





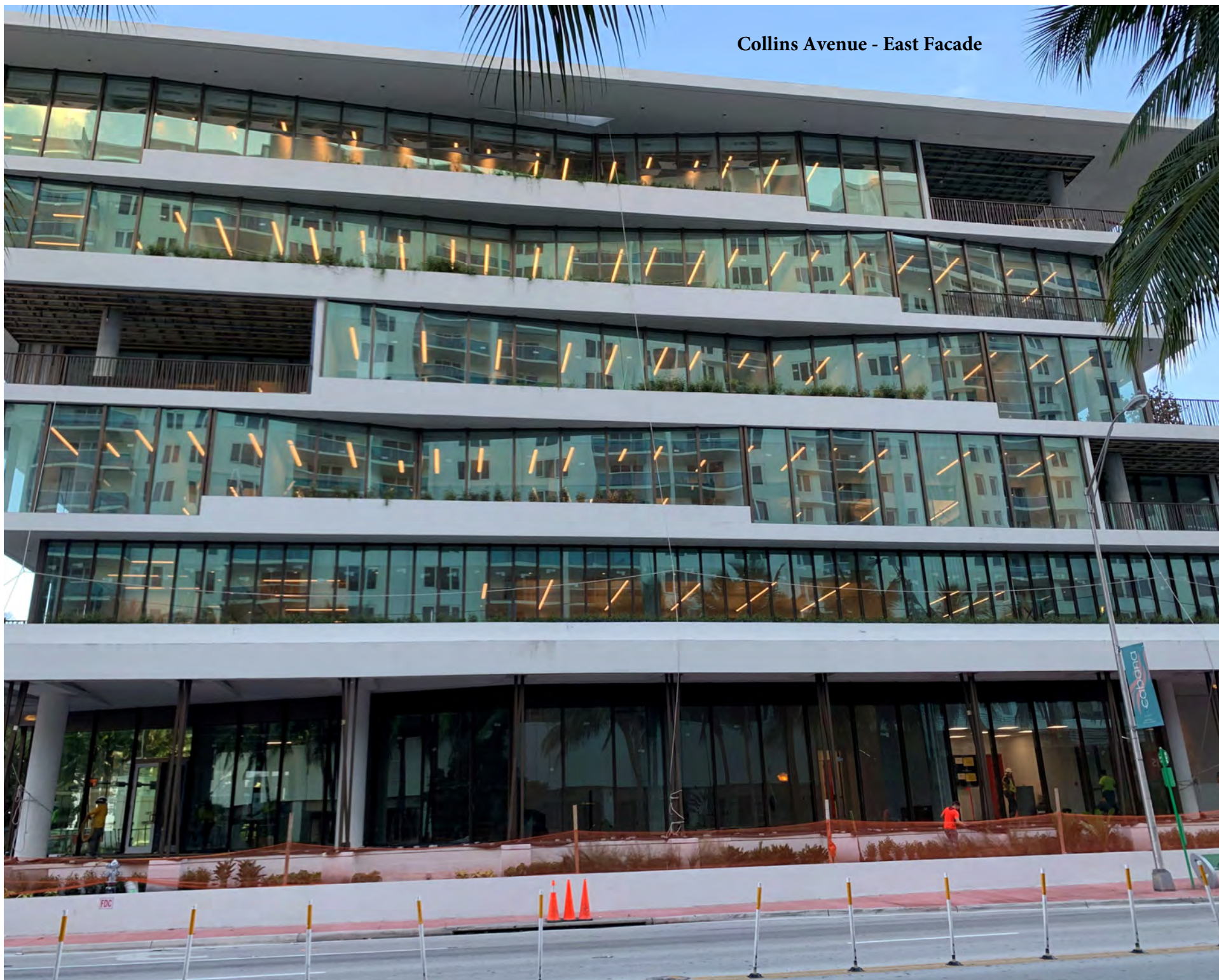




23rd Street View



Collins Avenue - East Facade



Collins Avenue - Northeast Corner



Collins Avenue - Southeast Corner



Sec. 138-3. - General requirements.
The following requirements shall apply to signs, in addition to provisions appearing elsewhere in these land development regulations:

- (1) Unless otherwise exempted in section 138-4, no sign shall be erected, constructed, posted, painted, altered, or relocated without the issuance of a building permit or planning permit.
- (2) Building permit applications shall be filed together with such drawing and specification as may be necessary to fully advise the city with the location, construction, materials, illumination, structure, numeration, design, and copy of the sign.
- (3) Structural features and electrical systems shall be in accordance with the requirements of the Florida Building Code.
- (4) No sign shall conflict with the corner visibility clearance requirements of section 142-1135.
- (5) All signs, unless otherwise stipulated in this chapter, shall be located only upon the lot on which the business, residence special use, activity, service, product or sale is located.
- (6) All signs shall be maintained in good condition and appearance.
- (7) Any persons responsible for the erection or maintenance of a sign which fails to comply with the regulations of this chapter shall be subject to enforcement procedures as set forth in section 114-8.
- (8) No sign shall be approved for use unless it has been inspected and found to be in compliance with all the requirements of these land development regulations and applicable technical codes.

Sec. 138-4. - Exempt signs.
The following signs may be erected, posted or constructed without a permit but in accordance with the structural and safety requirements of the South Florida Building Code and all other requirements of these land development regulations:

- (1) Official traffic signs or sign structures, or governmental information signs and provisional warning signs or sign structures, when erected or required to be erected by a governmental agency, and temporary signs indicating danger.
 - (2) Historical markers approved by the historic preservation board.
 - (3) Signs directing and guiding pedestrians and traffic and parking on private property, but bearing no advertising matter and not exceeding two square feet in area.
 - (4) Changing of the copy on a bulletin board, poster board, display encasement directory sign or marquee.
 - (5) Signage on vehicles as authorized in section 138-61.
 - (6) Temporary signs authorized by section 138-131, which are composed of paper, cardboard, plastic film or other similar material and are affixed directly to a window.
 - (7) Address signs, not to exceed one per street frontage, maximum two square feet in area. Copy shall be limited to the address of the property.
- (Ord. No. 2016-4045, § 1, 10-19-16)

- Sec. 138-9. - Yard requirements.
- (a) Unless otherwise specified in these regulations, all signs shall comply with the yard requirements of the district in which they are located.
 - (b) No sign, portable or otherwise, is to be placed or located to conflict with the vision clearance requirements of section 142-1135.
 - (c) Detached signs shall have the following setback requirements:
 - (1) Front yard: Ten feet.
 - (2) Interior side yard: Seven and one-half feet.
 - (3) Side yard facing a street: Ten feet.
- (Ord. No. 2016-4045, § 1, 10-19-16)

ARTICLE II. - DESIGN STANDARDS, WINDOW, AWNING, WALL, PROJECTING, AND DETACHED (MONUMENT) SIGNS

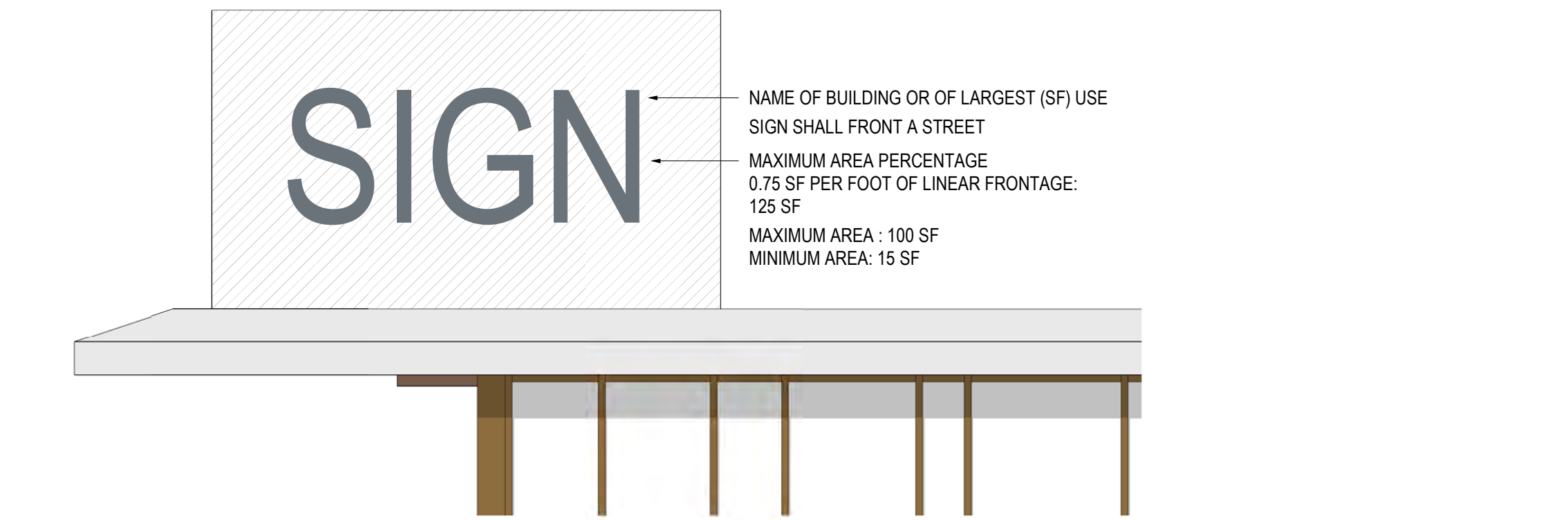
Sec. 138-13. - General sign requirements and design standards.
The following standards shall apply to all signs unless otherwise exempted in this chapter or these land development regulations:

- (1) Direct access to the street or waterway from the licensed establishment is required for a sign that faces a public right-of-way or waterway.
 - (2) Signs shall front a street or waterway. Signs may be permitted to front alleys where the alley frontage provides a means of public entrance, or is adjacent to a parking lot or garage.
 - (3) Signs located above the ground floor shall be limited to the name of the building or the use that encompasses the largest amount of floor area in the building.
 - (4) Electrical conduit, support structures, receptacle boxes, or any other operational devices associated with a sign shall be designed in such a manner as to be visually unnoticeable.
 - (5) Sign copy for main business signs, with the exception of window signs, shall be limited to licensed permitted uses.
 - (6) Only one wall, projecting, or detached sign shall be permitted per allowed frontage for each principal or licensed accessory use, unless otherwise allowed in this chapter.
 - (7) All signs shall be subject to design review procedures.
- The following diagram shows an example of the signs described within this article:

- Sec. 138-14. - Window signs.
- (a) In addition to other permitted signs licensed commercial establishments, are permitted one sign on one window or door with copy limited to the address, phone number and hours of operation, in accordance with the following:
 - (1) The size of the numerals for the address shall not exceed six inches in height.
 - (2) The numerals and letter size for the phone number and hours of operation shall not exceed two inches in height.
 - (3) The name of the establishment may be repeated more than once subject to design review approval. The letters shall not exceed six inches in height.
 - (b) An "open"/"closed" sign, illuminated or non-illuminated shall be permitted. Such "open"/"closed" sign shall not exceed two square feet, letters shall not exceed 12 inches in height, and shall be subject to the design review process.
 - (c) The aggregate area of the above signs of this section shall not exceed five percent of the total glass window area and door area.
 - (d) When there are no other signs associated with the use, the main permitted sign or signs may be located on the window with a total aggregate size not to exceed 20 square feet.
 - (e) Restaurants may also have a menu board besides other signs provided herein. When a menu board is affixed to a window, it shall be limited to an area of three square feet. If a menu display case is affixed to the building wall, it shall be limited to an overall area of four square feet.
 - (f) Commercial uses may also have one establishment services identification sign located on one window or door with letters no higher than two inches and a total area of two square feet.
 - (g) Commercial establishments that offer for sale or lease products which are not located on the premises (e.g., real estate) may place up to three display board type signs on the window. Such display boards shall be limited to six square feet each and are subject to design review approval.
- (Ord. No. 2016-4045, § 1, 10-19-16)

- Sec. 138-15. - Signs located on the valance and underside of awnings or canopies.
- (a) Signs under awnings or canopies. In all districts except RS (1-4), and in addition to other permitted signs, one non-illuminated sign, not exceeding three square feet in area with letters not exceeding six inches in height, hanging from the underside of an awning or canopy with a minimum height clearance of seven feet six inches is permitted.
 - (b) Signs on the valance of an awning or canopy. For purposes of this section, a valance is defined as that vertical portion of the awning that hangs down from the structural brace. Signs on other surface areas of an awning, canopy or roller curtain are not permitted.
- In all districts except RS (1-4), and in addition to other permitted signs, one sign on the valance of an awning or canopy may also be permitted in accordance with the following:

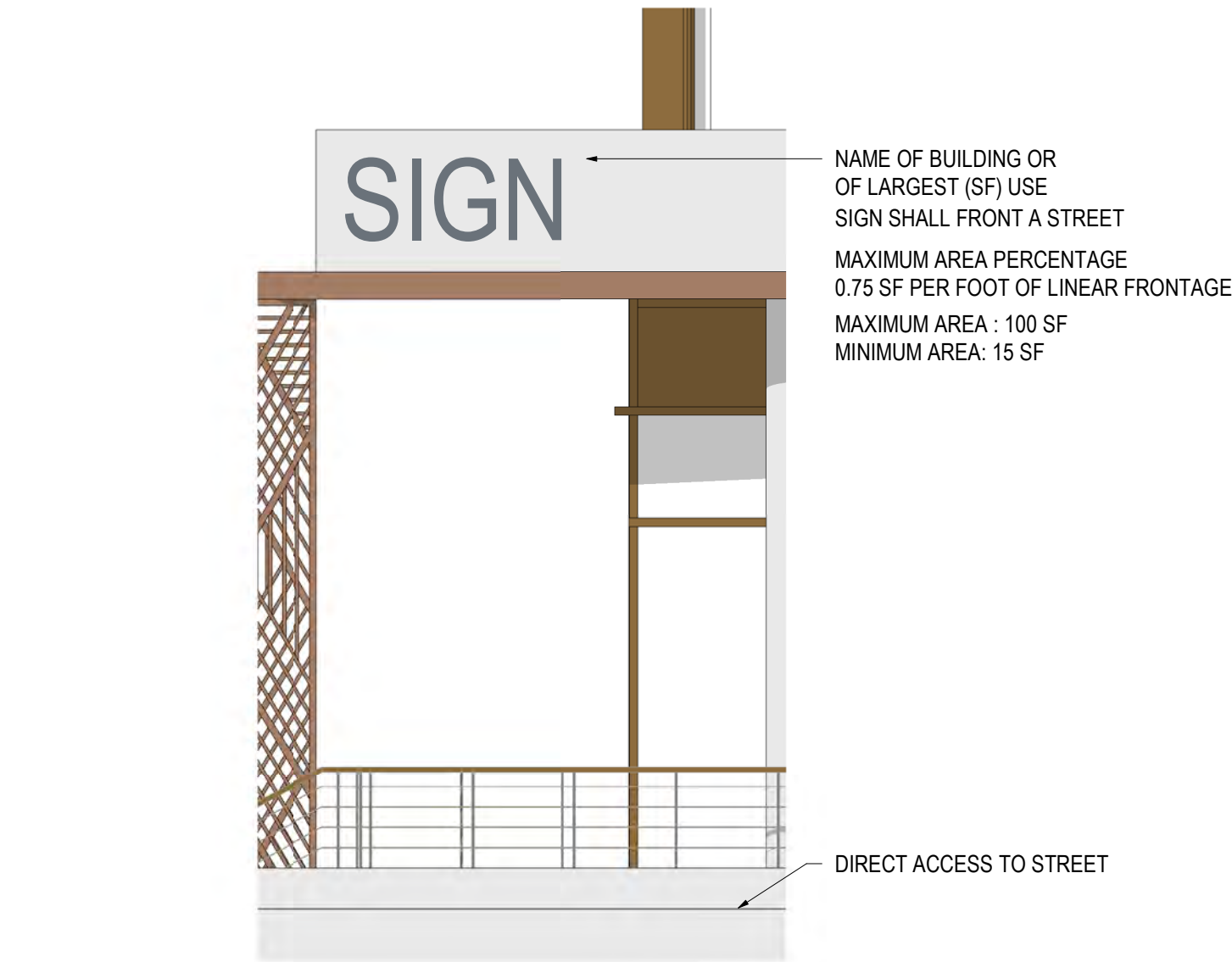
- (1) The length of such sign shall not exceed 25 percent of the length of a single awning, or the length of that portion of the awning or canopy associated with the establishment, up to a maximum of ten square feet.
 - (2) Letters shall not exceed eight inches in height.
 - (3) Signs on continuous awnings shall be placed centered on the portion of the valance that corresponds to the individual storefront and be a uniform color.
 - (4) All valance signs shall be subject to the design review process.
- (Ord. No. 2016-4045, § 1, 10-19-16)



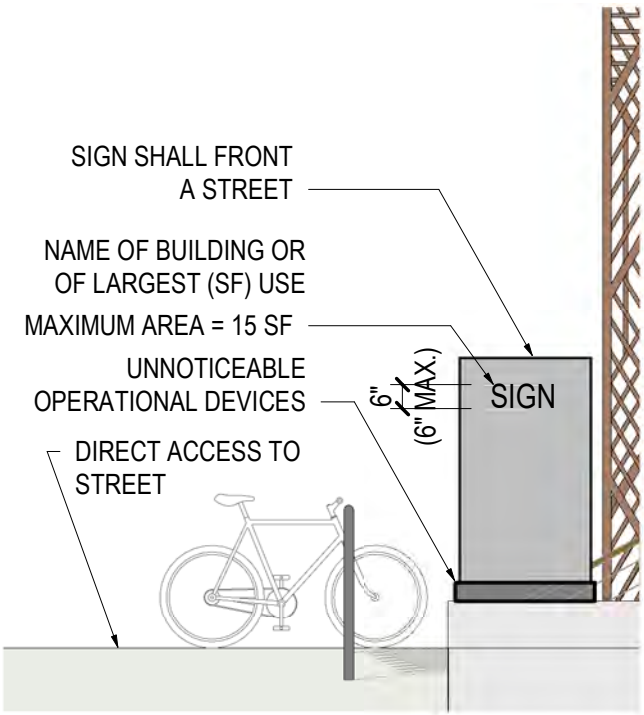
1 PROPOSED BUILDING WALL SIGN
SCALE: 1/4" = 1'-0" REF: 1 / A-45



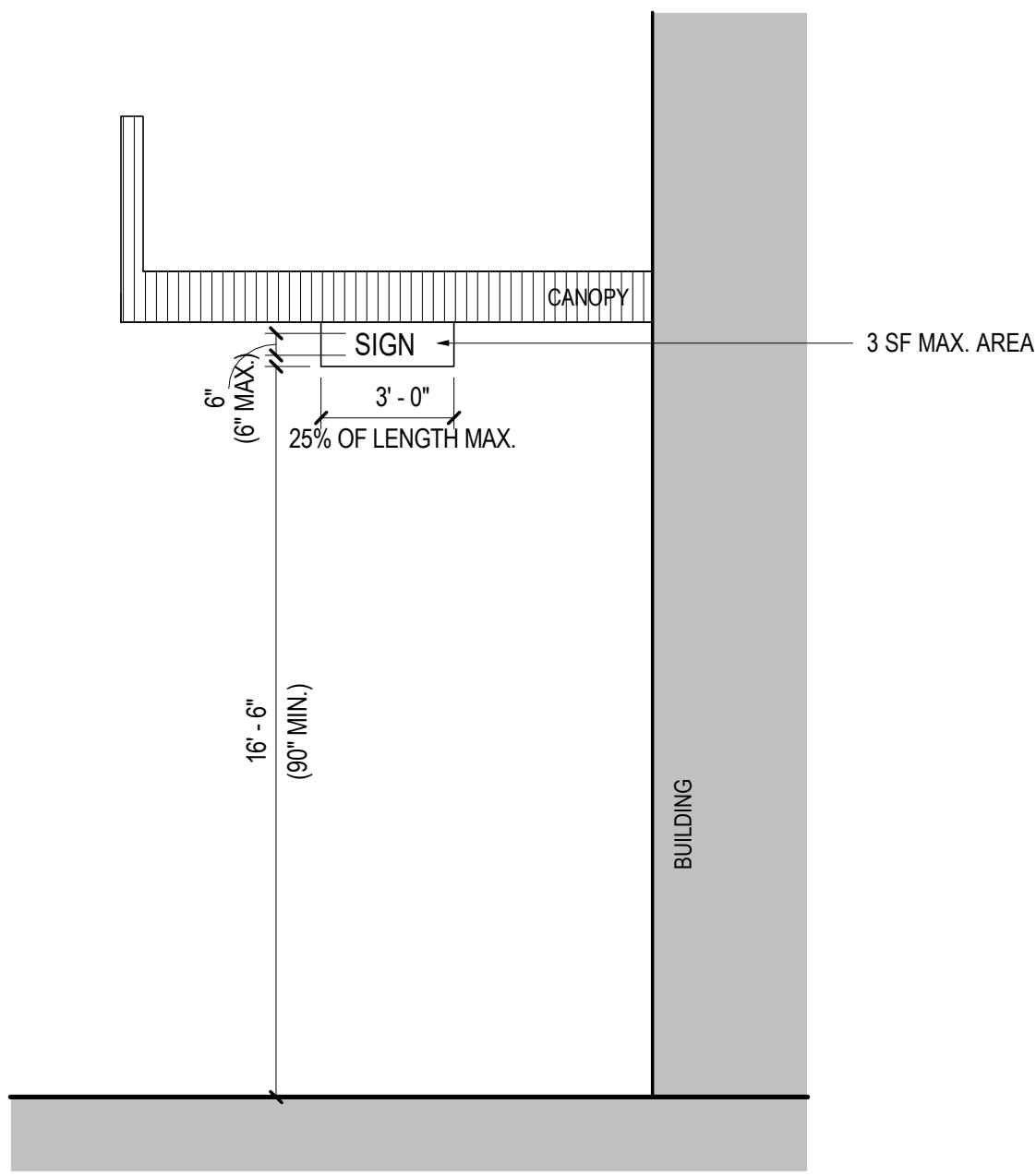
2 PROPOSED WINDOW SIGN
SCALE: 1/4" = 1'-0" REF: 1 / A-45



3 PROPOSED BUILDING WALL SIGN.
SCALE: 1/4" = 1'-0" REF: 1 / A-45




4 DETACHED BUILDING SIGN
SCALE: 1/4" = 1'-0" REF: 1 / A-45



5 PROPOSED UNDER-CANOPY SIGN
SCALE: 1/4" = 1'-0"

Sec. 138-13. - General sign requirements and design standards.
(2) Signs shall front a street or waterway. Signs may be permitted to front alleys where the alley frontage provides a means of public entrance, or is adjacent to a parking lot or garage.
(3) Signs located above the ground floor shall be limited to the name of the building or the use that encompasses the largest amount of floor area in the building.
Sec. 138-18. - Projecting sign.
Projecting signs are signs attached to and projecting more than 12 inches from the face of a wall of a building. This includes marquee signs. A projecting sign which extends more than 36 inches above a roof line or parapet wall shall be designated as a roof sign. Such signs shall be governed by the following chart:

Wall Sign Design Standards per District				
	Zoning Districts			
	CD (1-3) C-PS (1-4) I-1 MXE TC (1-2) RM-3 HD MR	RM (1-2) R-PS (1-4) RO TC-3 RM-PS1 TH WD (1-2)	RS (1-4) SPE GC	
Maximum area percentage	0.75 square feet for every foot of linear frontage	0.33 square feet for every foot of linear frontage		
Maximum area	• Max.: 100 square feet • Min.: 15 square feet	• Max.: 30 square feet • Min.: 20 square feet	GC and SPE: 30 square feet RS (1-4): Two square feet	
Height restrictions	Shall not be located above ground floor			
Maximum quantity per frontage	Multiple signs for the same establishment may be permitted through the design review process if the aggregate sign area does not exceed the largest maximum permitted area	One wall, projecting or detached	One	
Accessory use	• Maximum 75% of main use sign, or 20 square feet, whichever is less • For uses located in hotel and apt. buildings, must have direct access to street/sidewalk; follows same regulations as main permitted use		Not permitted	
Special conditions	Corner buildings may provide one combined sign instead of the two permitted signs. This sign shall be located on the corner of the building visible from both streets and shall have a maximum size of 40 square feet		Residential use: Copy limited to address and name of building	
Supplemental standard	Hotels, apartments-hotels, and commercial buildings two stories or higher may be permitted one building identification sign above the roofline with an area not to exceed one percent of the wall area on which it is placed. The placement and design of the sign shall be subject to approval through the design review process			



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Houston
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Owner:
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Developer:
Integra
150 SE 2nd Ave, Ste 800
Miami, FL 33131
Contact: Gediminas Bulota
Tel: 239.264.9138

STARWOOD CAPITAL GROUP

Floor 7 Location Plan

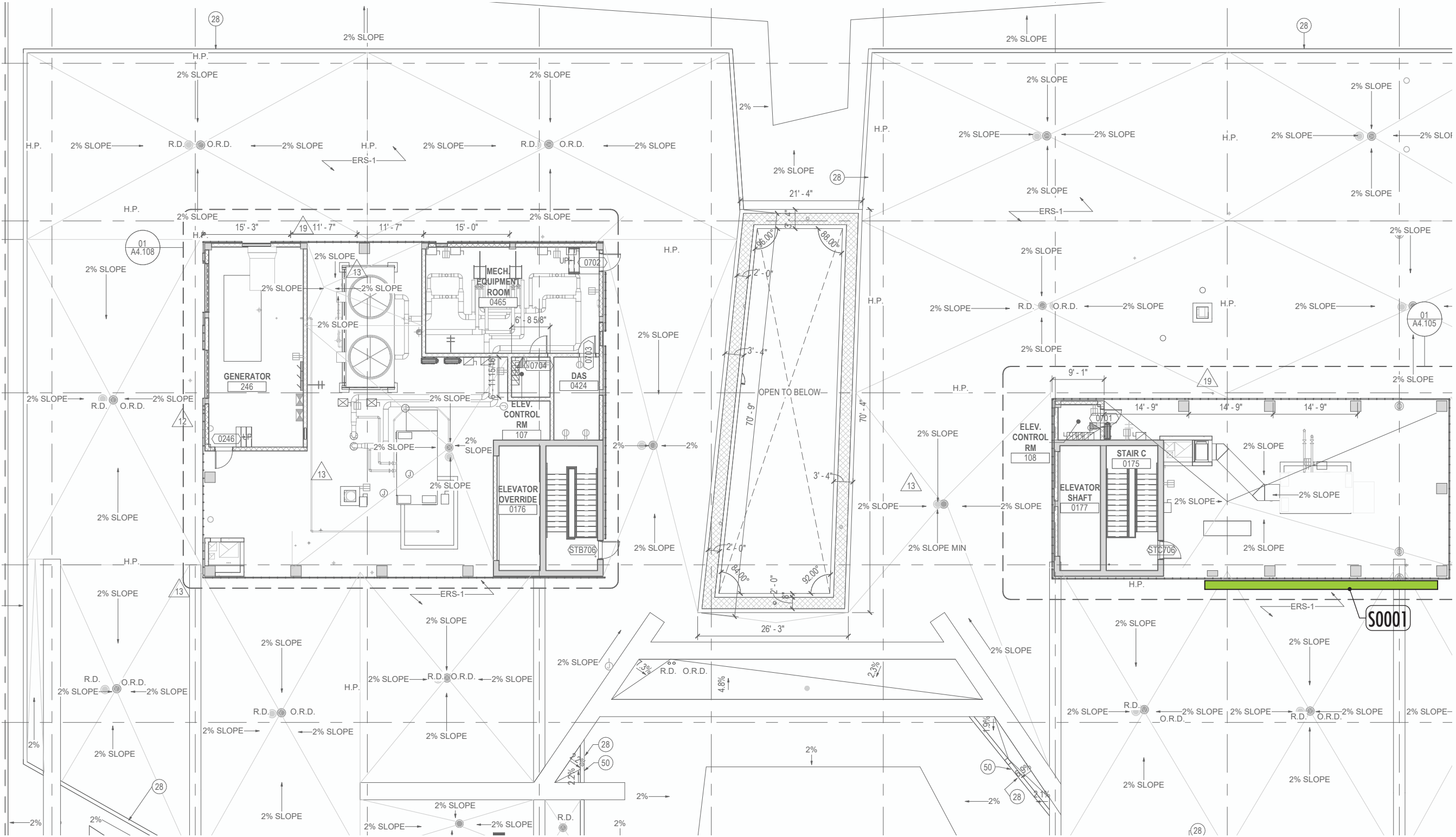
BID PROGRAMMING

Revisions			
No.	Date	Issue	Description
1	123120	Programming/DD	
2	04.05.21	Bid Documents	TCO #1
3	11.08.21	Starwood Submittal	

Drawn by: RS
Checked by: RS
Project Designer: RS
Project Director: RS

Sheet Date Project Number
11.08.21 P4066.01

EG-08



Building Identity



Notes:

FABRICATOR REQUIRED TO VISIT SITE AND FIELD
VERIFY.

Back Lit Channel Letters Installed on face of Mechanical Penthouse Screen Wall System:
Wall system will consist of galvanized steel substructure. Vertical or Horizontal Girts as determined by manufacturer via delegated design with the morin swl-120 12 # ribs, this panel will be perforated with 1/8" hole spaced at 3/16" and 40% open area.

Specifications to match Adwave Graphics.

1. 1/4" threaded aluminum stud welded to channel letter (minimum 3 per letter) with 3" minium embedment filled with epoxy. This to be determined by engineer and fabricator to be a viable method of attachment.

Location of transformer to be determined by fabricator. Internal disconnect switch.

1. Logo to be .063" thick on returns X 2" deep fabricated aluminum channel letters with no exposed fasteners painted to match Pantone 362. Inside face & returns to matching a Light Enhancement Paint (LEP (P2)). Outside face and returns to match Pantone362

Illuminated with GE Tetramax LED lighting.

Exact lighting layouts to be provided by Sign Contractor wfrom the LED manufacturer sign type. Sign Contractor to verify required waterproofing and/or ventilation. Interior of sign to be painted **P2 Matthews** (Bright White). Electrical connections of letterforms to power supply to be through backs of letters sealed and concealed.

The Signage Contractor is to provide appropriate conduit and insulators for all penetrations.

2. Logo to stand-off 1" off securely fastened to building with heavy duty fasteners. Size of mounting plates and size/type of fastener to be engineered by structural engineer licensed with the State of Florida to meet maximum local wind load requirements and detailed on stamped shop drawings.

3. All weep holes for drainage shall have a internal baffel welded done to minimize and light leak visible at night.

4. Estimated Power Supply Requirements:
One (1)- 20 AMP 120v dedicated line shall be incorporated into building EMS or breaker panel with a dedicated surge protector.
The Signage Contractor to provide all required remote transformers and electrical connections and to coordinate primary electrical to location.
All electronic components to be in a weather

The Signage Contractor to supply disconnect switch for ease of service to logo & letterforms.

5. ALL components shall be non-corrosive hardware determined by structural engineer.
6. The Signage Contractor will be provided construction drawings detailing wall construction for coordination of letterform penetrations.
7. The Signage Contractor is responsible for the complete fabrication and installation of all components of this signage and is to include the cost to obtain all permits necessary to instal.
The Signage Contractor is to submit detailed shop drawings indicating all fabrication, electrical and installation components. Actual site situations will vary by location. Mounting locations may have additional piping, cables or other material that may hinder installation.
The Signage Contractor is responsible to field verify each location for all existing conditions of the building and site prior to submitting detailed shop drawings and copy layouts to determine if modifications or additional support is required.
8. All internal structural, glass supports, electrical and foundation to be engineered by fabricators' structural engineer licensed with the State of Florida to meet maximum local wind load, structural, electrical requirements and detailed on stamped shop drawings submitted by Signage Contractor.
9. Fabricator to verify all City & State (Miami Beach Florida) requirements for final location, height restrictions, installation methods prior to pulling permits and submitting detailed shop drawings to designer/client for final approval.



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Dev.: Integra
150 SE 2nd Ave., Ste 800
Miami, FL 33131

NOT FOR CONSTRUCTION

Revisions

No.	Date	Issue	Description
1.	02.28.21	70%	1st Draft
2.	04.05.21	Bid Issue TCO #1	
3.	09.16.21	Drawing Starwood	
4.	11.08.21	SW Logo Submittal	

- 5.
- 6.
- 7.
- 8.

Drawn by: Roni Sepulveda
Checked by: Roni Sepulveda
Project Designer: Roni Sepulveda
Project Director: Roni Sepulveda

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Sign Type: **ID.01**

Sheet Title: **Illuminated Letterforms**
Starwood

D | G Project Number:

P4066.04

ssue date

11.08.21



Rendering of Proposed Sign - 2340 Collins Avenue

