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PROJECT ADDRESS : 253 N COCONUNT LN MIAMI BEACH, FL. 33139

PROJECT PROGRAM : THIS PROJECT CONSISTS OF A SINGLE FAMILY HOME:
(2) STORY HOUSE, BASEMENT, AND PARKING GARAGE
AT GROUND FLOOR AND ROOF DECK TERRACE.

CONSTRUCTION TYPE : III B

OCCUPANCY GROUP : RESIDENTIAL RS-4

ZONING DISTRICT : RS-4 DISTRICT (SINGLE-FAMILY RESIDENTIAL DISTRICTS)

CODICES IN EFFECT : FLORIDA BUILDING CODE, RESIDENTIAL 2020

- BUILDING
- STRUCTURAL
- PLUMBING
- MECHANICAL

CITY OF MIAMI BEACH ZONING ORDINANCES

TOTAL GROSS AREA : 3,577 SF

ELEVATION INFORMATION:

FEMA FLOOD ZONE : AE

BASE FLOOD ELEVATION: +8.00' NGVD +2.00' FREE BOARD = 10.00' NGVD

PROJECT DATA

ISSUE DATE: 01/03/2022 DRB FINAL SUBMITTAL

[illegible]

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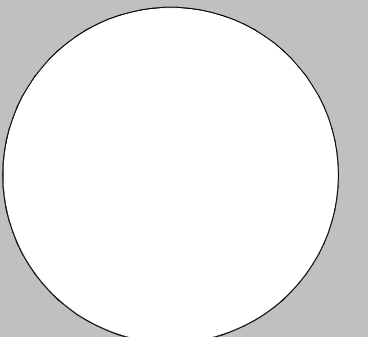
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AR0016290

Project Team

Project Name

CASA BAHIA

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139
FOLIO # 02-4205-002-0160

Project Number	21-3600
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Drawing Name

INDEX OF DRAWINGS

Scale:

$$12'' = 1'-0''$$

Drawing Number

A-002

	ANCHOR	HT	HEIGHT
AC	AIR CONDITIONING	HORIZ	HORIZONTAL
ACQUIT	ACOUSTICAL	H.B.	HOSE BIBB
ACU	ACOUSTICAL CEILING PANEL	I.D.	INTERIOR DIMENSION
A.F.F.	ABOVE FINISH FLOOR	INSUL	INSULATION
AL OR ALUM	ALUMINUM	INTERM	INTERMEDIATE
ANODZ	ANODIZE	JAN.	JANITOR
BD	BOARD	MANUF.	MANUFACTURER
B.F.F.	BELOW FINISH FLOOR	MAT	MATERIAL
BLKG	BLOCKING	MAX	MAXIMUM
BLK	BLOCK	MIN	MINIMUM
CEM	CEMENT	MTL	METAL
CER	CERAMIC	NIC	NOT IN CONTRACT
C.F.V.	CONTRACTOR FIELD VERIFY	NEOPR	NEOPRENE
C.J.	CONTROL JOINT	O.D.	OUTSIDE DIMENSION
CLG	CEILING	O.C.	ON CENTER
COL	COLOR	O.S.	OVERFLOW SCUPPER
CL	CLOSET	O.R.S.	OVERFLOW ROOF SCUPPER
CONC	CONCRETE	PTN	PARTITION
CONT	CONTINUOUS	PJ	PANEL JOINT
COVERG	COVERING	PL	PLATE
CS	CURB SCUPPER	L.P.	LIGHT POLE
CT	CERAMIC TILE	PLYWD	PLYWOOD
DBL	DOUBLE	PNL	PANEL
DM	DIMENSION	PLM	PLASTIC LAMINATE
DET/DTLS	DETAILS	P.T.	PRESSURES TREATED
DW	DISH WASHER	REINF.	REINFORCING
E.A.	EACH	REQD	REQUIRED
ELECT/ELEC	ELECTRICAL	RM	ROOM
EL.	ELEVATION	R.D.	ROOF DRAIN
ELEV.	ELEVATOR	R.S.	ROOF SCUPPER
ES	EMERGENCY SCUPPER	SH	SHEET
EXH	EXHAUST	SCH	SCHEDULE
EXIST.	EXISTING	S.S.	STAINLESS STEEL
EXP.	EXPANSION	STL	STEEL
EXT.	EXTERIOR	STD.	STANDARD
F.D.	FLOOR DRAIN	SECT	SECTION
F.F.	FIRE EXTINGUISHER	SIM	SIMILAR
F.F.L.	FINISH FLOOR	SPECS	SPECIFICATIONS
FIRE EXT. CAB.	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURE
F.O.I.C.	FURNISHED BY OWNER	SW	SOLID CORE WOOD
	INSTALLED BY CONTRACTOR	PH.	TELEPHONE
FLUOR	FLUORESCENT	TEMP	TEMPERED
FIN.	FINISH	VCT	VINYL COMPOSITION TILE
GA	GAUGE	VERT	VERTICAL
GWB	GYPSUM WALL BOARD	VEST.	VESTIBULE
GYP. BD.	GYPSUM BOARD	WH	WATER HEATER
GLVZD	GALVANIZED		
GS	GALVANIZED STEEL		
GL	GLASS		
HM	HOLLOW METAL		

	CENTER LINE		SITE TERRAIN ELEV.
	PROPERTY LINE		ELECTRICAL METER
	WINDOW TAG		WATER METER
	DOOR TAG		REVISION TAG
	SECTION MARK	Room name 	ROOM TAG
	DATUM FLOOR ELEV.		CALLOUT HEAD TAG
	KEYNOTE TAG		ELECTRICAL PANEL
	BREAKLINE		LOW POINT ELEVATION
	CHANGE OF ELEVATION		SPOT ELEVATION
	WALL TYPE TAG		ROOF SLOPE TAG
	RAIN WATER SLOPE ARROW		CURTINE WALL TAG
	WINDOW PRESSURE		LEVEL HEAD CIRCLE
	NORTH ARROW		GRID BUBBLE TAG
	LINEAR DIFFUSER		LINEAR DIFFUSER
	LINEAR RETURN		LINEAR TRANSFER
	JUNCTION BOX		

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES HAVING JURISDICTION OVER THIS PROJECT. PERMIT(S) SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES.

CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, WATER, SEWER AND PUBLIC UTILITIES. ON AND OFF SITE ACCESS ROADS, AND OTHER SUPPORT FACILITIES. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHARGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, PAVING SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPING TO INSURE THEIR PROPER DRAINAGE AND RETURN THEM TO THE ORIGINAL FINISHED CONDITION.

CONTRACTOR SHALL REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION, AND AS INDICATED IN THESE DOCUMENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY EQUIPMENT DAMAGED DURING CONSTRUCTION OR CLEAN UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL NECESSARY MATERIALS AND EQUIPMENT TO BE USED IN THE PROJECT. THE PROJECT SHALL BE COMPLETED BY THE CONTRACTOR IN FULL COORDINATION WITH ALL THE CONTRACT DOCUMENTS ISSUED BY BORGES + ASSOCIATES ARCHITECTS, AND THEIR CONSULTANTS.

CONTRACTOR MUST NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES FOUND ON THE DRAWINGS PRIOR TO THE COMMENCEMENT OF THE PROJECT. ANY DISCREPANCIES FOUND PRIOR TO THE COMMENCEMENT OF THE PROJECT SHALL BE BUT NOT LIMITED TO THE CIVIL ENGINEERING, ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS, ANY DISCREPANCIES FOUND AFTER BIDDING SHALL BE INTERPRETED AS IF IT WAS BID BASED ON THE MOST EXPENSIVE METHOD OR FINISH.

CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS IN THE FIELD. DISCREPANCIES IN THE DRAWINGS, PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATION.

CONTRACTOR SHALL OBTAIN ANY NECESSARY APPROVALS PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DESIGN INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THERE IS WRITTEN APPROVAL BY THEM. FAILURE TO NOTIFY THE ARCHITECT AND/OR COMMENCEMENT OF THE WORK WITHOUT APPROPRIATE AUTHORIZATION TO PROCEED SHALL BE REGARDED AS ACCEPTANCE OF THE CONDITIONS AND NOT SUBJECT TO ALTERATIONS ON THE TERMS OF THE CONTRACT.

ALL MATERIALS AND EQUIPMENT TO BE USED IN THE PROJECT SHALL BE OF THE HIGHEST QUALITY AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION RECOMMENDATIONS AND SPECIFICATIONS. ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.

DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED. ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS. **NOT** TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.

CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOP DRAWINGS OR AS SUBMITTALS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWING AND DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY THE CONTRACTOR **BEFORE** SUBMITTAL, AND SO NOTED. INCOMPLETE SHOP DRAWINGS OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. RE-VIEWS BY ARCHITECT OR ENGINEER REQUIRED DUE TO SUBMITTALS NOT EVALUATED AND APPROVED BY CONTRACTOR SHALL BE BILLABLE AND PAID FOR BY THE CONTRACTOR. CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATIONS AND STATED SOUND TRANSMISSION COEFFICIENTS (STC) WITHIN THE BUILDING'S CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT ANY CHANGE IN MATERIAL, METHOD OR MATERIAL COMBINATION WHICH IS COMPLETED BY THE CONTRACTOR SHALL BE NOTED IN WRITTEN REPORT HEREIN, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OR STC ASSEMBLY. WHERE CMU IS INDICATED TO HAVE A SPECIFIC HOURLY FIRE RATING AND STC RATING, THESE SHALL BE TAKEN AS THE MINIMUM REQUIRED.

ALL PIPING SHALL BE SLEEVED THROUGH SLAB AND STRUCTURAL ELEMENTS PENETRATED. CONTRACTOR SHALL FULLY SEAL SPACE AROUND PIPES WITH A 2-HOUR U.L. APPROVED FIRE RESISTIVE ("THERMAFIBER" GLASS FIBER SAFING INSULATION AS MANUFACTURED BY THERMAFIBER COMPANY OF CHICAGO, ILL. OR AS APPROVED EQUIVALENT). PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE PROTECTED AS TO MAINTAIN THE FIRE RATING OF SAID WALL. REFER TO WALL TYPES AND PENETRATION PROTECTION U.L. DETAILS INCLUDED IN THE DRAWINGS.

ALL SHAFTS WHERE APPLICABLE SHALL BE 2-HOUR RATED WITHOUT EXCEPTION, (UL DESIGN NO. U-505 OR APPROVED SIMILAR) AND SHALL EXTEND AS SUCH TO UNDERSIDE OF ROOF OR FLOOR STRUCTURAL DECKING. SEE WALL TYPE DETAILS FOR WALL DESIGNS.

CONTRACTOR SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF FBC CHAPTER 39, SEE FIRE PROTECTION, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.

CONTRACTOR SHALL FURNISH AND INSTALL BLOCKING (METAL AND/OR WOOD AS ALLOWED BY CODE) WITHIN VERTICAL OR HORIZONTAL FRAMING AS REQUIRED OR RECOMMENDED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, BATHROOM DRAWINGS, ACCESSORIES, TILE AND STONE WORK OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS. ALL CEILING FRAMING WHICH IS COMPLETED BY THE CONTRACTOR SHALL BE FIRE RATED. ALL CEILING FRAMING TO SUPPORT CEILING OR CEILINGS MUST BE FIRE RETARDANT. PRESSURE TREATED WOOD MUST BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY, AS PERMISSIBLE BY THE AUTHORITIES HAVING JURISDICTION.

THE UNDERSIDE OF ALL EXTERIOR STOPS, BALCONIES AND SLABS EXPOSED TO WEATHER SHALL RECEIVE A CONTINUOUS 1-INCH DRIP STRIP CAST IN SAID SLAB WITHOUT EXCEPTION.

ALL PLASTER, PLASTER BOARD, ETC. SHALL BE PAINTED AS RECOMMENDED BY MANUFACTURER, UNLESS OTHERWISE NOTED ON DRAWINGS OR PROJECT MANUAL. COLOR TO MATCH ADJACENT SURFACES OR AS INDICATED BY THE ARCHITECT.

IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES, INCLUDING INTERIOR DESIGN DRAWINGS.

CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ANY CONCEALED PLUMBING, FIRE PROTECTION AND/OR MECHANICAL VALVES. FIRE DAMPERS, FIRE RATED ELECTRICAL JUNCTION BOXES AND/OR ELECTRICAL PANELS SHALL BE CODE AND LISTED. ACCESS PANELS AND/OR DOORS SHALL BE U.L. LISTED AND SHALL MAINTAIN THE FIRE RATING SPECIFIED IN THE DESIGN AND ASSEMBLY. THE LOCATION OF ALL ACCESS DOORS/PANELS SHALL ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS. THE OMISSION OF SUCH IN THESE DOCUMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.

CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR EXHAUST COVERS, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. VERIFY AND COORDINATE COLORS WITH INTERIOR DESIGNER AND ARCHITECT.

BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND INTERIOR DESIGNER THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES IN ACCORDANCE WITH ADDED ACCESSIBILITY GUIDELINES, UNLESS SPECIFICALLY NOTED IN THE DRAWINGS.

THE INTERIOR ACCESSIBLE SURFACES BETWEEN SEPARATE MATERIALS AND/OR FINISHES SHALL BE ISOLATED FROM DIRECT CONTACT BY MEANS OF COMPATIBLE MATERIALS. IT SHALL RECEIVE A BEAD OF CAULKING OR SEALANT TO MATCH COLOR OF ADJACENT SURFACES INSTALLED OVER A COMPATIBLE BACKER ROD OF COMPATIBLE MATERIAL AND APPROPRIATE WIDTH FOR THE JOINT. COORDINATE COLORS WITH ARCHITECT, INTERIOR DESIGNER AND/OR OWNER.

AS A **PRE-REQUISITE** TO SUBSTANTIAL COMPLETION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND EXISTING MATERIAL FROM THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOOR TILES, CARPETS, WALLS, DOORS, LIGHT FIXTURES, DIFFUSERS, LOUVERS AND GRILLES, ETC.

AS A **PRE-REQUISITE** TO SUBSTANTIAL COMPLETION, THE CONTRACTOR SHALL PROVIDE THE OWNER A COMPLETE SET OF AS-BUILT DRAWINGS DOCUMENTING ANY DEVIATIONS FROM THESE DOCUMENTS TO INCLUDE ARCHITECTURAL, STRUCTURAL, PLUMBING, FIRE PROTECTION, MECHANICAL AND ELECTRICAL. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS ON SITE AT ALL TIMES. ALL DEVIATIONS FROM THESE DRAWINGS SHALL BE RECORDED BY THE CONTRACTOR AS CONSTRUCTION PROGRESSES.

THE CONTRACTOR, ALL SUBCONTRACTORS AND SUPPLIERS SHALL GRANT TO THE OWNER/DEVELOPER, INSTITUTIONAL MORTGAGEE AND LENDER A FULLY ASSIGNED, NON-REVOCAABLE AND IRREVOCABLE WARRANTY OF FITNESS FOR THE LABOR WORK PERFORMED AND MATERIALS SUPPLIED BY THEM AS FOLLOWS: **a. FOR A PERIOD OF FIVE (5) YEARS** FROM THE DATE OF SUBSTANTIAL COMPLETION A WARRANTY AS TO THE ROOFING SYSTEM, WATERPROOFING, STRUCTURAL COMPONENTS OF THE BUILDING AND MECHANICAL AND PLUMBING ELEMENTS, EXCEPT MECHANICAL ELEMENTS SERVING ONLY ONE UNIT; **b. FOR A PERIOD OF THREE (3) YEARS** FROM DATE OF SUBSTANTIAL COMPLETION, A WARRANTY AS TO **ALL** OTHER IMPROVEMENTS AND MATERIALS; **c. AS TO PERSONAL PROPERTY**, A WARRANTY WHICH IS FOR THE SAME PERIOD AS THAT PROVIDED BY THE MANUFACTURER OF THE PERSONAL PROPERTY, COMMENCING ON THE DATE OF PURCHASE OF SUCH PERSONAL PROPERTY; **d. THE WARRANTY TERM WHICHEVER IS EARLIEST**; **d. THE TERM "COMPLETION OF A BUILDING OR IMPROVEMENT" MEANS FINAL** COMPLETION OF CONSTRUCTION, FINISHING AND EQUIPPING OF THE BUILDING IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE ENTIRE BUILDING BY THE LOCAL AUTHORITY HAVING JURISDICTION AND FINAL ACCEPTANCE BY THE OWNER.

COMPLY WITH THE FOLLOWING APPLICABLE ITEMS OF FBC CHAPTER 36- SECURITY ENFORCED ENTRY PREVISION: **a. ALL LOCKS ON EXTERIOR DOORS SHALL BE OF THE TYPE RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN FBC SUBSECTION 3601.2**; **b. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEYPERATED FROM EXTERIOR WITH A MIN. OF 800 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS** AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS; **c. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MIN. THROW BOLTS WITH INSERTS**; **d. SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOORS DEAD BOLTS OR A PIN AND WELD DOOR LOCKS**; **e. ALL GLASS DOORS SHALL BE PROVIDED WITH AN EFFECTIVE STRIKE EFFECTIVENESS**; **f. GLASS SHALL BE REINFORCED IN THE STRIKE AND MAINTAIN BOLT STRENGTH EFFECTIVENESS, IF NECESSARY, AND SUCH DOORS SHALL HAVE NO SCREWS REMOVABLE FROM OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM OUTSIDE**; **g. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NO REMOVABLE PINS**; **f. SINGLE, SWINGING EXTERIOR DOORS, IF WOOD SHALL BE SOLID CORED AND INSULATED OF NOT LESS THAN 1 - 3/4" THICK, g. GLASS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z97.1**; **SLIDING GLASS DOORS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE REMOVED FROM THE TRACKS WHEN THE DOOR IS LOCKED POSITION** AND SO AS TO COMPLY WITH ARCHITECTURAL ALUMINUM MFMS ASSOC. STANDARDS FOR FORCED ENTRY RESISTANCE AAMA 1303.5 AND ANSIAAMA 101.

SWIMMING POOL AND SPA, COMPLETE WITH ALL SHOWN PIPING, PUMPS, PANELS, ALARMS AND SUPPORTING EQUIPMENT SHALL BE PART OF A SEPARATE PERMIT BY THE APPROPRIATE AGENCIES HAVING JURISDICTION.

A SEPARATE PERMIT AND PROPER CONTROL SHALL BE OBTAINED, WHEN APPLICABLE, ARE REQUIRED FOR THE FOLLOWING: STRUCTURAL, CURTAIN WALL, RAINSCREEN SYSTEMS, SIGNAGE, WINDUW DOORS, AWNINGS, DEMOLITION, STEEL JOISTS, STOREFRONTS, PRECAST SYSTEMS, ROOFING, RAILINGS, MULLIONS, HANDRAILS, GLASS BLOCK, ALUMINUM TRELLIS & GRID PANELS & LOUVERS, CANOPIES, & METAL STRUCTURAL COLUMN, METAL ROOF FEATURES, ELEVATORS, GLASS & ALUMINUM RAIL, STAIR RAIL & BALCONY GUARDRAIL, STEEL FRAMES & METAL DECKS, TRANSLUCENT MATERIAL "KALWALL", SPIRAL STAIR (TO RESIST PENDULUM LATERAL IMPACT 4000).

ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE LOCATED AT OR ABOVE BASE FLOOD ELEVATION (10.00').

ALL FINISH MATERIALS BELOW BEF MUST BE MADE OF FLOODPROOF MATERIALS.

ALL FLOOD PROOFING SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

AS PER FBC R 320 TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION - REGISTERED TERMITICIDE). UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE REGISTERED TERMITICIDE APPLICATOR. THE BUILDING DEPARTMENT SHALL BE REQUIRED TO RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

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CASA BAHIA

Scale:	Drawing Number
As indicated	A-003

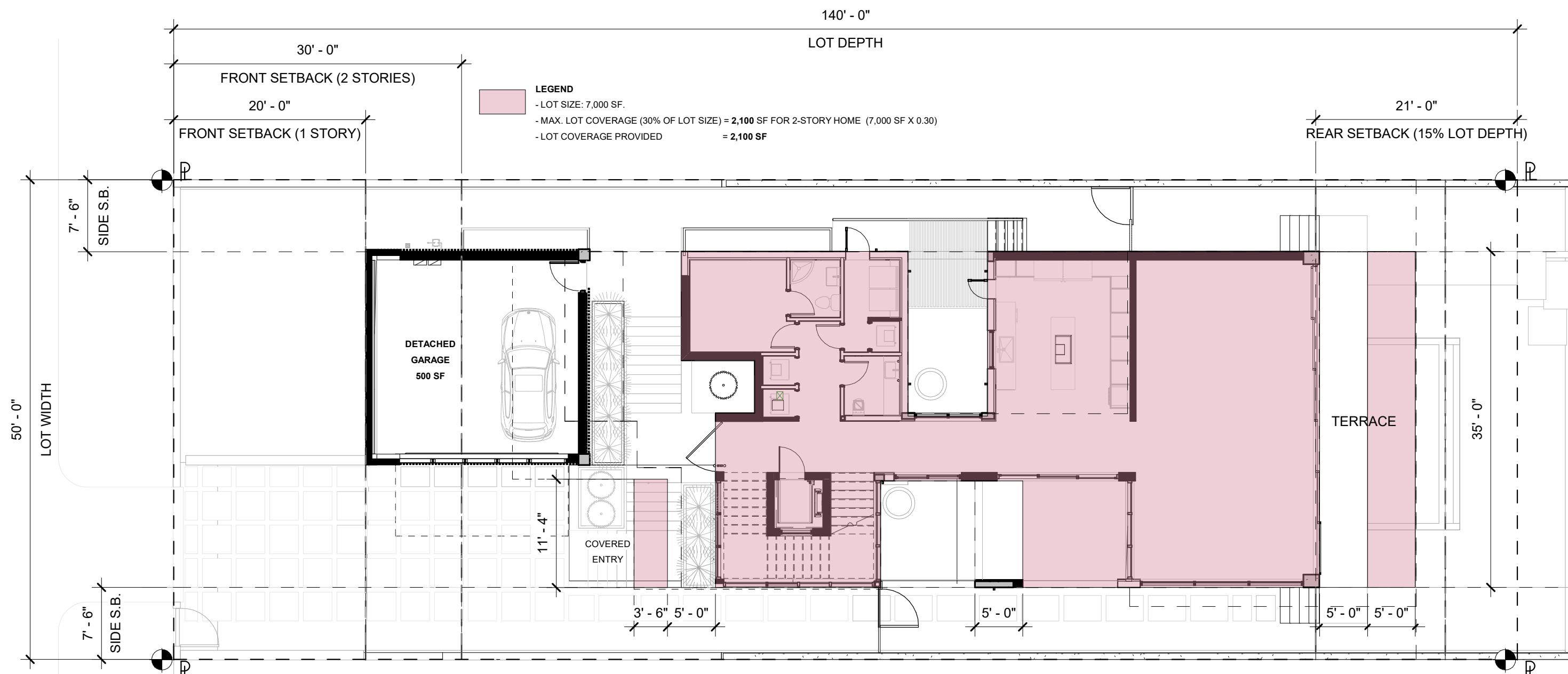
PROJECT DESCRIPTION: NEW CONSTRUCTION-SINGLE FAMILY
MUNICIPALITY: MIAMI BEACH
STREET ADDRESS: 253 N COCONUT LN MIAMI BEACH, FLORIDA, 33139
FOLIO NUMBER: 02-4205-002-0160
ZONING DISTRICT RS-4
FEMA ZONE: AH
BFE: 8.00' NGVD +2.00' NGVD (FREE BOARD) = 10.00' NGVD

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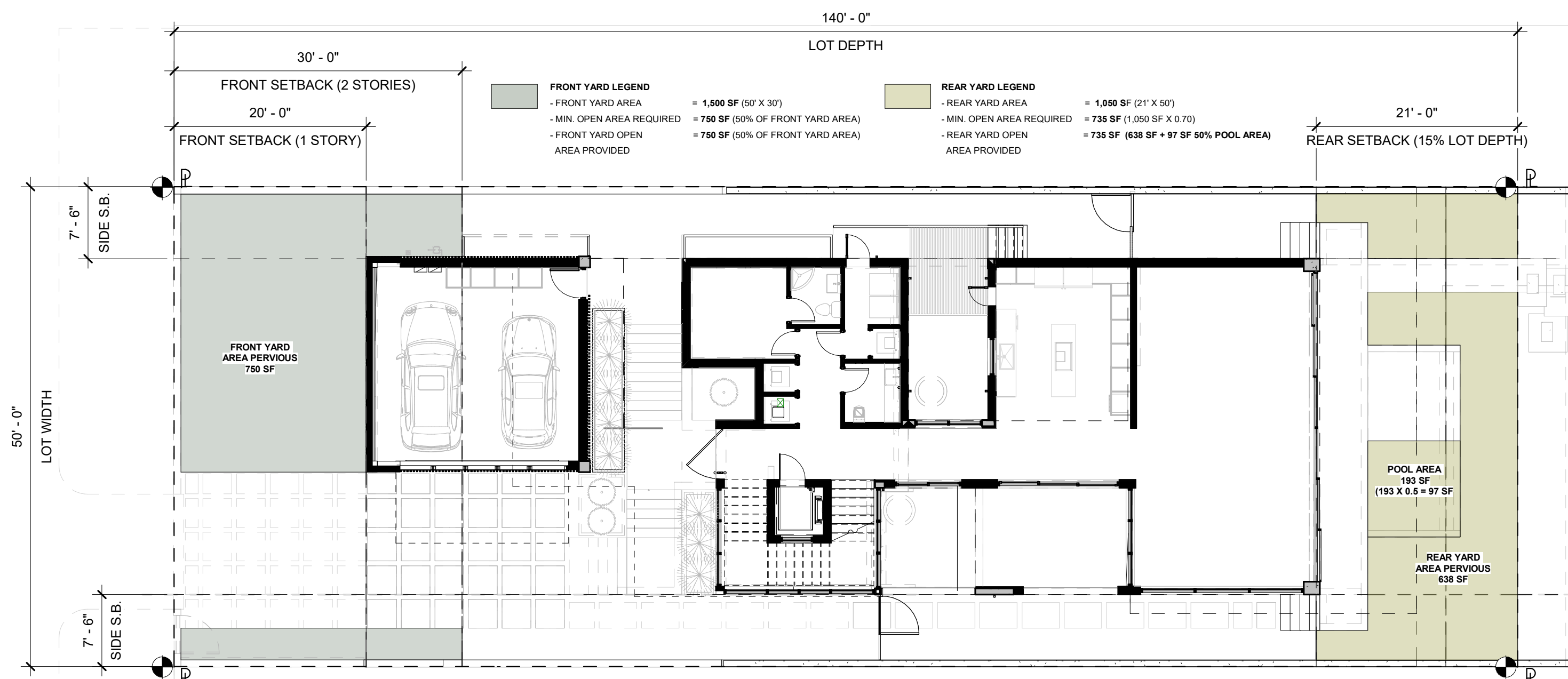
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305.673.7550

ITEM #	Zoning Information				
1	Address:	253 COCONUT LN. MIAMI BEACH, FLORIDA 33139			
2	Folio number(s):	02-4205-002-0160			
3	Board and file numbers:	N/A			
4	Year built:	1935	Zoning District:	RS-4	
5	Based Flood Elevation:	8.00' NGVD (8'+2' FB)	Grade value in NGVD:	3.08' NGVD	
6	Adjusted grade (Flood+Grade/2):	8'+3.08/2=5.54' NGVD	Free board:	2'-0"	
7	Lot Area:	7,000 sf (0.16 ac)			
8	Lot width:	50 ft.	Lot Depth:	140 ft.	
9	Max Lot Coverage SF and %:	2,100 sf (30%)	Proposed Lot Coverage SF and %:	2,100 sf (30%)	
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	500 sf (garage)	
11	Front Yard Open Space SF and %:	750 sf (50%)	Rear Yard Open Space SF and %:	735 sf (70%)	
12	Max Unit Size SF and %:	3,500 sf (50%)	Proposed Unit Size SF and %:	3,500 sf (50%)	
13	Existing First Floor Unit Size:	2,283 sf	Proposed First Floor Unit Size:	1,718 sf	
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)		
15			Proposed Second Floor Unit Size SF and %:	1,705 sf	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	426 sf (25%) (1,705 x 0.25)	
		Required	Existing	Proposed	Deficiencies
17	Height:	24 ft.	1 Story	24 ft. / 2 stories	
18	Setbacks:				
19	Front First level:	20 ft.	N/A	20 ft.	
20	Front Second level:	30 ft.	N/A	40 ft.	
21	Side 1:	7'-6"	N/A	7'-6"	
22	Side 2 or (facing street):	7'-6"	N/A	7'-6"	
23	Rear:	21'-0"	N/A	21'-0"	
	Accessory Structure Side 1:		N/A	N/A	
24	Accessory Structure Side 2 or (facing street):		N/A	N/A	
25	Accessory Structure Rear:		N/A	N/A	
26	Sum of Side yard:	15'-0"	N/A	15'-0"	

27	Located within a Local Historic District?	No
28	Designated as an individual Historic Single Family Residence Site?	No
29	Determined to be Architecturally Significant?	No



1 GROUND FLOOR PLAN LOT COVERAGE DIAGRAM
3/32" = 1'-0"



2 PERVIOUS AREAS DIAGRAM


[illegible]

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AA26000765
AR0016290

Project Name

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139
FOLIO # 02-4205-002-0160

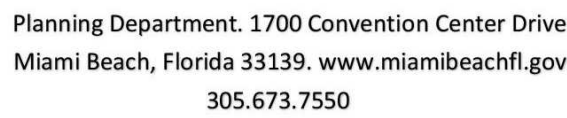
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$$3/32'' = 1'-0''$$

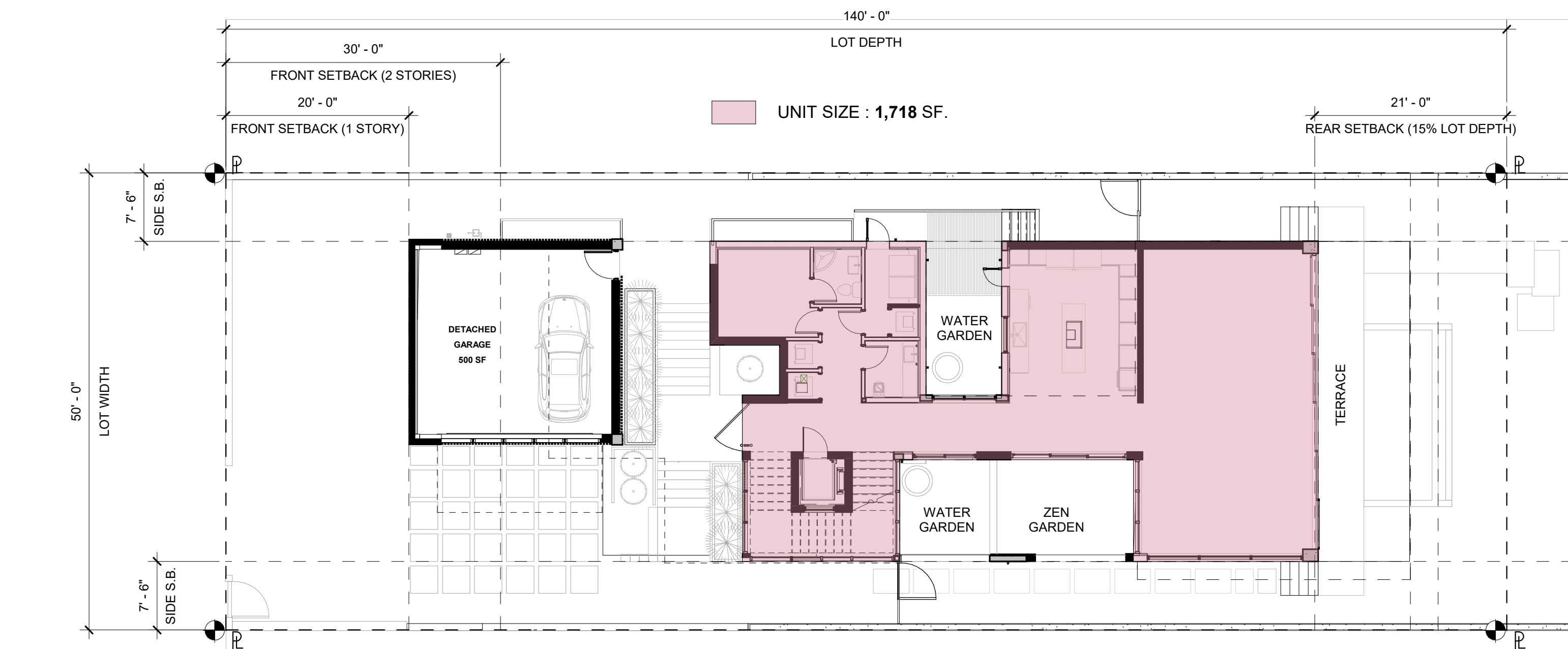
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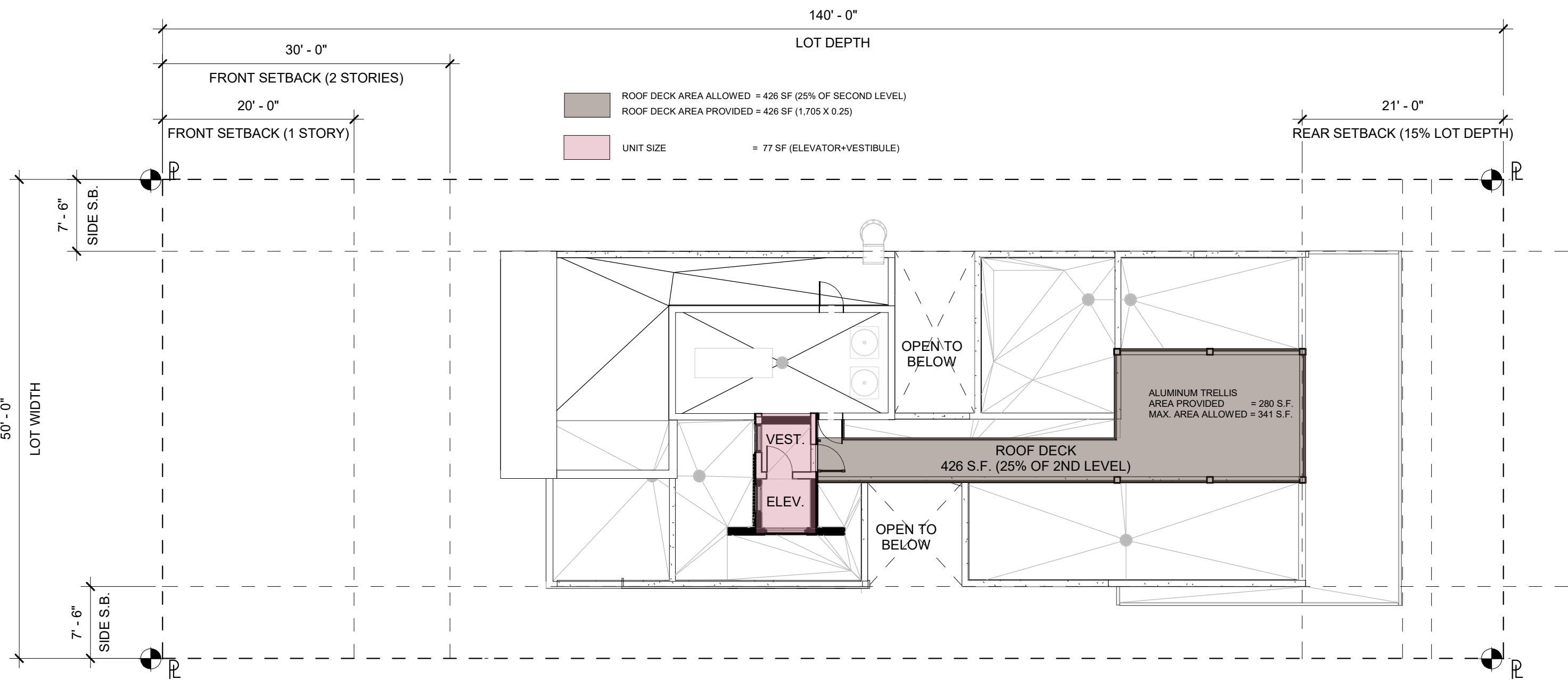
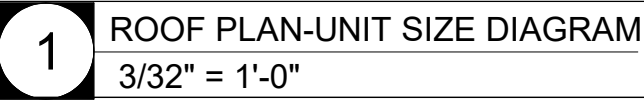


ITEM #	Zoning Information				
1	Address:	253 COCONUT LN. MIAMI BEACH, FLORIDA 33139			
2	Folio number(s):	02-4205-002-0160			
3	Board and file numbers:	N/A			
4	Year built:	1935	Zoning District:	RS-4	
5	Based Flood Elevation:	8.00' NGVD (8'+2' FB)	Grade value in NGVD:	3.08' NGVD	
6	Adjusted grade (Flood+Grade/2):	8'+3.08/2=5.54' NGVD	Free board:	2'-0"	
7	Lot Area:	7,000 sf (0.16 ac)			
8	Lot width:	50 ft.	Lot Depth:	140 ft.	
9	Max Lot Coverage SF and %:	2,100 sf (30%)	Proposed Lot Coverage SF and %:	2,100 sf (30%)	
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	500 sf (garage)	
11	Front Yard Open Space SF and %:	750 sf (50%)	Rear Yard Open Space SF and %:	735 sf (70%)	
12	Max Unit Size SF and %:	3,500 sf (50%)	Proposed Unit Size SF and %:	3,500 sf (50%)	
13	Existing First Floor Unit Size:	2,283 sf	Proposed First Floor Unit Size:	1,718 sf	
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)		
15			Proposed Second Floor Unit Size SF and %:	1,705 sf	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	426 sf (25%) (1,705 x 0.25)	
		Required	Existing	Proposed	Deficiencies
17	Height:	24 ft.	1 Story	24 ft. / 2 stories	
18	Setbacks:				
19	Front First level:	20 ft.	N/A	20 ft.	
20	Front Second level:	30 ft.	N/A	40 ft.	
21	Side 1:	7'-6"	N/A	7'-6"	
22	Side 2 or (facing street):	7'-6"	N/A	7'-6"	
23	Rear:	21'-0"	N/A	21'-0"	
	Accessory Structure Side 1:		N/A	N/A	
24	Accessory Structure Side 2 or (facing street):		N/A	N/A	
25	Accessory Structure Rear:		N/A	N/A	
26	Sum of Side yard:	15'-0"	N/A	15'-0"	

Notes



2 LEVEL 2-UNIT SIZE DIAGRAM



1 ROOF PLAN-UNIT SIZE DIAGRAM

[illegible]

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AR0016290

CASA BAHIA

Drawing Name

Scale:

$$3/32'' = 1'-0''$$

Drawing Number

A-006



CITY MAP - NTS

CODE OF ORDINANCES' REFERENCES:

CODE OF ORDINANCES' REFERENCES:
LOT AREA: 142-105
MINIMUM LOT WIDTH: 142-105
GROSS BUILDING AREA: 142-105
LOT COVERAGE: 142-105
BUILDING HEIGHT: 54-35
BUILDING SETBACKS: 142-106
FENCE HEIGHT: 142-1132
DRIVEWAYS: 142-1132
POOL SETBACK: 142-1133
PROJECTIONS: 142-1132, 142-1105
OTHER DIMENSIONAL REQUIREMENTS: 142-105

ELEVATIONS NOTE

ALL ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).

SCOPE OF WORK

- DESCRIPTION
New construction 2 stories single family residence
- SCOPE INCLUDES
 - Demolition of existing structure
 - New construction 2 stories single family residence

ZONING DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION-SINGLE FAMILY
MUNICIPALITY: MIAMI BEACH
STREET ADDRESS: 253 N COCONUT LN
MIAMI BEACH, FL 33139
FOLIO NUMBER: 02-4205-002-0160
ZONING DISTRICT RS-4
FEMA ZONE: AE
FIRM MAP: 12086 C 0316-L

GARAGE FLOOR ELEV. @ 5.25' NGVD
ADJUSTED GRADE @ 5.54' NGVD
BASE FLOOD ELEV. @ 8.00' NGVD +2.00' (10.00' NGVD) 1929
1ST FLOOR ELEV. @ 11.00' NGVD
2ND FLOOR ELEV. @ 23.82' NGVD
ROOF ELEV. @ 35.00' NGVD

FLOOD-RESISTANT DESIGN AND CONSTRUCTION NOTES

- CLASSIFICATION OF STRUCTURES FOR FLOOD RESISTANCE DESIGN SHALL BE CATEGORY II IN ACCORDANCE WITH ASCE 24-05 TABLE 1.1.
- NEW CONSTRUCTION & SUBSTANTIAL IMPROVEMENTS IN FLOOD HAZARD AREAS SHALL BE CONSTRUCTED WITH FLOOD-DAMAGE-RESISTANT MATERIALS BELOW THE DESIGN FLOOD ELEVATION. (+11.00') PER FBC FIFTH EDITION (2014) BUILDING SECTION 1612 AND TABLE 5-1 OF ASCE 24, LATEST EDITION.
- FLOOD DAMAGE-RESISTANT MATERIALS SHALL HAVE SUFFICIENT STRENGTH, RIGIDITY, & DURABILITY TO ADEQUATELY RESIST ALL FLOOD-RELATED AND OTHER LOADS UNLESS DESIGNED TO BREAK AWAY PER ASCE 24, LATEST EDITION.
- UTILITIES & ATTENDANT EQUIPMENT SHALL BE ELEVATED AT OR ABOVE THE DESIGN FLOOD ELEVATION. (+11.00') PER TABLE 7-1 OF ASCE 24, LATEST EDITION.
- FLOOD OPENINGS WILL PROVIDE EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATER AS SPECIFIED IN FBC R322.2.2 AND ASCE 24.
- CONTRACTOR TO SUBMIT AN ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL SUBMIT FINISHED CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR CO.
- FLOOD OPENINGS LOUVERS, SCREEN OR OTHER OPENING COVER SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATER INTO OR OUT OF ENCLOSED AREA.
- FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.
- ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATION (+11.00' NGVD) SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE.
- THE BOTTOM OF EACH FLOOD OPENING SHALL BE NO HIGHER THAN 1.0 FT. ABOVE THE HIGHER OF THE EXTERIOR OR INTERIOR GRADE OR FLOOR.
- IMMEDIATELY BELOW THE OPENING, DISTANCE SHALL BE NOTED ON EXTERIOR ELEVATIONS SHEETS BELOW EACH OPENING. THE TOP OF THE FLOOD OPENING SHALL NOT BE ABOVE DFE. ANY PART OF THE FLOOD OPENING ABOVE THE DFE CANNOT BE COUNTED TOWARDS THE COMPLIANCE WITH THE FLOOD OPENING REQUIREMENTS.

PUBLIC WORKS NOTES

- RECONSTRUCT SWALE/SOD ALONG THE ENTIRE PROPERTY.
- MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
- ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.

PUBLIC WORKS-REMINDER NOTES

- THE CONTRACTOR/PERMIT HOLDER SHALL EMPLOY AN EFFECTIVE INTEGRATED MOSQUITO MANAGEMENT PROGRAM UTILIZING BEST MANAGEMENT PRACTICES DURING THE ENTIRE TIME THE PERMIT IS IN EFFECT.
- A CMB RIGHT OF WAY CONSTRUCTION PERMIT IS REQUIRED BEFORE STARTING ANY DEMOLITION AND/OR CONSTRUCTION ACTIVITY INSIDE RIGHT-OF-WAY.
- THE PUBLIC WORKS DEPARTMENT RECOMMENDS THAT THE SANITARY SEWER LATERAL BETWEEN PROPERTY LINE AND THE SANITARY SEWER MAIN BE REPLACED IN ALL SUBSTANTIAL IMPROVEMENT PROJECTS. AS A SUBJECTION, CONTRACTOR TO DO A VIDEO INSPECTION OF THE SIX INCHES SANITARY SEWER LATERAL TO CONFIRM THE CONDITION OF THE PIPE AND PROVIDE TWO DIGITAL COPY FOR THE PUBLIC WORKS DEPARTMENT TO REVIEW AND TO CONFIRM THE CONDITION OF THE LATERAL PIPE.
- CONCRETE DECORATIVE REQUIRE A CITY OF MIAMI BEACH RIGHT OF WAY PERMITS FOR CONCRETE DECORATIVE DRIVEWAY CONNECTION (PUBLIC WORKS MANUAL PART I / SECTION 2 / A / 1.4)
- LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE PRELIMINARY APPROVALS FROM THE PUBLIC WORKS URBAN FORESTER PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeach.gov
305.673.7550

ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	253 COCONUT LN. MIAMI BEACH, FLORIDA 33139		
2	Folio number(s):	02-4205-002-0160		
3	Board and file numbers:	N/A		
4	Year built:	1935	Zoning District:	RS-4
5	Based Flood Elevation:	8.00' NGVD (8'+2' FB)	Grade value in NGVD:	3.08' NGVD
6	Adjusted grade (Flood+Grade/2):	8'+3.08/2=5.54' NGVD	Free board:	2'-0"
7	Lot Area:	7,000 sf (0.16 ac)		
8	Lot width:	50 ft.	Lot Depth:	140 ft.
9	Max Lot Coverage SF and %:	2,100 sf (30%)	Proposed Lot Coverage SF and %:	2,100 sf (30%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	500 sf (garage)
11	Front Yard Open Space SF and %:	750 sf (50%)	Rear Yard Open Space SF and %:	735 sf (70%)
12	Max Unit Size SF and %:	3,500 sf (50%)	Proposed Unit Size SF and %:	3,500 sf (50%)
13	Existing First Floor Unit Size:	2,283 sf	Proposed First Floor Unit Size:	1,718 sf
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	1,705 sf
15			Proposed Second Floor Unit Size SF and %:	1,705 sf
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	426 sf (25%) (1,705 x 0.25)
		Required	Existing	Proposed
17	Height:	24 ft.	1 Story	24 ft. / 2 stories
18	Setbacks:			
19	Front First level:	20 ft.	N/A	20 ft.
20	Front Second level:	30 ft.	N/A	40 ft.
21	Side 1:	7'-6"	N/A	7'-6"
22	Side 2 or (facing street):	7'-6"	N/A	7'-6"
23	Rear:	21'-0"	N/A	21'-0"
24	Accessory Structure Side 1:	N/A	N/A	N/A
25	Accessory Structure Side 2 or (facing street):	N/A	N/A	N/A
26	Accessory Structure Rear:	N/A	N/A	N/A
27	Sum of Side yard:	15'-0"	N/A	15'-0"
27	Located within a Local Historic District?			No
28	Designated as an Individual Historic Single Family Residence Site?			No
29	Determined to be Architecturally Significant?			No

Notes:

SITE NOTE:

- RECONSTRUCT THE SWALE ALONG THE ENTIRE PROPERTY.
- MILL AND RESURFACE 2" AVERAGE (USE TYPE S-III ASPHALT MIX DESIGN) AT THE DRIVING LANE (10' WIDE) ALONG THE ENTIRE PROPERTY.
- IMPROVEMENTS TO THE RIGHT-OF-WAY REQUIRES A SEPARATE CMB PUBLIC WORK DEPARTMENT PERMIT WITH CITY OF MIAMI BEACH CAPITALIMPROVEMENT PROJECTS OFFICE APPROVAL IN REGARDS TO PALM-HIBISCUS NEIGHBORHOOD IMPROVEMENTS PROJECT.
- USE THE CMB PUBLIC WORKS DEPARTMENT MANUAL FOR CMB UTILITIES AND/OR ANY IMPROVEMENT WITHIN THE RIGHT-OF-WAY.
- ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN ALARM COMPLYING WITH UL-2017 THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10 FEET AS PER FBC R4101.17.1.9.1. AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND ITS SCREEN ARE OPENED. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS IMMEDIATELY AFTER THE DOOR IS OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SHALL BE EQUIPPED WITH A MANUAL MEANS TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. SUCH DEACTIVATION SHALL LAST NO MORE THAN 15 SECONDS. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 INCHES ABOVE THE THRESHOLD OF THE DOOR.
- VAPOR BARRIER 15 MI POLYETHYLENE VAPOR RETARDER W/JOINTS LAPPED NOT LESS THAN 6 INCHES, OR OTHER APPROVED EQUIVALENT METHODS OR MATERIALS.
- PROTECTION AGAINST TERMITES: R318.1** TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMITICIDE). UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"
- REFER TO LANDSCAPE DRAWINGS FOR PLANTS SPECS, DIMENSIONS, IRRIGATION LAYOUT AND DETAILS.
- REFER TO CIVIL DRAWINGS FOR DRAINAGE LAYOUT AND CALCULATION.
- SEE LANDSCAPE DRAWINGS FOR: TREE MITIGATION/RELOCATION, LANDSCAPE SOFTSCAPE AND HARDSCAPE LAYOUT.
- ALL YARDS SHALL BE SLOPED TO RETAIN ALL STORMWATER ON SITE, AND SHALL NOT DRAIN ONTO ADJACENT PROPERTIES.
- CONTRACTOR SHALL REQUEST VERIFICATIONS AND LOCATION MARKINGS FROM UTILITY COMPANIES FOR ALL UNDERGROUND UTILITY SERVICES PRIOR TO BEGINNING ANY EXCAVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING SURVEYOR SITE LAYOUT OF ALL FOUNDATIONS AND STRUCTURE LOCATIONS, IN ADDITION TO SITE GRADE ELEVATION BENCHMARKS.
- ALL DOWNSPOUTS, STORM DRAINS, FOOTING, AND FOUNDATION DRAINS SHALL BE CONNECTED TO THE STORM DRAINAGE SYSTEM AS INDICATED IN CIVIL DWGS. DOWNSPOUTS SHALL BE TIGHT LINED SEPARATE FROM FOUNDATION DRAINS.
- SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING, TRENCHING, FOUNDATION WORK, ETC. CONTRACTOR SHALL CONTACT OWNER AND ARCHITECT FOR INSTRUCTIONS PRIOR TO CONTINUATION OF WORK.
- THE GEOTECHNICAL REPORTS FOR THE SITE PROVIDED BY THE OWNER SHALL BE PART OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
- SLOPE ALL DECKS, WALKWAYS, DRIVEWAYS, IMPERVIOUS GRADE, AND PATIOS AWAY FROM BUILDINGS AT 2% MAXIMUM. PERVIOUS GRADE AREAS SHALL SLOPE AWAY FROM THE BUILDING AS INDICATED IN CIVIL GRADING PLAN.
- GC TO PROVIDE A SWIMMING POOL ALARM THAT, WHEN PLACED IN A POOL, SOUNDS AN ALARM UPON DETECTION OF AN ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. REFER TO 2016 FLORIDA STATUTES, CHAPTER 515.

ISSUE DATE: 01/03/2022 DRB FINAL SUBMITTAL

No.	Date	Description
1	12/20/2021	Revision 1

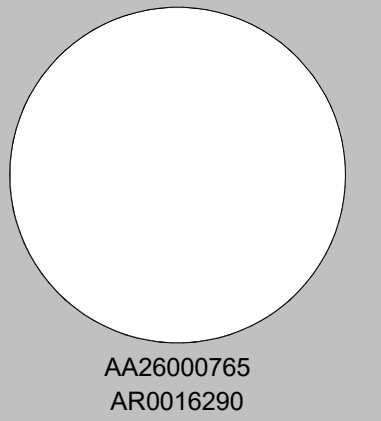
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REINALDO BORGES, ARCHITECT



Project Team

Project Name

CASA BAHIA

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139
FOLIO # 02-4205-002-0160

Project Number 21-3600

Drawing Name

SITE PLAN

Scale:

1/8" = 1'-0"

Drawing Number

A-100

1

SITE PLAN
1/8" = 1'-0"


$$3/16'' = 1'-0''$$

1. FLOOD OPENINGS WILL PROVIDE EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATER AS SPECIFIED IN FBC R322.2.2 AND ASCE 24.
2. FLOOD OPENINGS SHALL BE CORROSION OR OTHER OPENING CLOSURES THAT NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATER INTO OR OUT OF ENCLOSED AREA.
3. FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.
4. THE BOTTOM OF EACH FLOOD OPENING SHALL BE NO HIGHER THAN 10 FT. ABOVE THE HIGHER OF THE EXTERIOR OR INTERIOR GRADE OR FLOOR IMMEDIATELY BELOW THE OPENING. DISTANCE SHALL BE NOTED ON EXTERIOR ELEVATIONS SHEETS BELOW EACH OPENING. THE TOP OF THE FLOOD OPENING SHALL NOT BE ABOVE DYE. ANY PART OF THE FLOOD OPENING ABOVE THE DYE CANNOT BE COUNTED TOWARDS THE COMPLIANCE WITH THE FLOOD OPENING REQUIREMENTS.
5. MATERIALS BELOW DFE (11" NGVD) SHALL BE FLOOD-DAMAGE RESISTANT PER FEMA TECHNICAL BULLETIN 2, MATERIALS CLASS 4 AND 5.

1. GC TO PROVIDE MIAMI D.C. PRODUCT CONTROL APPROVAL FOR IMPACT RESISTANT EXTERIOR DOOR AND WINDOWS.
2. ALL BEDROOMS SHALL HAVE "EGRESS" TYPE DOORS OR WINDOWS. U.O.N. REFER TO DOOR / WINDOW SCHEDULE. THE EGRESS WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, AND 5.7 SQ.FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY TOOL. SPECIAL FINISHES SHALL BE EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
3. GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND ROUGH OPENINGS PRIOR TO CONSTRUCTION. ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATED WITH ARCHITECT OF RECORD.
4. INTERIOR / EXTERIOR PARTITION FRAMING, SIZING AND REINFORCING TO BE BY SPECIALTY ENGINEERING.
5. BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.
6. SEPARATE OSSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE.
7. BATH PARTMENT PERMIT REQUIRED FOR ROOFING, RAILINGS, WINDOWS AND DOORS.
8. FOR SECURITY ENTRY NOTES REFER TO BUGLARY NOTES SHEET A-003.
9. SHOWERS. SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT OF NOT LESS THAN 70 INCHES (1778 MM) ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.
11. SHOWER PAN SHOULD BE WATERPROOFED A MIN. OF 12" UP EACH PERIMETER WALL.
12. WINDOWS AT LESS THAN 4FT. FROM DOORS SHALL HAVE CAT. I GLAZING PER FBC SEC. R4410.2.4.3.2
13. WHEN THERE IS A DROP OF LESS THAN 4 FT. ON EITHER SIDE OF A WINDOW IT SHALL COMPLY WITH FBC SEC R4410.2.4.2 AND R4403.7.3.1
14. ALL SHOWER ENCLOSURES AND ANY GLAZING WITHIN 60" OF THE FINISHED FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE SHALL BE CAT. II SAFETY GLASS PER FBC 2010 R4410.2.6.2 SAFEGUARDS.
15. ALL GLASS RAILINGS TO COMPLY WITH FBC SEC. R4403.7.3.6
16. GC TO RETURN TO INTERIOR DESIGN DRAWINGS FOR CLARIFICATION OF ALL FINISHES AND RELATED DETAILS.
17. ALL FINISHES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
18. ALL FINISH HARDWARE TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
19. SEE INTERIOR DESIGN FOR ALL BATH ACCESSORIES. GC TO PROVIDE BACKING AS NECESSARY.
20. REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF MILLWORK AND OTHER BUILT-IN FURNITURE. PROVIDE PROPER BACKING AS NECESSARY.
21. FINISH DIMENSIONS SUBJECT TO CHANGE. REFER TO INTERIOR DESIGN DRAWINGS FOR FINAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS.
22. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.9.
23. INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.10
24. ALL ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD 1929). ALL ELEVATIONS IN RCPs ARE RELATIVE TO FLOOR.
25. GC TO COORDINATE FINAL LOCATION OF ACCESS HATCH WITH MECHANICAL EQUIPMENT AND NOTIFY ARCHITECT OF ANY CONFLICTS.
26. GC TO VERIFY SPACE REQUIRED FOR VERTICAL AIR DIFFUSERS AND RETURNS IN COVES.

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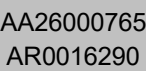
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REINALDO BORGES, ARCHITECT



Project Name

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139

FOLIO # 02-4205-002-0160

Project Number 21-3600

Drawing Name

CRAWL SPACE PLAN

Scale:

As indicated

Drawing Number

A-100A


$$3/16'' = 1'-0''$$

1. FLOOD OPENINGS WILL PROVIDE EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATER AS SPECIFIED IN FBC R322.2 AND ASCE 24.
2. FLOOD OPENINGS LOWERS, SCREEN OR OTHER OPENING COVER SHALL NOT LOCK OR LOCK IN THE AUTOMATIC FLOW OF FLOOD WATER INTO OR OUT OF ENCLOSED AREA.
3. FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.
4. THE BOTTOM OF EACH FLOOD OPENING SHALL BE NO HIGHER THAN 1.0 FT. ABOVE THE HIGHER OF THE EXTERIOR OR INTERIOR GRADE OR FLOOR IMMEDIATELY BELOW THE OPENING. DISTANCE SHALL BE NOTED ON EXTERIOR ELEVATIONS SHEETS BELOW EACH OPENING. THE TOP OF THE FLOOD OPENING SHALL NOT BE ABOVE DFE, ANY PART OF THE FLOOD OPENING ABOVE THE DFE CANNOT BE COUNTED TOWARDS THE COMING INTO CONTACT WITH THE FLOODING OPERATING FLOODING MATERIALS BELOW DFE (1" NGVD) SHALL BE FLOOD-DAMAGE RESISTANT PER FEMA TECHNICAL BULLETIN 2, MATERIALS CLASS 4 AND 5.
- 5.

2. GC TO PROVIDE MIAMI D.C. PRODUCT CONTROL APPROVAL FOR IMPACT RESISTANT EXTERIOR DOOR AND WINDOWS.

3. ALL BEDROOMS SHALL HAVE "EGRESS" TYPE DOORS OR WINDOWS. U.O.N. REFER TO DOOR / WINDOW SCHEDULE. THE EGRESS WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, AND 5.7 SQ.FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION DOES NOT REQUIRE THE USE OF A KEY, TOOL, SPECIFIC SEQUENCE OF MOVEMENTS OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

4. GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND ROUGH OPENINGS PRIOR TO CONSTRUCTION.

5. ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATED WITH ARCHITECT OF RECORD.

6. INTERIOR / EXTERIOR PARTITION FRAMING, SIZING AND REINFORCING TO BE BY SPECIALTY ENGINEERING.

7. BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.

8. CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE.

9. SEPARATE PERMIT REQUIRED FOR ROOFING, RAILINGS, WINDOWS AND DOORS.

10. FOR SECURITY ENTRY NOTES REFER TO BUGLARY NOTES SHEET A-003.

11. SHOWERS. SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT OF NOT LESS THAN 70 INCHES (1778 MM) ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.

12. SHOWERS SHOULD BE WATERPROOFED A MIN. OF 12" UP EACH PERIMETER WALL.

13. WINDOWS AT LESS THAN 4FT. FROM DOORS SHALL HAVE CAT. II GLAZING PER FBC SEC. R4402.2.4.3.2.

14. WHEN THERE IS A DROP OF LESS THAN 4 FT. ON EITHER SIDE OF A WINDOW IT SHALL COMPLY WITH FBC SEC R4410.2.4.2 AND R4403.7.3.1

15. ALL SHOWER ENCLOSURES AND ANY GLAZING WITHIN 60" OF THE FINISHED FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE SHALL BE CAT. II SAFETY GLASS PER FBC 2010 R4410.2.6.2 SAFEGUARDS.

16. ALL GLASS RAILINGS TO COMPLY WITH FBC SEC. R4403.7.3.6

17. GC TO REFER TO INTERIOR DESIGN DRAWINGS FOR SPECIFICATION OF ALL FINISHES AND RELATED DETAILS.

18. ALL FINISHES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.

19. ALL FINISH HARDWARE TO BE SELECTED BY OWNER/INTERIOR DESIGNER.

20. SEE INTERIOR DESIGN FOR ALL BATH ACCESSORIES. GC TO PROVIDE BACKING AS NECESSARY.

21. REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF MILLWORK AND OTHER BUILT-IN FURNITURE. PROVIDE PROPER BACKING AS NECESSARY.

22. FINISH DIMENSIONS SUBJECT TO CHANGE. REFER TO INTERIOR DESIGN DRAWINGS FOR FINAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS.

23. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 or UL 273. FBCR 302.9.

24. INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 or UL 273. FBCR 302.10.

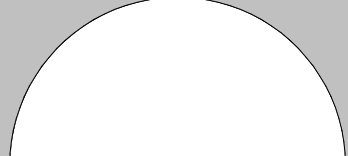
25. ALL ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD 1929). ALL ELEVATIONS IN RCPs ARE RELATIVE TO FLOOR.

26. GC TO COORDINATE FINAL LOCATION OF ACCESS HATCH WITH MECHANICAL EQUIPMENT AND NOTIFY ARCHITECT OF ANY CONFLICTS.

27. GC TO VERIFY SPACE REQUIRED FOR VERTICAL AIR DIFFUSERS AND RETURNS IN COVES.

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REINALDO BORGES, ARCHITECT



AA26000765
AR0016290

Project Team

Project Name

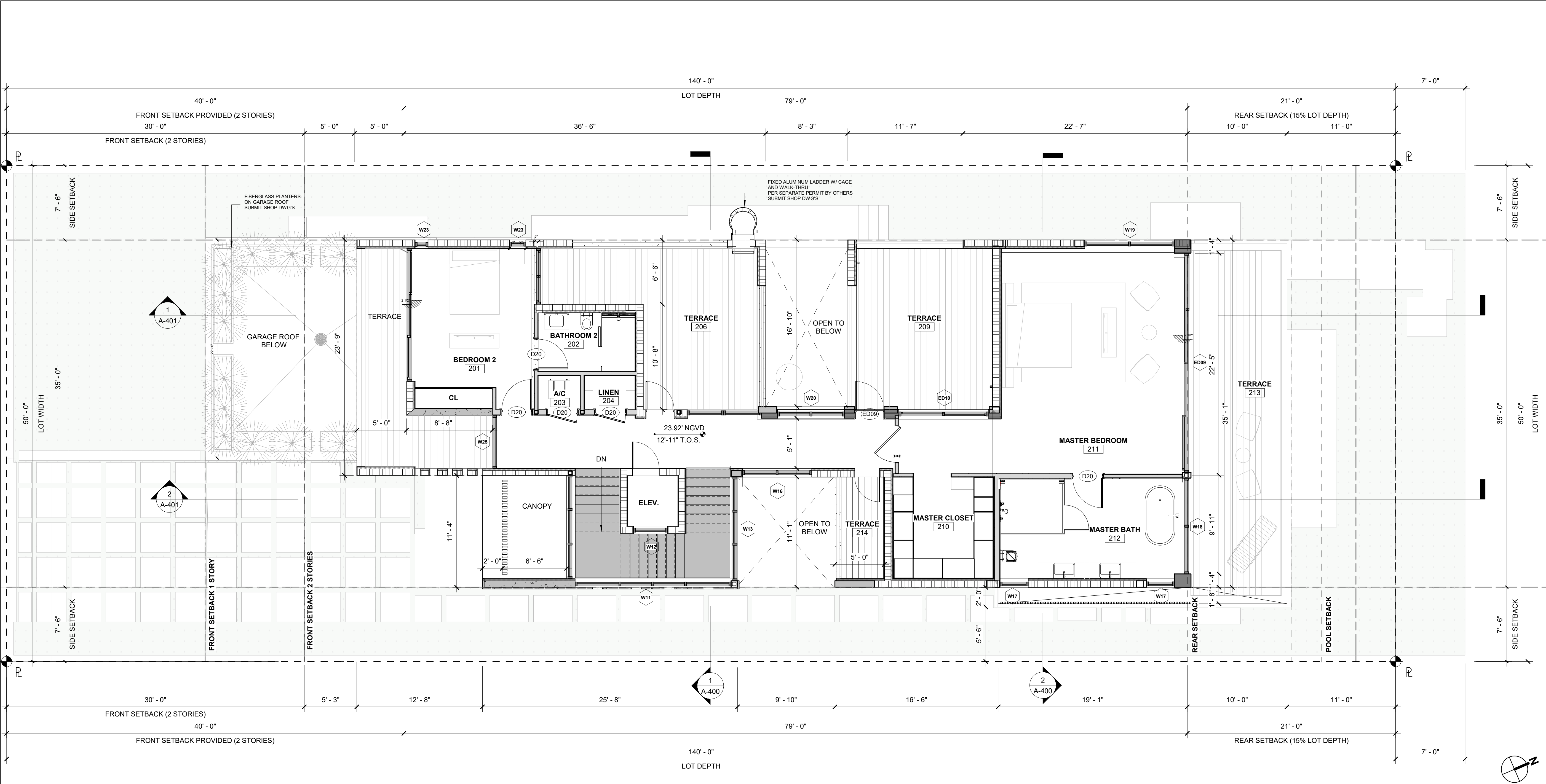
253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139
FOLIO # 02-4205-002-0160

Drawing Name

GROUND FLOOR PLAN

As indicated

A-102



1 LEVEL 2
3/16" = 1'-0"

FLOOD NOTES:

- FLOOD OPENINGS WILL PROVIDE EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATER AS SPECIFIED IN FBC R322.2.2 AND ASCE 24.
- FLOOD OPENINGS LOUVERS, SCREEN OR OTHER OPENING COVER SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATER INTO OR OUT OF ENCLOSED AREA.
- FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.
- THE BOTTOM OF EACH FLOOD OPENING SHALL BE NO HIGHER THAN 1.0 FT. ABOVE THE HIGHER OF THE EXTERIOR OR INTERIOR GRADE OR FLOOR IMMEDIATELY BELOW THE OPENING. DISTANCE SHALL BE NOTED ON EXTERIOR ELEVATIONS SHEETS BELOW EACH OPENING. THE TOP OF THE FLOOD OPENING SHALL NOT BE ABOVE DFE. ANY PART OF THE FLOOD OPENING ABOVE THE DFE CANNOT BE COUNTED TOWARDS THE COMPLIANCE WITH THE FLOOD OPENING REQUIREMENTS.
- MATERIALS BELOW DFE (11" NGVD) SHALL BE FLOOD-DAMAGE RESISTANT PER FEMA TECHNICAL BULLETIN 2, MATERIALS CLASS 4 AND 5.

FLOOR PLAN NOTES

- GC TO PROVIDE MIAMI D.C. PRODUCT CONTROL APPROVAL FOR IMPACT RESISTANT EXTERIOR DOOR AND WINDOWS.
- ALL BEDROOMS SHALL HAVE 'EGRESS' TYPE DOORS OR WINDOWS, U.O.N. REFER TO DOOR / WINDOW SCHEDULE. THE EGRESS WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT, AND 5.7 SQ.FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. THE MODE OF OPERATION DOES NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
- GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND ROUGH OPENINGS PRIOR TO CONSTRUCTION.
- ANY CHANGE OF INTERIOR FINISHES BY OWNER/G.C. SHALL BE COORDINATED WITH ARCHITECT OF RECORD.
- INTERIOR / EXTERIOR PARTITION FRAMING, SIZING AND REINFORCING TO BE BY SPECIALTY ENGINEERING.
- BATH DOORS SHALL BE OPERABLE FROM OUTSIDE IN EMERGENCY SITUATIONS.
- CLOSET DOORS SHALL BE OPERABLE BY CHILDREN FROM INSIDE.
- SEPARATE PERMIT REQUIRED FOR ROOFING, RAILINGS, WINDOWS AND DOORS.
- FOR SECURITY ENTRY NOTES REFER TO BUGLARY NOTES SHEET A-003.
- SHOWERS, SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH, CORROSION RESISTANT AND NONABSORBENT WATER-RESISTANT MATERIALS TO A HEIGHT OF NOT LESS THAN 70 INCHES (1778 MM) ABOVE THE COMPARTMENT FLOOR AT THE DRAIN.
- SHOWER PANS SHOULD BE WATERPROOFED A MIN. OF 12" UP EACH PERIMETER WALL.
- WINDOWS AT LESS THAN 4FT. FROM DOORS SHALL HAVE CAT. II GLAZING PER FBC SEC. R4410.2.4.3.2
- WHEN THERE IS A DROP OF LESS THAN 4 FT. ON EITHER SIDE OF A WINDOW IT SHALL COMPLY WITH FBC SEC R4410.2.4.2 AND R4403.7.3.1
- ALL SHOWER ENCLOSURES AND ANY GLAZING WITHIN 60" OF THE FINISHED FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE SHALL BE CAT. II SAFETY GLASS PER FBC 2010 R4410.2.6.2 SAFEGUARDS.
- ALL GLASS RAILINGS TO COMPLY WITH FBC SEC. R4403.7.3.6
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- ALL FINISHES TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
- ALL FINISH HARDWARE TO BE SELECTED BY OWNER/INTERIOR DESIGNER.
- SEE INTERIOR DESIGN FOR ALL BATH ACCESSORIES. GC TO PROVIDE BACKING AS NECESSARY.
- REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF MILLWORK AND OTHER BUILT-IN FURNITURE. PROVIDE PROPER BACKING AS NECESSARY.
- FINISH DIMENSIONS SUBJECT TO CHANGE. REFER TO INTERIOR DESIGN DRAWINGS FOR FINAL DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.9.
- INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273. FBCR 302.10
- ALL ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD 1929). ALL ELEVATIONS IN RCPs ARE RELATIVE TO FLOOR.
- GC TO COORDINATE FINAL LOCATION OF ACCESS HATCH WITH MECHANICAL EQUIPMENT AND NOTIFY ARCHITECT OF ANY CONFLICTS.
- GC TO VERIFY SPACE REQUIRED FOR VERTICAL AIR DIFFUSERS AND RETURNS IN COVES.

ISSUE DATE: 01/03/2022 DRB FINAL SUBMITTAL

No.	Date	Description
1	12/20/2021	Revision 1

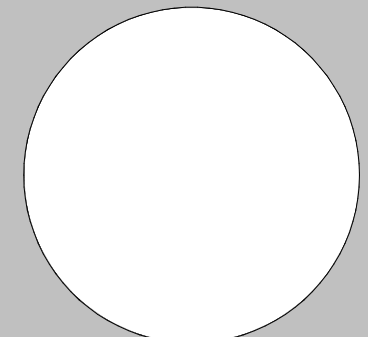
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REINALDO BORGES, ARCHITECT



AA26000765
AR0016290

Project Team

Project Name

CASA BAHIA

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139
FOLIO # 02-4205-002-0160

Project Number 21-3600

Drawing Name

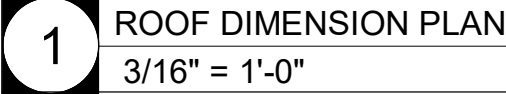
LEVEL 2 - FLOOR PLAN

Scale:

As indicated

Drawing Number

A-106


$$3/16'' = 1'-0''$$

- FLOOD NOTES:**
1. FLOOD OPENINGS WILL PROVIDE EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FLOW FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATER AS SPECIFIED IN FBC R322.2 AND ASCE 24.
 2. FLOOD OPENINGS LOUVERS, SCREEN OR OTHER OPENING COVER SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATER INTO OR OUT OF THE ENCLOSED AREA.
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 5. MATERIALS BELOW DFE (1" NGVD) SHALL BE FLOOD-DAMAGE RESISTANT PER FEMA TECHNICAL BULLETIN 2, MATERIALS CLASS 4 AND 5.

1. CLOSED CELL IYCENE SPRAYED FOAM INSULATION OR SIMILAR APPROVED. PROVIDE OVERCOAT INTUMESCENT. MUST BE SEPARATED FROM THE INTERIOR OF THE BUILDING BY AN APPROVED THERMAL BARRIER SUCH AS A 5/8" GYP-SUM WALLBOARD INSTALLED USING MECHANICAL FASTENERS IN ACCORDANCE WITH APPLICABLE CODE OR AN EQUIVALENT 15-MINUTE THERMAL BARRIER. GC TO INSTALL PRODUCT AS PER MANUFACTURER SPECIFICATIONS. INSTALL UNDER ROOF SLABS OVER ALL INHABITABLE AREAS. R-30 MIN. TYP.
2. ALL ROOF TO BE COVERED WITH LIQUID APPLIED SOPREMA ALSAN RS ROOFING SYSTEM WITH FINE WHITE QUARTZ FINISH OR APPROVED EQUAL.
3. ALL ROOFING AND WATERPROOFING DIAGRAMS AND DETAILS TO BE USED IN CONJUNCTION WITH SOPREMA'S GENERAL REQUIREMENTS, APPLICATION METHODS, COUNTY APPROVALS AND APPROVED DETAILS. CONTACT THE ARCHITECT SHOULD ANY DISCREPANCY ARISE.
4. COORDINATE FINISH OF ROOF PENETRATIONS WITH ARCHITECT AND MEP DRAWINGS.
5. ALL ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD 1929).

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11. SHOWER PAN SHOULD BE WATERPROOFED A MIN. OF 1/2" UP EACH PERIMETER WALL.
12. WINDOWS AT LESS THAN 4 FT. FROM DOORS SHALL HAVE CAT. II GLAZING PER FBC SEC. R4410.2.4.2.
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Project Team

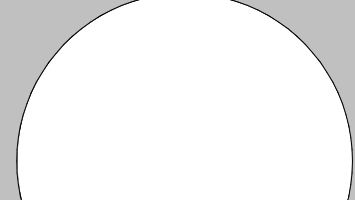
Project Name

A-110



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REINALDO BORGES, ARCHITECT




AA28000765
AR0016290

Project Name

CASA BAHIA

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139

FOLIO # 02-4205-002-0160

Project Number	21-3600
Drawing Name	<div style="text-align: right;">1</div> <div style="text-align: center;"> BUILDING ELEVATIONS</div>
Scale:	Drawing Number A-300
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REINALDO BORGES, ARCHITECT

AA260000765
AR0016290

Project Team

Project Name

CASA BAHIA

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139

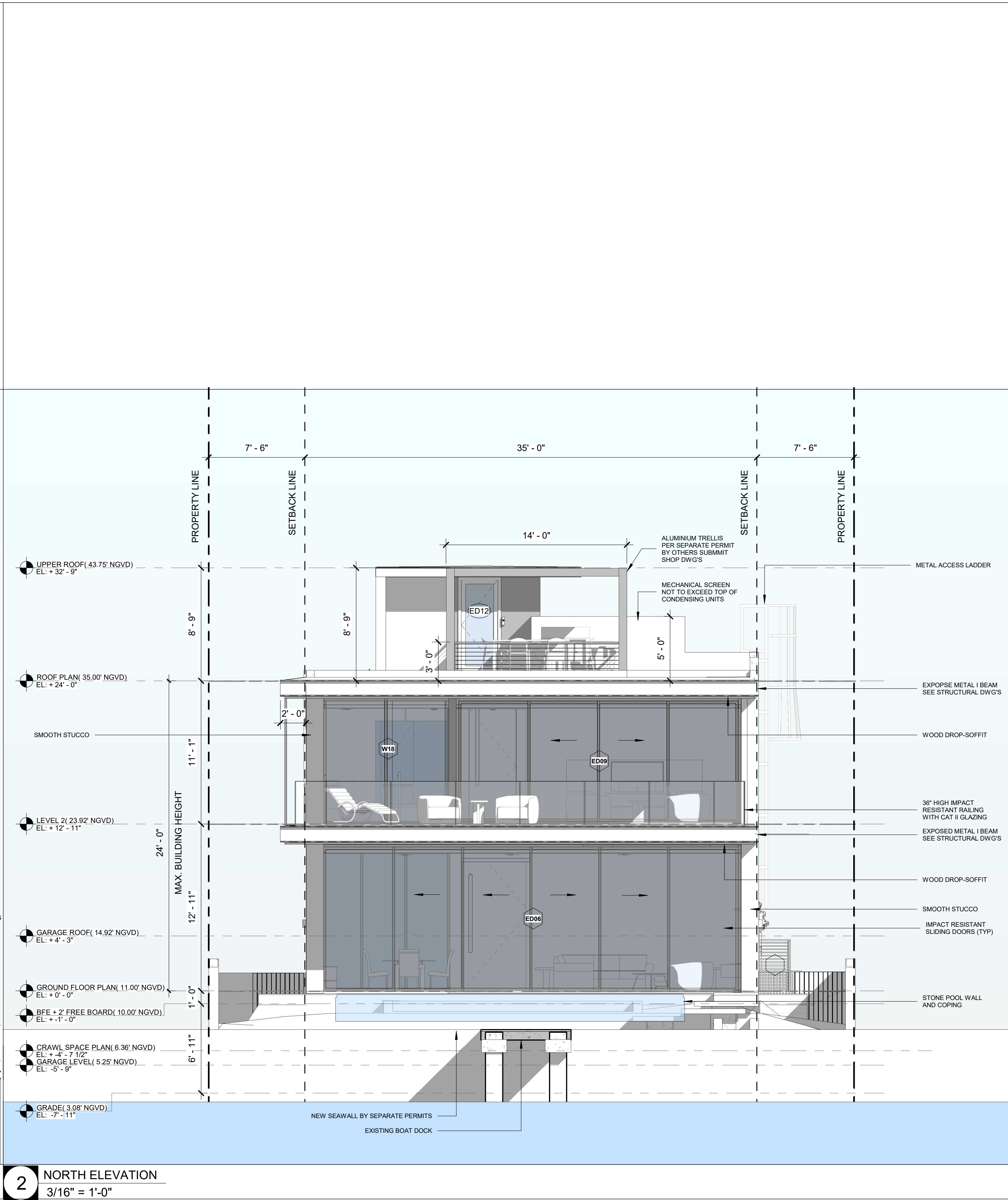
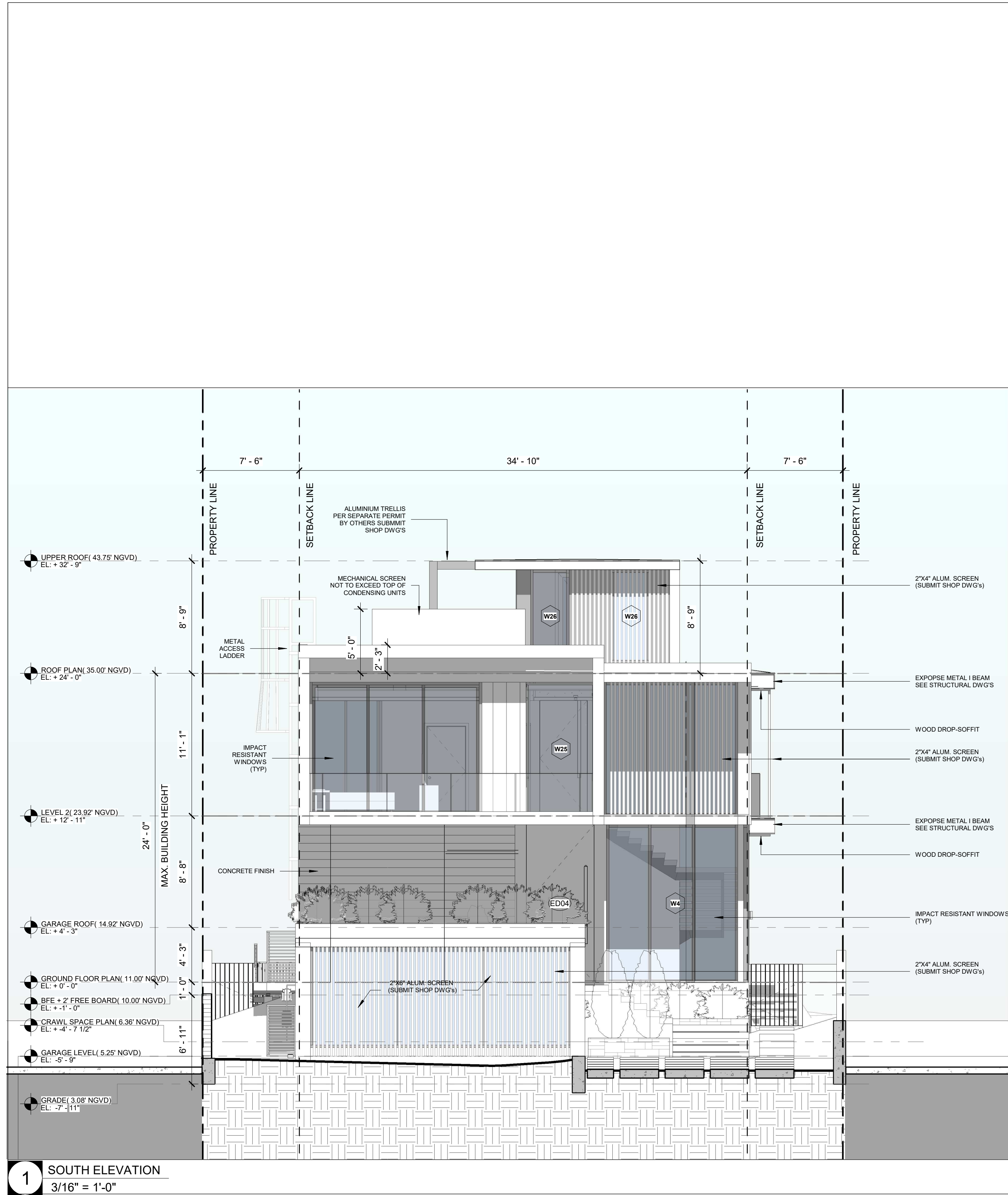
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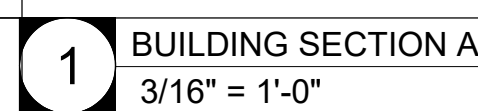
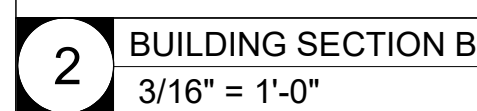
Project Number	21-3600
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Drawing Name	
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BUILDING ELEVATIONS

Scale: 3/16" = 1'-0"	Drawing Number A-301
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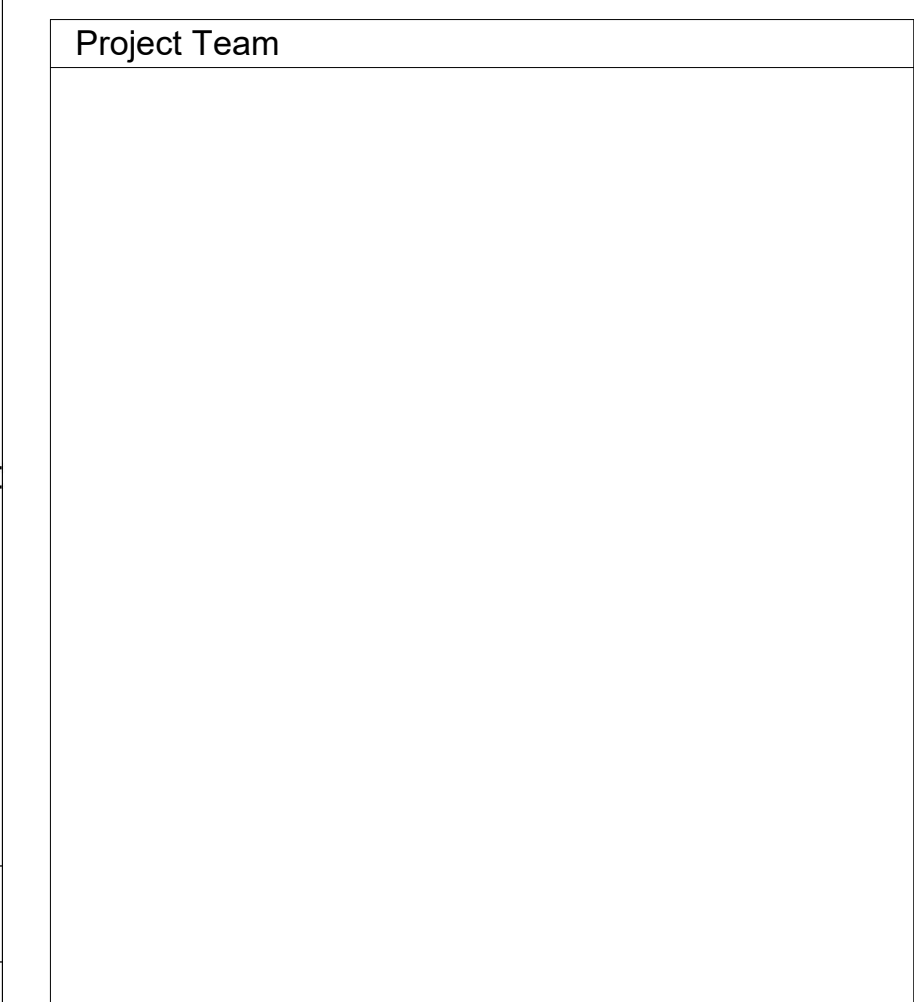


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+ associates

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Project Name

CASA BAHIA

253 N COCONUT LN
MIAMI BEACH, FLORIDA, 33139

FOLIO # 02-4205-002-0160

Project Number		21-3600	
Drawing Name			
			
Scale:	Drawing Number		
3/16" = 1'-0"	A-400		

