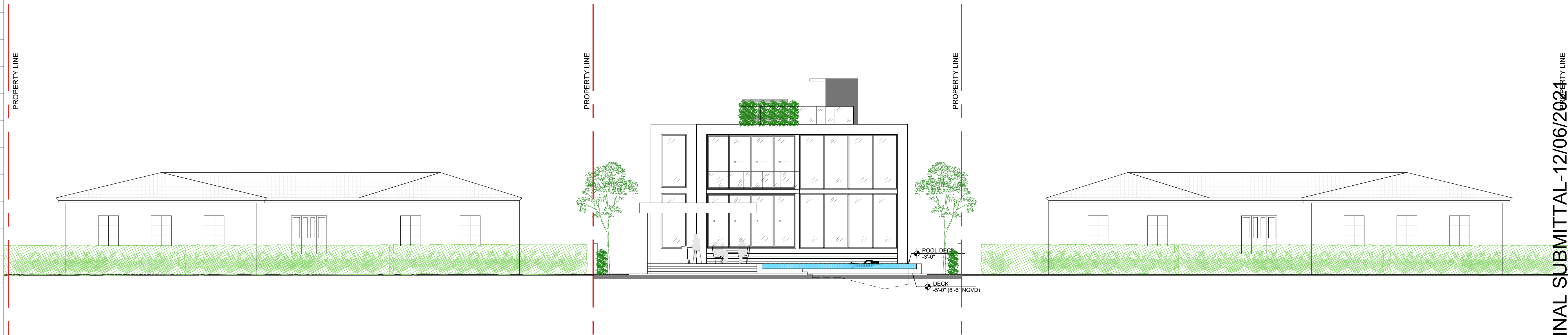
4 BUILDING ELEVATION  
SCALE: 1/8" = 1'-0"

BUILDING ELEVATION 3 & 4  
SCALE: 1/8" = 1'-0"

PERMIT SET - 12/15/2020



1 CONTEXTUAL ELEVATION FRONT  
SCALE: 3/32" = 1'-0"



1 CONTEXTUAL ELEVATION BACK  
SCALE: 3/32" = 1'-0"

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DRB SUBMITTAL

PRIVATE RESIDENCE  
1255 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FL 33141

Owner:

PRIVATE RESIDENCE

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

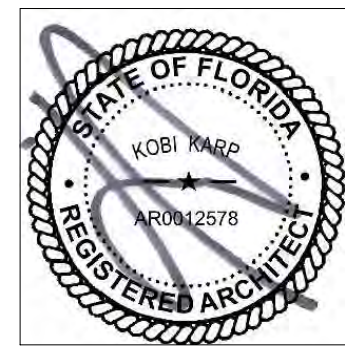
Name  
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Architect:

Kobi Karp Architecture and Interior Design, Inc.  
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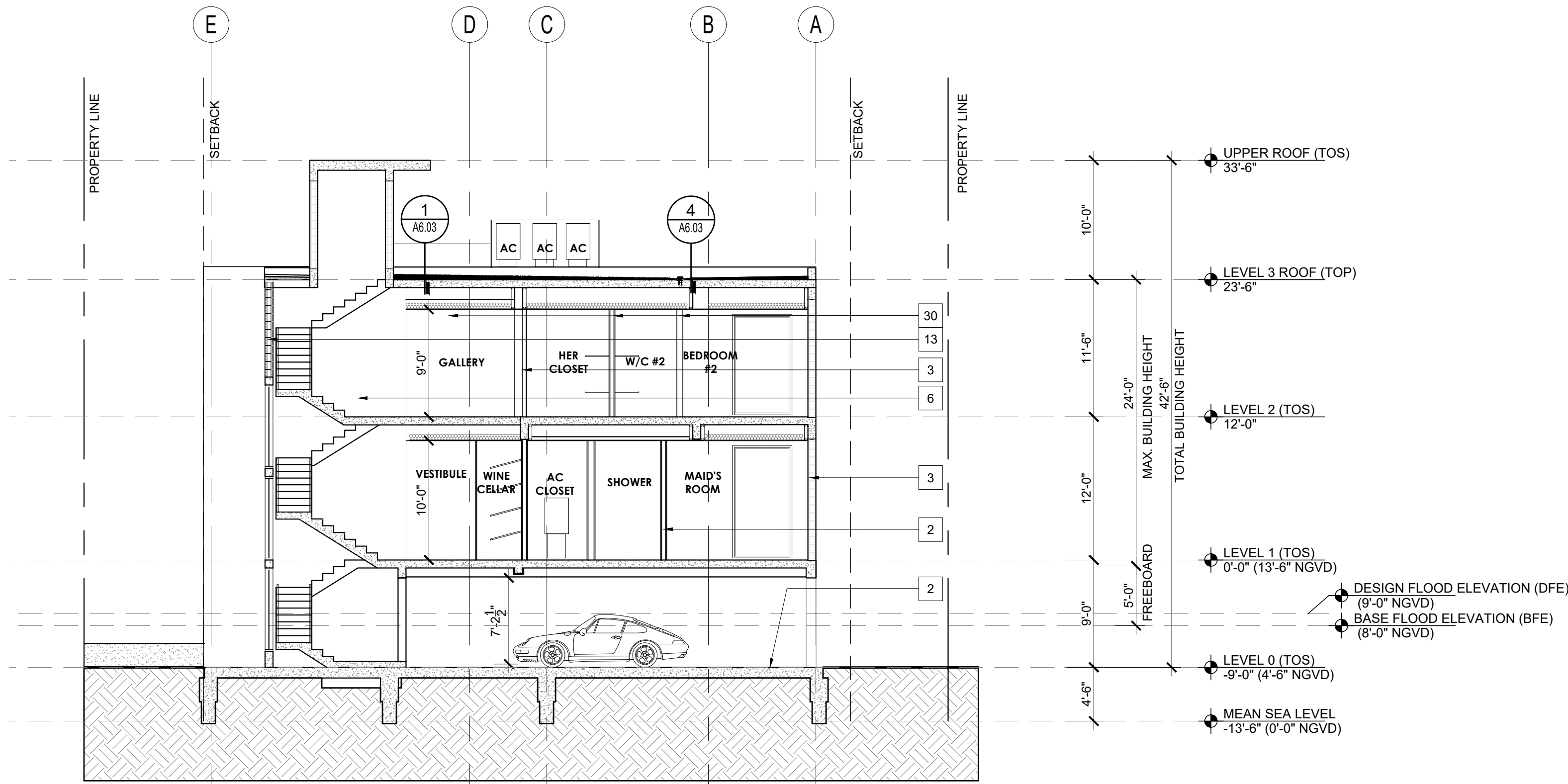


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Lic. # AR0012578



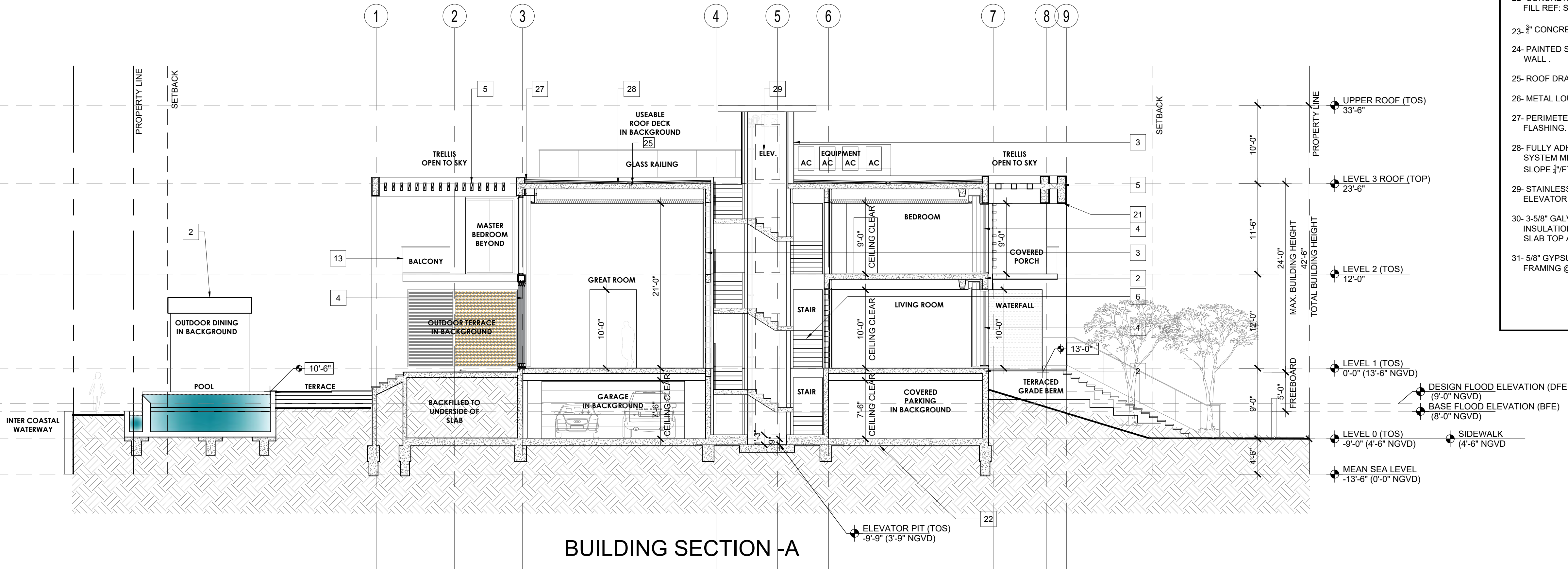
CONTEXTUAL ELEVATIONS

Date	12-06-2021	Sheet No.
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**B** BUILDING SECTION B-B

Scale: 1/8"=1'-0"



**A** BUILDING SECTION A-A

Scale: 1/8"=1'-0"

TAG SECTION NOTES	
NOT ALL THE NOTES APPLY	
1- CONCRETE COLUMN ( FOR DIM. REFER TO STRUCTURAL DRAWING).	
2- CONCRETE SLAB.	
3- CMU WALL	
4- IMPACT RESISTANT GLAZING SLIDING DOORS.	
5- CONCRETE TRELLIS SYSTEM ( UNDER SEPARATE PERMIT)	
6- CONCRETE STAIR ( UNDER SEPARATE PERMIT)	
7- IMPACT RESISTANT GLAZING / WINDOW (FOR DIM. REF. TO A8.10)	
8- NOT USED	
9- ONE COAT OF PLASTER OVER CLEANED SURFACE AND PREPARED CONCRETE SLAB.	
10- CONCRETE ARCH. FEATURE BEAM OR EYEBROW (SLOPE TOP 1/4"FT.) REF: STRUCT. DWG'S.	
11- (2"x4")TECHNOWOOD NATURAL VENEER COATED ALUMINUM TUBE PROFILES	
12- (6") TECHNOWOOD NATURAL VENEER COATED ALUMINUM FAÇADE SYSTEMS	
13- 42" HT. A.F.F. SAFETY GLASS CAT II CLEAR GLASS GUARDRAIL.	
14- CONCRETE STAIR WITH METAL HANDRAIL & GUARDRAIL GC TO PROVIDE SHOP DWG'S FOR A/E APPROVAL..	
15- EMERGENCY SCUPPER 4" ABOVE DRAIN PLUMB. DWG'S.	

TAG SECTION NOTES	
NOT ALL THE NOTES APPLY	
16- VERTICAL METAL MESH SCREEN UNDER SEPARATE PERMIT. PROVIDE SHOP DRAWINGS FOR A/E REVIEW.	
17- TRENCH DRAIN REF: PLUMBING AND CIVIL DWG'S.	
18- EXPANSION JOINT, STRUCT. DWG'S.	
19- PROVIDE WATERPROOFING AT BASEMENT WALLS AND FOUNDATION AS PER WATERPROOFING CONSULTANT SPECS. (TYP.).	
20- NOT USED	
21- 3/4" CONTINUOUS STUCCO DRIP (TYP.).	
22- CONCRETE SLAB ON COMPACTED CLEAN INORGANIC CLEAN FILL REF: STRUCTURAL DWG'S.	
23- 3/4" CONCRETE SLAB DEPRESSION (TYP.).	
24- PAINTED STUCCO, (3) COAT FINISH OVER CONCRETE OR CMU WALL.	
25- ROOF DRAIN REF: PLUMBING DWG'S	
26- METAL LOUVER REF: MECHANICAL DWG'S.	
27- PERIMETER ROOF GALV. MTL. FLASHING AND COUNTER FLASHING.	
28- FULLY ADHERED FIBER REINFORCED SINGLE PLY ROOFING SYSTEM MEMBRANE ON R-30 TAPERED RIGID INSULATION SLOPE 3/4"FT. TO DRAINS. REF: MECH. DWG'S.	
29- STAINLESS STEEL ELEVATOR DOOR AND FRAME REF: TO ELEVATOR SECTION SHEET A14.00.	
30- 3-5/8" GALV. MTL. (25GA.) STUD PARTITION @ 24" O/C W/ INSULATION, AS REQUIRED AND BRACED TO CONCRETE SLAB TOP AND BOTTOM. REF. TO SHEET A610.	
31- 5/8" GYPSUM BOARD, TAPED AND SPARKED ON GALV. MTL. FRAMING @ 24" O.C.	

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1255 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FL 33141

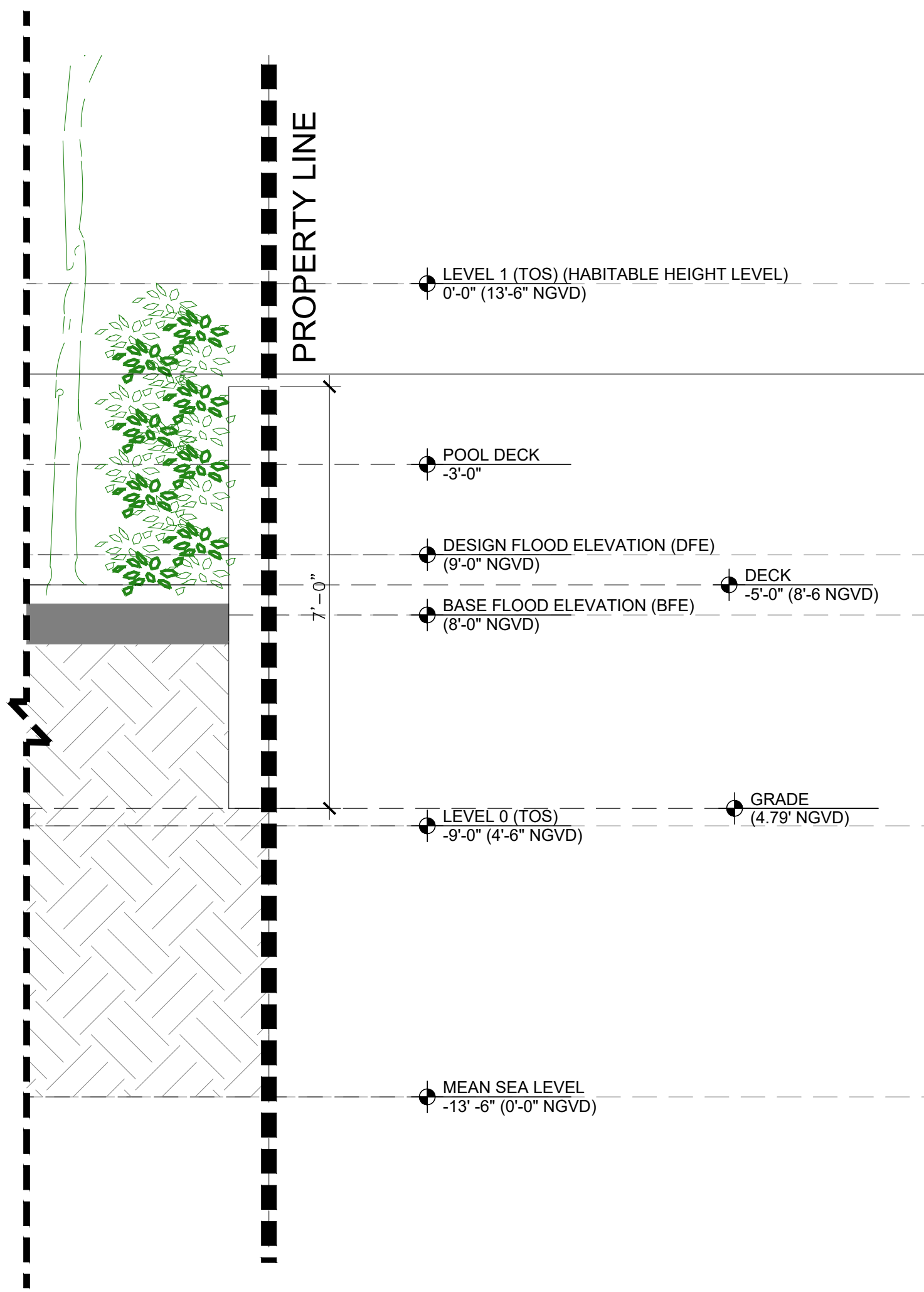
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<b>PRIVATE RESIDENCE</b>	
<b>Consultant:</b> Name Address Tel: Email	
<b>Consultant:</b> Name Address Tel: Email	
<b>Consultant:</b> Name Address Tel: Email	
<b>Architect:</b> Kobi Karp Architecture and Interior Design, Inc. 2915 Biscayne Boulevard, Suite #200 Miami, Florida 33137 USA Tel: +1(305) 573 1818 Fax: +1(305) 573 3766	



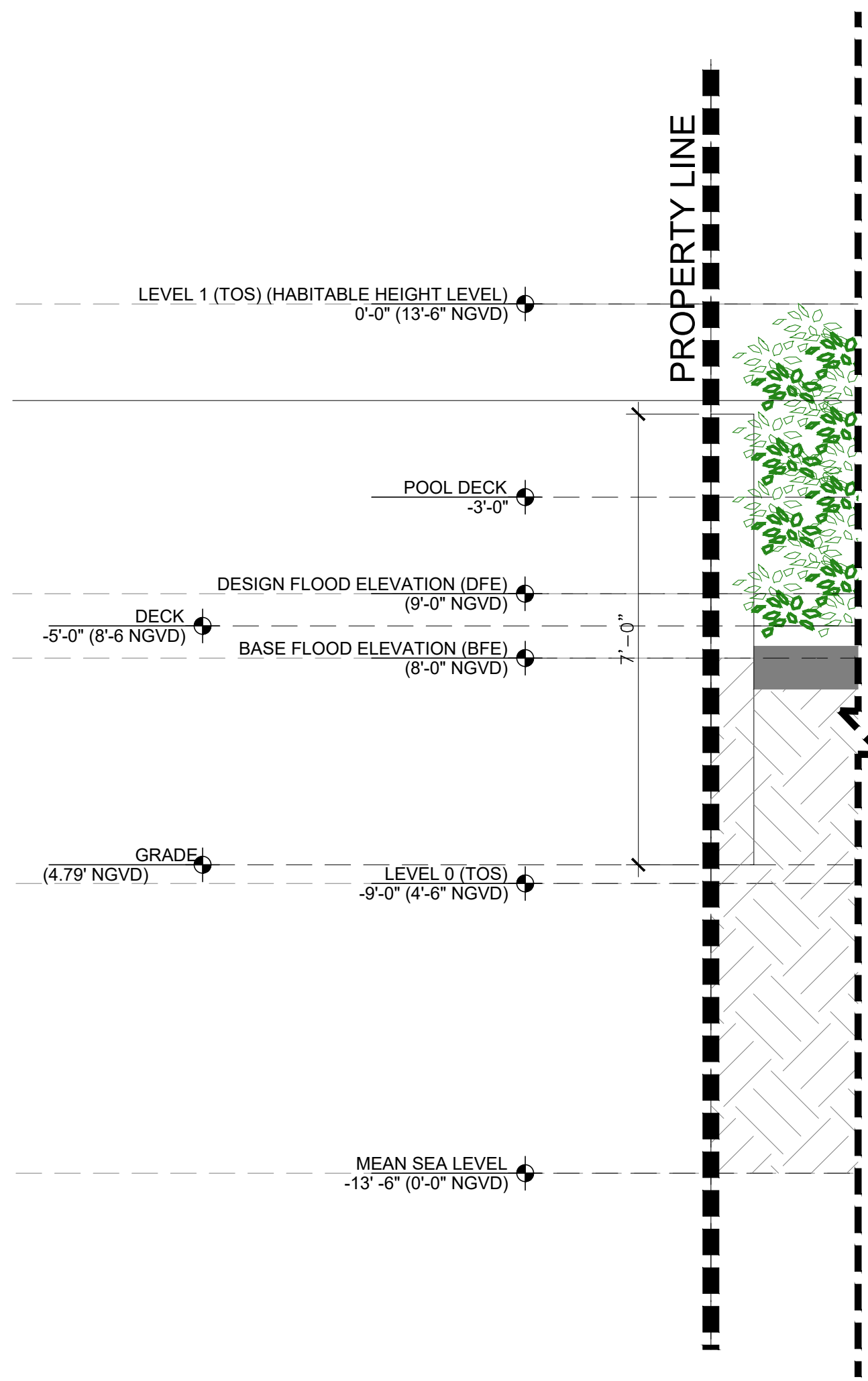
## BUILDING SECTIONS

Date	12-06-2021	Sheet No.
Scale		A5.01
Project	1942	

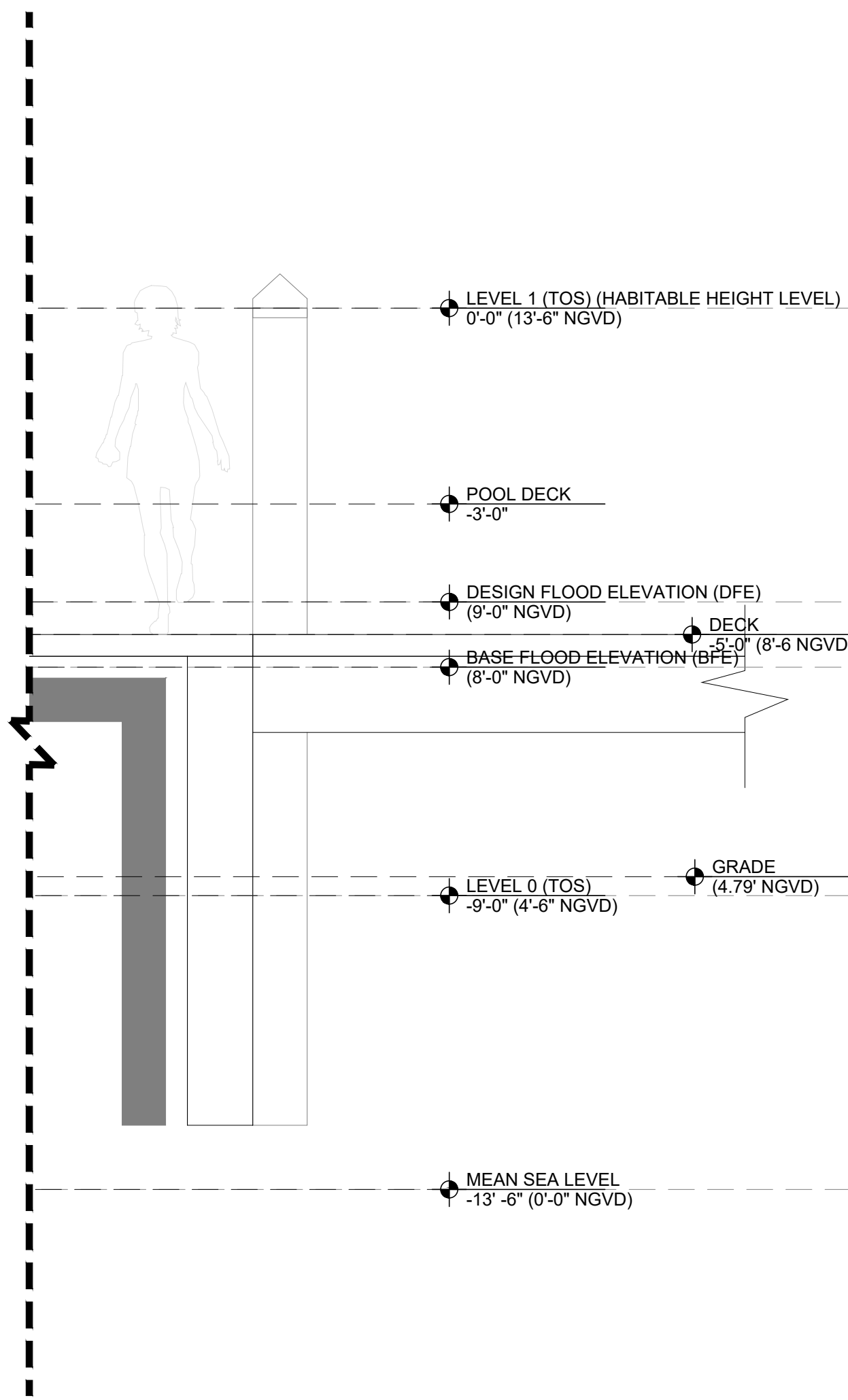
DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



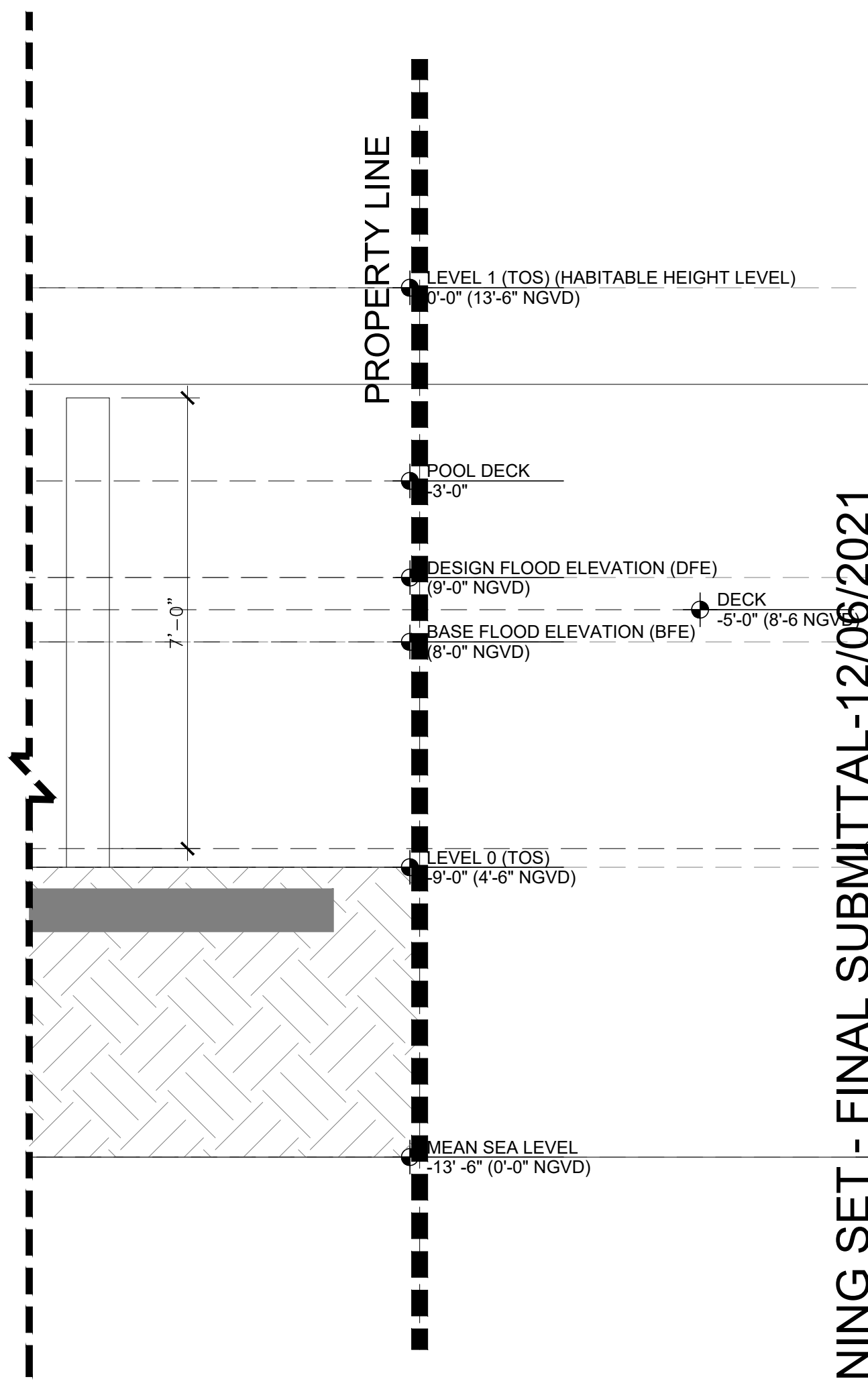
2 PROPOSED REAR YARD SECTION  
SCALE: 3/32" = 1'-0"



3 PROPOSED SIDE YARD SECTION  
SCALE: 3/32" = 1'-0"



4 PROPOSED BACK YARD SECTION  
SCALE: 1/2" = 1'-0"



5 PROPOSED FRONT YARD SECTION  
SCALE: 1/2" = 1'-0"

Rev.	Date	Rev.	Date
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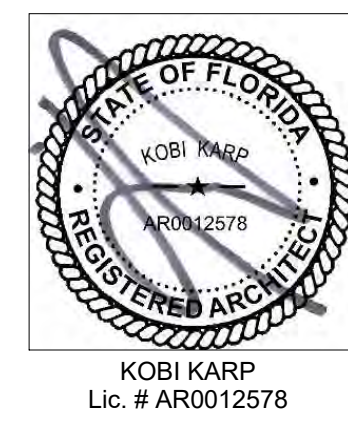
Owner:  
  
PRIVATE RESIDENCE

Consultant:  
Name  
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Tel:  
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Consultant:  
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Address  
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Consultant:  
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Email

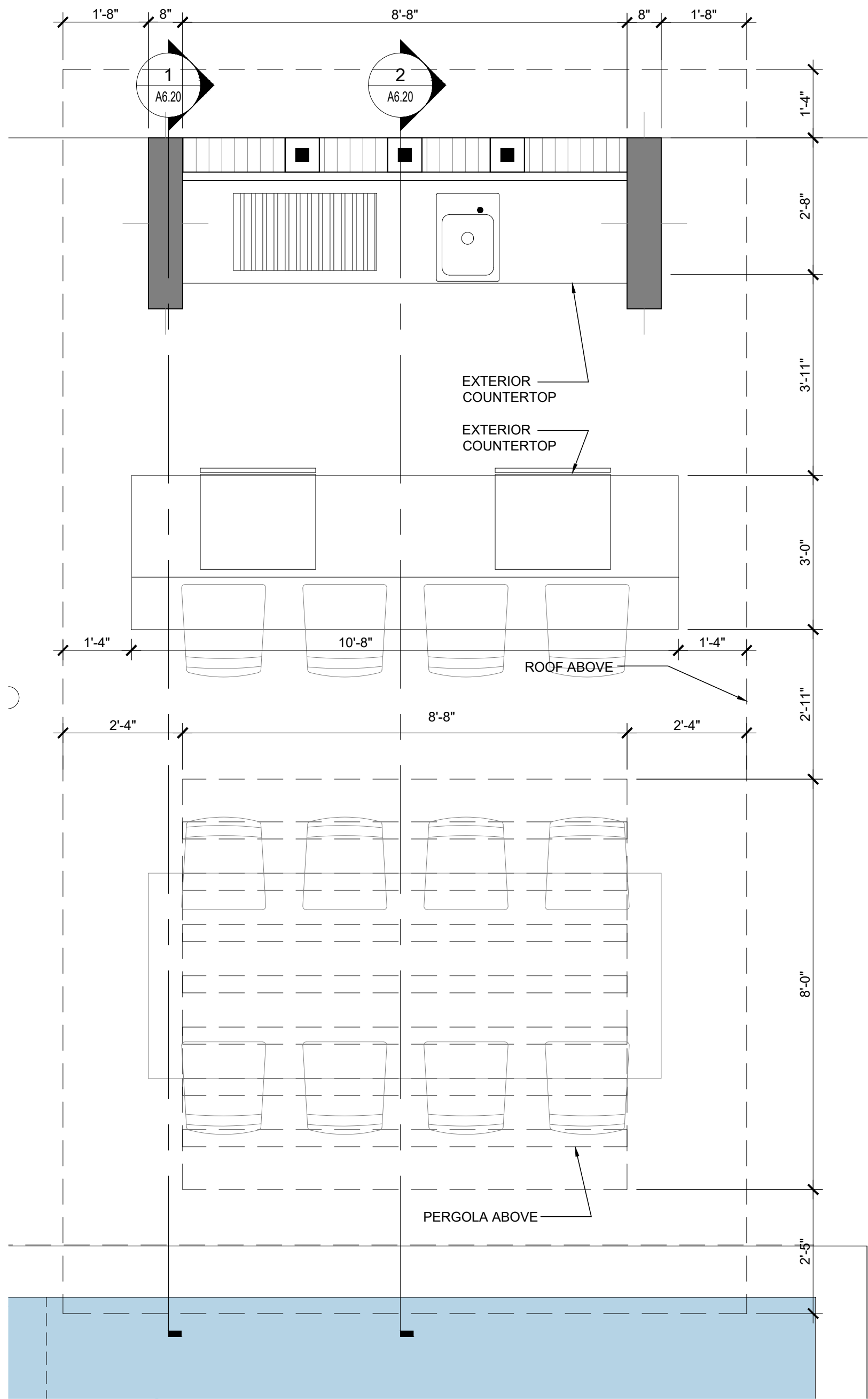
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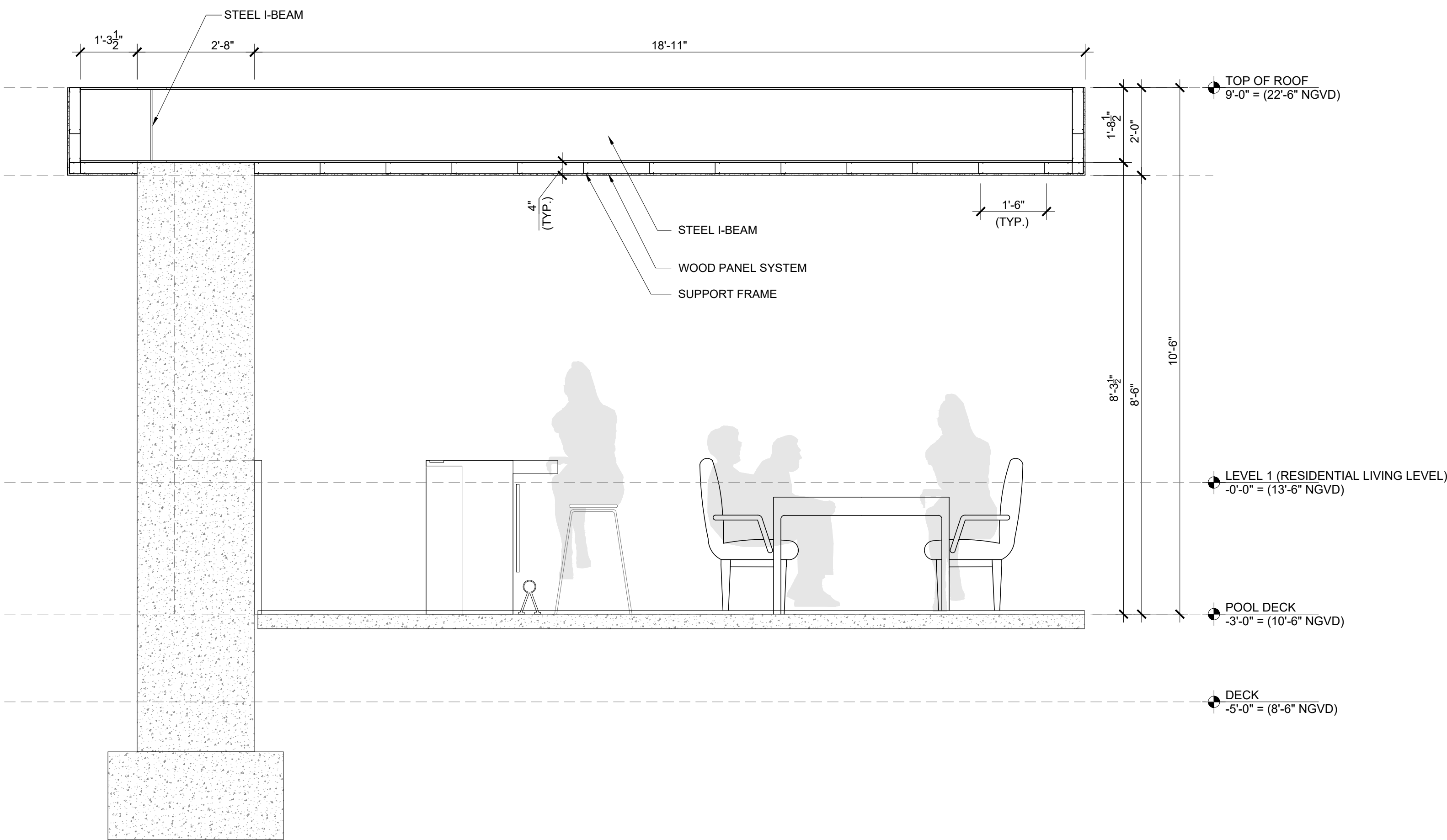
SITE YARD SECTIONS

Date	12-06-2021	Sheet No.	A5.02
Scale			
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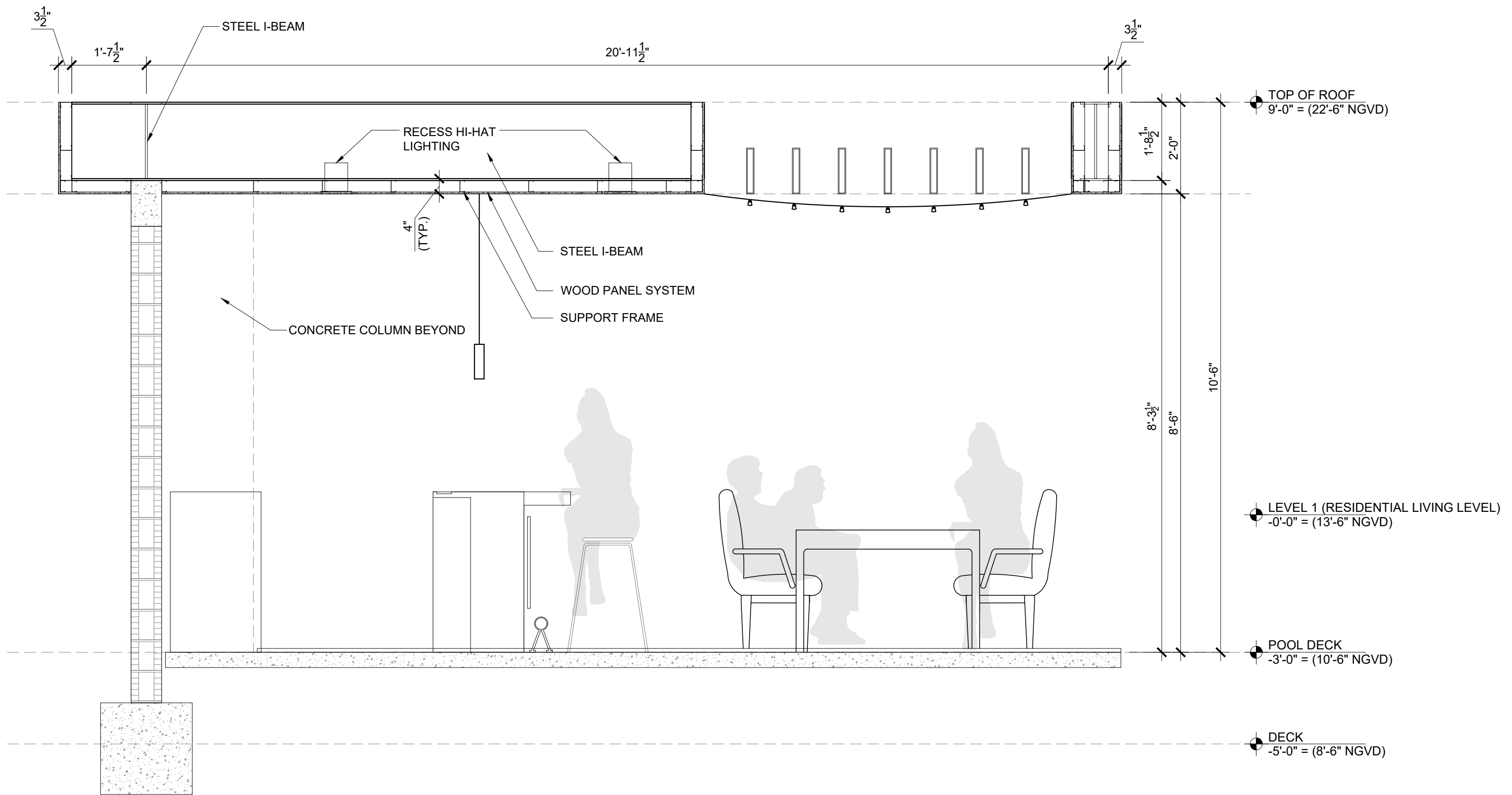
DBR ZONING SET - FINAL SUBMITTAL-12/06/2021



**ENLARGED CABANA FLOOR PLAN**  
SCALE: 1/2" = 1'-0"



**SECTION 1/A6.20**  
SCALE: 1/2" = 1'-0"



**SECTION 2/A6.20**  
SCALE: 1/2" = 1'-0"

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**CONSTRUCTION DOCUMENTS**

100% Submission

**PRIVATE RESIDENCE**  
1255 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FL 33141

Owner:

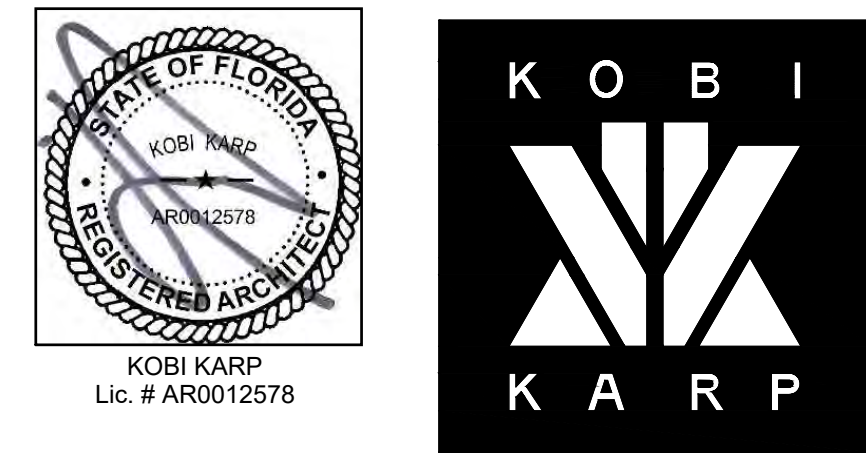
PRIVATE RESIDENCE

Consultant:  
Name  
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Tel:  
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Consultant:  
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Architect:  
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**POOL CABANA DETAILS**

Date	12-15-2020	Sheet No.
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PERMIT SET - 12/15/2020



NEW RESIDENCE | 1255 NORTH BISCAYNE POINT ROAD | MIAMI BEACH, FLORIDA

CLIENT / PROPERTY INFORMATION

Stojkovic Residence

PROPERTY ADDRESS  
1255 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FL 33141

EXISTING VEGETATION SUMMARY

The existing vegetation located on the property is composed primarily of palms, shrubs and groundcovers. There are no existing trees located in this property to be removed. The Landscape Architect intends to keep all palms unless they are in direct conflict with the proposed addition. There are (6) clusters of Alexander Palms and (4) Traveller's Palms to be removed. Additionally, there are (2) Specimen Coconut Palms to be removed. Mitigation and permits will be provided as per the C.M.B. Tree Preservation and Protection Ordinance.

SCOPE OF WORK

- New tropical landscape design to complement new residence

INDEX OF SHEETS

- L0.00 Landscape Cover Page + Sheet Index
- L0.01 General Notes
- L1.00 Existing Tree Survey + Disposition Plan
- L1.01 Existing Tree Chart, Mitigation Summary, Notes + Details
- L2.00 Landscape Plan: Level 1
- L2.01 Landscape Plan: Roof Level
- L2.02 Plant List, Landscape Code + Details
- L3.00 Irrigation Plan: Level 1
- L3.01 Irrigation Plan: Roof Level
- L4.00 Landscape Lighting Plan

Rev.	Date	Rev.	Date
1	02.03.21		

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CONSTRUCTION DOCUMENTS

100% Submission

PRIVATE RESIDENCE  
1255 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FL 33141

CCLA  
CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE

Owner:

PRIVATE RESIDENCE

Consultant: Landscape Architect  
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Address 780 NE 69th Street  
Address Suite 200  
Tel: Tel: 786.536.2961  
Email chris@christophercawley.com

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Architect of Record:  
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CHRISTOPHER CAWLEY  
Lic. # 6666786



LANDSCAPE COVER + SHEET INDEX

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PERMIT SET - 12/15/2020

IRRIGATION NOTES

1. IRRIGATION CONTRACTOR SHALL PROVIDE, FURNISH, AND INSTALL A FULLY AUTOMATIC IRRIGATION SYSTEM WHICH WILL COMPLY WITH ALL LOCAL CODE, STATE CODE, & WATER MANAGEMENT DISTRICT (SWFMD) REQUIREMENTS.
2. THE IRRIGATION CONTRACTOR SHALL SCHEDULE AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE OWNER AND THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION OF THE IRRIGATION SYSTEM.
3. CONTRACTOR SHALL INSTALL POP-UP TYPE HEADS. SPRAY TYPE SHALL BE ROTOR, IMPACT, SPRAY, OR BUBBLER AND SHALL BE INSTALLED SO AS NOT TO CAUSE ANY OVERSPRAY ONTO ANY PAVED SURFACES, I.E. ROADS, SIDEWALKS, ETC. ALL FIXTURES SHALL BE "TORO", "RAINBIRD" OR AN APPROVED EQUAL. ALL WORK SHALL BE DONE IN A PROFESSIONAL MANNER AS PER MANUFACTURER'S SPECIFICATIONS.
4. ALL MAIN SUPPLY LINE SHALL BE PVC SCHEDULE 40 PIPE. ALL PVC FITTINGS SHALL BE SCHEDULE 40. THE MAINLINE IS SHOWN SCHEMATICALLY. LOCATE MAIN LINES IN LANDSCAPE AREAS WHERE POSSIBLE AND SLEEVE UNDER PAVEMENT WHERE NECESSARY. MAINLINES SHALL BE IN THE SAME TRENCH WITH THE LATERAL LINES WHERE POSSIBLE.
5. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID & PROTECT ALL UTILITY LINES, DUCTS, BURIED CABLES AND OTHER UTILITIES IN THE AREA. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR, LIABILITY, AND COSTS INCURRED IN THE DAMAGE OR DESTRUCTION OF SAID UTILITIES. CALL SUNSHINE STATE ONE CALLS 811, 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK FOR PROPER UTILITY LOCATION AND CLEARANCES.
6. THE CONTRACTOR SHALL SECURE ALL WORK WITH THE PROJECT MANAGER, LANDSCAPE CONTRACTOR AND ALL OTHER CONTRACTORS TO INSURE PROPER INSTALLATION, SCHEDULING, AND PROCEDURE.
7. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT MANAGER TO PROVIDE ELECTRICAL SUPPLY TO THE CONTROLLER, PUMP, ETC. AS NEEDED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AS MAY BE DEEMED NECESSARY TO PERFORM THE WORK. ENTIRE SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL AND STATE CODES.
9. ALL SLEEVES UNDER PAVEMENT SHALL BE BURIED PER FLORIDA BUILDING CODE, APPENDIX "F". ALL LATERAL SLEEVES UNDER SIDEWALKS SHALL BE BURIED BELOW WALKWAYS AND SHALL BE SCHEDULE 40 PVC. ALL SLEEVING SHALL BE SCHEDULE 40 PVC PIPE AND SHALL BE 2 TIMES THE MAIN OR LATERAL PIPE SIZE.
10. THE CONTRACTOR SHALL CONNECT THE MASTER VALVE (WHEN APPLICABLE) AND ALL ELECTRIC VALVES TO THE CONTROLLER AND PROVIDE PROPER SYNCHRONIZATION.
11. ALL LOW VOLTAGE ELECTRIC VALVES SHALL BE #14 DIRECT BURIAL. ALL WIRES UNDER ROADS TO BE PLACED IN A SPERARATE 1" SLEEVE. CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO EXTRA WIRES FOR EMERGENCY POST INSTALLATION WIRING.
12. ALL LINE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST TRENCHING AND LOCATION OF SPRAY HEADS IN THE FIELD FOR EXISTING CONDITIONS, WALKS, UTILITIES, STRUCTURES, AND PLANTINGS TO PROVIDE AND INSURE 100% COVERAGE AND 100% OVERLAP.
13. CONTRACTOR SHALL PROVIDE A ONE-YEAR GUARANTEE ON ALL PARTS AND A 90 DAY GUARANTEE ON LABOR FROM THE DATE OF FINAL ACCEPTANCE...
14. THE IRRIGATION CONTRACTOR SHALL RECORD ALL CHANGES MADE TO THE IRRIGATION SYSTEM DURING INSTALLATION, AND PROVIDE AN AS-BUILT DRAWING O THE OWNER'S REPRESENTATIVE UPON COMPLETION AND ACCEPTANCE OF THE WORK.
15. THE IRRIGATION CONTRACTOR SHALL INSTRUCT THE OWNER OR THE OWNER'S REPRESENTATIVE IN THE COMPLETE OPERATION AND MAINTENANCE OF THE SYSTEM. THE CONTRACTOR SHALL FURNISH TWO COPIES OF AN IRRIGATION SYSTEM MANAGEMENT MANUAL PREPARED BY THE MANUFACTURER AND THE SYSTEM INSTALLER.

LANDSCAPE LIGHTING NOTES

LAYOUT  
LIGHTING FIXTURE LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED BASED ON FIELD CONDITIONS. LANDSCAPE ARCHITECT TO FIELD VERIFY FIXTURE LOCATIONS DURING INSTALLATION AND OBSERVE FIXTURE ADJUSTMENT DURING NIGHT-TIME HOURS. OWNER AND LANDSCAPE ARCHITECT ARE TO APPROVE ALL FIXTURES AND FINISH SELECTIONS PRIOR TO PURCHASE AND INSTALLATION

INSTALLATION  
LIGHTING CONTRACTOR TO CONNECT TRANSFORMERS TO ANY EXISTING INTERIOR CONTROL PANELS, (Lutron, etc.), OR AS PER GENERAL CONTRACTOR'S INSTRUCTION.  
LIGHTING CONTRACTOR MAY ADD AN ADDITIONAL TRANSFORMER IN THE INTEREST OF REDUCING THE LENGTH OF A PARTICULAR WIRING CIRCUIT.  
ALLOW 25W LOAD PER FIXTURE LEAVING 25% OPEN FOR FUTURE FIXTURES.  
SOME FIXTURES MAY REQUIRE AN ADDITIONAL 18" MOUNTING STAKE AS ADJACENT PLANTING MAY DICTATE.  
USE TAN COLOR WIRING + BROWN STAPLES AT ALL EXPOSED APPLICATIONS AND TREE+ PALM MOUNTED FIXTURES.  
LANDSCAPE ARCH. WILL LOCATE HEIGHTS OF FIXTURES IN TREES + PALMS ON SITE AT TIME OF INSTALLATION.  
LANDSCAPE LIGHTING SHOULD BE REEVALUATED AFTER 6 MONTHS TO CHECK FOR VOLTAGE DROP IN CIRCUITS.

ELECTRICAL / LANDSCAPE CONTRACTOR-PROVIDE CUT SHEETS TO LANDSCAPE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO PURCHASE AND INSTALLATION ( GFCI OUTLETS FOR LOW VOLTAGE TRANSFORMERS TO BE CONNECTED TO MAIN RESIDENCE LIGHTING CONTROLS

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING IN ANY AREA. THE CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES, IRRIGATION AND ALL OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INITIATING OPERATIONS. DRAWINGS ARE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARING DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO ENSURE PROPER WATERING AND MAINTENANCE OF NEW AND RELOCATED PLANT MATERIALS DURING THE ONE YEAR WARRANTY PERIOD.
3. CONTRACTOR IS TO REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
4. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
5. ALL IMPROVEMENTS ARE TO BE CONSTRUCTED AND/OR INSTALLED WITHIN THE EXISTING STATE AND/OR LOCAL RIGHT OF WAY.
6. ALL SITE IMPROVEMENTS INCLUDING GRADING AND DRAINAGE TO BE BY OTHERS. REFER TO ARCHITECTURE AND ENGINEERING PLANS FOR ALL ADDITIONAL INFORMATION.
7. THE LOCATION OF THE LANDSCAPE HOLDING AREA WILL BE IDENTIFIED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ADHERE TO THE ACCESS ROUTES TO AND FROM THE HOLDING AREA WITHOUT DISRUPTING OR IMPEDING ACCESS TO THE SITE BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT MATERIALS, INCLUDING TEMPORARY IRRIGATION AND FERTILIZATION IF NECESSARY DURING CONSTRUCTION, WHILE BEING HELD IN LANDSCAPE HOLDING AREAS.
8. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS. PRIOR TO COMMENCEMENT OF THE LANDSCAPE PLANTING WORK THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS WITH RECOMMENDATIONS FOR SOIL TREATMENT IN THE CONSTRUCTION AREA.
9. LANDSCAPE CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL OR FIELD STAKE THE PLANTS PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. NOTE: NO PLANTING SHALL COMMENCE UNTIL THERE IS A FUNCTIONAL IRRIGATION SYSTEM IN THE AREA TO BE PLANTED. NO TREES SHALL BE PLANTED ON TOP OF IRRIGATION LINES.
10. LANDSCAPE CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/ OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
11. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO MODIFICATION OF THE CONTRACT, PURCHASING AND DELIVERY OF PLANTS. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN. ALL PLANT MATERIALS WILL NOT INCLUDE ANY PLANTS CONSIDERED TO BE INVASIVE BY THE CITY OF MIAMI BEACH.
12. A CITY OF MIAMI BEACH ROW PERMIT SHALL BE OBTAINED FROM PUBLIC WORKS FOR ALL LANDSCAPE + IRRIGATION IMPROVEMENTS WITHIN THE ROW. ALL REQUIRED STREET TREES + ROW LANDSCAPE + IRRIGATION SHALL BE REVIEWED AND APPROVED BY CMB PUBLIC WORKS + URBAN FORESTRY
13. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, GENERAL NOTES AND THE PROJECT MANUAL AND/OR SPECIFICATIONS FOR FURTHER AND COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.
14. CONTRACTOR + LANDSCAPE ARCHITECT TO MEET ON SITE PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATIONS. CONTRACTOR TO PROVIDE IMAGES OF ALL PROPOSED TREES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR PURCHASING AND INSTALLATION.
15. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH PERMANENT OR TEMPORARY IRRIGATION WORK. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED BY OWNER'S REPRESENTATIVE TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
16. LANDSCAPE CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DEPOSITED OFF-SITE OR IN AN APPROVED DISPOSAL AREA DAILY. ALL MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
17. SITE DISTANCE CONCERNS MUST BE MAINTAINED FOR CLEAR SITE VISIBILITY FROM THIRTY (30) INCHES TO SEVENTY-TWO (72) INCHES. TREE TRUNKS ARE EXCLUDED AS SPECIFIED IN APPROPRIATE MUNICIPAL CODES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GUARANTEE OF ALL PLANT MATERIAL FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION. SUBSTANTIAL COMPLETION CONSTITUTES THE BEGINNING OF GUARANTEE PERIOD.
19. THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS TO COMPLY WITH SAFETY CRITERIA, TO AVOID CREATING UNSAFE SIGHT CONDITIONS, OR AS OTHERWISE DIRECTED BY OR APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.  
  
**CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.**  
  
GROUND COVER PLANTING BEDS:  
6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
  
SHRUB AND HEDGE PLANTING AREAS:  
12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
  
TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS:  
**REMOVE ALL LIMESTOCK PRESENT TO A DEPTH OF AT LEAST 30" BEFORE PLACING NEW PLANTING SOIL.** APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
7. ALL EXISTING TREE + PALM INFORMATION THAT HAS BEEN PROVIDED ON THIS PLAN FOLLOWS THE CITY OF MIAMI BEACH TREE PERMITTING GUIDELINES. ANY TREES + PALMS CONSIDERED INVASIVE OR THAT FALLS UNDER THE TREE PERMIT EXEMPTION / PROHIBITED SPECIES LIST 24-94 (4) MAY NOT BE SHOWN FOR CLARITY PURPOSES. ANY DISCREPANCIES IF NOTED UPON FURTHER FIELD INSPECTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING. ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW.
9. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH APPROVED NATURAL SHREDDED COCO BROWN MULCH FREE FROM WEEDS AND PESTS. NO 'NUGGETS', 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 6" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.
10. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
11. **ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA) AND ANSI A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.**  
  
**CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND OR BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.**
12. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
13. IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING-IN DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.  
  
**A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.**
13. FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. FERTILIZER SHALL BE SCOTTS AGRIFORM 20-10-5 PLANTING TABS OR APPROVED EQUAL AS RECOMMENDED BY LANDSCAPE CONTRACTOR
14. **SHOULD ANY TREES OR PALMS BE DAMAGED THEY SHALL BE EVALUATED BY THE CITY URBAN FORESTER TO DETERMINE CORRECTIVE ACTIONS THAT MAY INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTION REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH A CITY OF MIAMI BEACH CODE, ANSI-A 300 PRUNING STANDARDS AND OR AN ISSUED ERM TREE PERMIT OR ENVIRONMENTAL PERMIT. ANY CORRECTIVE PRUNING REQUIRED SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST OR ASCA CONSULTING ARBORIST AND THE CITY URBAN FORESTER SHALL BE CONSULTED.**
15. **ALL TREES + PALMS TO REMAIN OR BE RELOCATED ON SITE IN THE VICINITY OF CONSTRUCTION ACTIVITIES, SHALL BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRICADES INSTALLED AT THE TREE OR PALM DRIP LINE. A TREE PROTECTION FENCE SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING AND SHALL REMAIN IN PLACE UNTIL ON SITE CONSTRUCTION HAS BEEN COMPLETED.**
17. **MULCH SHALL NOT BE APPLIED WITHIN 6" OF ANY TREE OR PALM TRUNK THAT IS INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES + PALMS, ALL MULCH SHALL BE AMERIGROW "PREMIUM PINEBARK BROWN" SHREDDED MULCH OR A CITY APPROVED ALTERNATIVE.**
18. **PLANTING SOIL SPECIFICATION FOR UPPER LEVEL PLANTERS** A MIX OF COARSE SAND, FLORIDA PEAT AND PINE BARK. THE APPROXIMATE RATIO SHALL BE  
COARSE SAND 70%  
FLORIDA PEAT 20%  
PINE BARK 10%  
FINAL TESTED ORGANIC MATTER BETWEEN 1.5 AND 2.0% (BY DRY WEIGHT)  
THE FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE 115 POUNDS PER CUBIC FOOT WHEN COMPACTED TO 85% STANDARDS PROCTOR PLANTING SOIL SHALL BE THOROUGHLY MIXED PRIOR TO DELIVERY AND INSTALLATION ADD NUTRICOTE FERTILIZER TO THE PLANTING MIX AT THE TIME MIXING AND BLENDING AT A RATE OF 3 POUNDS PER CUBIC YARD PLANTING SOIL SHALL BE SUPPLIED BY ATLAS PEAT AND SOIL INC. BOYTON BEACH FLORIDA 361-734-7300 PROVIDE A TWO GALLON SAMPLE WITH TESTING DATA THAT INDICATES THE MATERIAL MEETS REQUIREMENTS OF THIS SPECIFICATION INCLUDING RECOMMENDATIONS FOR CHEMICAL ADDITIVES FOR THE TYPES OF PLANTS TO BE GROWN. SAMPLES AND TESTING DATA SHALL BE SUBMITTED AT THE SAME TIME

Rev.	Date	Rev.	Date
<div><div></div><div>P.P.C. &amp; CITY COMMENTS</div><div>02.03.21</div></div>			

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CONSTRUCTION DOCUMENTS

100% Submission

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GENERAL NOTES

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LAKE

N. BISCAYNE POINT ROAD

EXISTING COCONUT PALM ON ADJACENT PROPERTY SHOWN FOR CONTEXT

EXISTING 6-8' HT COCOPLUM HEDGE ON ADJACENT PROPERTY SHOWN FOR CONTEXT

LINE DENOTES FOOTPRINT OF NEW 6' HT FENCE, REFER TO ARCHITECTURE

TREE / PALM TO BE REMOVED (TYP). SEE DISPOSITION CHART ON SHEET L1.01 FOR MORE INFORMATION.

LINE DENOTES FOOTPRINT OF PROPOSED AUTOCOURT

NEW DECK AREA

SWIMMING POOL

FUTURE PROPOSED 2-STORY RESIDENCE

AUTO COURT

EXISTING COCONUT PALM ON ADJACENT PROPERTY SHOWN FOR CONTEXT  
LINE DENOTES FOOTPRINT OF PROPOSED POOL

LINE DENOTES FOOTPRINT OF PROPOSED POOL DECK + OUTDOOR TERRACE

THICK LINE DENOTES FOOTPRINT OF PROPOSED 2-STORY RESIDENCE

HEAVY ARECA PALMS ON THE PROPERTY  
LINE SHOWN FOR CONTEXT

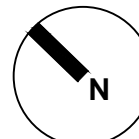
STREET TREE TO REMAIN (TYP). SEE DISPOSITION CHART ON SHEET L1.01 FOR MORE INFORMATION.

#### C.M.B. CHAPTER 46, DIVISION 2 - TREE INVENTORY + DISPOSITION PLAN NOTES

- THIS 'EXISTING TREE INVENTORY + DISPOSITION PLAN' HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION and PROTECTION ORDINANCE.
- EXISTING TREE, PALM, AND VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY LANDTEC SURVEYING DATED 06.08.20
- THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 02.16.21
- MIAMI BEACH P+Z MUST APPROVE LANDSCAPE PLANS PRIOR TO REMOVING ANY TREES OR PALMS WITH A DBH BETWEEN 6" AND 12" INCHES. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM CITY OF MIAMI BEACH GREENSPACE MANAGEMENT / P.W FOR THE REMOVAL OF TREES / PALMS WITH A DBH GREATER THAN 12" INCHES OR IN THE R.O.W.
- THE OWNER RESERVES THE RIGHT TO REMOVE ANY VEGETATION NOT LOCATED WITHIN THE CITY R.O.W. w/ a D.B.H. OF LESS THAN 6" WITHOUT OBTAINING A TREE REMOVAL PERMIT.
- THERE ARE NO TREES or PALMS LOCATED ON THIS PROPERTY THAT WILL REQUIRE TEMPORARY IRRIGATION. ALL EXISTING TREES + PALMS ARE MATURE AND ARE CURRENTLY THRIVING WITHOUT SUPPLEMENTAL IRRIGATION WATER.

#### C.M.B. EXISTING TREE SURVEY LEGEND

- TREE or PALM TO BE REMOVED. SEE CHART L1.01.
- TREE or PALM TO REMAIN. PRESERVE + PROTECT
- TREE or PALM PROTECTION FENCE



1/8" = 1'-0"  
0' 8' 16' 24'

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CHRISTOPHER CAWLEY  
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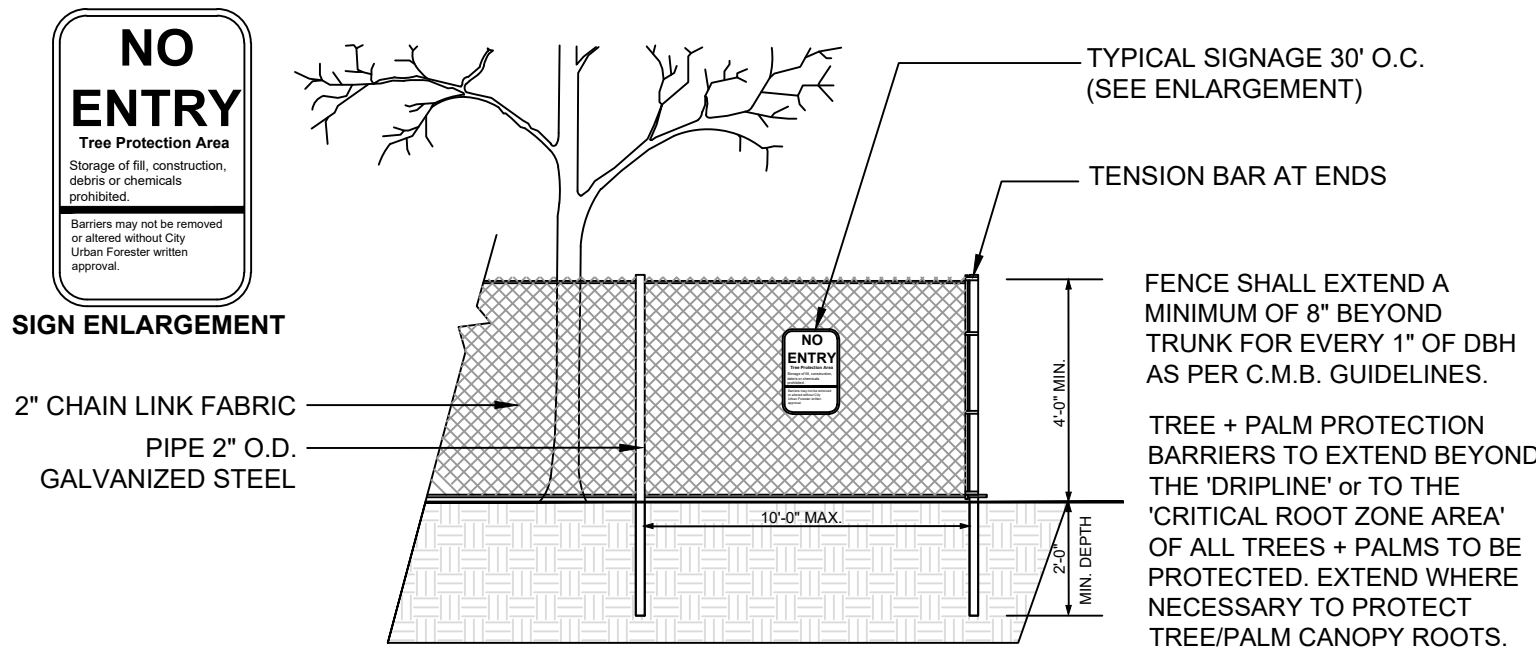
#### EXISTING TREE SURVEY + DISPOSITION PLAN

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TREE + PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES OR PALMS THAT ARE TO REMAIN, BE PROTECTED, or BE RELOCATED ONSITE. TPF SHALL BE MAINTAINED AND SHALL REMAIN UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM CITY URBAN FORESTER AFTER ALL SITE WORK HAS BEEN COMPLETED.

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC. WITHOUT URBAN FORESTER APPROVAL.



C.M.B. TREE + PALM PROTECTION DETAIL (CHAINLINK)

N.T.S.

C.M.B. PUBLIC WORKS / EROSION + SEDIMENT CONTROL NOTES

1. PROPER EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED BEFORE ANY SOIL DISTURBING ACTIVITIES CAN BEGIN.
2. THE STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
3. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.

C.M.B. EXISTING TREE INVENTORY + DISPOSITION CHART - 1255 NORTH BISCAYNE POINT ROAD

NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	MITIGATION	COMMENTS
#1	Alexander Palm	Ptychosterma elegans	NO	+/- 5"	+/- 30'	+/- 8'	FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#2	Brazilian Peppertree	Schinus terebinthifolia	YES	+/- 24"	+/- 15'		FAIR	REMOVE	24"	PROHIBITED SPECIES
#3	Alexander Palm	Ptychosterma elegans	NO	+/- 5"	+/- 30'	+/- 8'	FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#4	Alexander Palm	Ptychosterma elegans	NO	+/- 5"			FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#5	Alexander Palm	Ptychosterma elegans	NO	+/- 5"			FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#6	Alexander Palm	Ptychosterma elegans	NO	+/- 5"			FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#7	Alexander Palm	Ptychosterma elegans	NO	+/- 5"			FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#8	UNKNOWN	UNKNOWN	YES	+/- 31"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#9	Alexander Palm	Ptychosterma elegans	NO	+/- 6"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#10	Paperbark Tea Tree	Mealeuca quinquenervia	YES	+/- 24"			POOR	REMOVE	24"	PROHIBITED SPECIES
#11	Ficus spp.	Ficus spp.	YES	+/- 65"				REMOVE	65"	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#12	Black Olive	Bucida buceras	YES	+/- 24"				REMOVE	24"	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#13	Unknown Palm	Unknown Palm	NO	+/- 18"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#14	Ficus spp.	Ficus spp.	YES	+/- 72"				REMOVE	72"	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#15	Unknown Palm	Unknown Palm	NO	+/- 22"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#16	Thatch Palm	Thrinax radiata	NO	+/- 6"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#17	Thatch Palm	Thrinax radiata	NO	+/- 5"			FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#18	Thatch Palm	Thrinax radiata	NO	+/- 10"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#19	Alexander Palm	Ptychosterma elegans	NO	+/- 5"			FAIR	REMOVE	N/A	SMALL PALM NO MITIGATION REQUIRED
#20	Thatch Palm	Thrinax radiata	NO	+/- 6"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#21	Thatch Palm	Thrinax radiata	NO	+/- 6"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#22	Thatch Palm	Thrinax radiata	NO	+/- 6"			FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED
#23	Mahogany Tree	Swietenia mahagoni	YES	+/- 18"			FAIR	REMAIN	N/A	TREE LOCATED IN ROW UNDER POWERLINES PRESERVE + PROTECT

TOTAL TREE DBH LOSS: 209" + THE REMOVAL OF (9) PALMS \*  
TREE MITIGATION REQUIRED: (10) REPLACEMENT TREES @ 12'HT X 2" DBH X 6' SPREAD  
PALM MITIGATION REQUIRED: (9) REPLACEMENT TREES @ 12'HT X 2" DBH X 6' SPREAD

CH. 46 TREE PRESERVATION + PROTECTION / TREE + PALM MITIGATION SUMMARY

TOTAL TREE DBH LOSS: 209"

REPLACEMENT TREES REQUIRED:

(70) REPLACEMENT TREES REQUIRED @ 12' HEIGHT + 2" DBH + 6' SPREAD or (35) REPLACEMENT TREES REQUIRED @ 16' HEIGHT + 4" DBH + 8' SPREAD

REPLACEMENT TREES PROVIDED: 48 REPLACEMENT TREES PROVIDED @ 12'HT + 2" DBH

BREAKDOWN:

- (9) BRAZILIAN BEAUTYLEAF TREES @ 14' HEIGHT + 4" DBH + 8' SPREAD = 18 REPLACEMENT TREES
- (10) NATIVE PIGEON PLUM TREES @ 14' HEIGHT + 4" DBH + 8' SPREAD = 20 REPLACEMENT TREES
- (1) POWDERPUFF TREE @ 14' HEIGHT + 4" DBH + 8' SPREAD = 2 REPLACEMENT TREES
- (5) NATIVE BAY RUM TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 5 REPLACEMENT TREES
- (3) NATIVE SIMPSONS STOPPER TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 3 REPLACEMENT TREES

TOTAL PALMS REMOVED: 9 PALMS

REPLACEMENT TREES REQUIRED:

(9) REPLACEMENT TREES REQUIRED @ 12' HEIGHT + 2" DBH + 6' SPREAD or (5) REPLACEMENT TREES REQUIRED @ 16' HT + 4" DBH + 8' SPREAD

REPLACEMENT TREES PROVIDED: SHORTFALL

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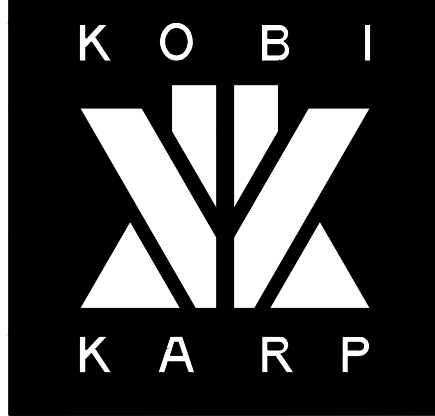
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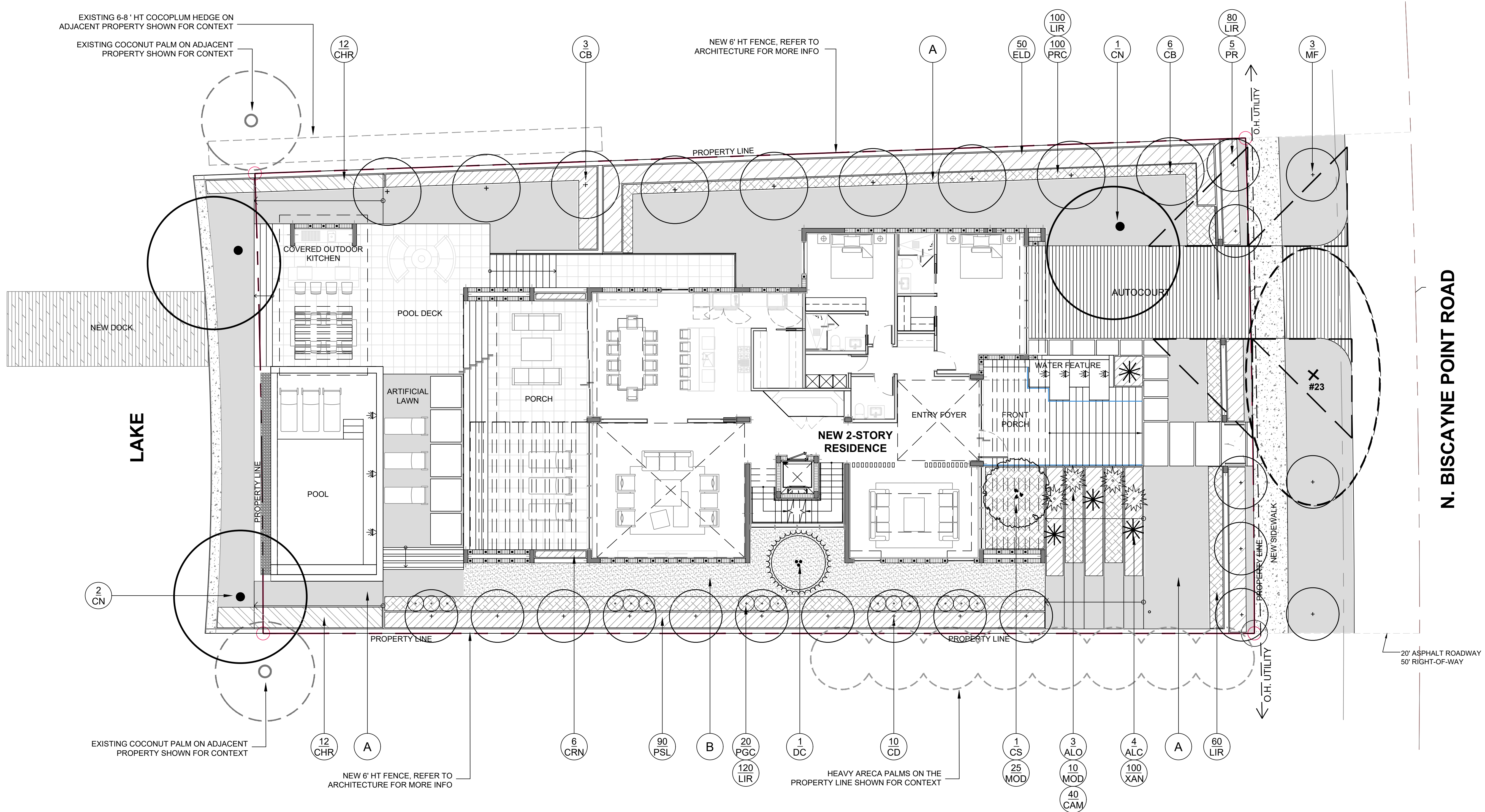


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EXISTING TREE CHART,  
MITIGATION SUMMARY +  
DETAILS

Date	12-15-2020	Sheet No.
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LANDSCAPE PLAN LEGEND

- A NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS
- B 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC

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Email

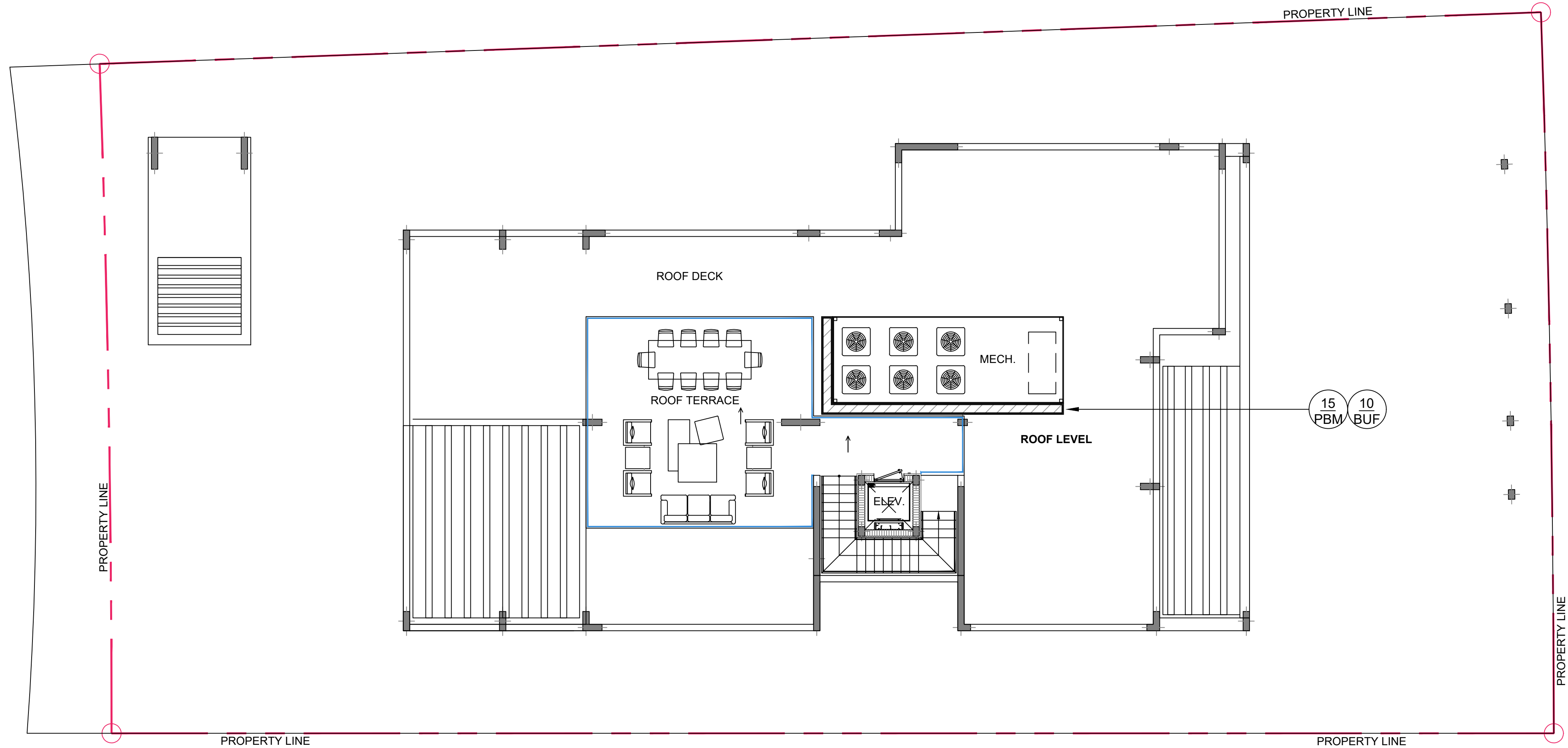
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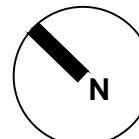
LANDSCAPE PLAN: LEVEL 1

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LANDSCAPE PLAN LEGEND

A UPPER LEVEL PLANTER, REFER TO ARCHITECTURE FOR MORE INFORMATION



N. BISCAYNE POINT ROAD

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CONSTRUCTION DOCUMENTS

100% Submission

PRIVATE RESIDENCE  
1255 NORTH BISCAYNE POINT ROAD  
MIAMI BEACH, FL 33141

**CCLA**  
CHRISTOPHER  
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LANDSCAPE  
ARCHITECTURE

Owner:

PRIVATE RESIDENCE

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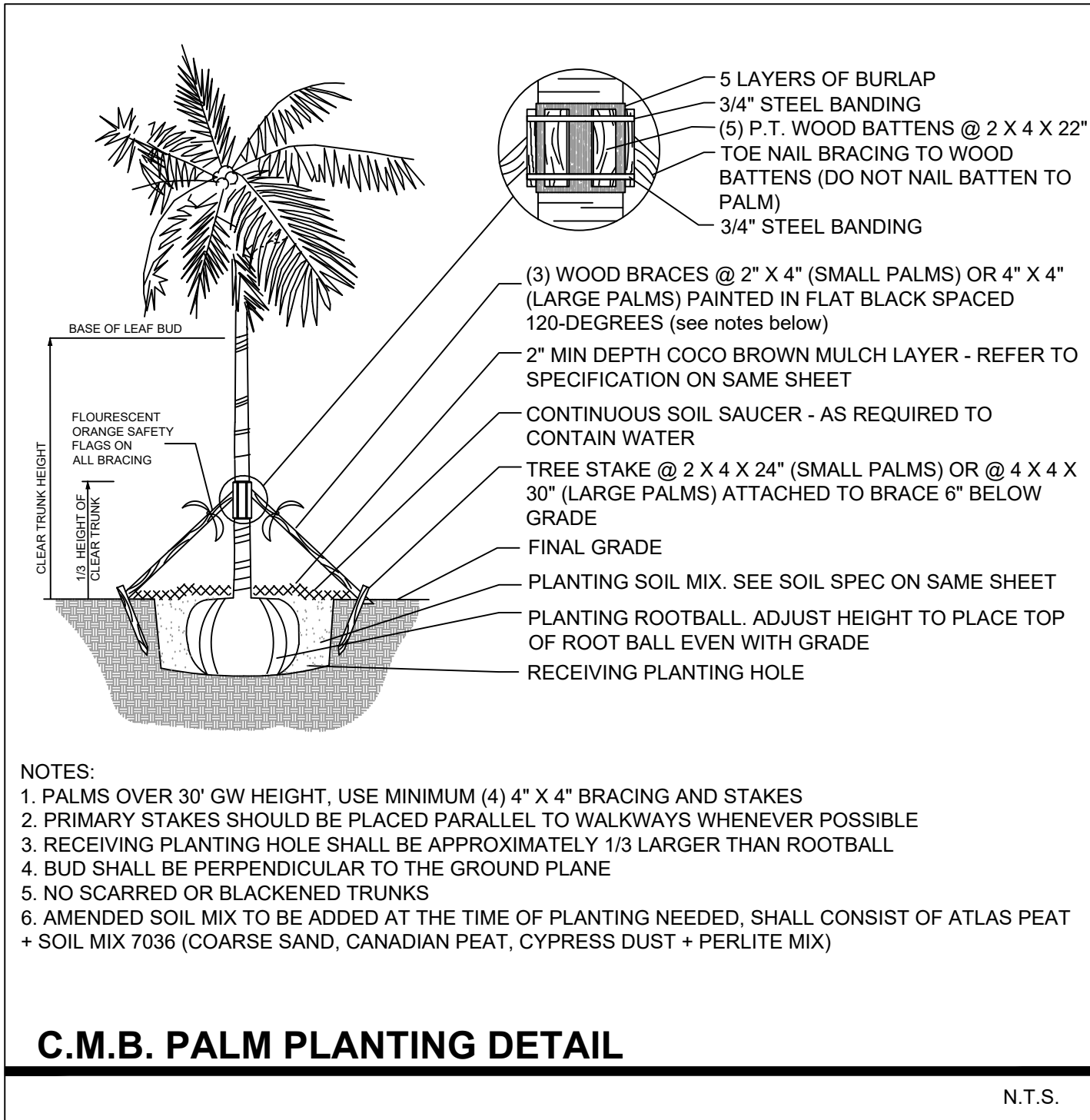
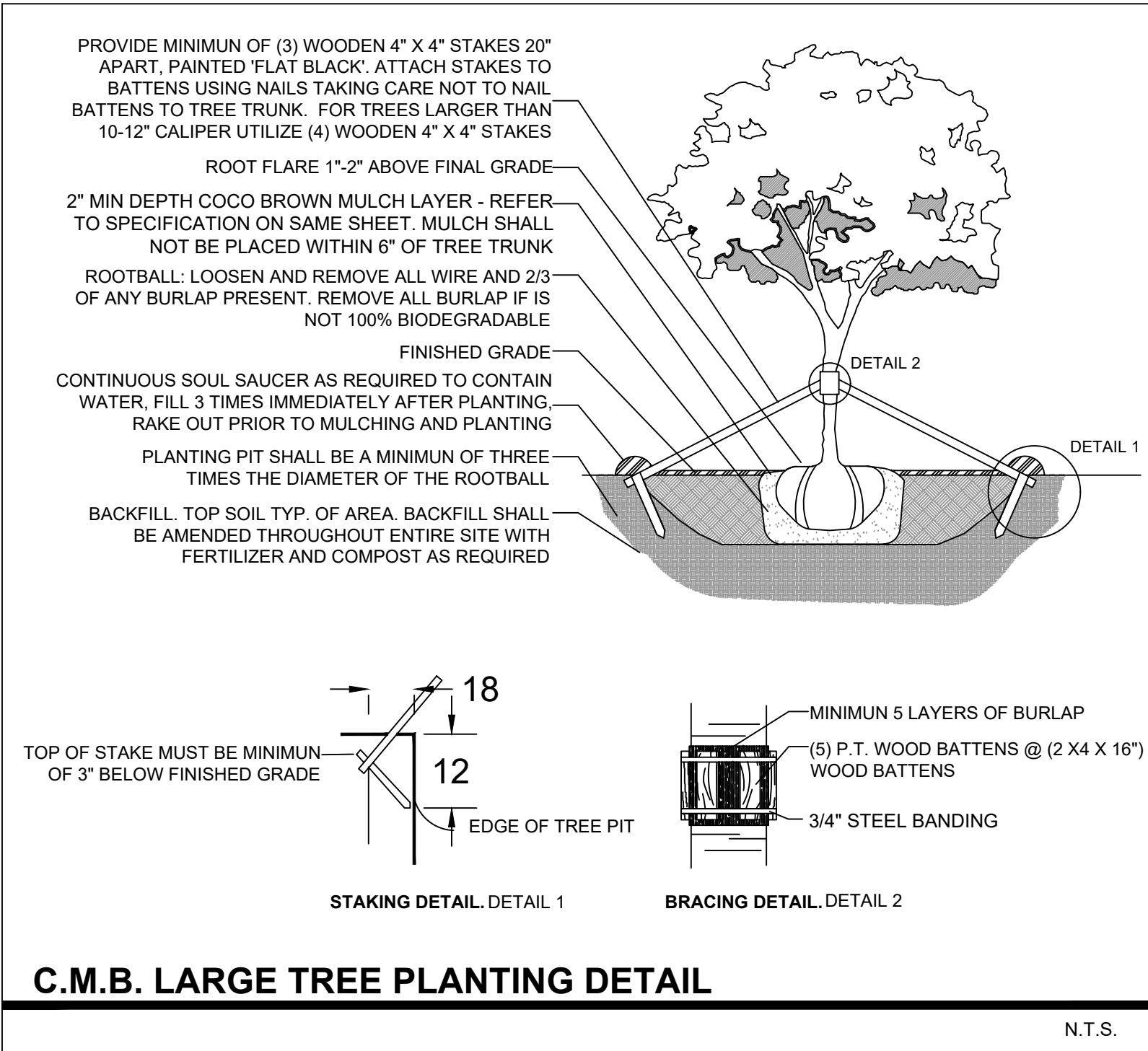
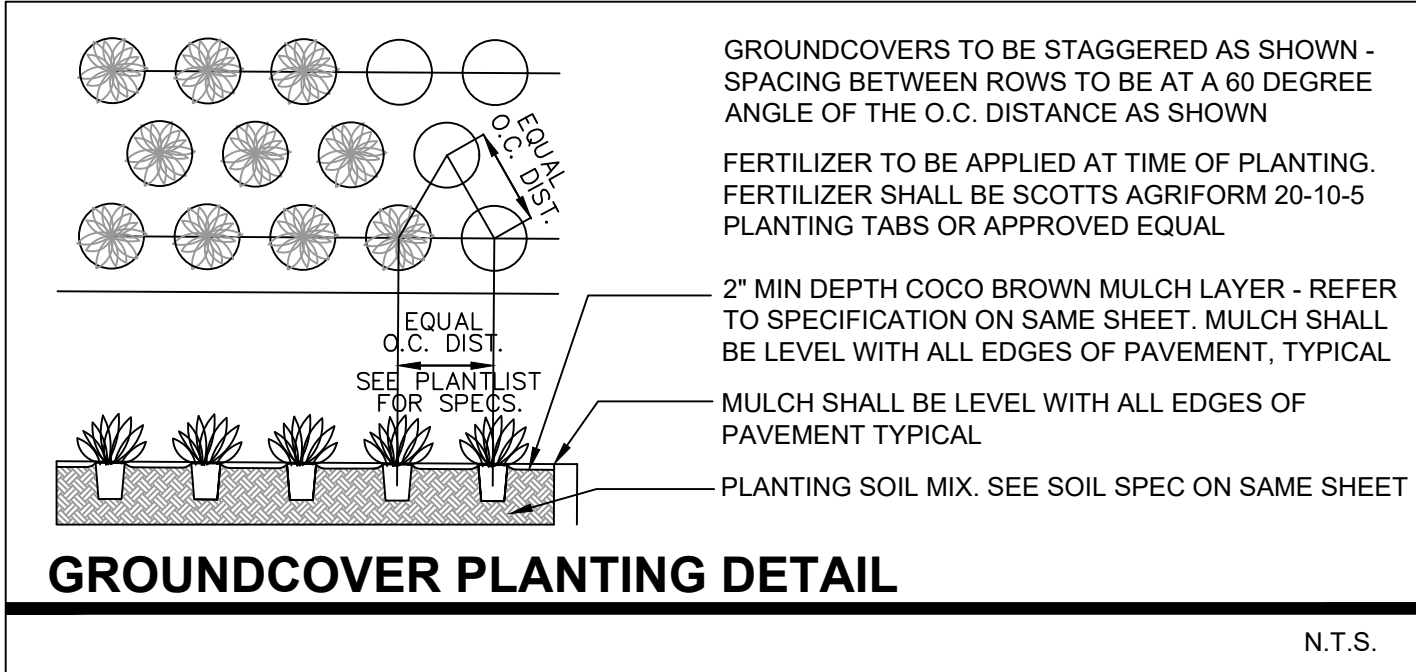
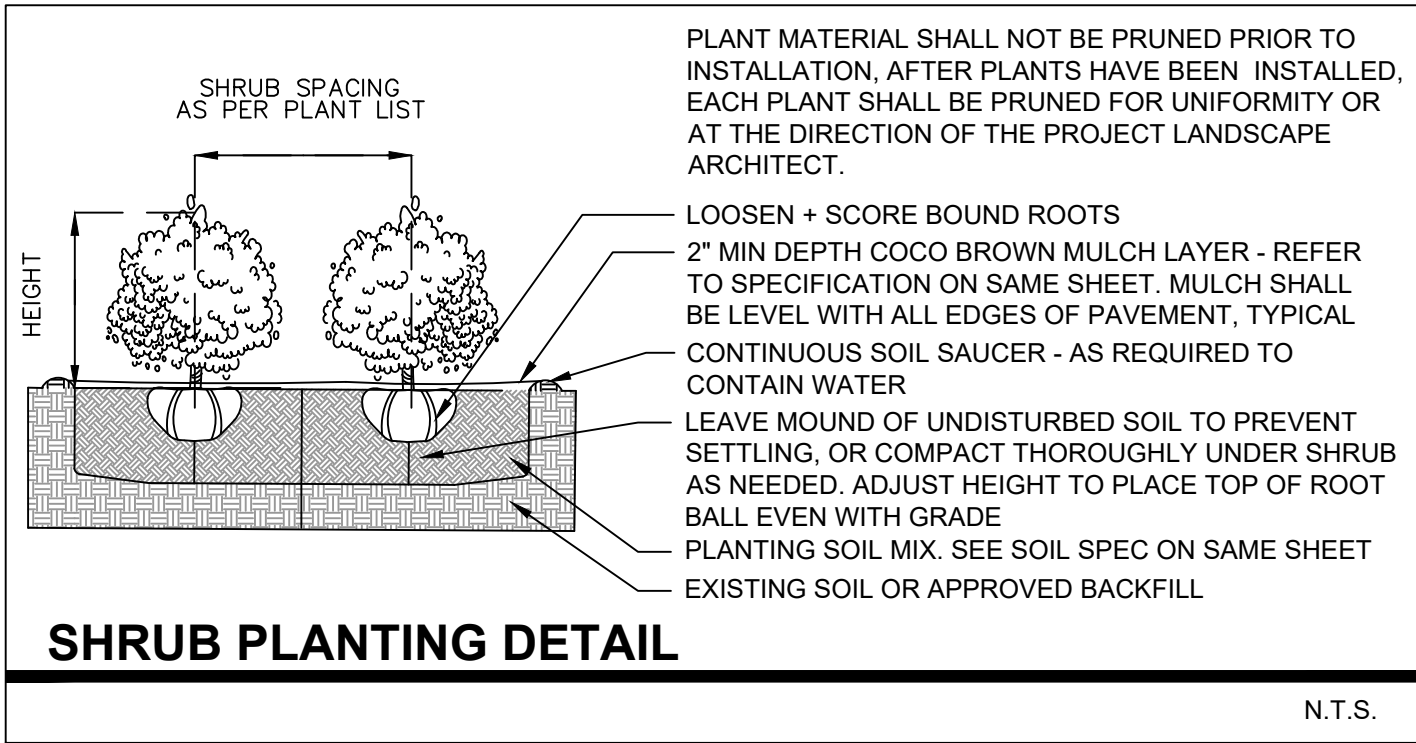
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LANDSCAPE PLAN: ROOF LEVEL

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## LANDSCAPE LEGEND

MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 26 (RS1 - RS4 Single Family Home Residential)

ZONING: RS-3 LOT SIZE: 10,844 SF ACRES: 0.25

### TREES

FRONT YARD - 2 TREES REQUIRED / 7 TREES PROVIDED

REAR YARD - 3 TREES REQUIRED / 4 TREES PROVIDED

TOTAL OF 5 TREES REQUIRED FOR LOTS UP TO 6,000 SF.

1 ADDITIONAL TREE IS REQUIRED FOR EACH ADDITIONAL 1,000 SF OF LOT AREA.

10,844 SF - 6000 SF = 4,844 SF = 5 ADDITIONAL TREES + 5 REQUIRED TREES = 10

TOTAL TREES REQUIRED / 25 TREES PROVIDED (10 NATIVE PIGEON PLUM TREES +

1 NATIVE PINK POWDERPUFF TREE + 10 BRAZILIAN BEAUTYLEAF TREES + 5 BAY

RUM TREES PROVIDED)

### DIVERSITY REQUIREMENT

6-10 REQUIRED TREES = 3 TREE SPECIES / 3 SPECIES PROVIDED

### NATIVE TREES

30% OF REQUIRED TREES OR .30 X 10 = 3 NATIVE TREES REQUIRED / 11 NATIVE

TREES PROVIDED

(10 NATIVE PIGEON PLUM TREES + 1 NATIVE PINK POWDERPUFF TREE PROVIDED)

### LOW MAINTENANCE TREES

50% OF REQUIRED TREES OR .50 X 10 = 5 LM TREES REQUIRED / 16 LM TREES

PROVIDED

(10 NATIVE PIGEON PLUM TREES + 1 NATIVE PINK POWDERPUFF TREE + 5 BAY RUM

TREES PROVIDED)

### STREET TREE REQUIREMENT

AVERAGE STREET TREE SPACING 20' ON CENTER

BISCAYNE POINT DRIVE: 75 LF / 20 = 3.75 STREET TREES REQUIRED / 4 STREET

TREES PROVIDED (1 EXISTING MAHOGANY TREE + 3 NATIVE SIMPSON STOPPER

TREES)

### SHRUBS

12 SHRUBS (OR VINES) REQUIRED FOR EACH REQUIRED LOT AND STREET TREE OR

12 X (13.75) = 165 SHRUBS REQUIRED / 170 SHRUBS PROVIDED (24 NATIVE

COCOPLUM SHRUBS + 90 DWARF BAHAMA COFFEE SHRUBS + 50 JAPANESE

BLUEBERRY SHRUBS + 6 CLUSIA ROSEA 'NANA' SHRUBS)

### NATIVE SHRUBS

50% OF TOTAL SHRUBS REQUIRED MUST BE NATIVE OR .50 X 165 = 83 NATIVE

SHRUBS REQUIRED / 114 NATIVE SHRUBS PROVIDED

(24 NATIVE COCOPLUM SHRUBS + 90 DWARF BAHAMA COFFEE SHRUBS)

### LARGE SHRUBS / SMALL TREES

10% OF TOTAL SHRUBS REQUIRED MUST BE LARGE SHRUBS OR SMALL TREES OR

.10 X 165 = 16.5 LARGE SHRUBS REQUIRED = 74 LARGE SHRUBS / SMALL TREES

PROVIDED (24 NATIVE COCOPLUM SHRUBS + 50 JAPANESE BLUEBERRY SHRUBS)

### NATIVE LARGE SHRUBS / SMALL TREES

50% OF TOTAL LARGE SHRUBS REQUIRED MUST BE NATIVE OR .50 X 16.5 = 8 NATIVE

LARGE SHRUBS REQUIRED / 24 PROVIDED (24 NATIVE COCOPLUM SHRUBS)

### LAWN AREA

50% MAXIMUM OF LANDSCAPE AREA: NEW LAWN AREAS ARE LESS THAN 50% OF

LANDSCAPE AREA

### IRRIGATION SYSTEM

100% COVERAGE PROVIDED PURSUANT TO CMB REQUIREMENTS SET IN CHAPTER

126

## PLANT LIST - 1255 NORTH BISCAYNE POINT RD.

KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
TREES					
CB	9	NO	BRAZILIAN BEAUTYLEAF TREE	Calophyllum brasiliense	14' ht min, 8' spread min, 4" dbh, standard trunk, equal to Treeworld Wholesale
CD	10	YES	PIGEON PLUM TREE	Coccoloba diversifolia	14' ht min, 8' spread min, 4" dbh, standard trunk, equal to Treeworld Wholesale
CS	1	YES	PINK POWDERPUFF	Calliandra surinamensis	Specimen to be selected, 14' ht, 8' spread, 4" dbh
CU	ALT	YES	SEA GRAPE TREE	Coccoloba uvifera	14' ht, 8' spread, 4" dbh, multitrunk
PR	5	NO	BAYRUM TREE	Pimenta racemosa	12' ht min, 6" spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
MF	3	YES	SIMPSON STOPPER	Myrcianthes fragrans	12' ht min, 6" spread min, 2" dbh, 5' clear trunk, standard trunk, equal to Treeworld Wholesale
PALMS					
CN	3	NO	COCONUT PALM	Cocos nucifera 'Maypan'	8' gray wood, leaning, Florida Fancy
DC	1	NO	CABADA PALM	Dypsis cabadae	12'-13' ht clear trunk, 7-8' gray wood, double, #2 thin trunk
SHRUBS					
CHR	24	YES	COCOPLUM SHRUB	Chrysobalanus icaco 'Horizontal'	7 gallon, 2' - 3' height, 30" spread
CRN	6	NO	CLUSIA ROSEA 'NANA'	Clusia rosea 'Nana'	3 gallon, 3' height, 2" spread, 30" on center, full
ELD	50	YES	JAPANESE BLUEBERRY	Elaeocarpus decipiens	15 gallon, 4-6' height, 2" spread, 30" on center
PSL	90	YES	DWARF BAHAMA COFFEE	Psychotria ligustrifolia	7 gallon, 2' - 3' height, 30" spread
GROUNDCOVERS					
ALC	4	NO	BROMELIAD 'ODORATE'	Alcantarea 'Odorata'	7 gallon, 18" on center, full
ALO	3	NO	ELEPHANT EAR	Alocasia spp.	7 gallon, 18" on center, full
BUF	10	NO	BULBINE	Bulbine frutescens	1 gallon, 12" on center, full
CAM	40	NO	CARISSA 'EMERALD BLANKET'	Carissa macrocarpa	3 gallon, 12" on center, full
LIR	360	NO	LILYTURF	Liriope muscari	1 gallon, 12" on center, full
MOD	35	NO	SWISS CHEESE PLANT	Monstera deliciosa	3 gallon, 24" on center, full
PGC	20	NO	PHILODENDRON 'GREEN CONGO'	Same	3 gallon, 18" on center, full
PRC	100	NO	PHILODENDRON 'ROJO CONGO'	Same	3 gallon, 18" on center, full
PBM	15	NO	PHILODENDRON 'BURL MARX'	Same	7 gallon, 30" spread, full
XAN	100	NO	PHILODENDRON 'XANADU'	Same	1 gallon, 12" spread, full
SOD, AGGREGATE & MULCH					
MLC	AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH				
SOD	NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS				
DGA	3/8" DECOMPOSED GRANITE AGGREGATE OR STONE TO BE SELECTED, INSTALLED OVER FILTER FABRIC AND WEED BARRIER MATERIAL / OLIMAR, 2" MIN. DEPTH				

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## PRIVATE RESIDENCE

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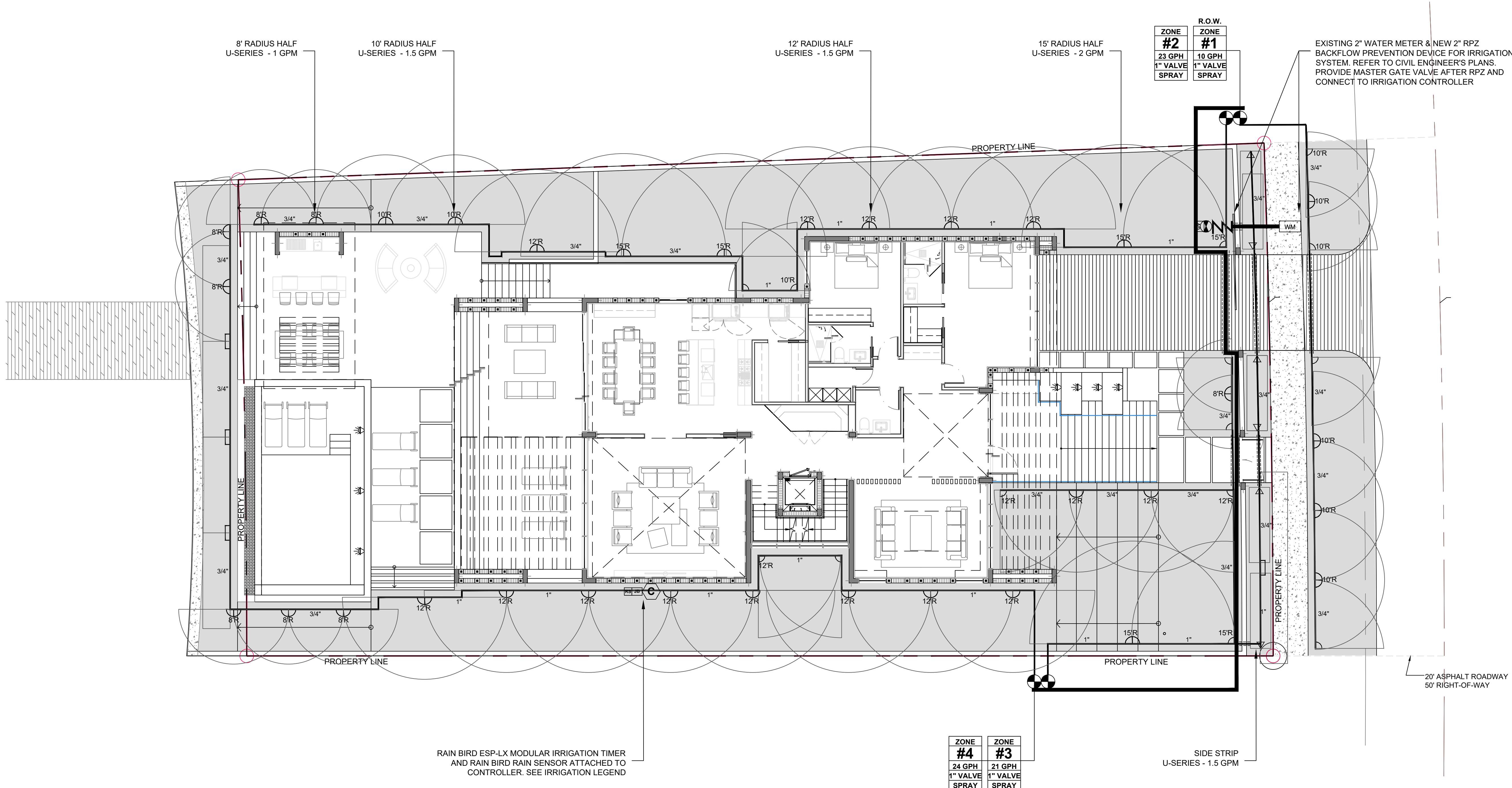


## PLANT LIST, LANDSCAPE CODE + LANDSCAPE DETAILS

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## IRRIGATION PLAN: LEVEL 1

Date	12-15-2020	Sheet No.
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### PIPE INSTALLATION + SLEEVE NOTES

FLORIDA BUILDING CODE - APPENDIX F PIPE INSTALLATION - DEPTH OF COVER		FLORIDA BUILDING CODE - APPENDIX F SLEEVE SIZES - PART V A-6	
VEHICLE TRAFFIC AREAS		WATER PIPE SIZE	SLEEVE SIZE
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)	3/4"	1 1/2"
1/2" TO 2 1/2"	18" TO 24"	1"	2"
3" TO 5"	24" TO 30"	1 1/4"	2 1/2"
6" OR GREATER	30 TO 36"	1 1/2"	3"
NON-TRAFFIC AND NON-CULTIVATED AREAS		2"	4"
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)	3"	6"
1/2" TO 1 1/4"	6" TO 12"	4"	8"
1 1/2" TO 2"	12" TO 18"	SLEEVES TO EXTEND A MIN. 3' BEYOND ALL PAVED AREAS, BACKFILL AND COMPACTION PER APPENDIX F	
2 1/2" TO 3"	18" TO 24"		
4" OR LARGER	24" TO 36"		

### IRRIGATION PLAN NOTES
















ALL MAIN LINES, LATERAL LINES AND IRRIGATION SPRINKLER COMPONENT LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED BASED ON FIELD CONDITIONS. ALL LANDSCAPES AREAS TO RECEIVE 100% COVERAGE WITH A MINIMUM 50% OVERLAP BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR. AFTER SITE INVESTIGATION THE LANDSCAPE CONTRACTOR IS TO PROVIDE A 'SHOP DRAWING' DETAILING THE PROPOSED IRRIGATION SYSTEM DESIGN TO THE LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR.

A ROUGH INSPECTION IS REQUIRED BY THE CITY OF MIAMI BEACH PRIOR TO TRENCH BACKFILLING AND A FINAL INSPECTION SHALL BE REQUIRED PRIOR TO COMPLETION OF IRRIGATION WORK.

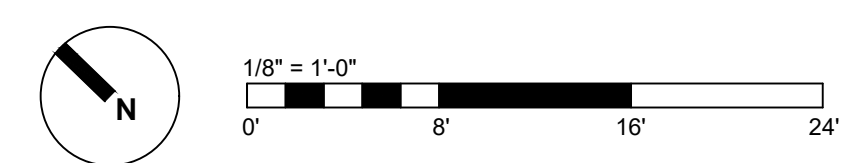
SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) WATER RESTRICTIONS, PHASE II ARE IN EFFECT. NEW LANDSCAPE INSTALLATION SHALL BE EXEMPT PER SFWMD FOR A PERIOD OF SIXTY DAYS AFTER INSTALLATION WITH CONTRACTOR and/or OWNER TO ASSUME RESPONSIBILITY AFTER 60 DAY PERIOD.

USE EXTREME CAUTION IN ALL AREAS TO AVOID ROOTS OF EXISTING TREES, PALMS + VEGETATION. HAND EXCAVATE AS NECESSARY AND ADJUST ALL MAIN AND LATERAL IRRIGATION LINES BASED ON FIELD CONDITIONS. TRENCHING THRU ROOT ZONES SHALL BE AVOIDED AND ALL IRRIGATION LINES ARE TO RUN OUTSIDE OF THE ROOT ZONES OF ALL EXISTING VEGETATION

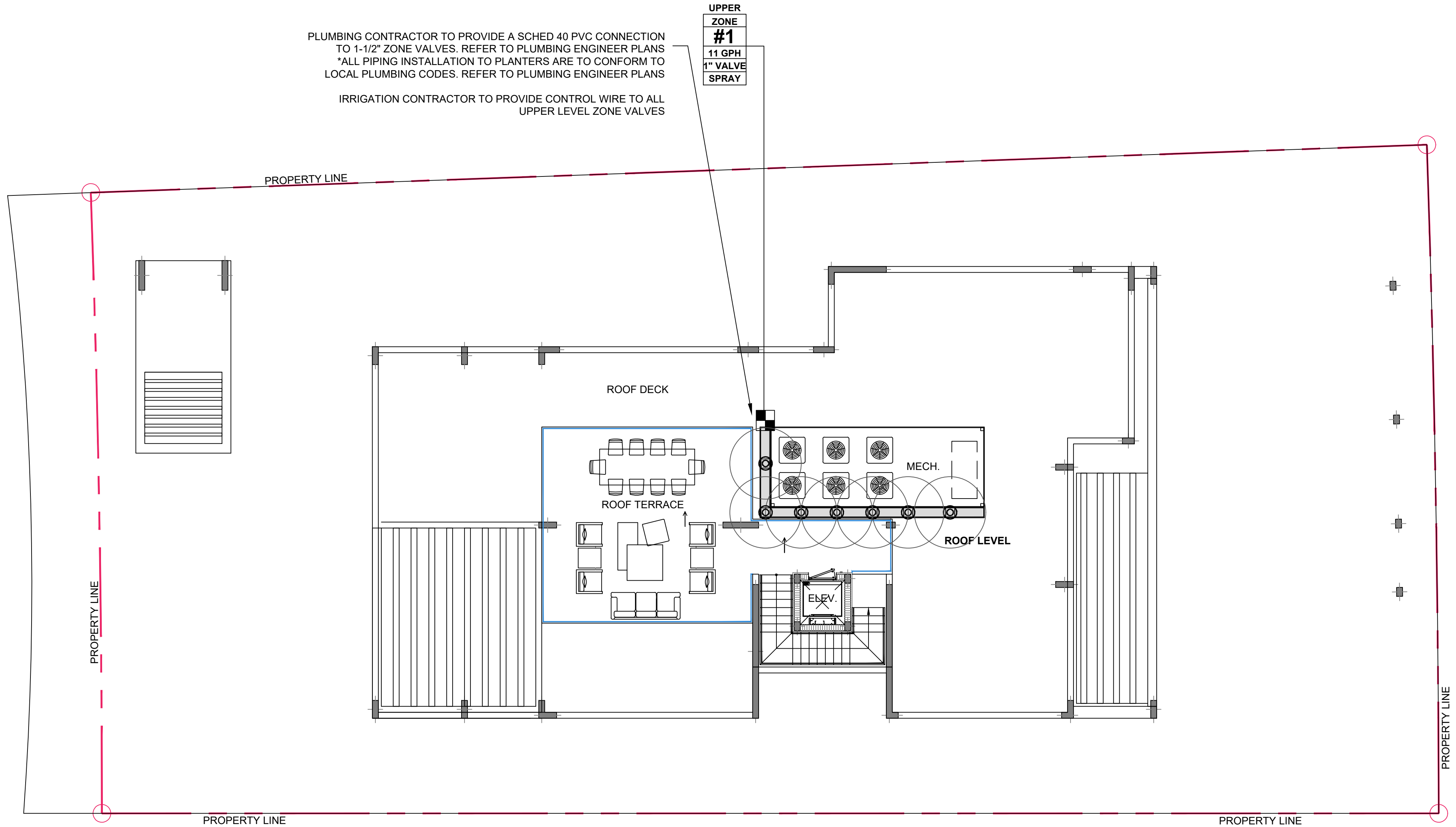
### IRRIGATION LEGEND

	1" IRRIGATION METER REFER TO CIVIL ENGINEER'S PLANS		1" ELECTRIC VALVES-RAINBIRD PEB SERIES OR APPROVED EQUAL, IN 10" ROUND VALVE BOX	<table border="1" data-bbox="2154 1535 2209 1639"><tr><td>ZONE</td></tr><tr><td>#1</td></tr><tr><td>25 GPM</td></tr><tr><td>1" VALVE</td></tr><tr><td>SPRAY</td></tr></table>	ZONE	#1	25 GPM	1" VALVE	SPRAY	ZONE DESIGNATION & INFORMATION
ZONE										
#1										
25 GPM										
1" VALVE										
SPRAY										
	RPZ (REDUCED PRESSURE ZONE) REFER TO CIVIL ENGINEER'S PLANS		JUNCTION BOX w/ WATER PROOF CONNECTORS REFER TO ELECTRICAL ENGINEER'S PLANS		GALLONS PER MINUTE					
	1" MASTER VALVE FOR TOTAL SYSTEM SHUT OFF. CONNECT TO CONTROLLER				VALVE SIZE					
	RAINBIRD ESP-LX MODULAR SERIES CONTROLLER W/ RAINBIRD RAIN SENSOR		1 1/2" PVC Main Supply Line - Sch 40		IRRIGATION TYPE					
			PVC LATERAL LINE (Sch. 160)		RAINBIRD 1800 PRS - U SERIES NOZZLE 10", 12", 15" POP-UP / QUARTER, HALF, FULL RADIUS DIAMETERS AS NOTED					
	RAINBIRD RSD SERIES RAIN SENSOR ATTACHED TO CONTROLLER		PIPE IN SLEEVE (See Sizing Chart)		RAINBIRD 1800 SERIES STRIP-TYPE 15EST (END STRIP), 15 CST (CENTER STRIP) 1.5 GPM					
			PIPE CONNECTION		RAINBIRD -5 SERIES, MPR STREAM BUBBLER NOZZLES, 5" RADIUS, 1.5 GPM					
			PIPE CROSSING							
	UPPER LEVEL PLANTER VALVE. 1.5" ELECTRIC VALVES RAINBIRD PEB SERIES OR APPROVED EQUAL IN 10" VALVE BOX, INSTALLED ON GROUND LEVEL									

ZONE #1 25 GPM 1" VALVE SPRAY	ZONE DESIGNATION & INFORMATION
	GALLONS PER MINUTE
	VALVE SIZE
	IRRIGATION TYPE
	RAINBIRD 1800 PRS - U SERIES NOZZE 10", 12", 15" POP-UP / QUARTER, HALF, FULL RADIUS DIAMETERS AS NOTED
	RAINBIRD 1800 SERIES STRIP-TYPE 15EST (END STRIP), 15 CST (CENTER STRIP) 1.5 GPM
	RAINBIRD -5 SERIES, MPR STREAM BUBBLER NOZZLES, 5' RADIUS, 1.5 GPM



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#### IRRIGATION INSTALLATION NOTES

- ALL ROOF LEVEL PLANTER ZONES ARE SHOWN SCHEMATICALLY AND ARE TO BE INSTALLED AT THE GROUND FLOOR.
- REFER TO ARCHITECTURAL, ENGINEERING AND PLUMBING PLANS FOR ADDITIONAL INFORMATION. ALL CONSTRUCTION DETAILING, WATERPROOF, GRADING AND DRAINAGE TO BE BY OTHERS.

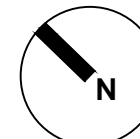
#### ROOF LEVEL IRRIGATION LEGEND

ZONE #1 25 GPM 1" VALVE SPRAY

ZONE DESIGNATION & INFORMATION  
GALLONS PER MINUTE  
VALVE SIZE  
IRRIGATION TYPE



UPPER LEVEL PLANTER VALVE. 1.5" ELECTRIC VALVES  
RAINBIRD PEB SERIES OR APPROVED EQUAL  
IN 10" VALVE BOX, INSTALLED ON GROUND LEVEL



N. BISCAYNE POINT ROAD

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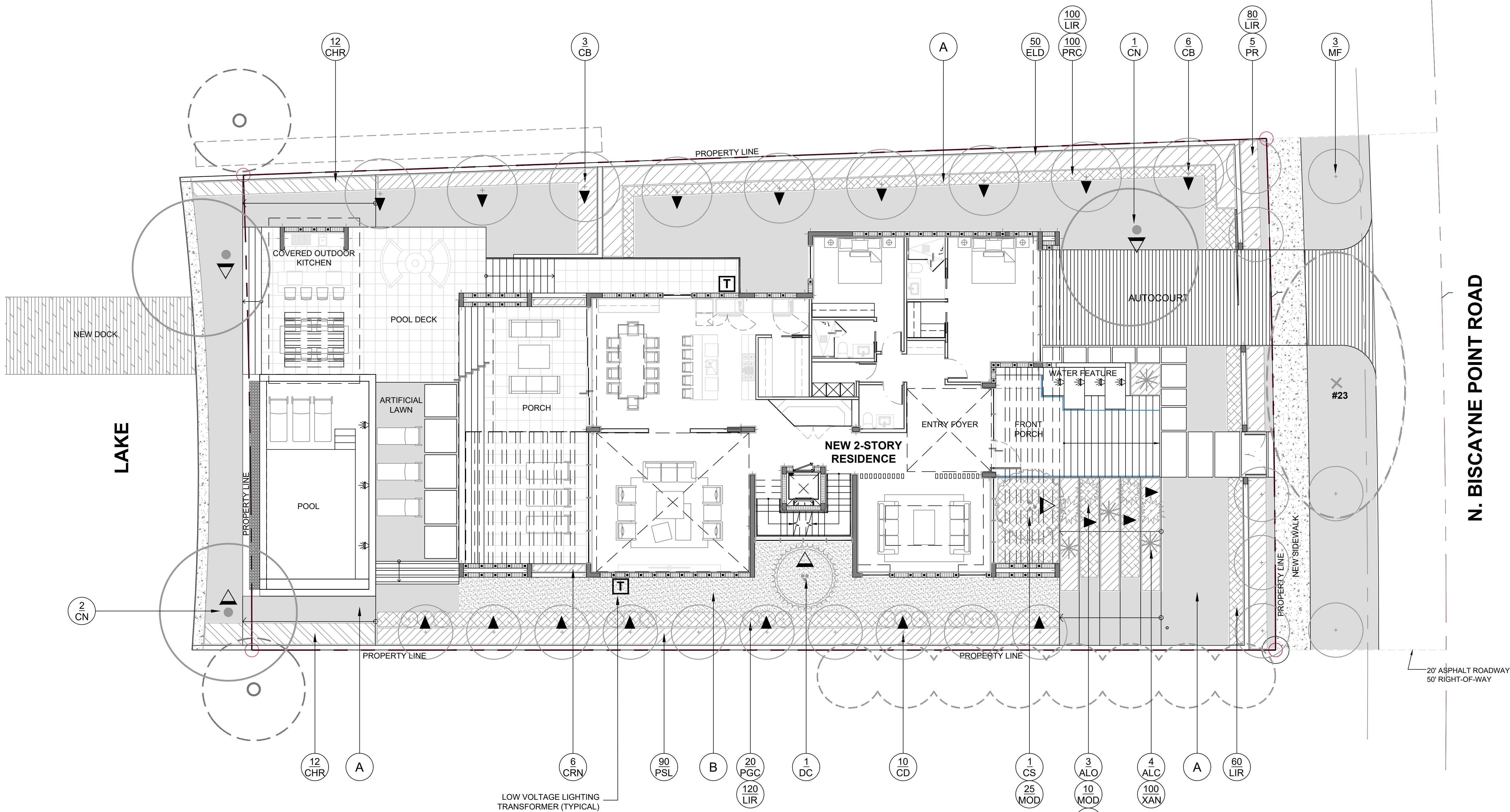


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#### IRRIGATION PLAN: ROOF LEVEL

Date	12-15-2020	Sheet No.
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LIGHTING LEGEND				
SYM.	TYPE	QTY.	MODEL NO.	BULB/WATTS
▼	GARDEN LIGHT LED - MS 1 MINI	20	MS	LED/ 3WATT
▽	GARDEN LIGHT LED - V3	5	V3	LED/ 2.7 - 11.8 WATT
T	GARDEN LIGHT LED - 150 VA LOW VOLTAGE TRANSFORMER	2	150 X SS PLUG	
NOTE: ELECTRICAL / LANDSCAPE CONTRACTOR TO PROVIDE CUT SHEETS TO LANDSCAPE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO PURCHASE AND INSTALLATION. GFCI OUTLETS FOR LOW VOLTAGE TRANSFORMERS TO BE CONNECTED TO MAIN RESIDENCE LIGHTING CONTROLS				
CONTACT LIGHTING REPRESENTATIVE DEREK SULLIVAN OF YARD SENTRY LANDSCAPE LIGHTING FOR ALL INFORMATION AND PRICING REGARDING THE FIXTURES AS SPECIFIED. WWW.YARDSENTRY.COM / PHONE: 305.387.9158				

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## LANDSCAPE LIGHTING PLAN

Date	12-15-2020	Sheet No.
Scale		L4.00
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