



the goodtime hotel



601-685 Washington Ave.
Miami Beach, FL

Site Aerial

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021





601-685 Washington Ave.
Miami Beach, FL

Site Aerial Closeup

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021



Efforts to Revitalize Washington Avenue

- 2014-2015 Mayor's Blue Ribbon Panel for Washington Avenue
- Applicant was an active participant and a key player in the revitalization, which resulted in the creation of the CD-2 Washington Avenue Regulations.
- the goodtime hotel is catalyst project, one of the first new developments on Washington Avenue



WASHINGTON AVENUE VISION AND MASTER PLAN



WASHINGTON AVENUE BLUE RIBBON PANEL
Zoning Incentives Summary Packet
05.2015

ZYSCOVICH
ARCHITECTS

The GOALS and OBJECTIVES of the Washington Avenue Master Plan is to:

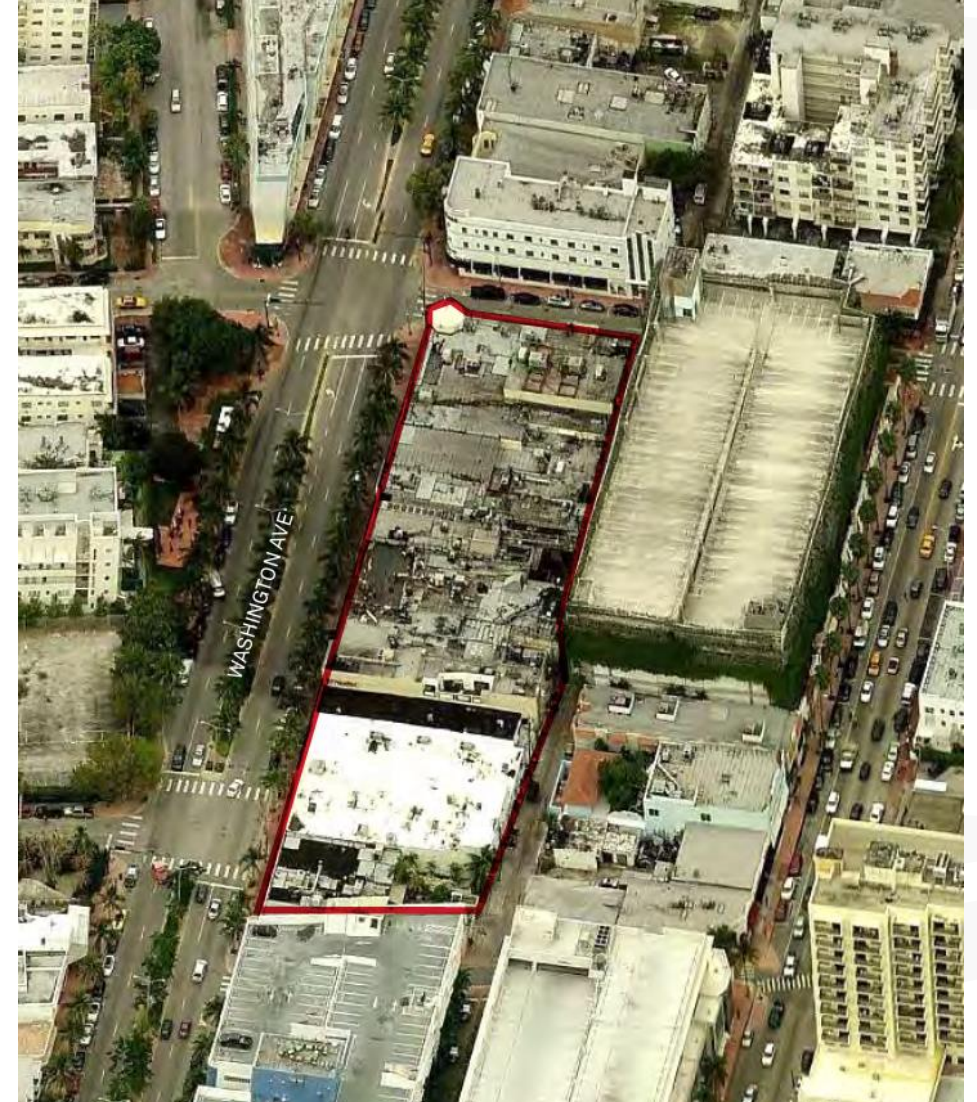
1. Preserve the historical, architectural and cultural character of Washington Avenue as the City's "Main Street";
2. Provide for redevelopment, adaptive reuse and infill resulting in economic vitality for the betterment of the community and the City as a whole;
3. Create commercial development opportunities that provides quality goods and services to neighborhood residents and tourists alike;
4. Allow for a high level of mobility for pedestrians, cyclists, automobiles and public transit; and
5. Allow for quality public spaces and beach access to capitalize on the corridor's location and surrounding environs.

WASHINGTON AVENUE ZONING INCENTIVES

ORDINANCE NO. 2015-3974

AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING THE LAND DEVELOPMENT REGULATIONS (LDR's) OF THE CITY CODE, BY AMENDING CHAPTER 142, "ZONING DISTRICTS AND REGULATIONS," ARTICLE II, "DISTRICT REGULATIONS," DIVISION 5, "CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT," TO ESTABLISH SECTION 13-309, "WASHINGTON AVENUE DEVELOPMENT REGULATIONS AND AREA REQUIREMENTS," TO MODIFY THE DEVELOPMENT REGULATIONS FOR PROPERTIES FRONTING WASHINGTON AVENUE BETWEEN 6TH STREET AND LINCOLN ROAD; BY AMENDING CHAPTER 130, "OFF-STREET PARKING," ARTICLE II, "DISTRICTS; REQUIREMENTS," TO ESTABLISH PARKING DISTRICT 7 TO MODIFY THE PARKING REQUIREMENTS FOR THE PROPERTIES FRONTING WASHINGTON AVENUE BETWEEN 6TH STREET AND LINCOLN; PROVIDING FOR CODIFICATION; REPEALER; SEVERABILITY; AND AN EFFECTIVE DATE.

Prior to Construction



Construction Progress



G.T. McDONALD ENTERPRISES, INC.
General Contractor

601-685 Washington Avenue

Print #190222482
Date: 02/22/19
Lat/Lon: 25.776352 -80.133516
Order No. 65538
Aerial Photography, Inc. 954-568-0484



G.T. McDONALD ENTERPRISES, INC.
General Contractor

601-685 Washington Avenue

Print #190222483
Date: 02/22/19
Lat/Lon: 25.776352 -80.133516
Order No. 65538
Aerial Photography, Inc. 954-568-0484

Construction Completed



G.T. McDONALD ENTERPRISES, INC.
General Contractor

601-685 Washington Avenue

Print #201222261
Date: 12/22/20
Lat/Lon: 25.776352 -80.133516
Order No. 65538
Aerial Photography, Inc. 954-568-0484



G.T. McDONALD ENTERPRISES, INC.
General Contractor

601-685 Washington Avenue

Print #201222262
Date: 12/22/20
Lat/Lon: 25.776352 -80.133516
Order No. 65538
Aerial Photography, Inc. 954-568-0484

Street Frontage Comparison



1
617-625 WASHINGTON AVE



2
633-637 WASHINGTON AVE



3
637-647 WASHINGTON AVE



4
657-665 WASHINGTON AVE



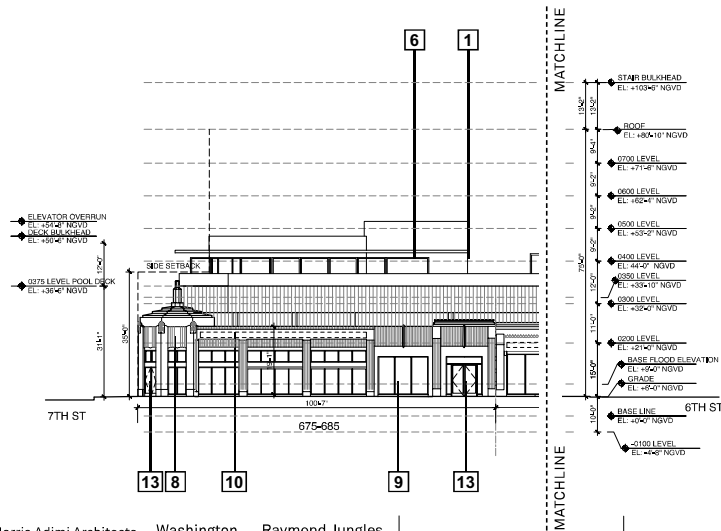
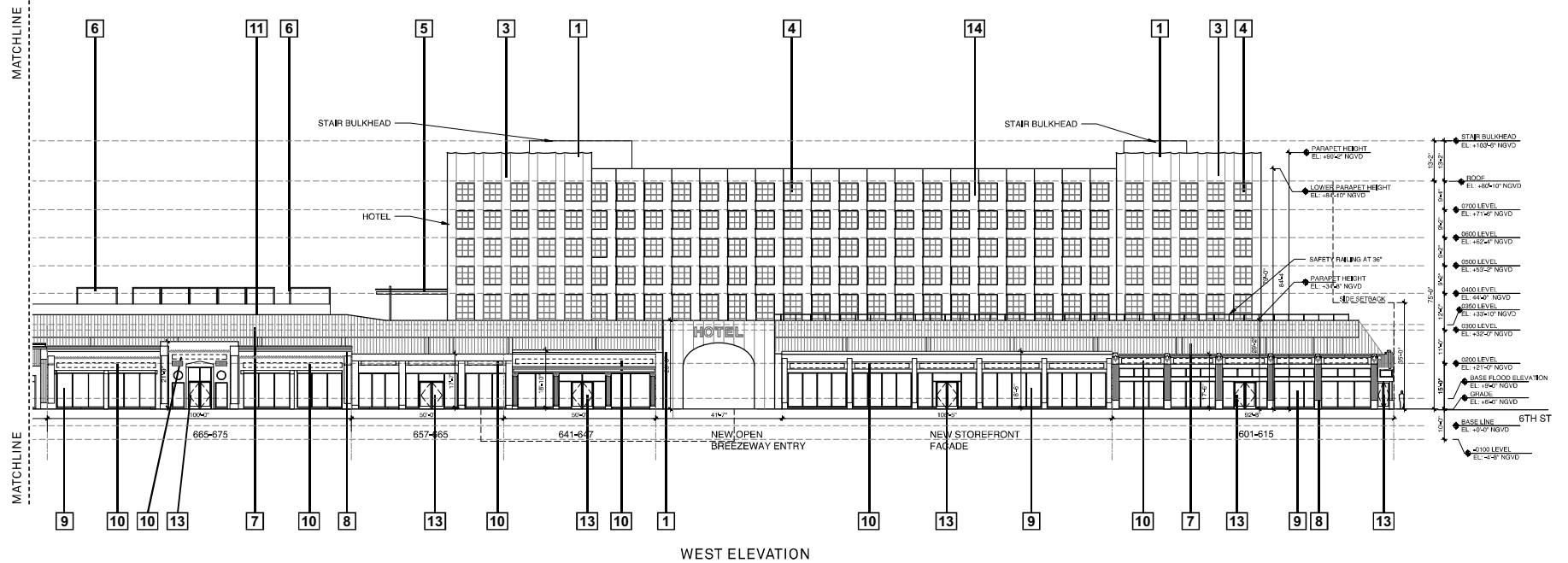
Before Construction



After Construction

Construction Completed





LEGEND

- | | | |
|--|--|---|
| 1. MASONRY - CMU OR QP SUBSTRATE W/ SMOOTH STUCCO FINISH. CUSTOM COLOR TO BE SELECTED BY ARCHITECT. | 5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC | 10. AREA OF SIGNAGE INDICATED W/ DASHED LINE. SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT. |
| 2. LOUVER ASSEMBLY WITH INSET SCREENS IN EXTRUDED ALUMINUM FRAME | 6. TRELLIS WITH FABRIC COVERING | 11. CABLE RAILING |
| 3. WALL CONSTRUCTION - GFRP PANELS OVER HEAVY GAUGE METAL FRAMING. GFRP PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT | 7. WIRE SCREEN WITH PLANTINGS | 12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS |
| 4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH. SIMULATED DIVIDED LITES, CLEAR GLASS | 8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED | 13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS. FINISH COLOR TO MATCH GFRP FACADE OF BUILDING BOOKENDS. |
| | 9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS, TO MEET WIND LOAD REQUIREMENTS. | 14. MASONRY - CMU SUBSTRATE W/ SMOOTH STUCCO, FINISH COLOR TO MATCH GFRP FACADE OF BUILDING BOOKENDS. |



Morris Adjmi Architects
www.ma.com
O'Brien Lighting Inc

Washington Squared LLC
Ken Fulk

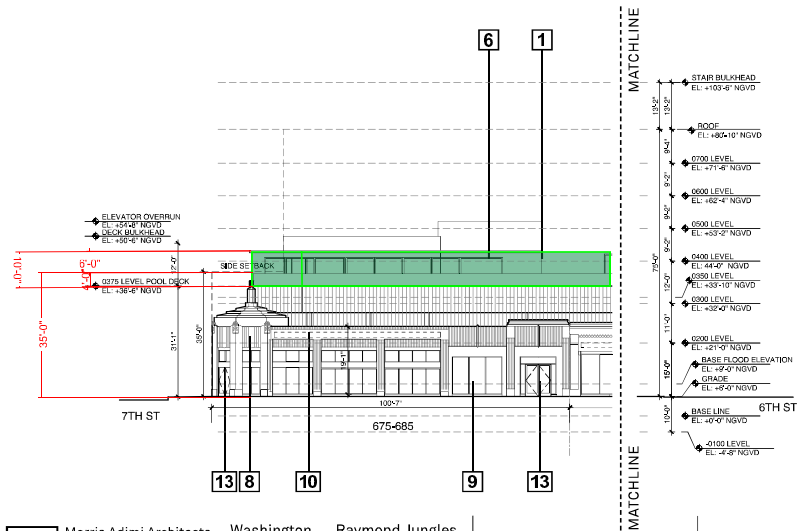
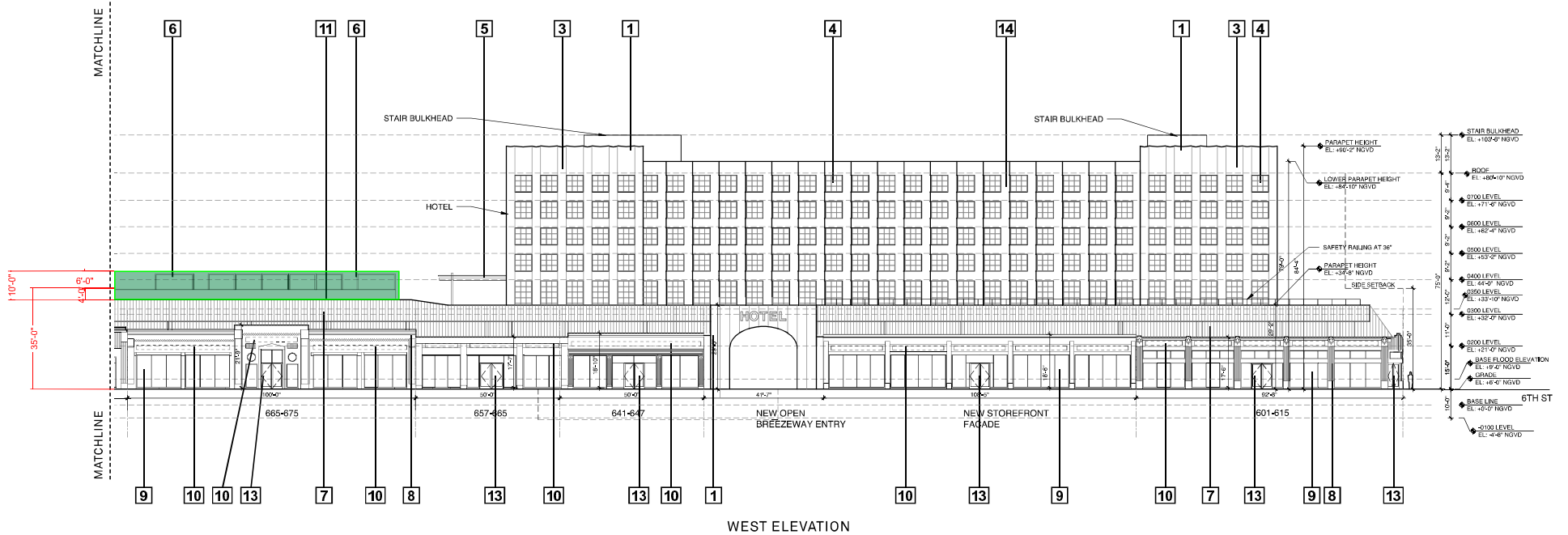
Raymond Jungles Inc.
Nichols Brosch
Wurst Wolfe & Associates

601-685 Washington Ave.
Miami Beach, FL

Building Elevation

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021

Approved



LEGEND

- | | | |
|--|---|---|
| <p>1. MASONRY - CMU OR QIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.</p> <p>2. LOUVER ASSEMBLY WITH INSET SCREENS IN EXTRUDED ALUMINUM FRAME</p> <p>3. WALL CONSTRUCTION - GFRG PANELS OVER HEAVY GAUGE METAL FRAMING, GFRG PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT</p> <p>4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH, SIMULATED DIVIDED LITES, CLEAR GLASS</p> | <p>5. PRE-ENGINEERED CANOPY WITH TENSILE FABRICS</p> <p>6. TRELLIS WITH FABRIC COVERING</p> <p>7. WIRE SCREEN WITH PLANTINGS</p> <p>8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED</p> <p>9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS, TO MEET WIND LOAD REQUIREMENTS.</p> | <p>10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT.</p> <p>11. CABLE RAILING</p> <p>12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS</p> <p>13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS.</p> <p>14. MASONRY - CMU SUBSTRATE W/ SMOOTH STUCCO, FINISH COLOR TO MATCH GFRG FACADE OF BUILDING BOOKENDS.</p> |
|--|---|---|



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Nichols Brosch
Wurst Wolfe &
Associates

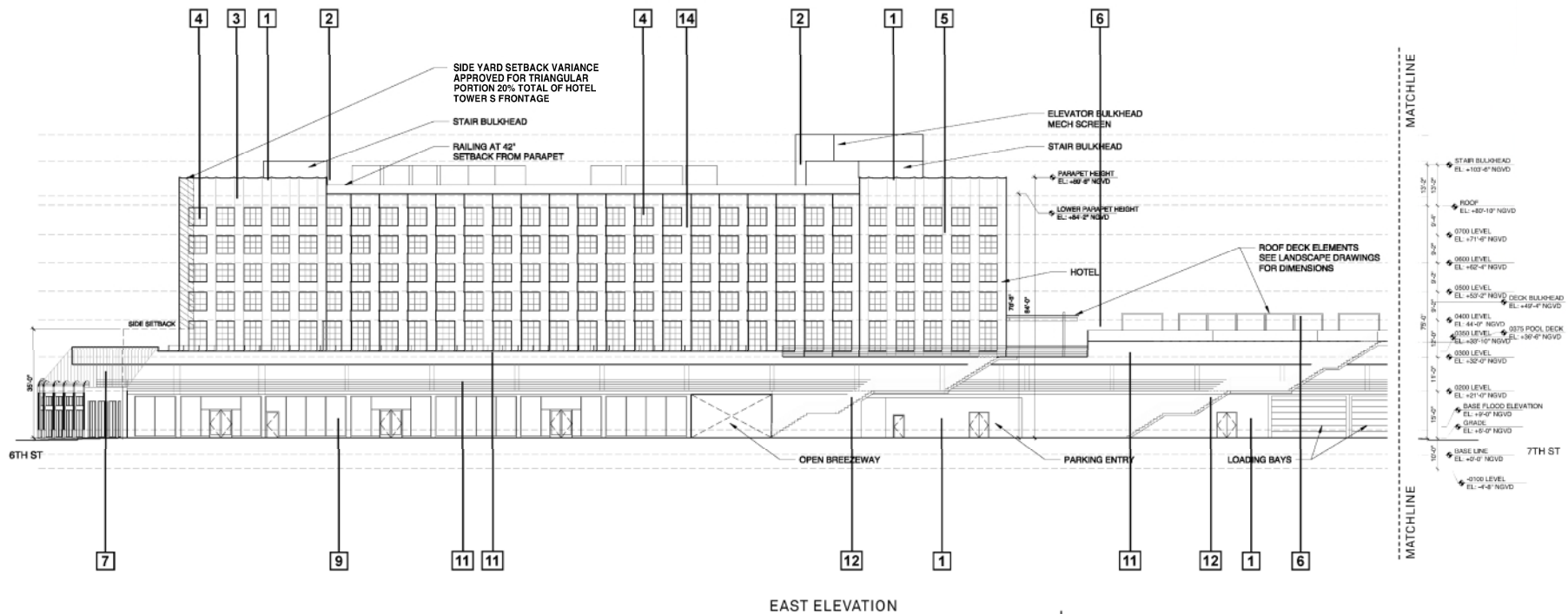
601-685 Washington Ave.
Miami Beach, FL

Building Elevation

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021

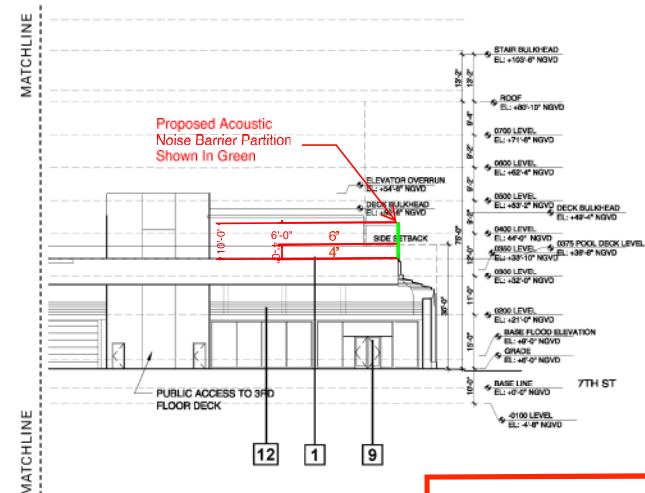
Proposed

Approved



LEGEND

- | | | |
|--|--|--|
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www.ma.com
O'Brien Lighting Inc

Washington Squared LLC
Ken Fulk

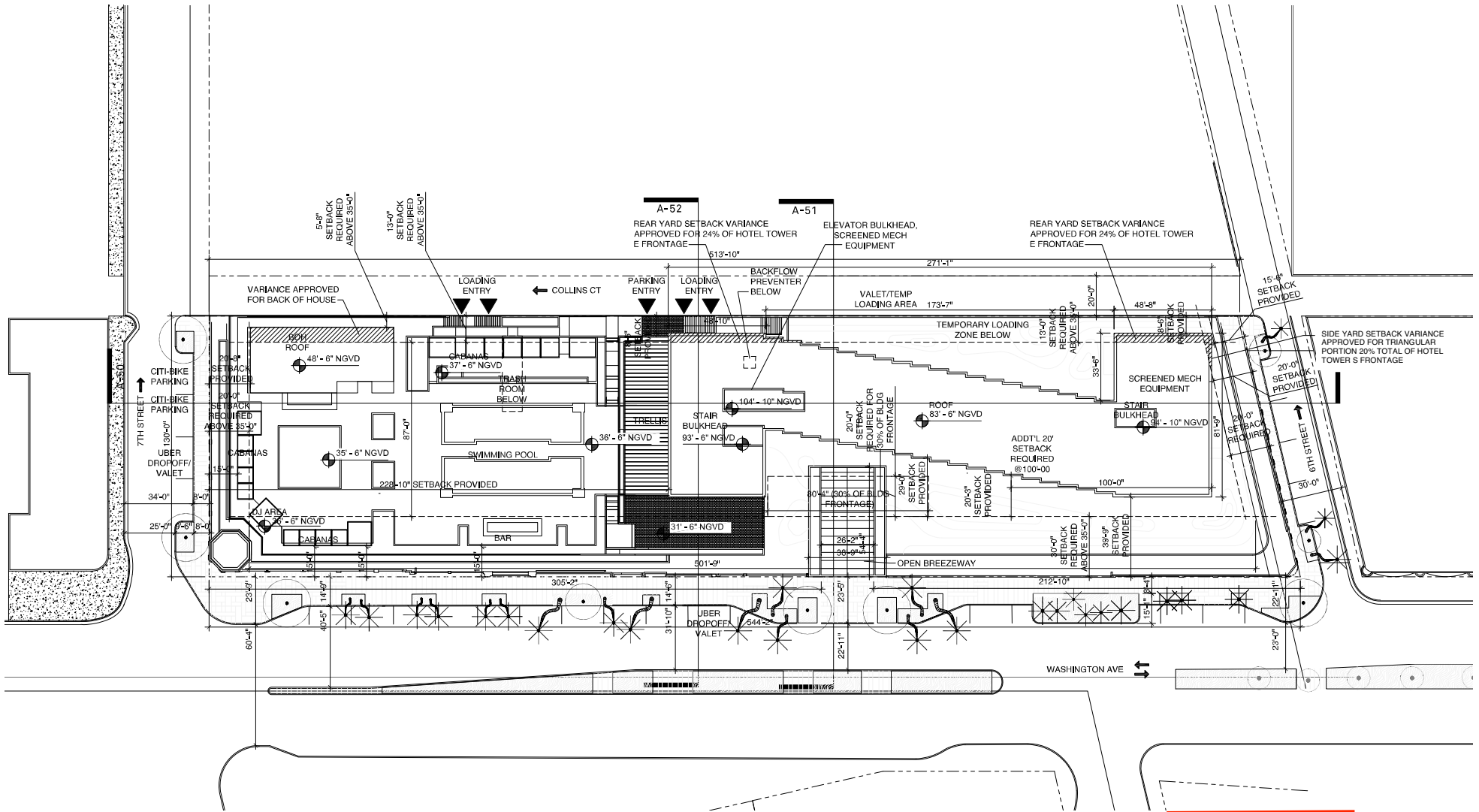
Raymond Jungles Inc.
Nichols Brosch
Wurst Wolfe &
Associates

601-685 Washington Ave.
Miami Beach, FL

Building Elevation

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021

Proposed



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www.ma.com
O'Brien Lighting Inc

Washington Squared LLC
Ken Fulk

Raymond Jungles Inc.
Nichols Brosch
Wurst Wolfe &
Associates

601-685 Washington Ave.
Miami Beach, FL

Proposed Site Plan

Historic Preservation Board Modifications: First Submittal / 16 August 2021

Approved

0' 10' 20' 50' 100'





+JMU+		
No.	Date:	Revision:

Owner:
Washington Squared Owner, LLC
Charmstrong Companies LLC
60 Washington Squared Owner LLC
PO Box 488
Hobbsburg Heights, NJ 07804

Architect:
Alaya Architects PC
2307 Douglas Road
Miami, FL 33157
License# AR0016049

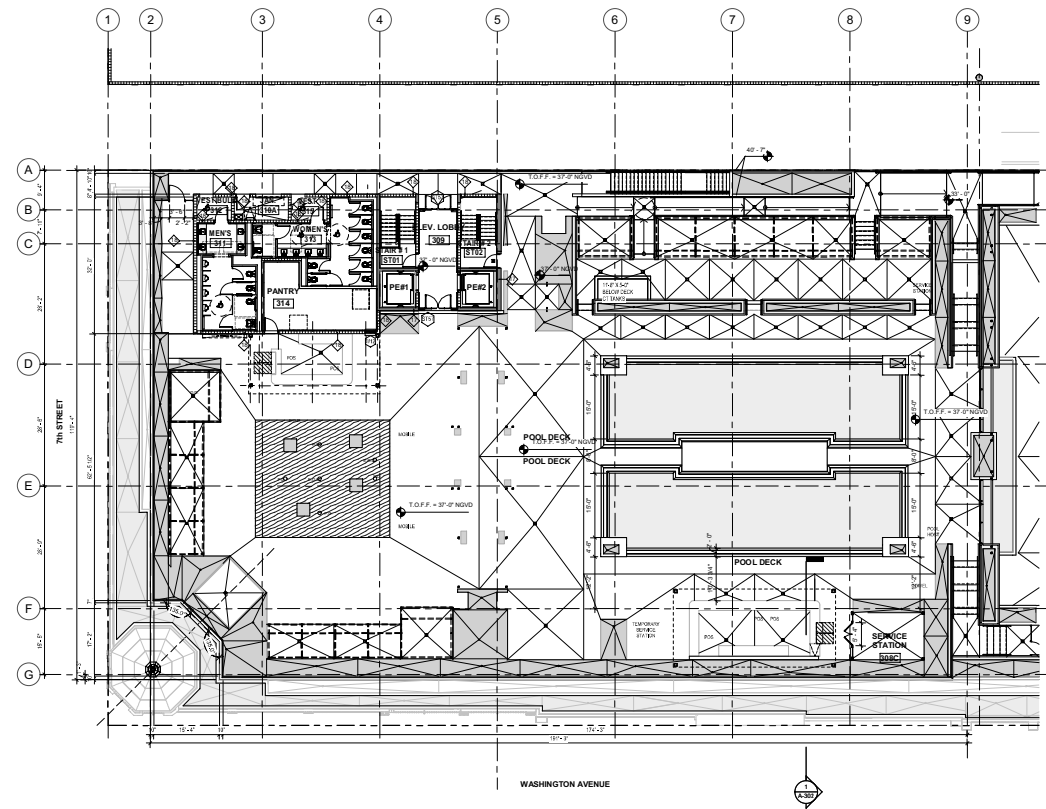
KEY PLAN:



PROJECT:
601 Washington Ave. Noise Barrier
601-685 Washington Avenue
Miami Beach, FL 33139

Existing Pool Deck Plan

SEAL & SIGNATURE:	DATE: 09/07/2021
	PROJECT NO.:
	DRAWN BY: GA
	FILED SCALE:
	SHEET SIZE:
	DRAWING NO.:
	A-101
	PAGE NO.:



1
A-101
0300 LEVEL PARTIAL PLAN-1
3/32" = 1'-0"

No.	Date:	Revision:
0.1	11.24.21	Revision


Owner:
Washington Squared Owner, LLC
Charmco Properties LLC
c/o Washington Squared Owner LLC
PO Box 488
Hoboken Heights, NJ 07034

Architect:
Alayo Architects PC
2307 Douglas Road
Miami, FL 33157
License# AR0016049

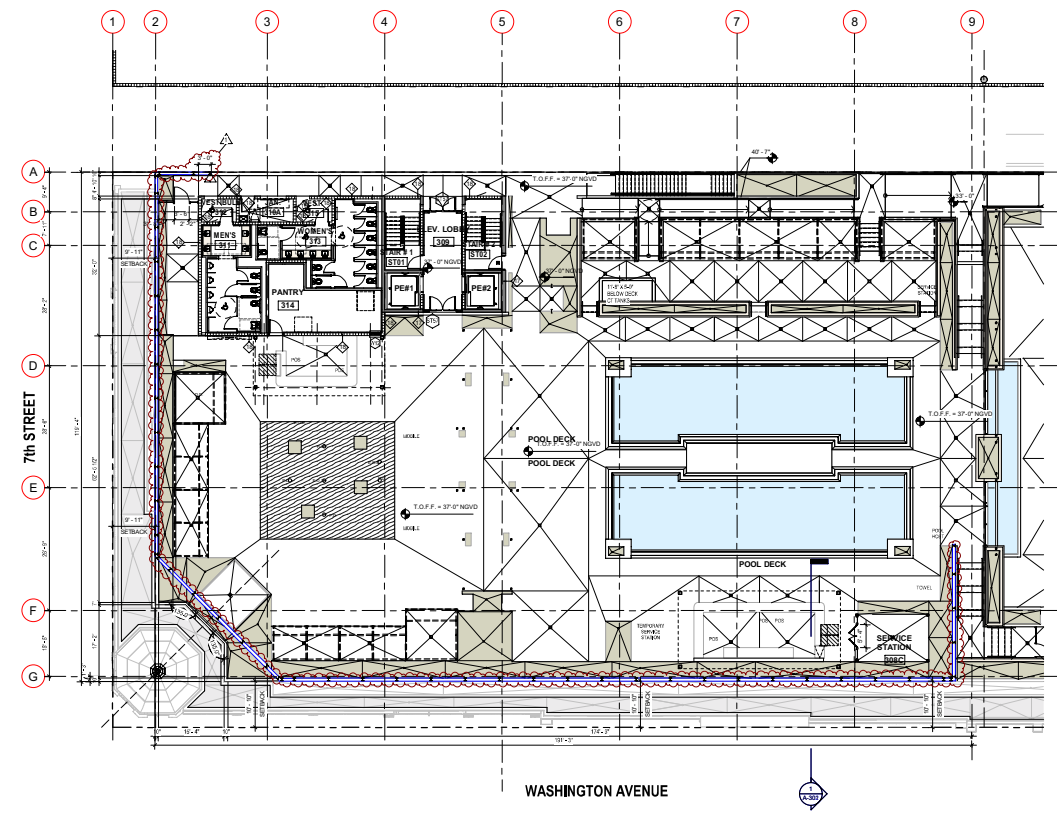
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601 Washington Ave. Noise Barrier
601-685 Washington Avenue
Miami Beach, FL 33139

Pool Deck Plan

SEAL & SIGNATURE:


DATE: 09/07/2021
PROJECT NO.:
DRAWN BY: GA
FULL SCALE:
SHEET SIZE:
DRAWING NO.:
PAGE NO.:



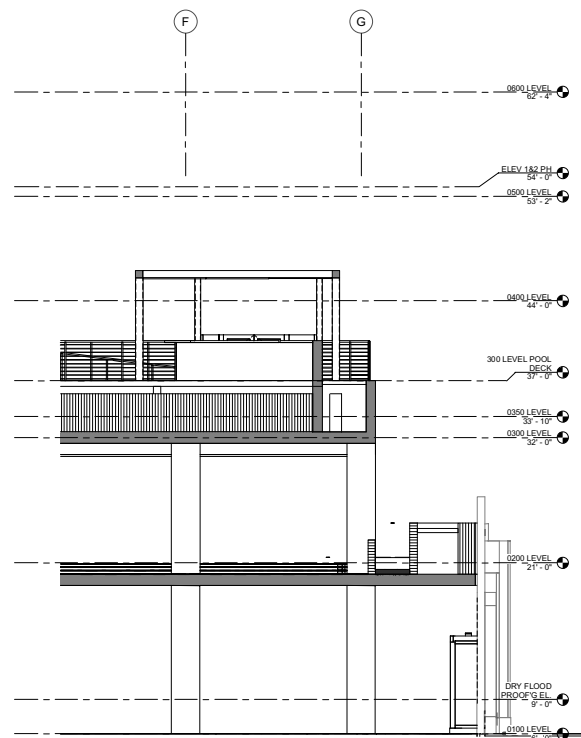
1
A-102
0300 LEVEL PARTIAL PLAN-1
3/32" = 1'-0"

+JMU+

No.	Date:	Revision:

Owner:
Washington Squared Owner, LLC
Charmstrong Companies LLC
c/o Washington Squared Owner LLC
PO Box 488
Hoboken Heights, NJ 07804

Architect:
Alayo Architects PC
2307 Douglas Road
Miami, FL 33157
License# AR0016549



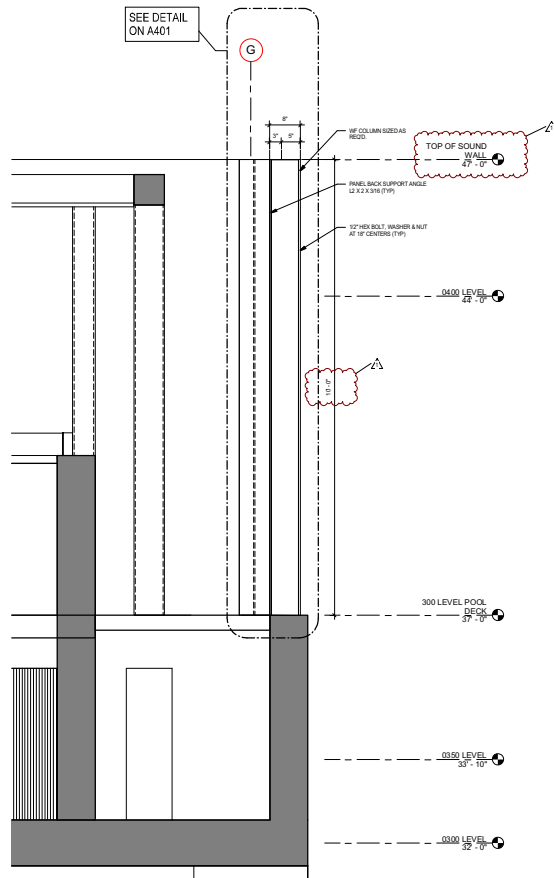
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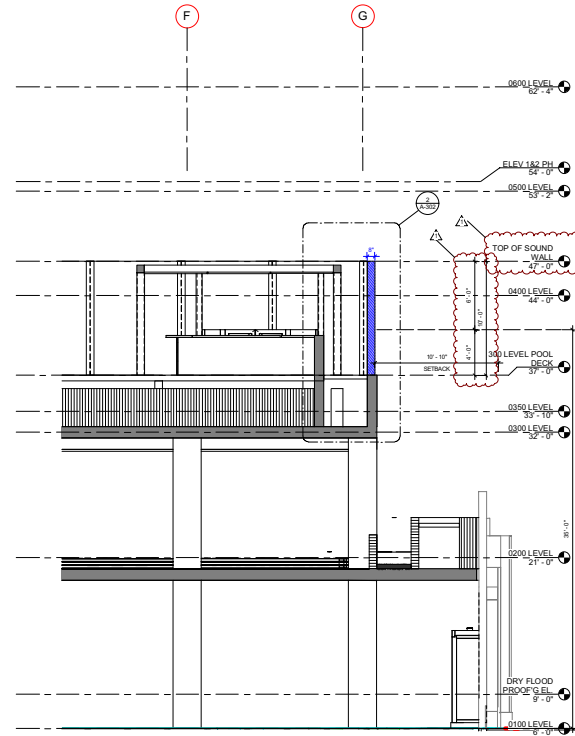
Existing Section View and
Detail

SEAL & SIGNATURE:	DATE: 09/07/2021
	PROJECT NO.:
	DRAWN BY: GA
	FILED SCALE:
	SHEET SIZE:
	DRAWING NO.:
	A-301
	PAGE NO.:

1
A-301
Section at Proposed Acoustic Noise Barrier Partition Existing
1/4" = 1'-0"



2 Section Detail at Proposed Acoustic Noise Barrier Partition
A-302 1" = 1'-0"



1 Section at Proposed Acoustic Noise Barrier Partition
A-302 1/4" = 1'-0"

No.	Date:	Revision:
0.1	11.24.21	Revision:

Owner:
Washington Squared Owner, LLC
Charmco Properties LLC
c/o Washington Squared Owner LLC
PO Box 488
Hoboken Heights, NJ 07804

Architect:
Alayo Architects PC
2307 Douglas Road
Miami, FL 33157
License# AR0016049

Juan Alayo
Digitally signed by Juan Alayo
Date: 2021.12.03 14:57:23 -05'00'

KEY PLAN:

PROJECT:
601 Washington Ave. Noise Barrier
601-685 Washington Avenue
Miami Beach, FL 33139

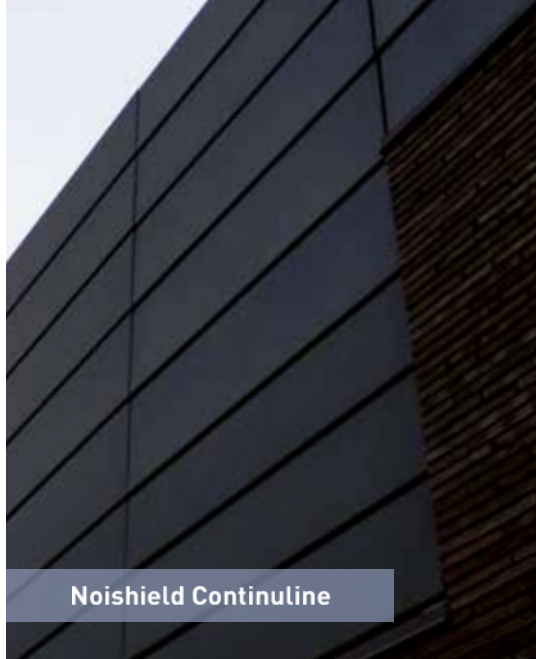
Section View and Detail

SEAL & SIGNATURE: DATE: 08/07/2021
PROJECT NO.:
DRAWN BY: GA
FULL SCALE:
SHEET SIZE:
DRAWING NO.: A-302
PAGE NO.:

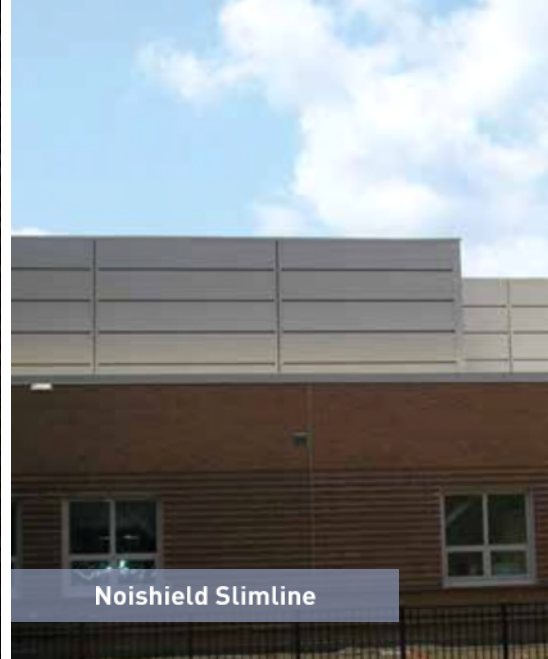




Noishield Continuline



Noishield Continuline




Noishield Slimline

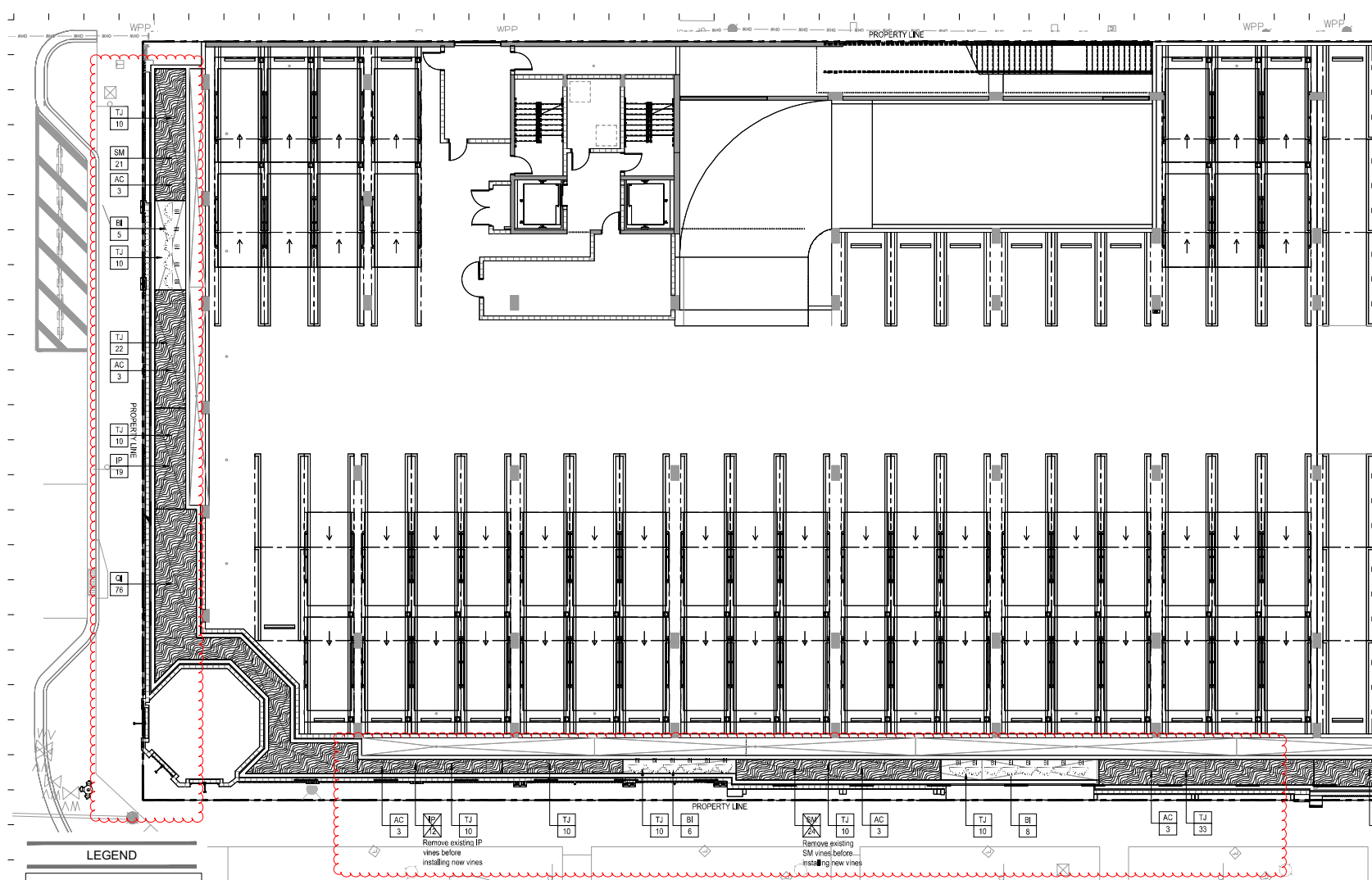
Noishield Continuline Detail for Concealed Columns

IAC's Continuline is more aesthetically pleasing than a traditional barrier wall — it allows architects and customers to conceal their structural members. The Continuline panels are the same construction as the standard FS panels. The key difference is the endcap — the endcap wraps the column; leaving an architecturally pleasing reveal that mimics the horizontal reveal already prevalent in the system. Continuline's primary applications include rooftop systems, train/rail and ground mounted.

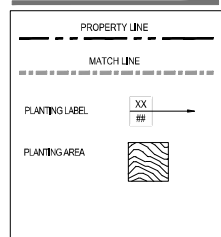
- Superior aesthetic
- Special slotted end-caps
- Solid front face of panel conceals the column
- Acoustic & architectural screen in a single assembly & installation

Noishield Slimline Detail for Surface Mounting

- Face or rear applied
 - Reduced thickness of 2.5"
 - Secured with Z & Hat channel
 - Hat channel edge trim between adjacent panel stacks
 - Z channel edge trim at end of panel stack
- 



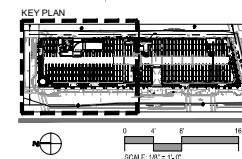
LEGEND



PLANT SCHEDULE

VINES	QTY	ABBR.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
25	BI		Bougainvillea	Bougainvillea "Barbara Karst"	15 GAL., 8' ht., 36" O.C., Contractor to remove wood trellis and train vines to wire trellis
55	IP		Ipomoea pes-caprae	Railroad Vine	7 GAL., @ 24" O.C.
76	QI		Quisqualis indica	Rangoon Creeper	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis
45	SM		Solandra maxima	Chalice Vine	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis
135	TJ		Trachelospermum jasminoides	Confederate Jasmine	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis
15	AC		Allamanda cathartica	Allamanda Vine (Yellow Flowering)	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis

Proposed



No.	Date	Revision:

Owner:
Washington Squared Owner, LLC
Owenscape Companies LLC
c/o Washington Squared Owner LLC
PO Box 468
Hobbsville Heights, NJ 07604

Architect:
Algoe Architects PC
2307 Douglas Road
Miami, FL 33157
License# AB0016549

Landscape Architect:
Raymond Jungles, Inc.
2844 Aviation
Miami, FL 33133
License# LC0000856

KEY PLAN:

PROJECT:
601 Washington Ave. Noise Barrier
601-685 Washington Avenue
Miami Beach, FL 33139

Drawing Title

PLANTING
UNDERTORY PLAN
LEVEL 2 NORTH

SEAL & SIGNATURE:

	DATE:
	PROJECT NO.:
	DRAWN BY:
	FULL SCALE:
	SHEET SIZE:
DRAWING NO.:	
PAGE NO.:	

LP.202



**NICHOLS
BROSCH
WURST
WOLFE
& ASSOCIATES, INC.**
Architecture & Planning

181 Alameda Avenue
Coral Gables, FL 33134
(305) 442-5295
(305) 442-5277
AEC 000000

ARCHITECT
ARCHITECT FLS REG.
000000

OWNER / DEVELOPER:
WASHINGTON SQUARED OWNER LLC
888 7th Avenue, 27th Floor
New York, NY 10019
(212) 894-7990

CONSULTANT:
JUNGLES
2964 Foster Avenue
Coral Gables, FL 33134
P: 305.656.5777 FAX: 785.763.0382
www.junglesinc.com

601 WASHINGTON AVE MIXED USE - HOTEL
601-685 WASHINGTON AVENUE, MIAMI BEACH, FL

SUBMITTAL HISTORY:

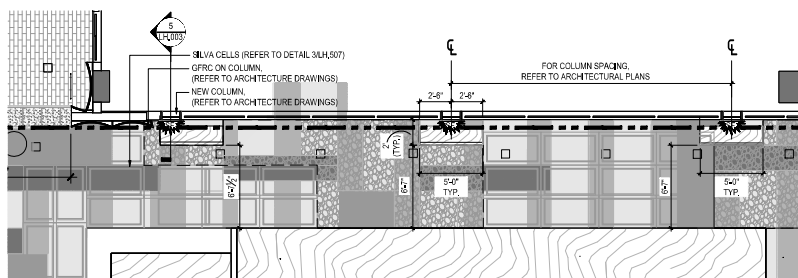
Revisions		
#	Description	Date
1	Revisions 1	02-10-18
2	Revisions 2	04-03-18
3	Revisions 3	04-27-18
4	Revisions 4	07-03-18
5	Revisions 5	07-12-18

NON-HISTORIC FACADE
PLANTING DETAILS

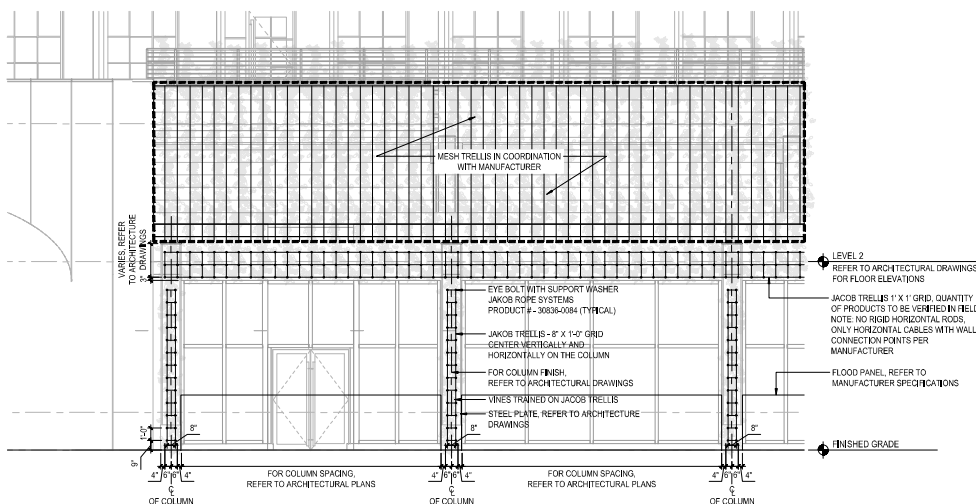
14040

LH.509

Approved



1 VINE PLANTER - PLAN
Scale: 1/4" = 1'-0"

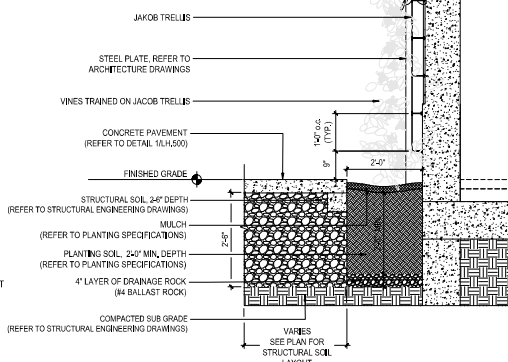
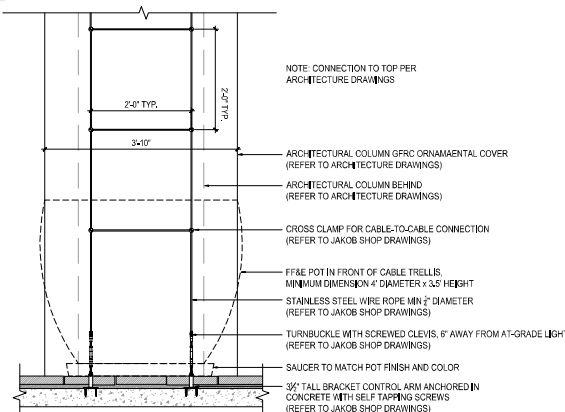


3 NON-HISTORIC FACADE - ELEVATION
Scale: 1/4" = 1'-0"

NOTES:

- CONTRACTOR SHALL SUBMIT SAMPLES OF MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.
- CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS OF THE ENTIRE SYSTEM, INCLUDING EVERY PIECE, CONNECTION, AND CONDITION, FOR APPROVAL BY THE LANDSCAPE ARCHITECT, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION. CONTRACTOR SHALL FIELD VERIFY AS BUILT DIMENSIONS, AND PROVIDE DETAILED ENGINEERED LAYOUT DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT, INCLUDING ALL CONNECTIONS AND COMPONENTS.
- CONTRACTOR SHALL PROVIDE AN ON-SITE MOCKUP PRIOR TO INSTALLATION. MOCKUPS SHALL BE RETAINED FOR THE LIFE OF THE PROJECT TO ENSURE COMPLIANCE WITH APPROVED CONSTRUCTION. MOCKUPS SHALL BE PROVIDED WELL IN ADVANCE OF INSTALLATION (4 WEEKS) AND SHALL ALLOW FOR MULTIPLE ITERATIONS UNTIL AN APPROVED VERSION IS ACKNOWLEDGED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUBMIT PRODUCT DATA DEMONSTRATING COMPLIANCE WITH SPECIFICATIONS, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.

6 BREEZEWAY VINE CABLE ELEVATION
Scale: 1" = 1'-0"

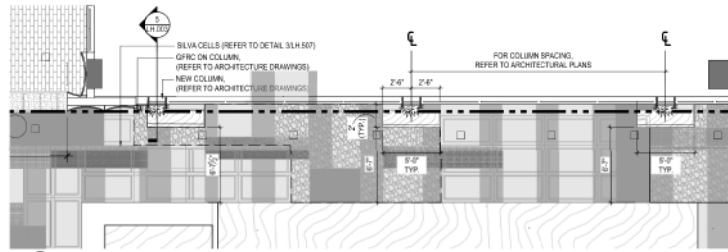


4 VINE PLANTER - SECTION
Scale: 1/4" = 1'-0"

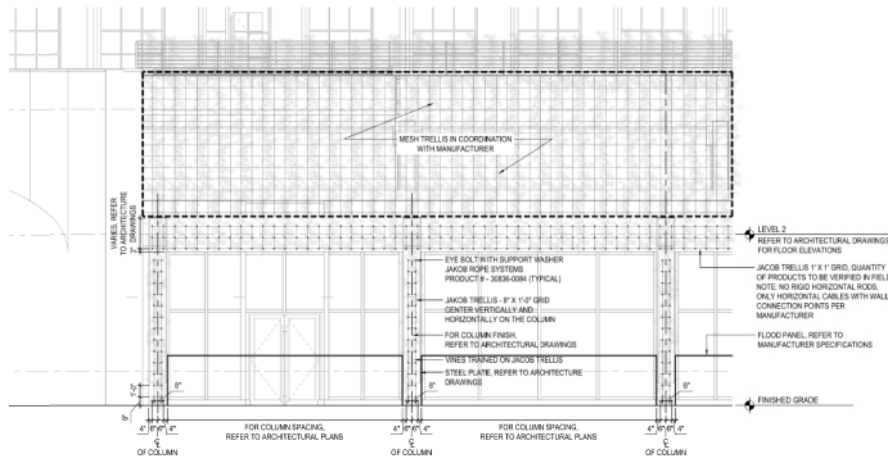
5 VINE PLANTER - ENLARGEMENT
Scale: 3/4" = 1'-0"

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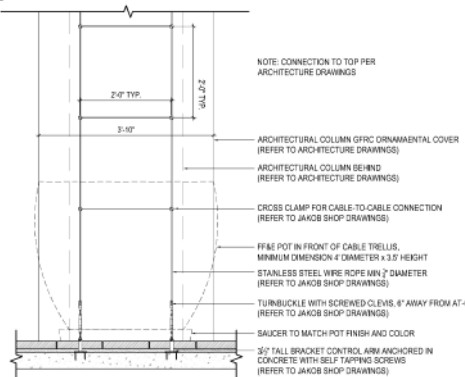
1 VINE PLANTER - PLAN
Scale: 1/4" = 1'-0"



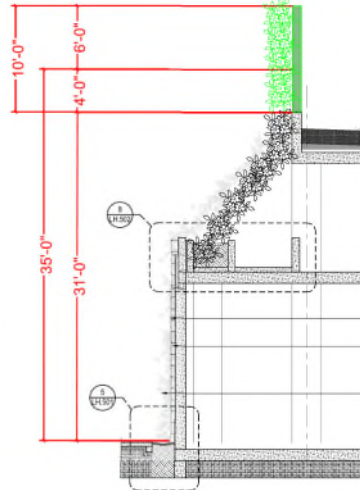
3 NON-HISTORIC FACADE - ELEVATION
Scale: 1/4" = 1'-0"

NOTES:

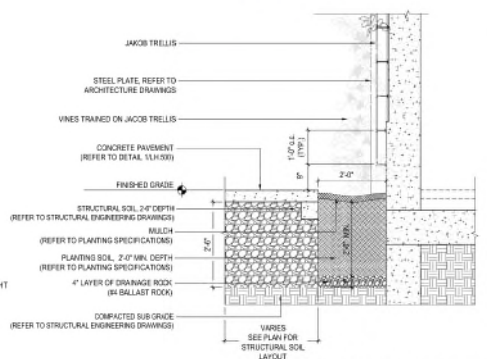
1. CONTRACTOR SHALL SUBMIT SAMPLES OF MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.
2. CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS OF THE ENTIRE SYSTEM, INCLUDING EVERY PIECE, CONNECTION, AND CONDITION, FOR APPROVAL BY THE LANDSCAPE ARCHITECT, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION. CONTRACTOR SHALL FIELD VERIFY AS BUILT DIMENSIONS, AND PROVIDE DETAILED ENGINEERED LAYOUT DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT, INCLUDING ALL CONNECTIONS AND COMPONENTS.
3. CONTRACTOR SHALL PROVIDE AN ON-SITE MOCK-UP FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MOCK-UPS SHALL BE RETAINED FOR THE LIFE OF THE PROJECT TO ENSURE COMPLIANCE WITH APPROVED CONSTRUCTION. MOCK-UPS SHALL BE PROVIDED WELL IN ADVANCE OF INSTALLATION (4 WEEKS) AND SHALL ALLOW FOR MULTIPLE ITERATIONS UNTIL AN APPROVED VERSION IS ACKNOWLEDGED BY THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL SUBMIT PRODUCT DATA DEMONSTRATING COMPLIANCE WITH SPECIFICATIONS, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.



6 BREEZEWAY VINE CABLE ELEVATION
Scale: 1" = 1'-0"



4 VINE PLANTER - SECTION
Scale: 1/4" = 1'-0"



5 VINE PLANTER - ENLARGEMENT
Scale: 3/4" = 1'-0"

NOTES:

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601-685 WASHINGTON AVENUE, MIAMI BEACH, FL

SUBMITTAL HISTORY

Revisions		
#	Description	Date
1	Revised 5	05/11/16
2	Revised 6	06/10/16
3	Final Construction Permit Set	06/07/16
4	Revised 8	07/03/16
5	Revised 10	07/11/16

NON-HISTORIC FACADE
PLANTING DETAILS

14040

LH-509

Proposed







Existing

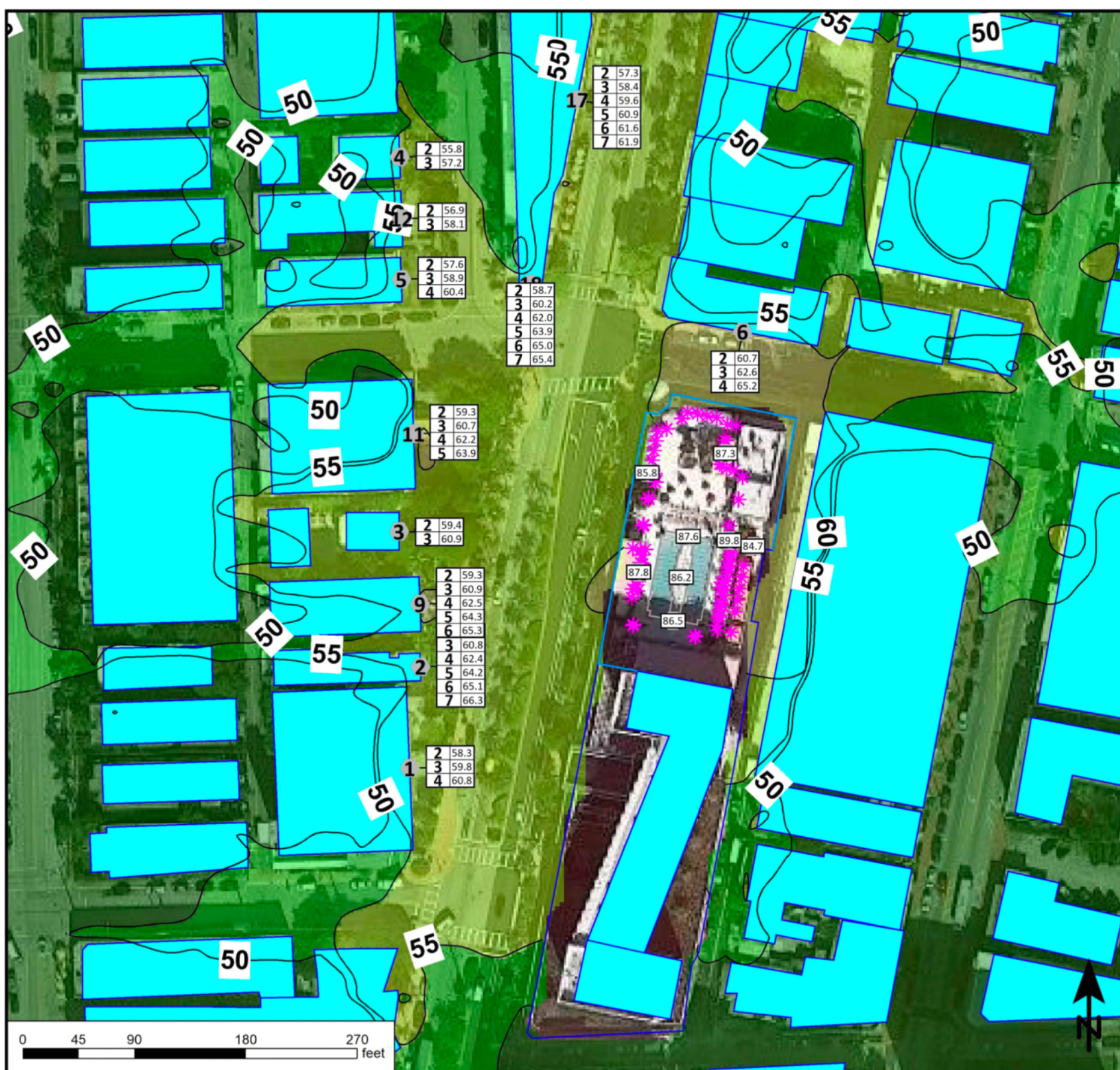
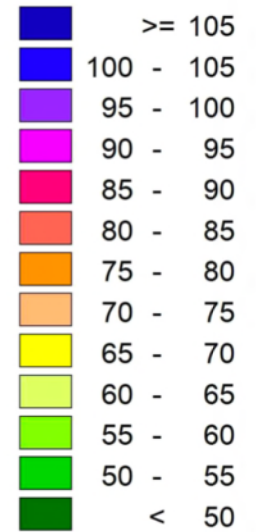


Proposed

Pool Audio Model w/ 10' Wall

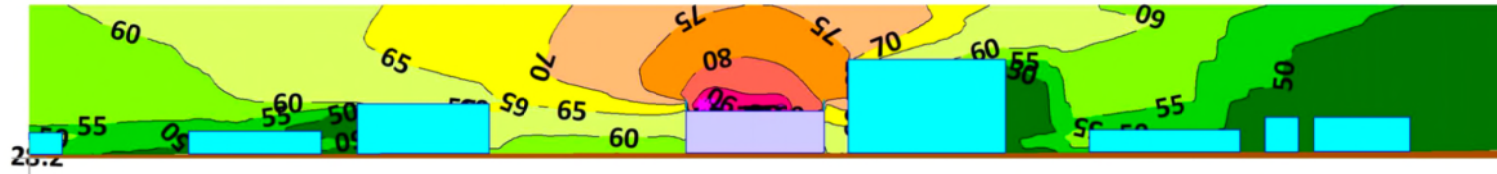
Date: 11/29/21

Noise level
Leq
in dB(A)

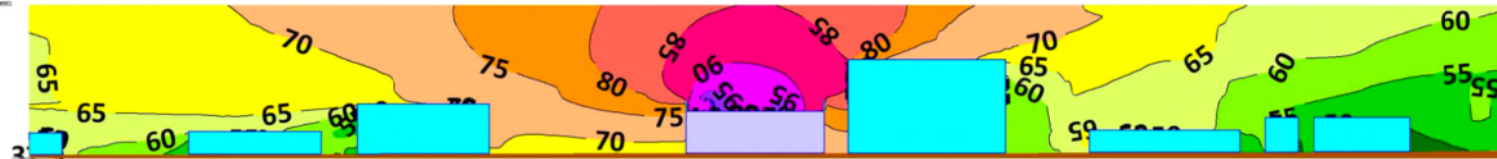


SECTION VIEW OF MODELED SOUND LEVELS

Cross Section West - East - dBA



Cross Section West - East - dBC



Cross Section South - North - dBA



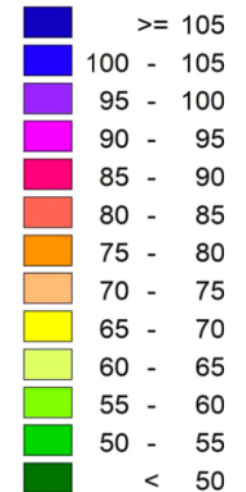
Cross Section South - North - dBC



Pool Audio Model

Date: 11/29/21

Noise level
Leq
in dB (See Chart)





Arcadia House Condo,
west balconies

Outdoor Venue

Washington Ave.