

# PENROD RESIDENCE

3 1 7 N . C O C O N U T L A N E  
M I A M I B E A C H , F L O R I D A

D . R . B . P R E S E N T A T I O N S E T  
H E A R I N G D A T E : J A N U A R Y 4 , 2 0 2 2



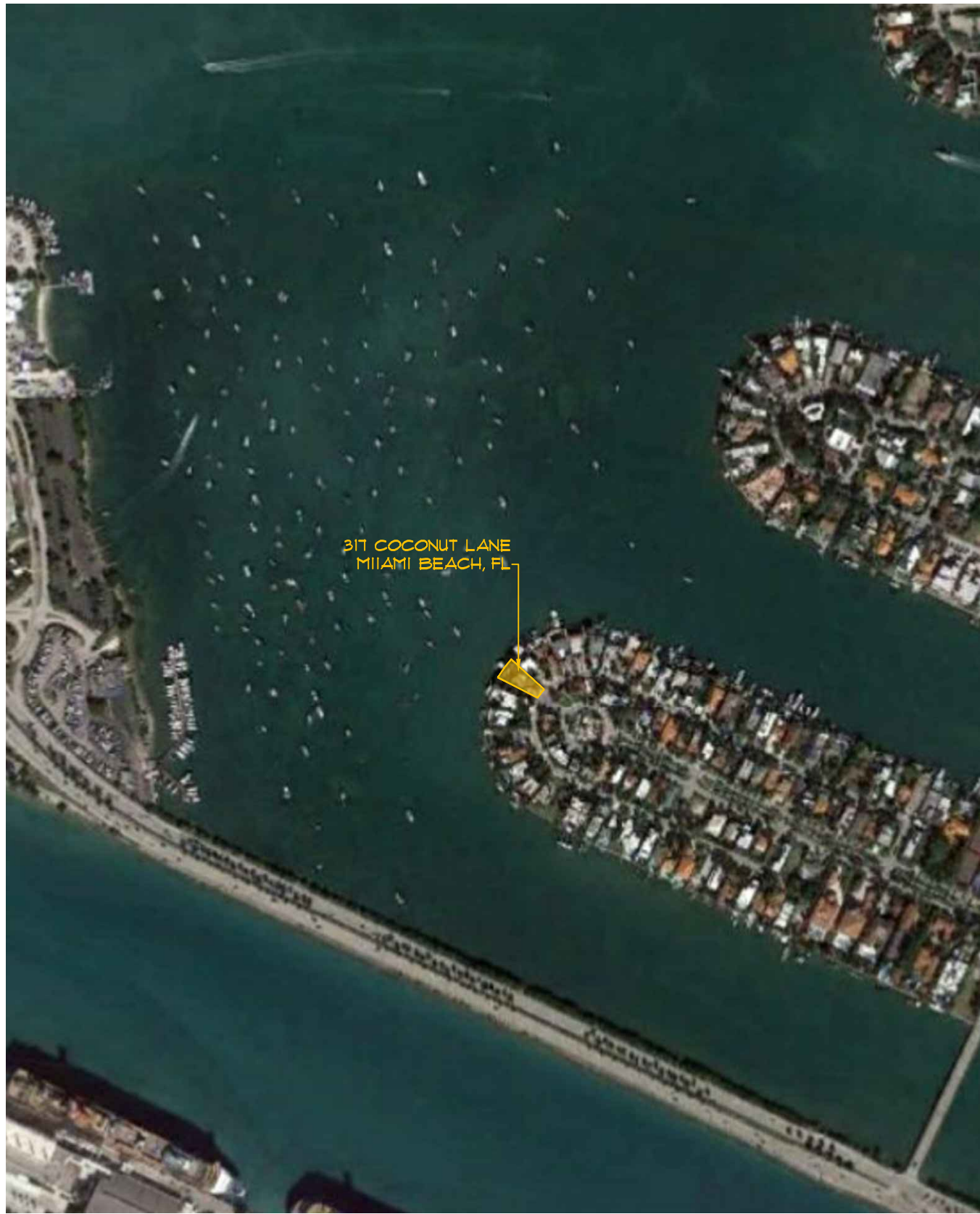
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D.R.B. PRESENTATION | MIAMI BEACH, FLORIDA | JANUARY 4, 2022

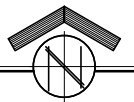
A-000





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SITE LOCATION



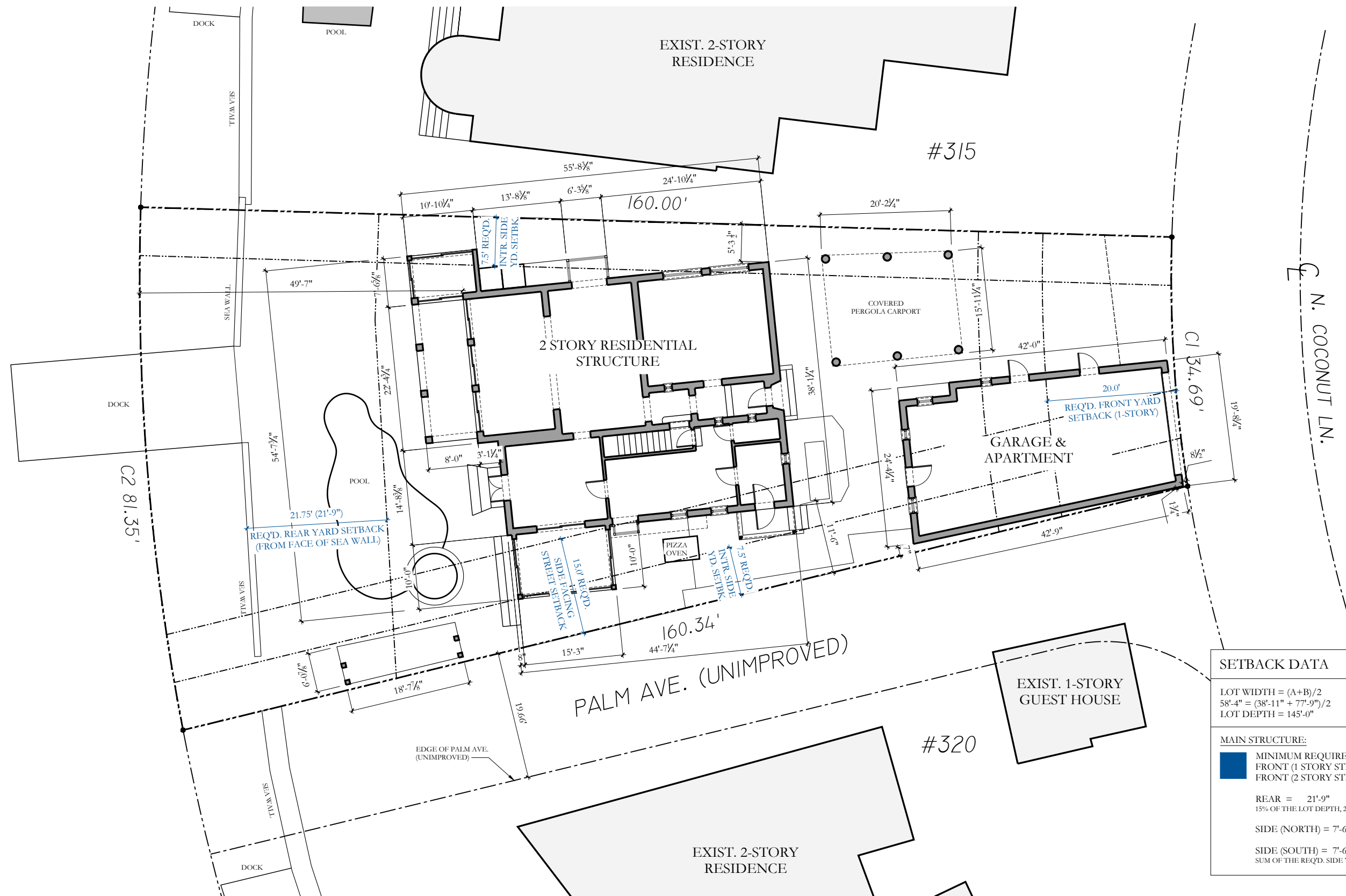
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**NOTE: ELEVATIONS  
REFERENCED TO NGVD  
SURVEY ELEVATIONS**



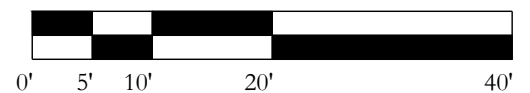
SETBACK DATA	
<p>LOT WIDTH = (A+B)/2  58'-4" = (38'-11" + 77'-9")/2  LOT DEPTH = 145'-0"</p>	
MAIN STRUCTURE:	
	MINIMUM REQUIRED SETBACKS:
	FRONT (1 STORY STRUCTURE) = 20'-0"
	FRONT (2 STORY STRUCTURE) = 30'-0"
<p>REAR = 21'-9"  15% OF THE LOT DEPTH, 20 FEET MINIMUM, 50 FEET MAXIMUM</p>	
<p>SIDE (NORTH) = 7'-6"</p>	
<p>SIDE (SOUTH) = 7'-6"  SUM OF THE REQ'D. SIDE YARDS SHALL BE 25% OF THE LOT WIDTH (MIN.)</p>	

1 EXISTING CONDITIONS SITE PLAN  
1/16"=1'-0"



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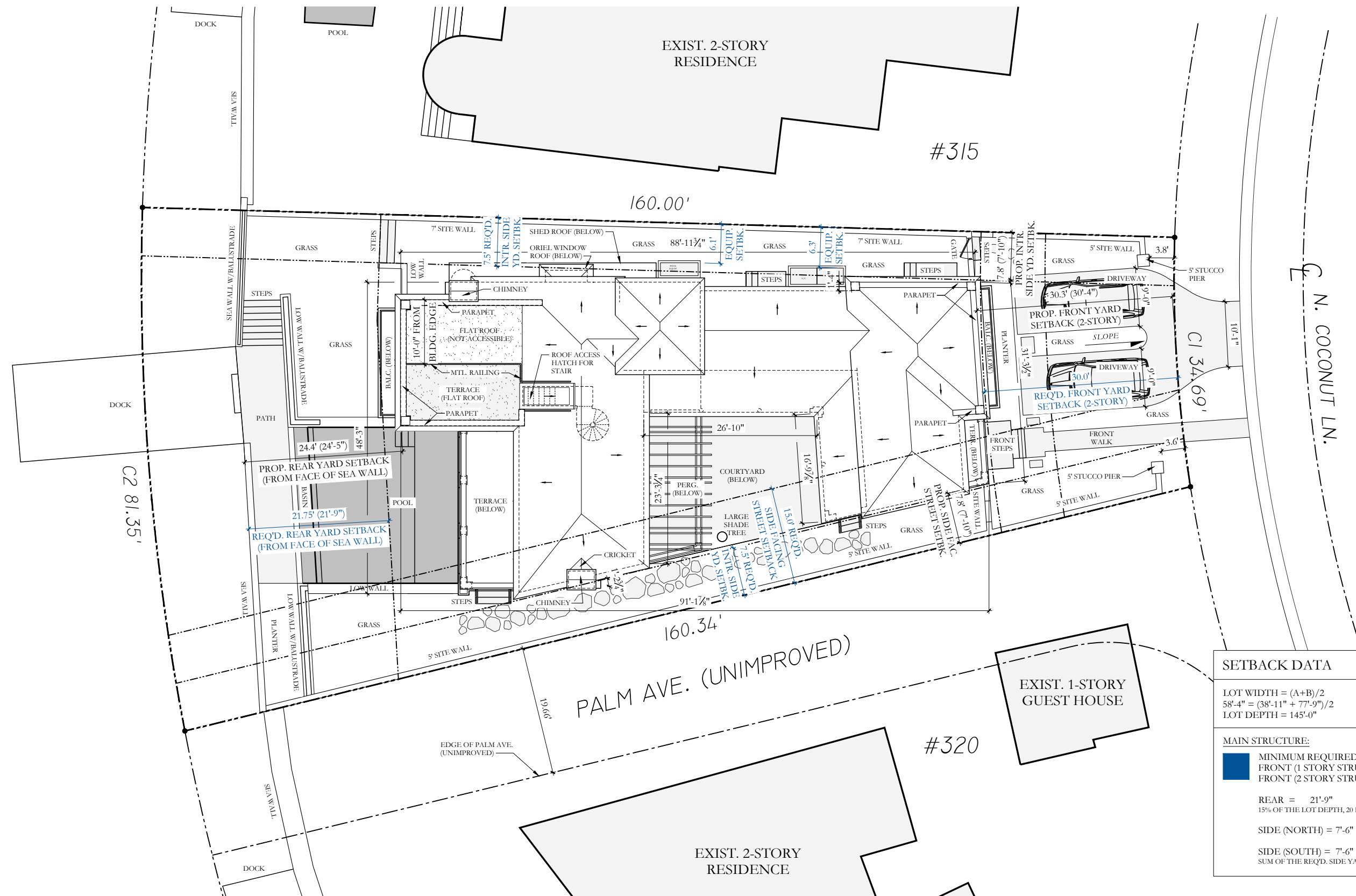


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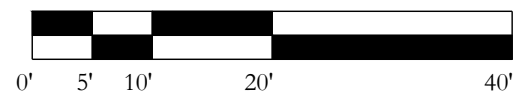


1 PROPOSED SITE PLAN W/ROOF PLAN  
1/16"=1'-0"



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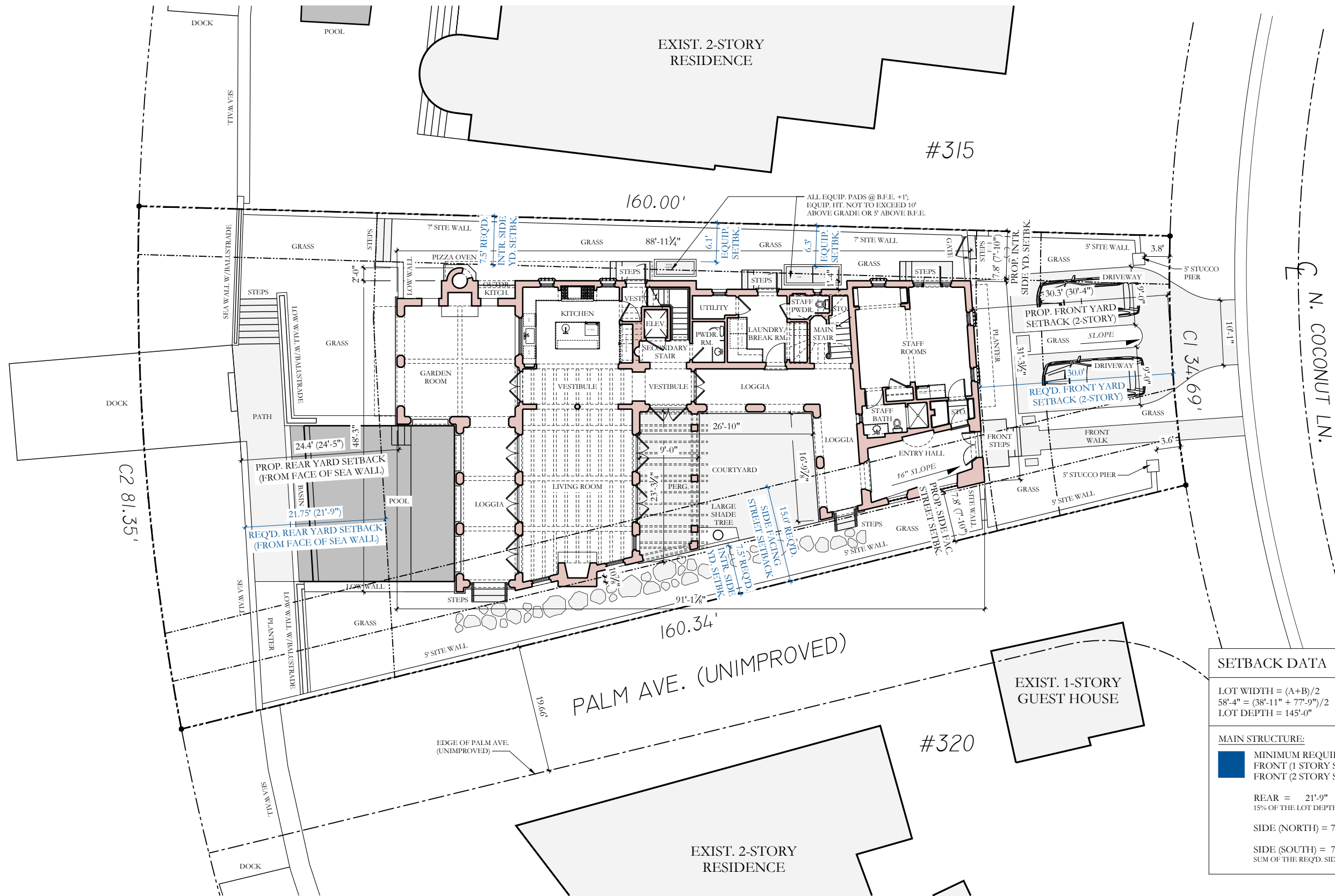
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SURVEY ELEVATIONS

BISCAYNE BAY WATERWAY (N.A.P.)



SETBACK DATA

LOT WIDTH = (A+B)/2  
58'-4" = (38'-11" + 77'-9")/2  
LOT DEPTH = 145'-0"

MAIN STRUCTURE:

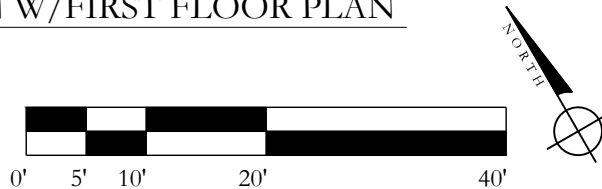
MINIMUM REQUIRED SETBACKS:  
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FRONT (2 STORY STRUCTURE) = 30'-0"  
  
REAR = 21'-9"  
15% OF THE LOT DEPTH, 20 FEET MINIMUM, 50 FEET MAXIMUM  
  
SIDE (NORTH) = 7'-6"  
  
SIDE (SOUTH) = 7'-6"  
SUM OF THE REQ'D. SIDE YARDS SHALL BE 25% OF THE LOT WIDTH (MIN.)

1 PROPOSED SITE PLAN W/FIRST FLOOR PLAN  
1/16"=1'-0"



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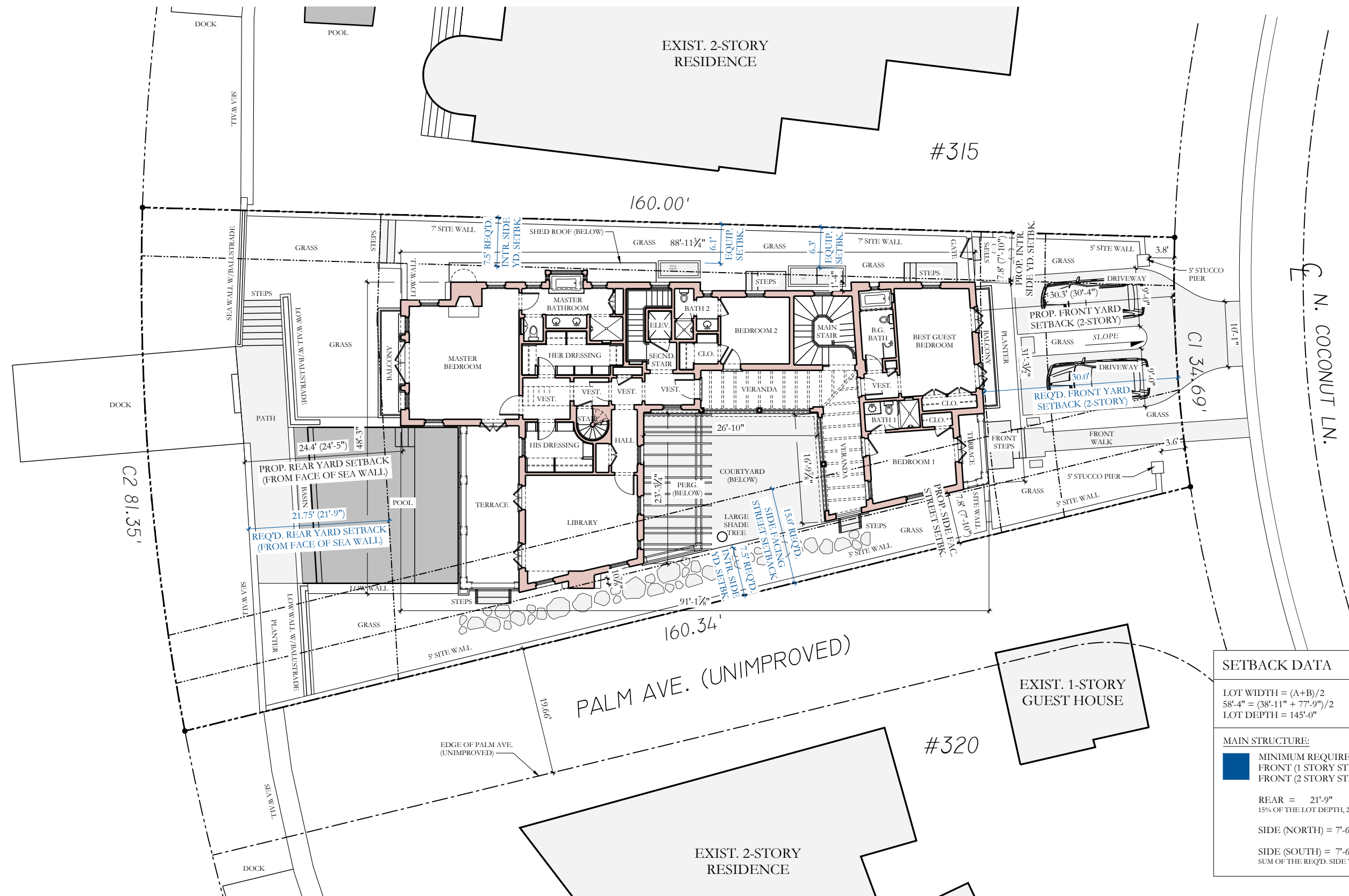
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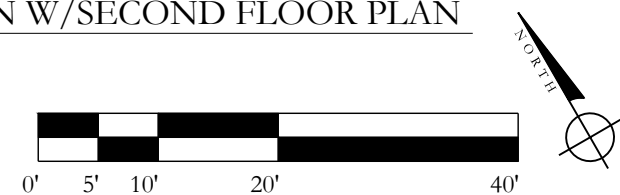
SETBACK DATA	
LOT WIDTH = $(A+B)/2$ $58'-4" = (38'-11" + 77'-9")/2$ LOT DEPTH = $145'-0"$	
MAIN STRUCTURE:	
	MINIMUM REQUIRED SETBACKS:
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	FRONT (2 STORY STRUCTURE) = 30'-0"
REAR = 21'-9" 15% OF THE LOT DEPTH, 20 FEET MINIMUM, 50 FEET MAXIMUM	
SIDE (NORTH) = 7'-6"	
SIDE (SOUTH) = 7'-6"	
SUM OF THE REQ'D. SIDE YARDS SHALL BE 25% OF THE LOT WIDTH (MIN.)	

1 PROPOSED SITE PLAN W/SECOND FLOOR PLAN  
1/16"=1'-0"



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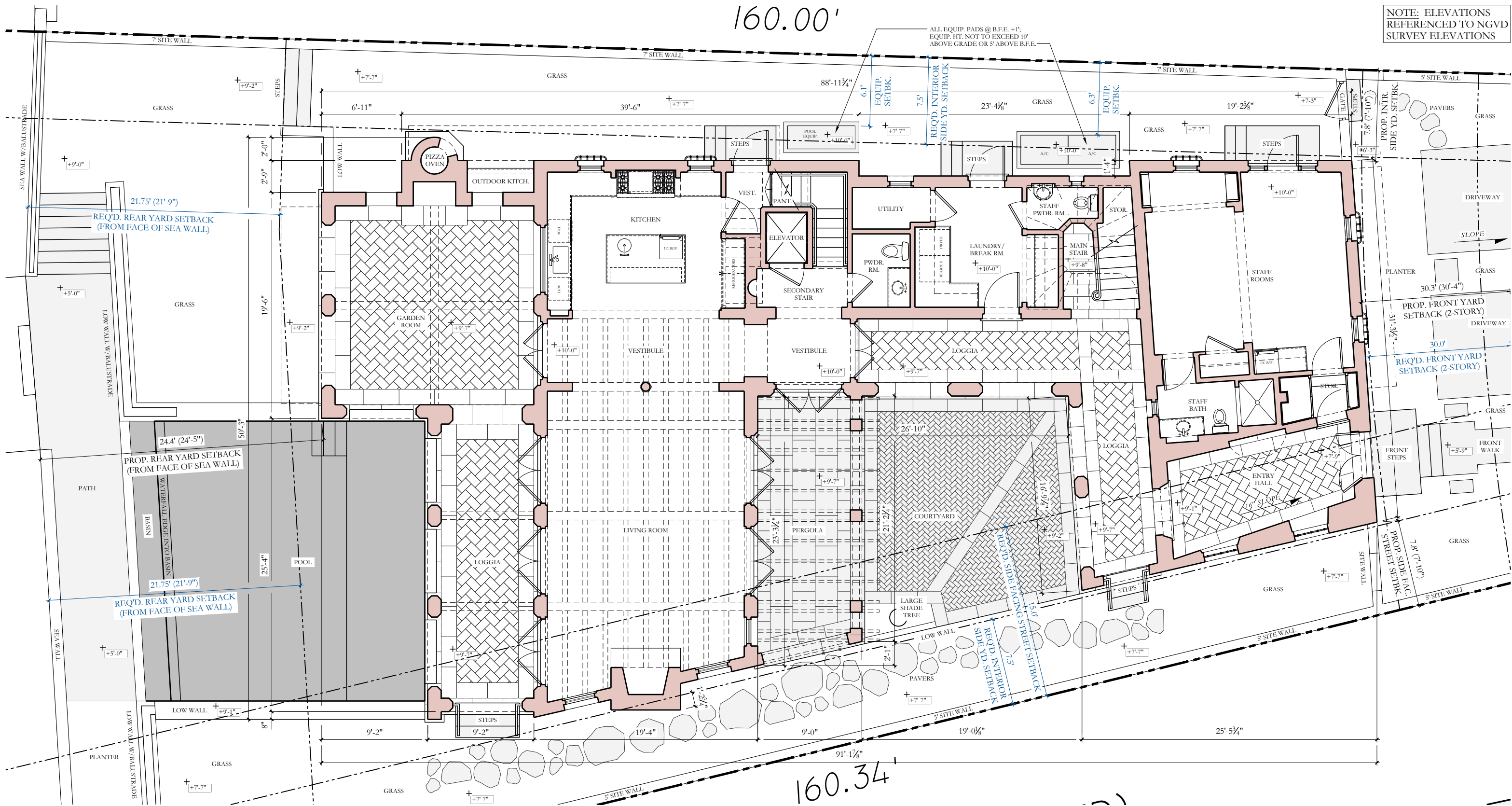


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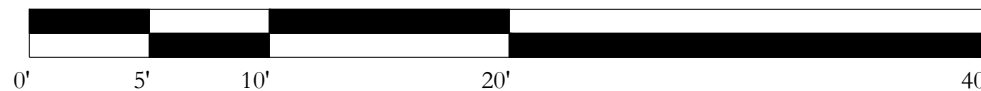




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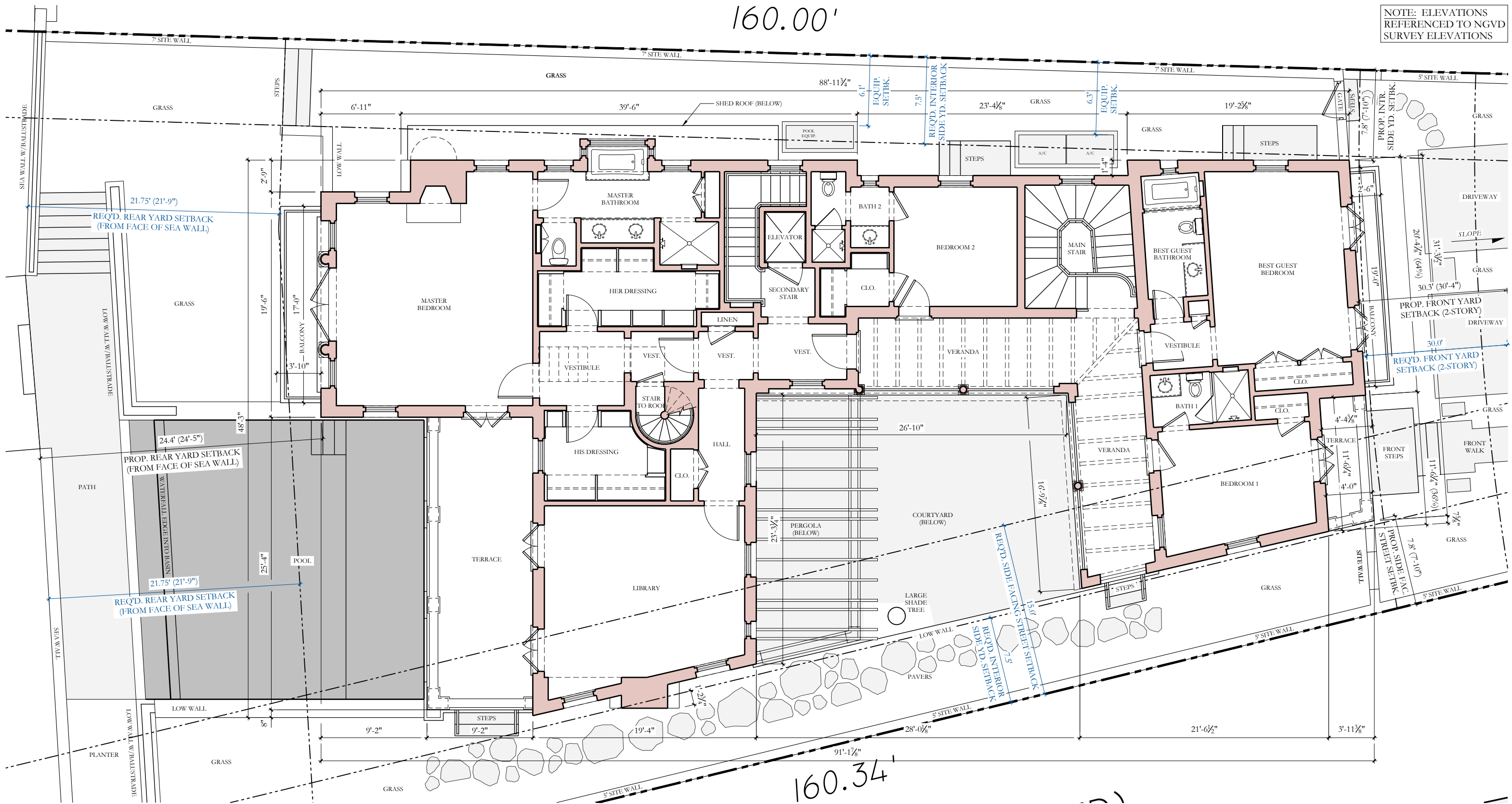
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1 PROPOSED FIRST FLOOR PLAN  
1/8"=1'-0"



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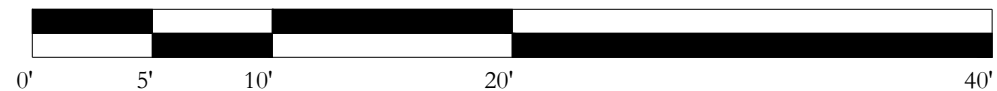
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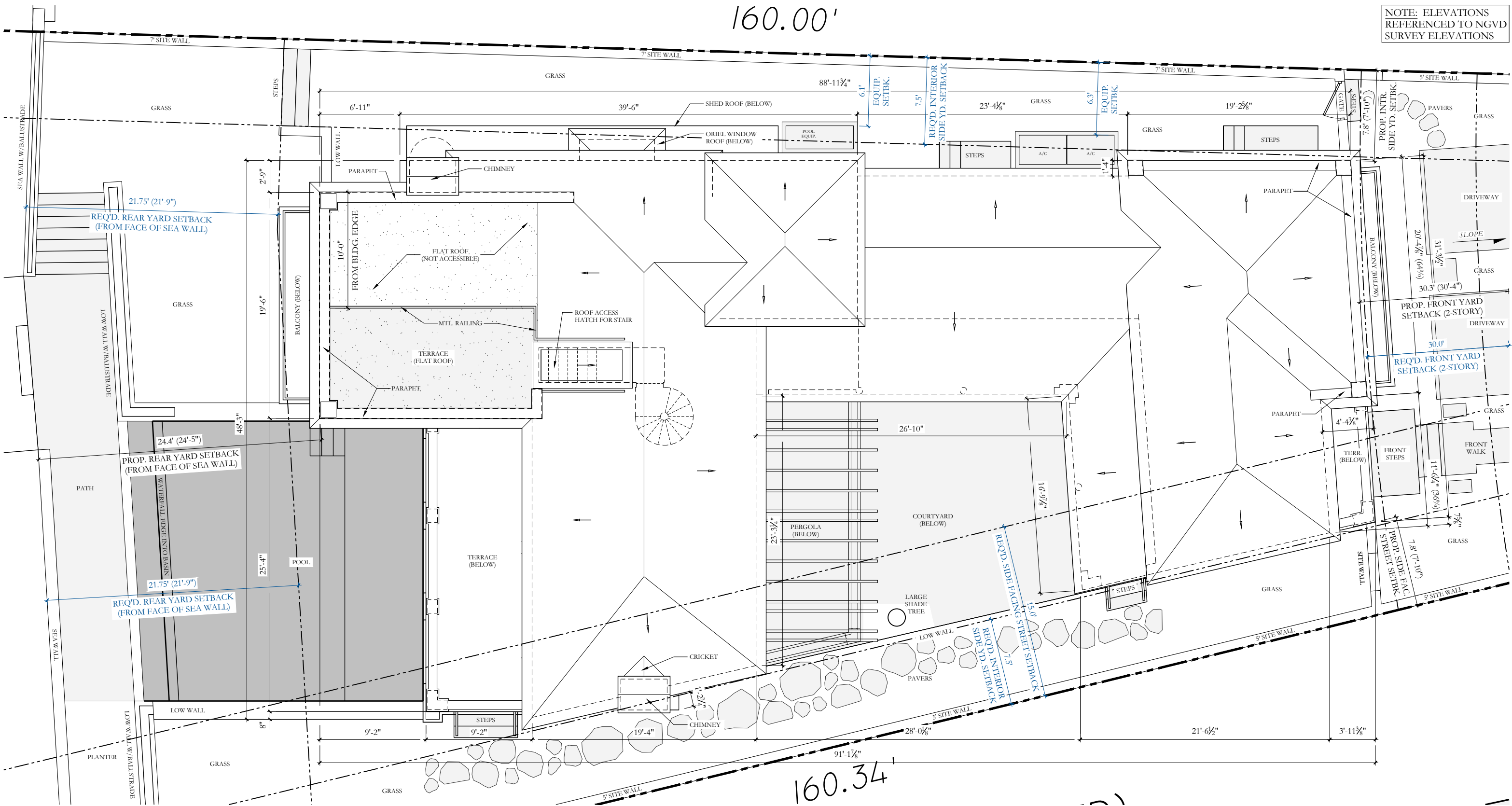
1 PROPOSED SECOND FLOOR PLAN  
1/8"=1'-0"



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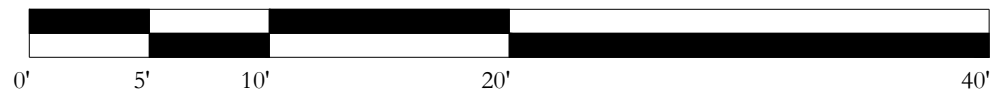
NOTE: ELEVATIONS  
REFERENCED TO NGVD  
SURVEY ELEVATIONS



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1 PROPOSED ROOF PLAN  
1/8"=1'-0"



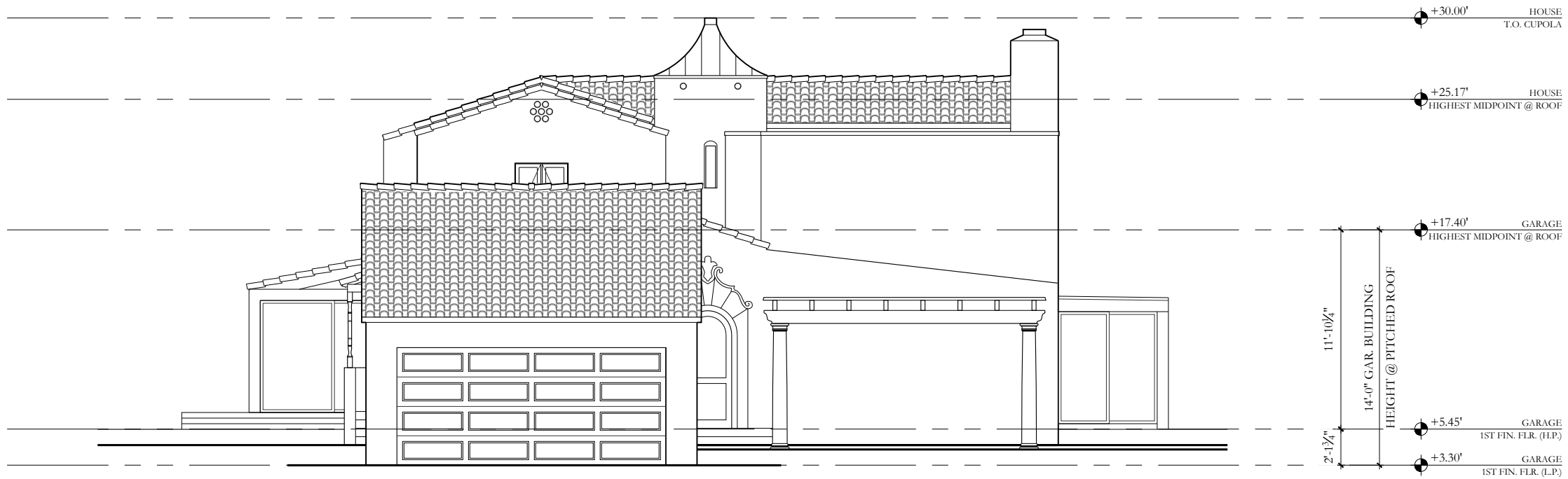
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SURVEY ELEVATIONS



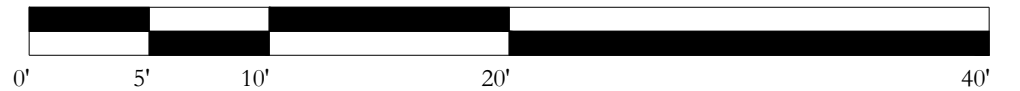
1 EXISTING/DEMO REAR ELEVATION (WEST)  
1/8"=1'-0"



2 EXISTING/DEMO FRONT ELEVATION (EAST)  
1/8"=1'-0"



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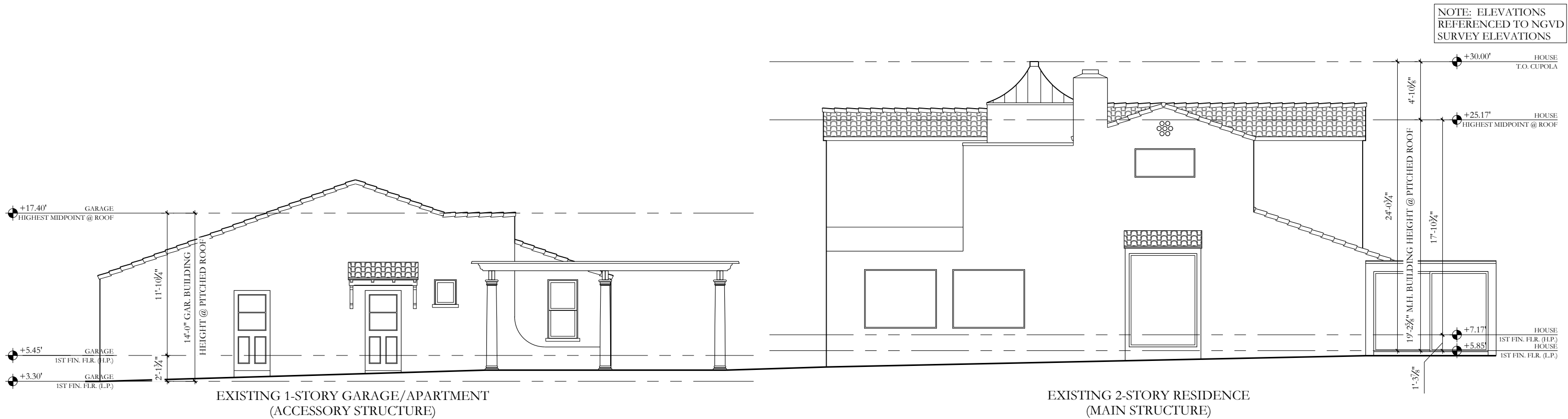


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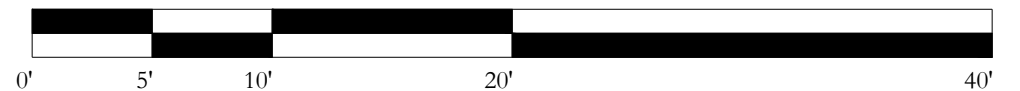
1 EXISTING/DEMO RIGHT ELEVATION (NORTH)  
1/8"=1'-0"



2 EXISTING/DEMO LEFT ELEVATION (SOUTH)  
1/8"=1'-0"



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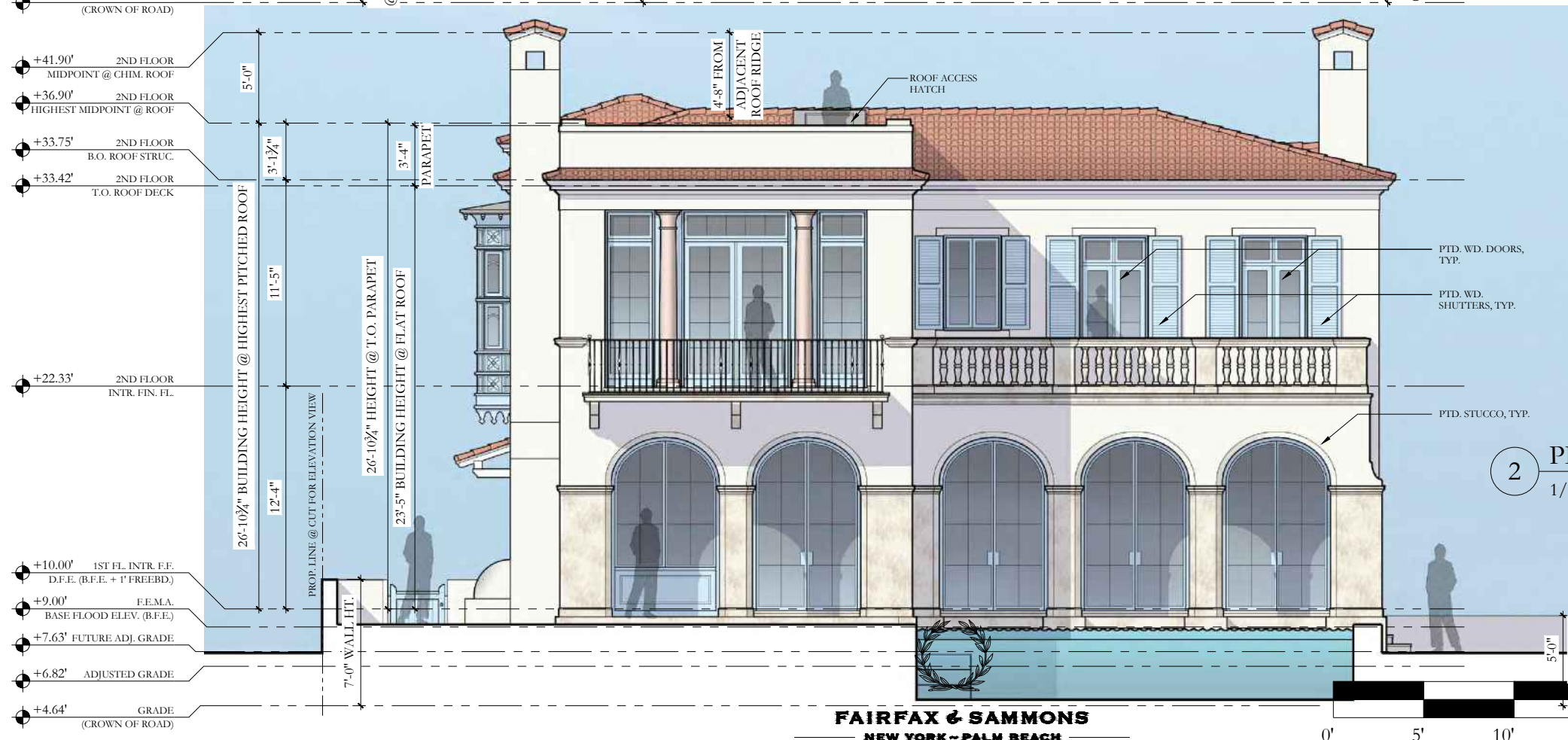
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NOTE: ELEVATIONS  
REFERENCED TO NGVD  
SURVEY ELEVATIONS

1 PROPOSED EAST (STREET) ELEVATION  
1/8"=1'-0"



2 PROPOSED WEST (WATER) ELEVATION  
1/8"=1'-0"

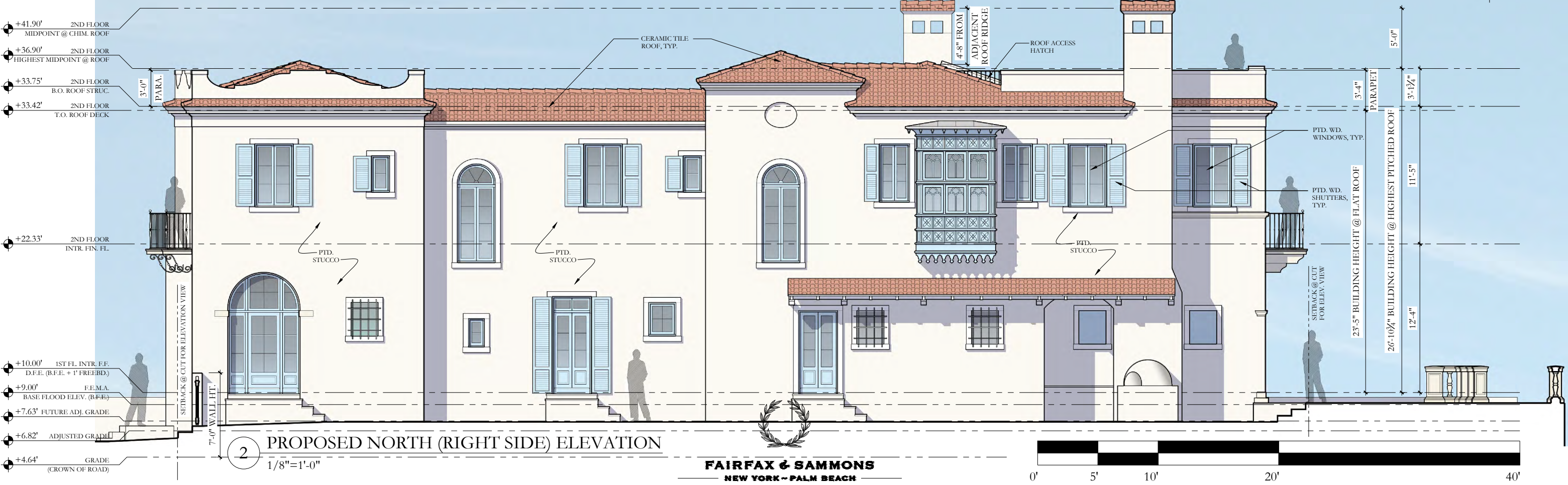
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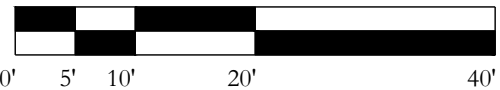
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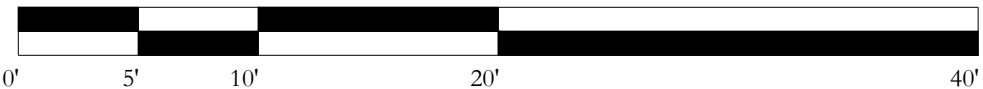
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REFERENCED TO NGVD  
SURVEY ELEVATIONS



1 PROPOSED SOUTH SITE SECTION  
1/16"=1'-0"



2 PROPOSED SOUTH ELEVATION/SECTION  
1/8"=1'-0"



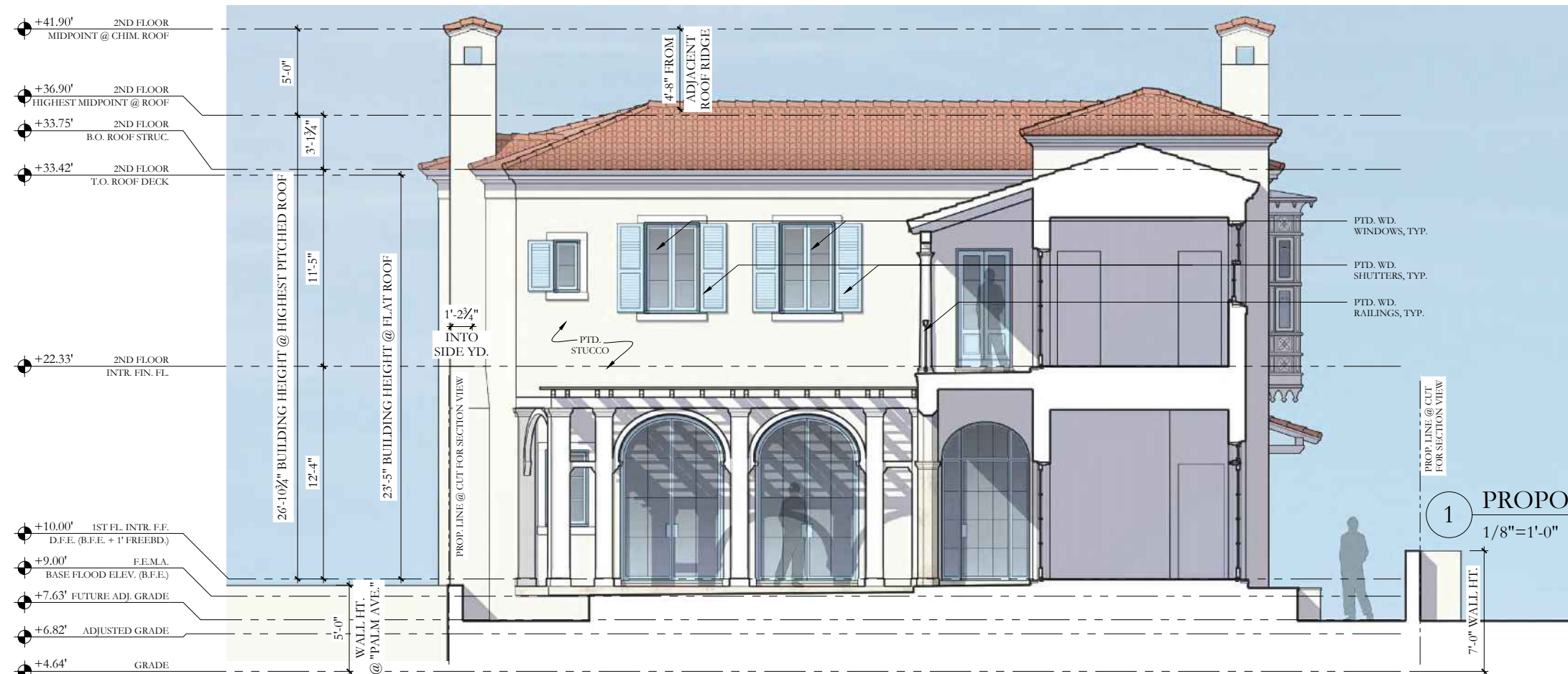
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1 3D RENDERING - VIEW FROM EAST (STREET)



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1 3D RENDERING - VIEW FROM EAST (STREET)



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1 3D RENDERING - AERIAL VIEW FROM SOUTHEAST



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1 3D RENDERING - ENLARGED AERIAL VIEW FROM S.E.



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1 3D RENDERING - GROUND LEVEL VIEW FROM SOUTH



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1 3D RENDERING - GROUND LVL. CTYD. VIEW FROM S.E.



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1 3D RENDERING - AERIAL VIEW FROM SOUTHWEST



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1 3D RENDERING - VIEW FROM WEST



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1 3D RENDERING - VIEW FROM WEST



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1 3D RENDERING - AERIAL VIEW FROM WEST



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1 3D RENDERING - AERIAL VIEW FROM NORTH

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1 3D RENDERING - VIEW FROM NORTHEAST



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1 3D AERIAL VIEW, FROM EAST - SHOWING RELATIONSHIPS AMONG MASSING & WINDOW/DOOR OPENINGS OF #317 PROPOSAL & EXIST. ADJACENT HOUSES

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1 3D AERIAL VIEW, FROM WEST - SHOWING RELATIONSHIPS AMONG MASSING & WINDOW/DOOR OPENINGS OF #317 PROPOSAL & EXIST. ADJACENT HOUSES

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PAINTED STUCCO WALLS & DETAILS (WHITE)



CLAY BARREL TILE ROOF



PAINTED WINDOWS, DOORS, & SHUTTERS (LIGHT BLUE)



STONE SURROUNDS & DETAILS;  
LIMED WOOD & METAL GRILLE FRONT DOOR



COQUINA PAVERS



BRICK PAVERS



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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

"ITEM #"	Zoning Information			
1	Address:	317 Coconut Lane, Miami Beach, FL 33140		
2	Folio number:	02-4205-002-0010		
3	Board and file numbers:	DRB21-0747		
4	Year built:	"Building 1: 1925 Building 2: 1925"	Zoning District:	RS-4 - Residential, Single-Family
5	Base Flood Elevation:	AE 9.00 N.G.V.D.	Grade Value in N.G.V.D.:	4.64'
6	Adjusted grade (Flood+Grade/2):	6.82'	"Free Board: (+12"" Minimum)"	EL. 10.0' N.G.V.D.
7	Lot Area (East of Sea Wall):	8,492 SF		
8	Lot width:	58'-4"	Lot Depth:	145'-0"
9	Maximum Lot Coverage SF and %:	"2,547.6 SF (30%) Two Story Home"	Proposed Lot Coverage SF and %:	2,523 SF (29.71%)
10	Existing Lot Coverage SF and %:	2,590 SF (30.50%)	Lot Coverage deducted (garage storage) SF:	N/A
11	Front Yard Open Space SF and %:	1,283 SF 696 SF (54.25%)	Rear Yard Open Space SF and %:	1,636 SF 1,241 SF (75.86%)
12	Maximum Unit Size SF and %:	4,246 SF (50%)	Proposed Unit Size SF and %:	4,219 SF (49.68%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	1,864 SF
14	Existing Second Floor Unit Size:	N/A	Proposed Second Floor Setback 5' further for minimum 35%. The provided is: range 4'-5" to 4'-11". Waiver requested.	Waiver Requested
15			Proposed Second Floor Unit Size SF and %:	2,355 SF (126% of First Floor)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	153 SF (6.5%)

		Required / Allowed	Existing	Proposed	Deficiencies
17	Height:	27'-0" (Sloped Roof)	N/A	26'-10 3/4"	
18	Setbacks:		N/A		
19	Front - One Story Structure:	20'-0"	0'-8"	N/A	
20	Front - Two Story Structure:	30'-0"	N/A	30'-4"	
21	Side - Facing Street:	15'-0"	11'-6"	7'-10"	Variance Requested
22	Side - Interior:	7'-6" (Minimum)	5'-3"	7'-10"	
23	Rear:	21'-9"	34'-8"	24'-5"	
24	Accessory Structure Side (Interior):	7'-6"	0'-8"	N/A	
25	Accessory Structure Rear:	7'-6"	N/A	N/A	
26	Sum of Side Yards:	22'-6" (25% of Lot)	22'-6" (25% of Lot)	15'-8"	Variance Requested

27	Located within a Local Historic District?	Yes or No	No
28	Designated as an individual Historic Single Family Residence Site?	Yes or No	No
29	Determined to be Architectural Significant?	Yes or No	TBD



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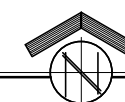
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CONTEXT LOCATION PLAN



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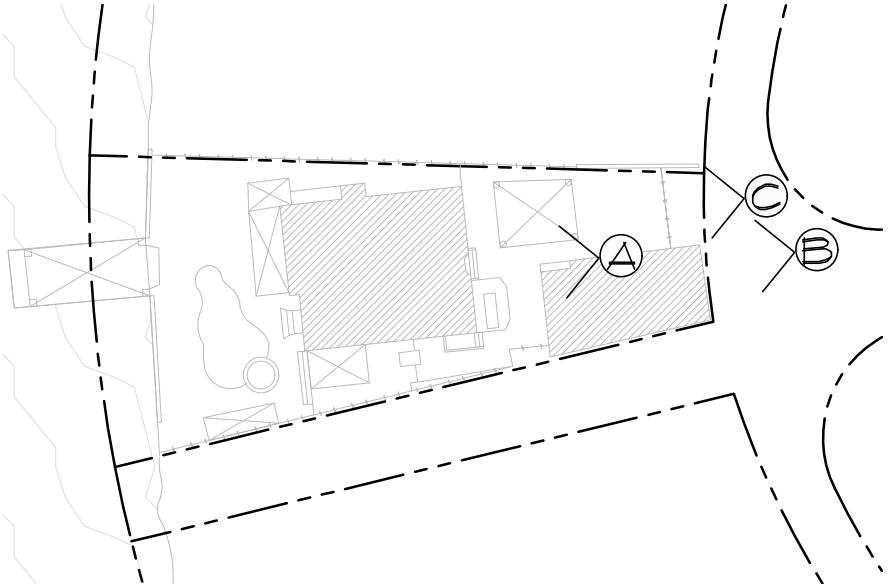
(C) FRONT - BIRD'S EYE VIEW



(B) STREET FRONT



(C) EXISTING MAIN GATE



STREET VIEW



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(A) EXISTING BUILDING - GARAGE FRONT



(B) EXISTING BUILDING - GARAGE NORTHEAST



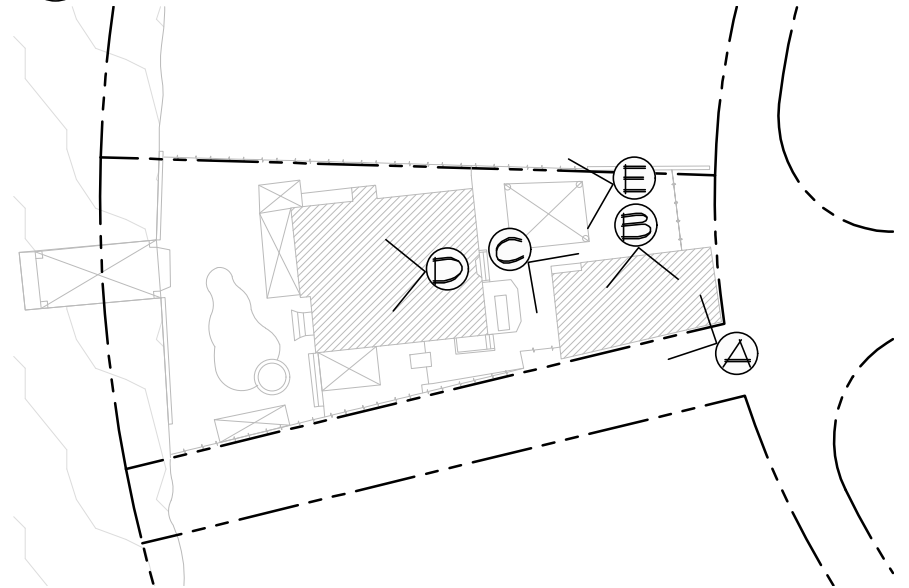
(C) EXISTING BUILDING - GARAGE REAR



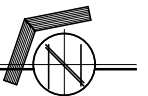
(D) EXISTING BUILDING - MAIN FRONT



(E) EXISTING BUILDING - GAZEBO



EXISTING BUILDING



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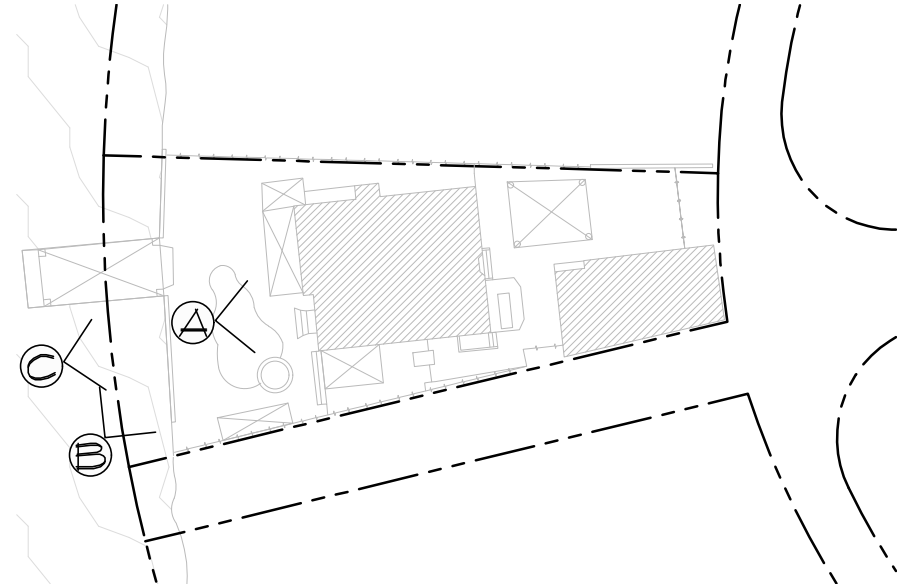
(C) WATERFRONT - BIRD'S EYE VIEW



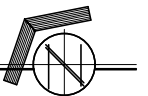
(A) EXISTING BUILDING - REAR



(A) EXISTING BUILDING - REAR



EXISTING BUILDING



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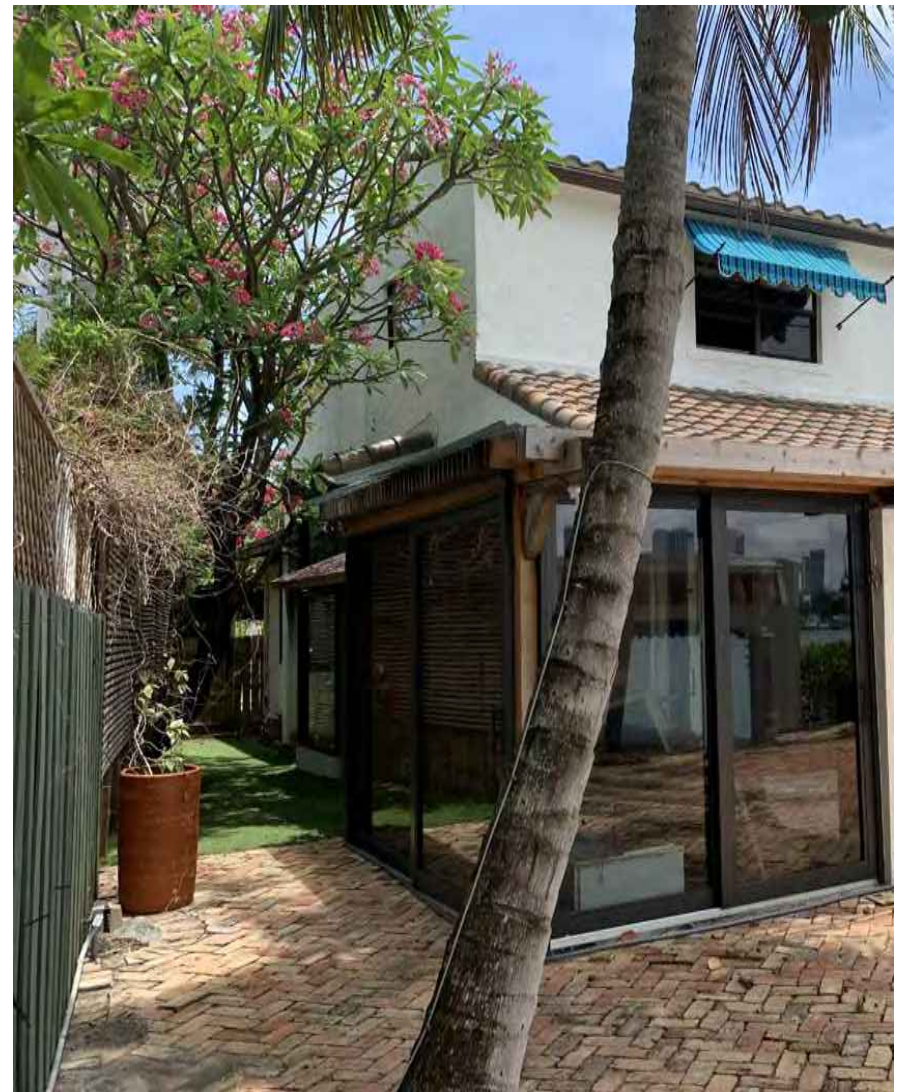




(A) EXISTING BUILDING - NORTHEAST



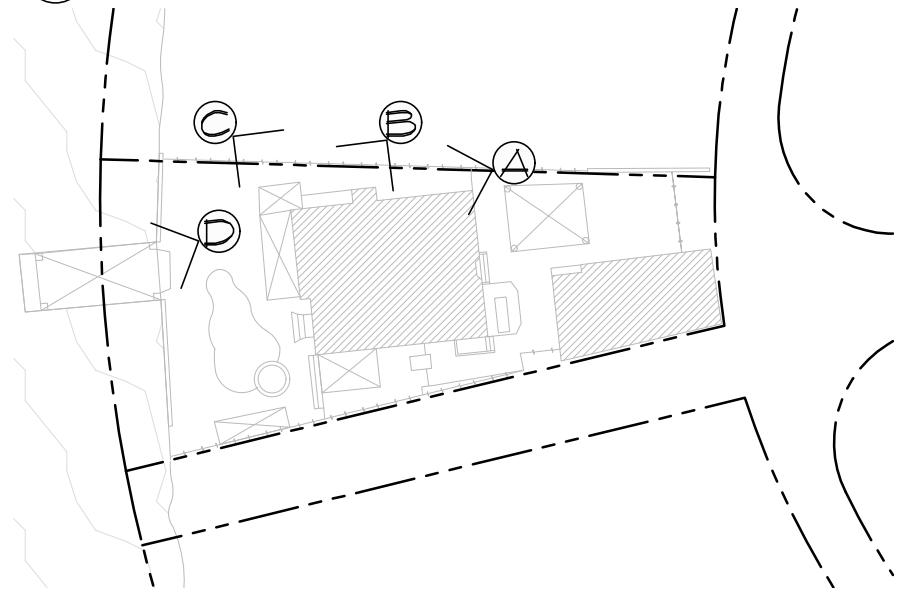
(B) EXISTING BUILDING - NORTHEAST



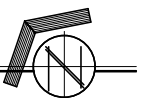
(C) EXISTING BUILDING - NORTHEAST



(D) EXISTING BUILDING - DOCK



EXISTING BUILDING



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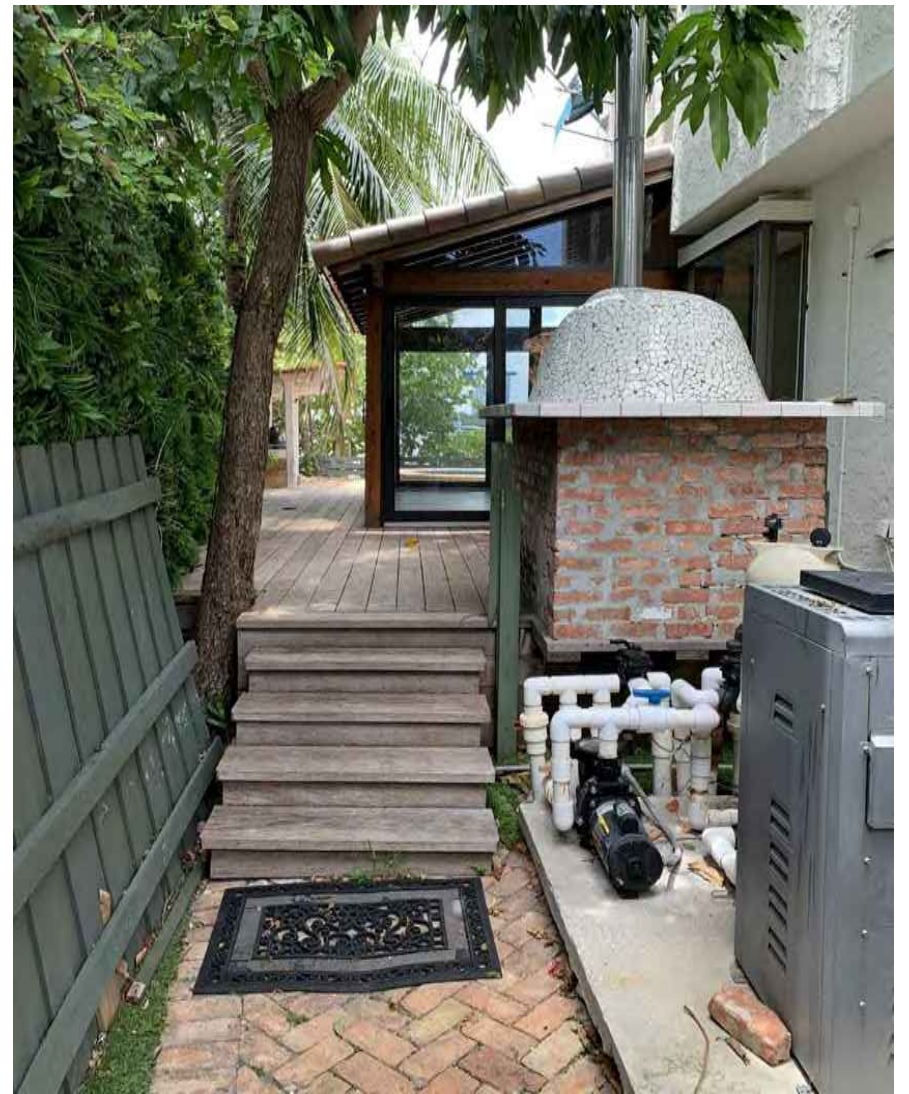




(A) EXISTING BUILDING - SOUTHWEST



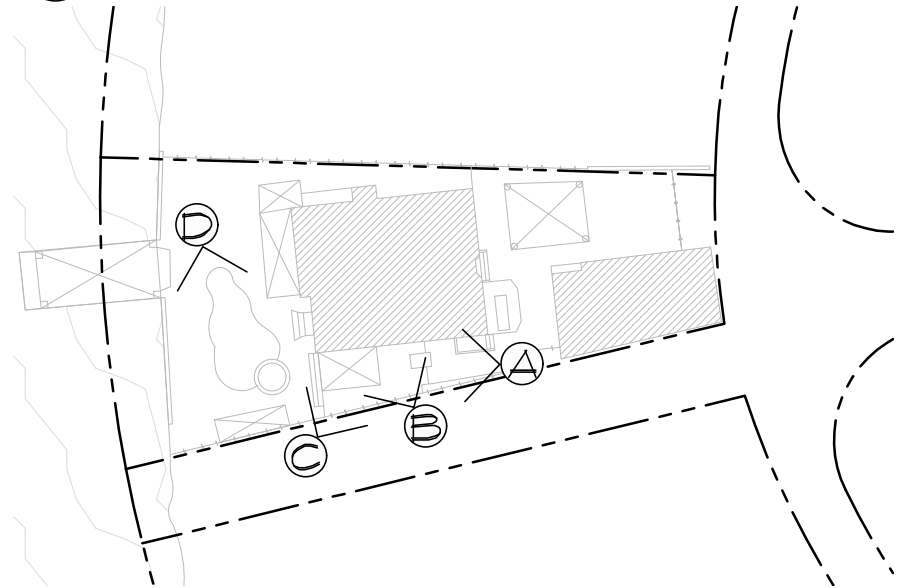
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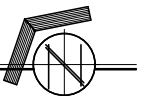
(C) EXISTING BUILDING - SOUTHWEST



(D) EXISTING BUILDING - REAR TERRACE, POOL & BBQ



EXISTING BUILDING



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① NEIGHBOR RESIDENCE



③ NEIGHBOR RESIDENCE



⑤ NEIGHBOR RESIDENCE



⑥ SITE EXISTING OWNER RESIDENCE



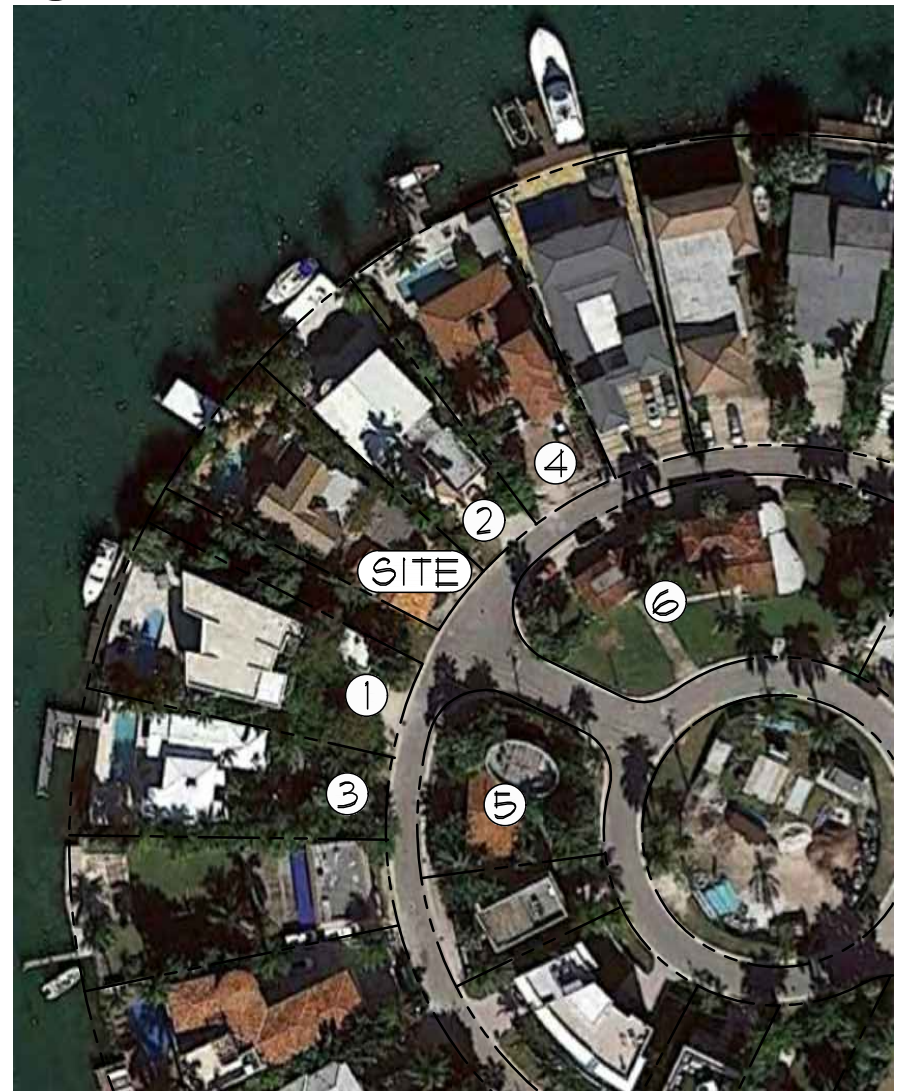
④ NEIGHBOR RESIDENCE



⑥ NEIGHBOR RESIDENCE



② NEIGHBOR RESIDENCE



NEIGHBORING CONTEXT

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(E) CONTEXT ELEVATION, EXISTING



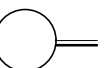
(P) CONTEXT ELEVATION, PROPOSED



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(E) CONTEXT ELEVATION, EXISTING

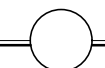


(P) CONTEXT ELEVATION, PROPOSED



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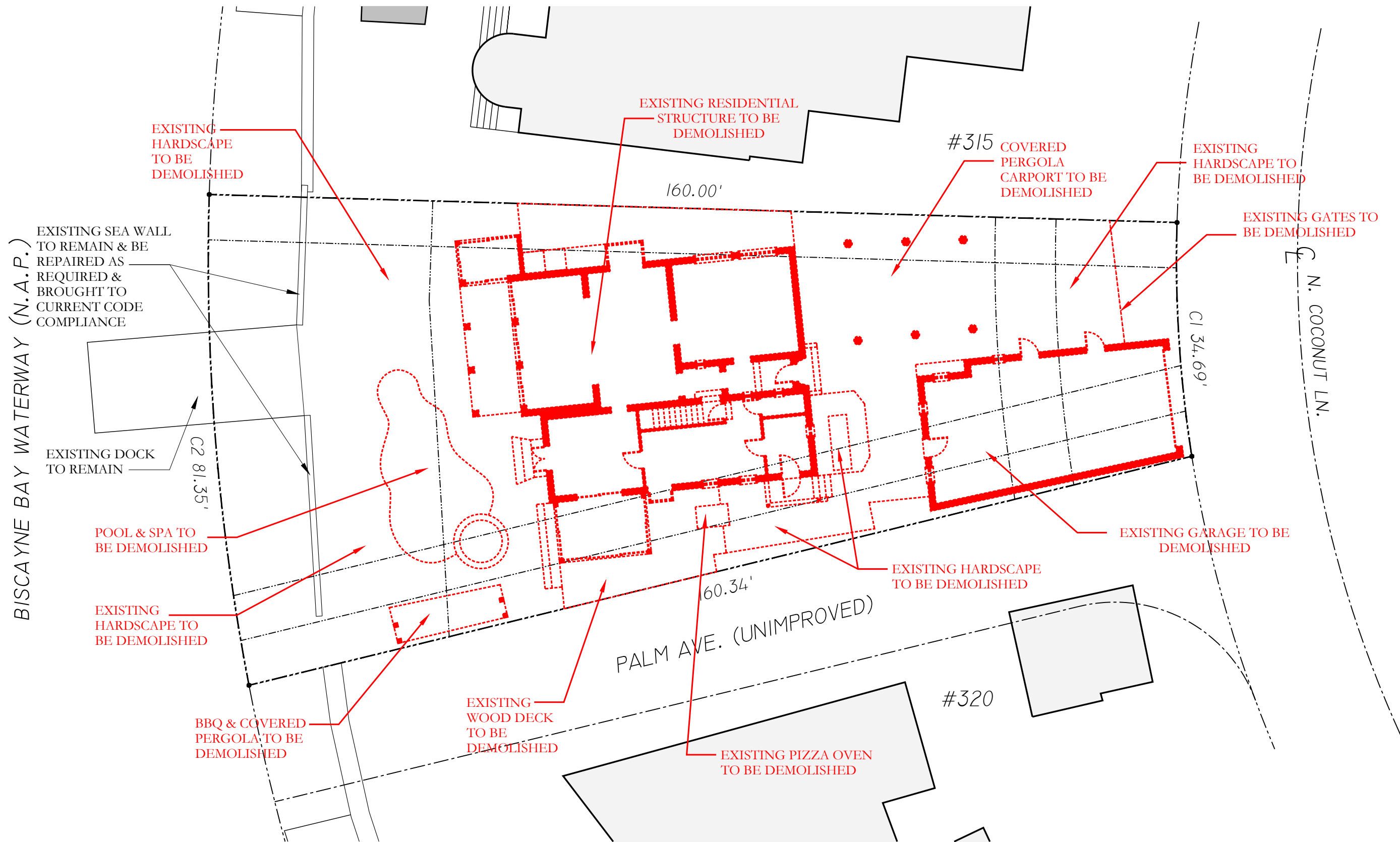
A-012





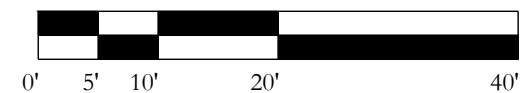
**SHEET:** 1 OF 1





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1 DEMOLITION SITE PLAN  
1/16"=1'-0"

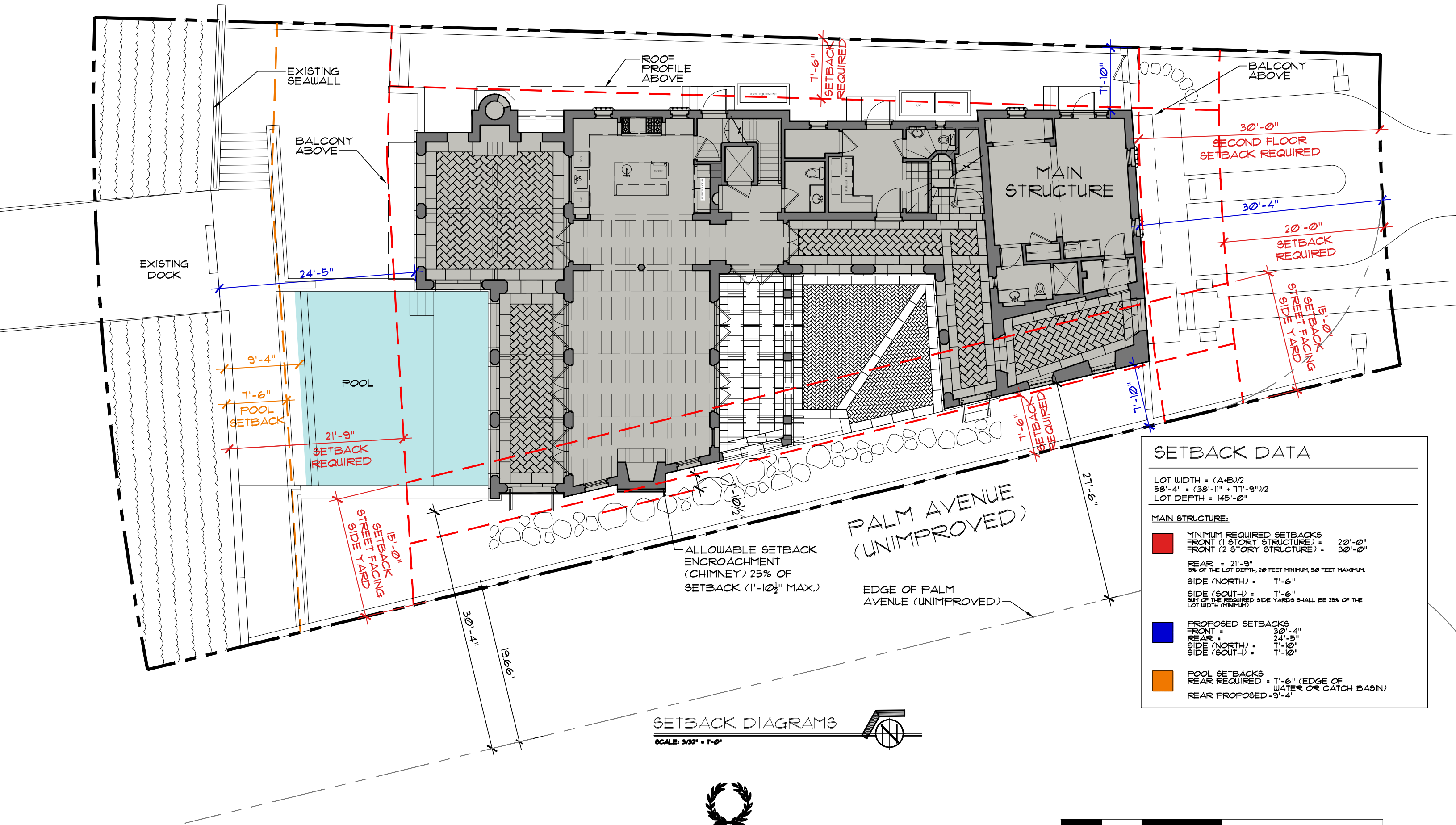


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SETBACK DATA	
LOT WIDTH = (A+B)/2 58'-4" = (38'-11" + 21'-9")/2	
LOT DEPTH = 145'-0"	
MAIN STRUCTURE:	
<div></div>	MINIMUM REQUIRED SETBACKS
<div></div>	FRONT (1 STORY STRUCTURE) = 20'-0"
<div></div>	FRONT (2 STORY STRUCTURE) = 30'-0"
<div></div>	REAR = 21'-9"
<div></div>	5% OF THE LOT DEPTH, 20 FEET MINIMUM, 50 FEET MAXIMUM.
<div></div>	SIDE (NORTH) = 7'-6"
<div></div>	SIDE (SOUTH) = 7'-6"
<div></div>	SUM OF THE REQUIRED SIDE YARDS SHALL BE 25% OF THE LOT WIDTH (MINIMUM)
<div></div>	PROPOSED SETBACKS
<div></div>	FRONT = 30'-4"
<div></div>	REAR = 24'-5"
<div></div>	SIDE (NORTH) = 7'-10"
<div></div>	SIDE (SOUTH) = 7'-10"
<div></div>	POOL SETBACKS
<div></div>	REAR REQUIRED = 7'-6" (EDGE OF WATER OR CATCH BASIN)
<div></div>	REAR PROPOSED = 9'-4"

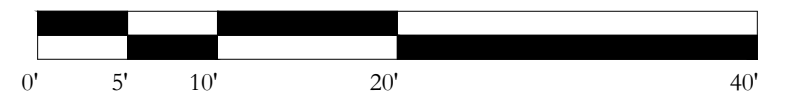
SETBACK DIAGRAMS

SCALE: 3/32" = 1'-0"



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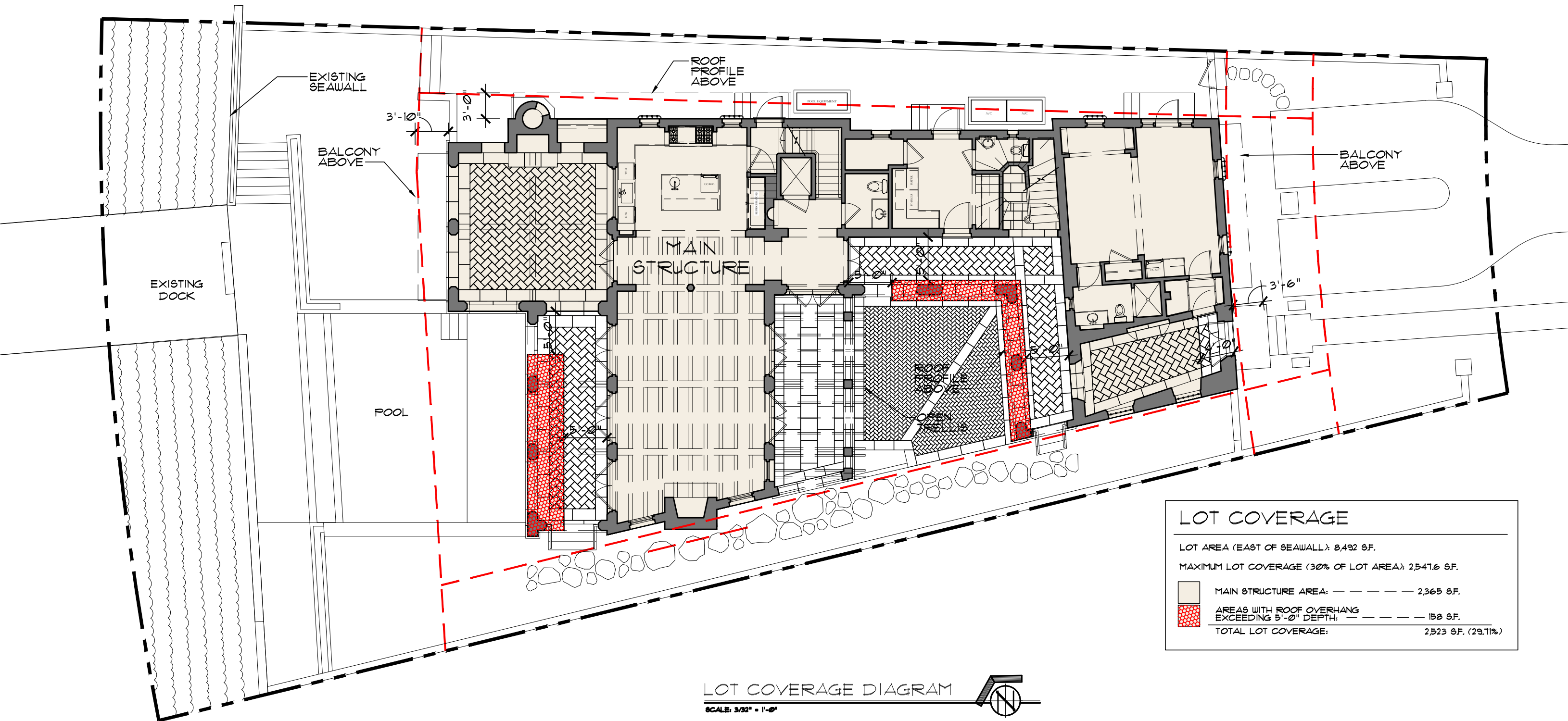
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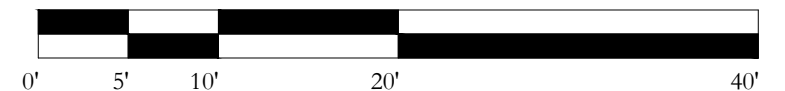
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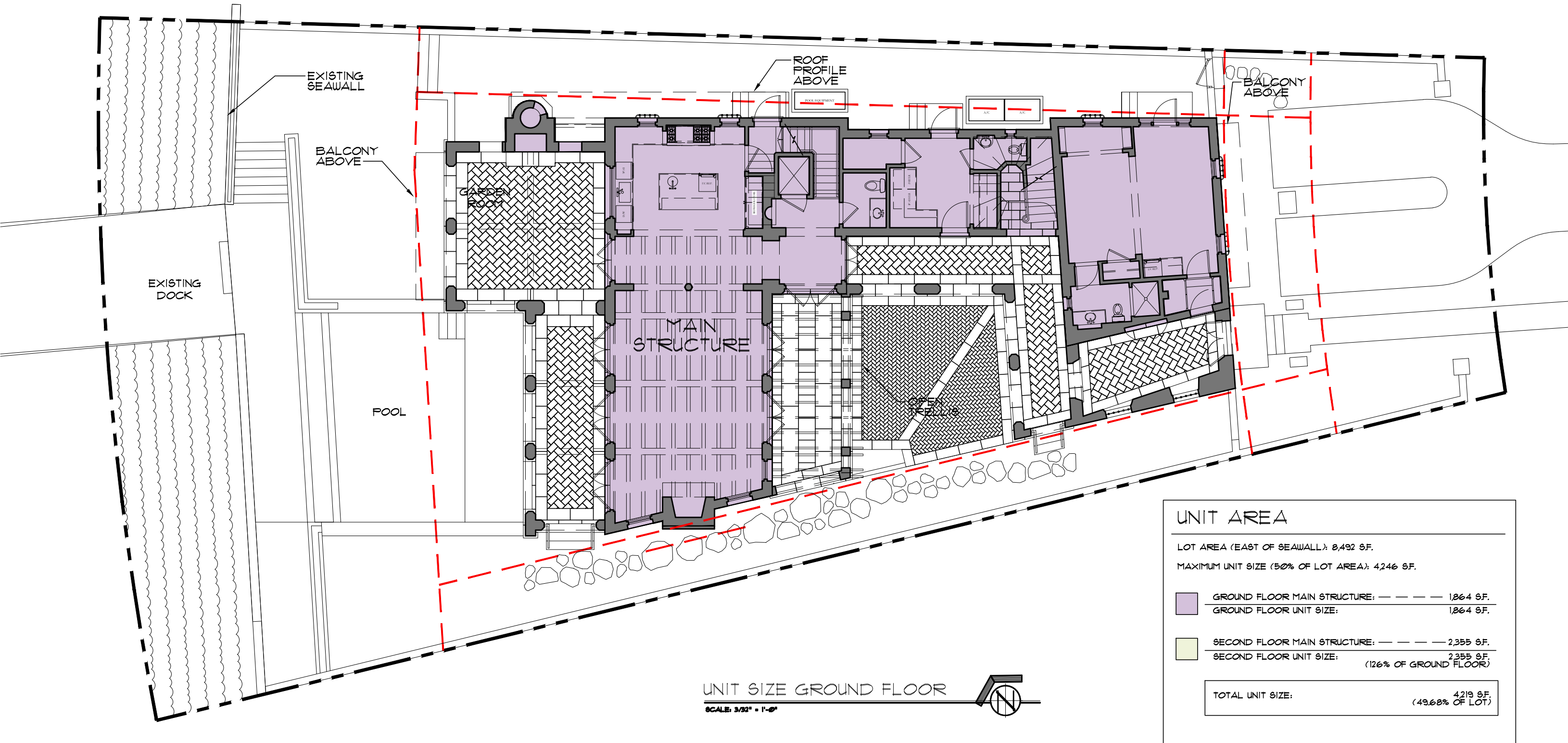
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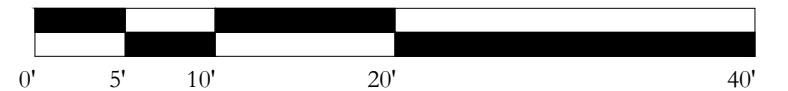
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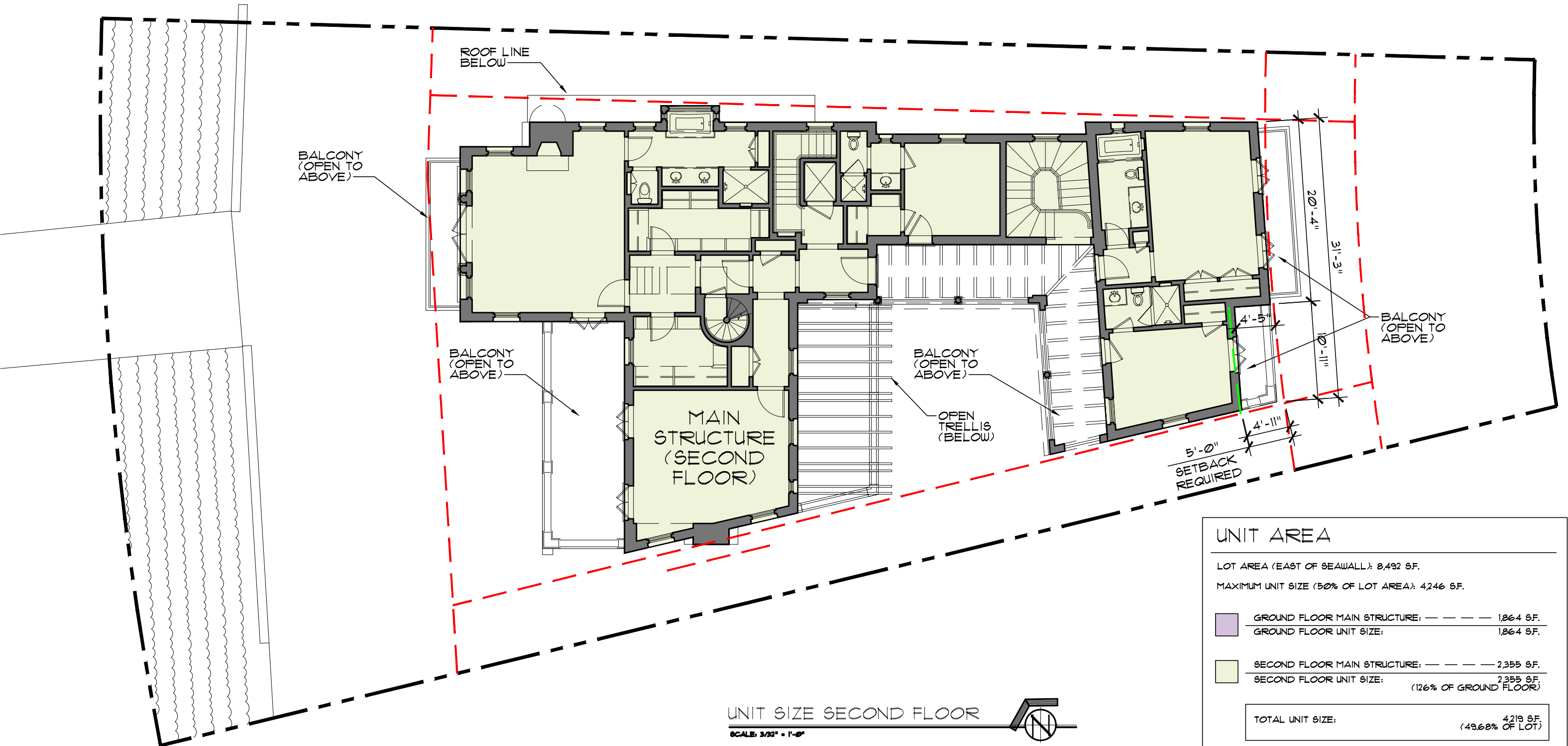
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A-105.1





UNIT AREA	
LOT AREA (EAST OF SEAWALL): 8,492 SF.	
MAXIMUM UNIT SIZE (50% OF LOT AREA): 4,246 SF.	
<div></div> GROUND FLOOR MAIN STRUCTURE: — — — —	1,864 SF.
GROUND FLOOR UNIT SIZE: 1,864 SF.	
<div></div> SECOND FLOOR MAIN STRUCTURE: — — — —	2,355 SF.
SECOND FLOOR UNIT SIZE:	2,355 SF. (126% OF GROUND FLOOR)
TOTAL UNIT SIZE: 4,219 SF. (49.68% OF LOT)	

UNIT SIZE SECOND FLOOR  
SCALE: 1/32" = 1'-0"



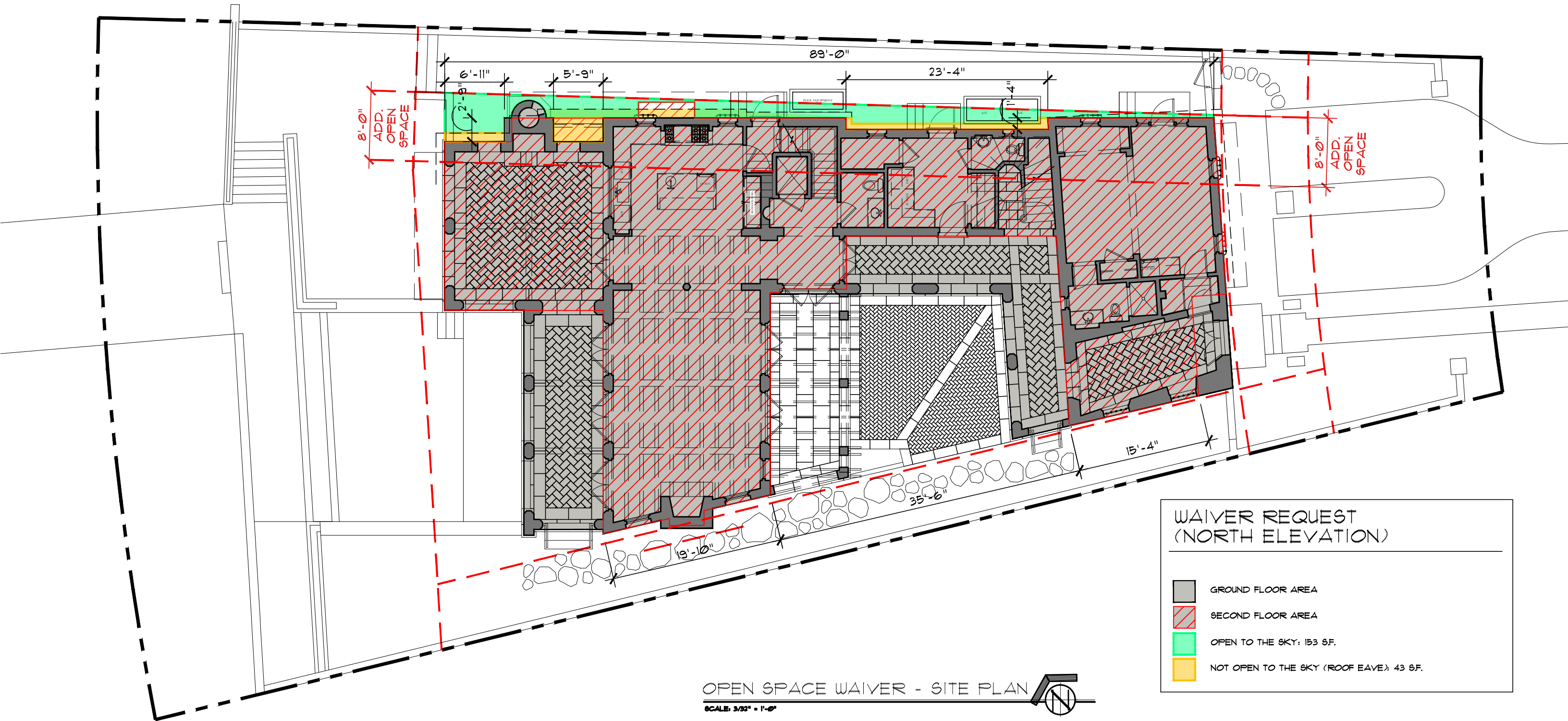
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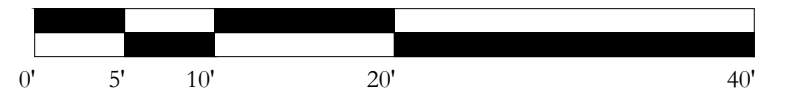
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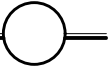
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OPEN SPACE WAIVER - NORTH ELEVATION (Perspective)

SCALE: 3/32" = 1'-0"



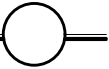
WAIVER REQUEST  
(NORTH ELEVATION)

-  OPEN TO THE SKY (FURTHEST FROM SETBACK)
-  OPEN TO THE SKY (CLOSEST TO SETBACK)
-  NOT OPEN TO THE SKY (ROOF EAVE)
-  ELEMENTS UNDER CANOPY (NOT OPEN TO SKY)

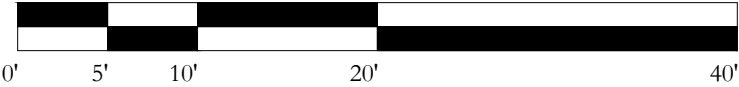


OPEN SPACE WAIVER - NORTH ELEVATION

SCALE: 3/32" = 1'-0"



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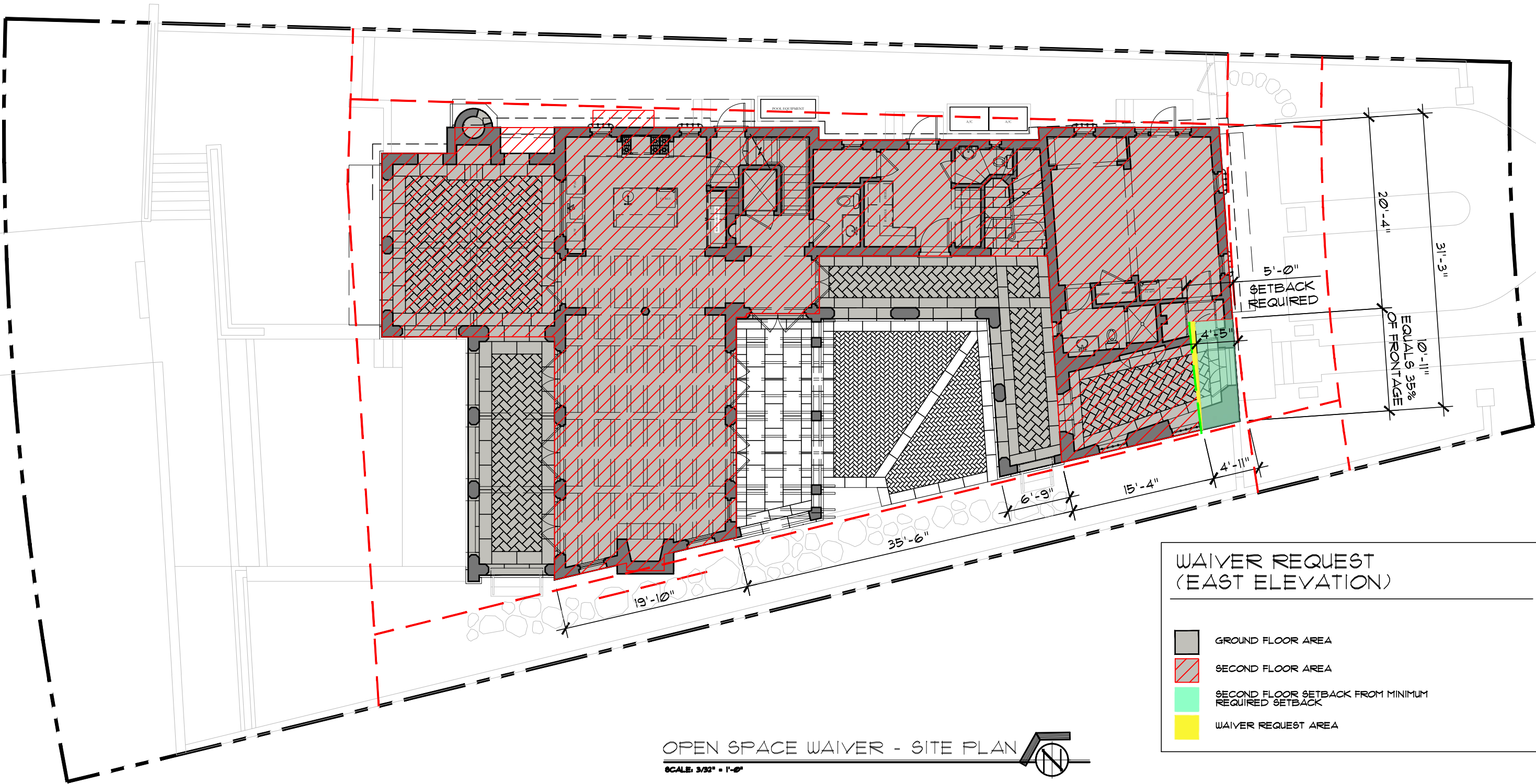


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A-106.2

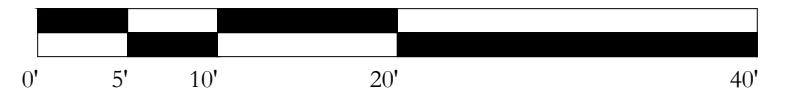




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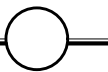








OPEN SPACE WAIVER - EAST ELEVATION (Perspective)

SCALE: 3/32" = 1'-0"



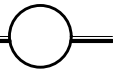
WAIVER REQUEST  
(EAST ELEVATION)

-  OPEN TO THE SKY (FURTHEST FROM SETBACK)
-  OPEN TO THE SKY (CLOSEST TO SETBACK)

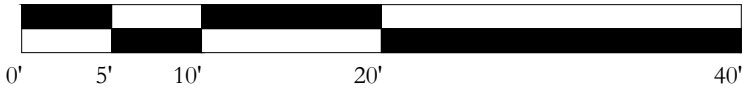


OPEN SPACE WAIVER - EAST ELEVATION

SCALE: 3/32" = 1'-0"



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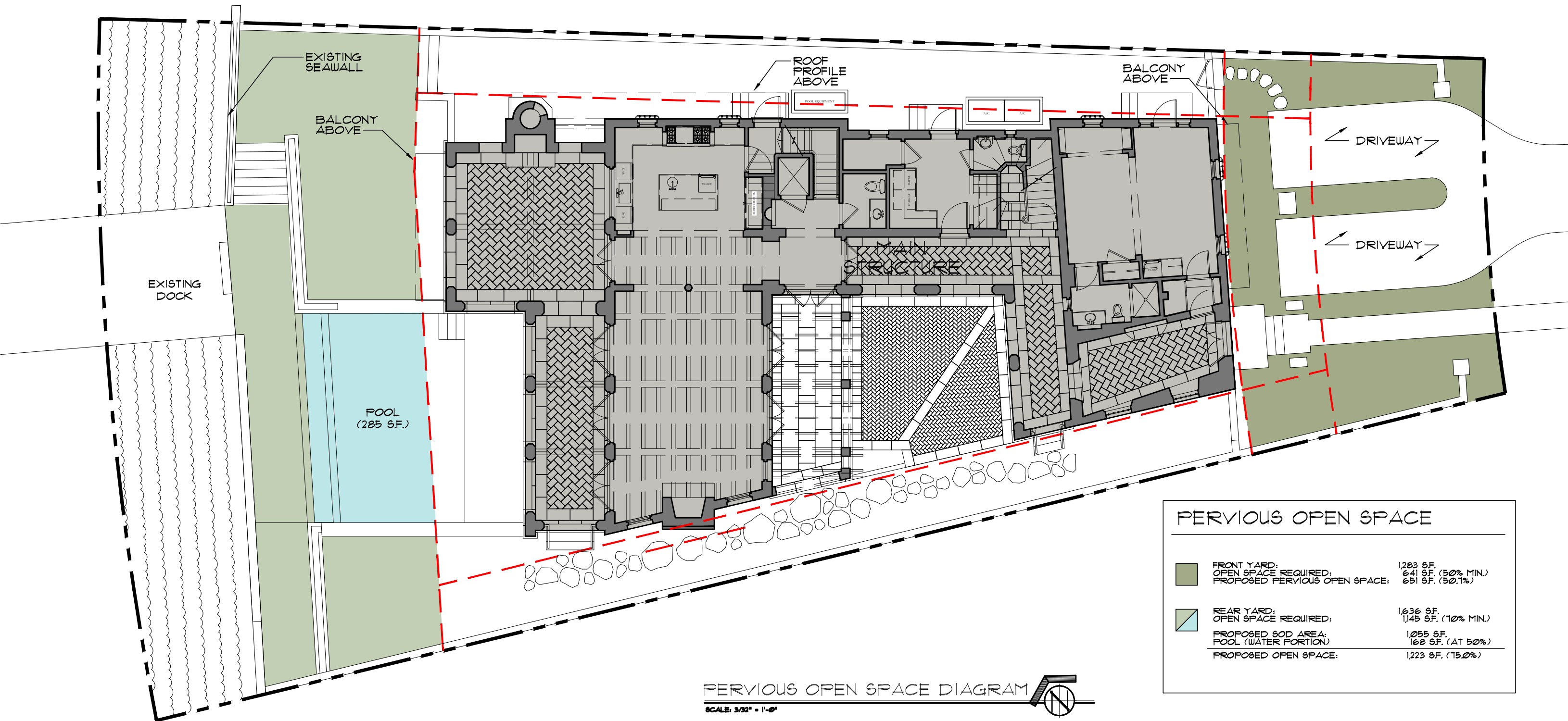


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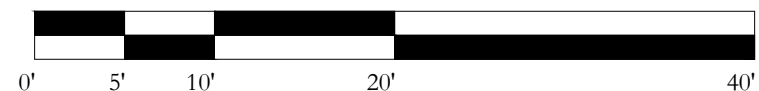
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## MODIFICATION HISTORY NOTES

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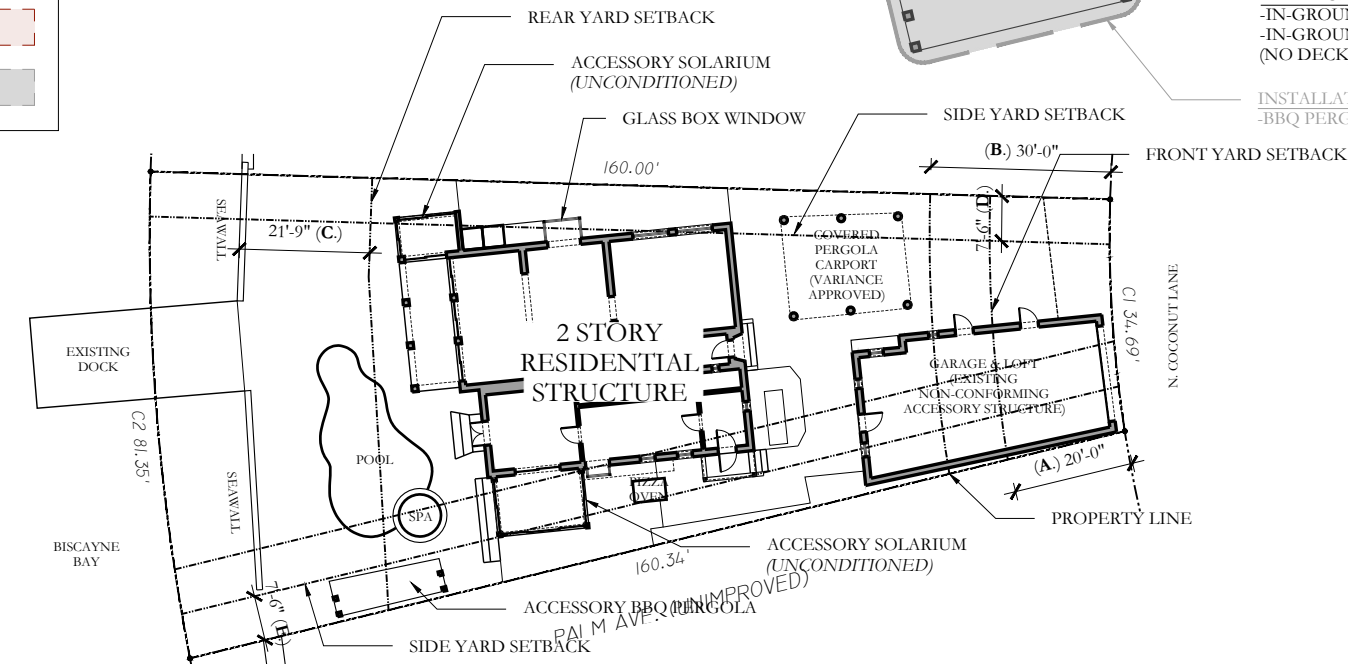
MAJOR MODIFICATIONS PER PERMIT RECORDS AVAILABLE FROM PUBLIC RECORD SOURCES:

- PERMIT #[UNKNOWN] (1929): GARAGE & DOCK ADDITION
- PER PERMIT #88966 (1975): ADDED PERGOLA TO WEST SIDE; REMOVED WEST WALL AND ADDED COLUMNS; ADDED TRELLIS AND PERIMETER WALL AT NORTHEAST PATIO; ADDED BAHAMA SHUTTERS TO FACADE; ADDED STORAGE LOFT TO GARAGE INTERIOR
- PERMIT NUMBER UNKNOWN (1976): WAIVER TO BUILD A CARPORT
- PER PERMIT #BS931703 (1993): REMOVED AND REPLACED TILE W/SAME ALTUSA CLAY
- PER PERMIT #B0303409 (2003): INSTALLED NEW SWIMMING POOL & SPA (NO DECK)
- PER PERMIT #B0400039 (2003): ADDED 12 WINDOW AWNINGS
- PER PERMIT #B0402754 (2004): INSTALLED 18 IMPACT WINDOWS
- PER PERMIT #UNKNOWN (TBD): INSTALLED BBQ PERGOLA FOLLOWING MINOR PERMIT B070491 FOR RESURFACING & MISC. PERMITS FOR ELEC, PLUMBING & BOILER
- PER PERMIT #B0400039 (2014): INSTALLED 7 ALUM. PANEL SHUTTERS, 5 IMPACT WINDOWS, 3 IMPACT SLIDING GLASS DOORS, 1 IMPACT SWING DOOR AND 1 ACCORDION (9 OPENINGS)
- PER PERMIT #RFR1900905 (2019): RE-ROOF OF TILE & FLAT ROOFS

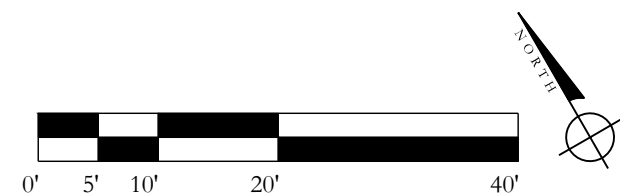
## MODIFICATION HISTORY LEGEND

MODIFIED AREA PER #[UNKNOWN] (1929) SHOWN IN GREEN	
MODIFIED AREA PER #88966 (1975) SHOWN IN BLUE	
MODIFIED AREA PER #[UNKNOWN] (1976) SHOWN IN RED	
MODIFIED AREA PER #B0303409 (2003) SHOWN IN YELLOW	
MODIFIED AREA PER #B0402754 (2004) SHOWN IN CYAN	
MODIFIED AREA #B0400039 (2014) SHOWN IN MAGENTA	
MODIFIED AREA (DATE UNKNOWN) SHOWN IN GRAY	

SETBACK DATA	
LOT WIDTH = $(A+B)/2$ $58'-4" = (38'-11" + 77'-9")/2$ LOT DEPTH = $145'-0"$ [LAND]	
MAIN STRUCTURE:	
MINIMUM REQUIRED SETBACKS:	
FRONT (1 STORY STRUCTURE) =	20'-0" (A.)
FRONT (2 STORY STRUCTURE) =	30'-0" (B.)
REAR =	21'-9" (C.)
15% OF THE LOT DEPTH, 20 FEET MINIMUM, 50 FEET MAXIMUM	
SIDE (NORTH) =	7'-6" (D.)
SIDE (SOUTH) =	7'-6" (E.)
SUM OF THE REQ'D. SIDE YARDS SHALL BE 25% OF THE LOT WIDTH (MIN.)	



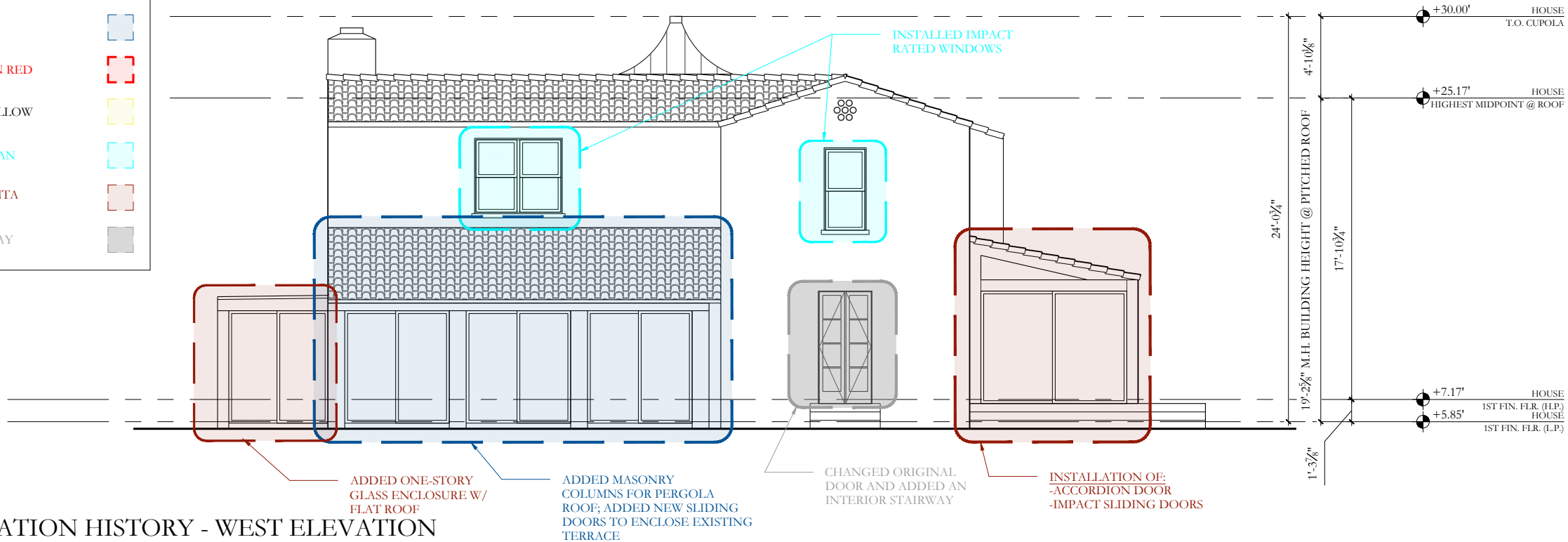
2 EXISTING SITE & RESIDENCE KEY PLAN  
1/32"=1'-0"



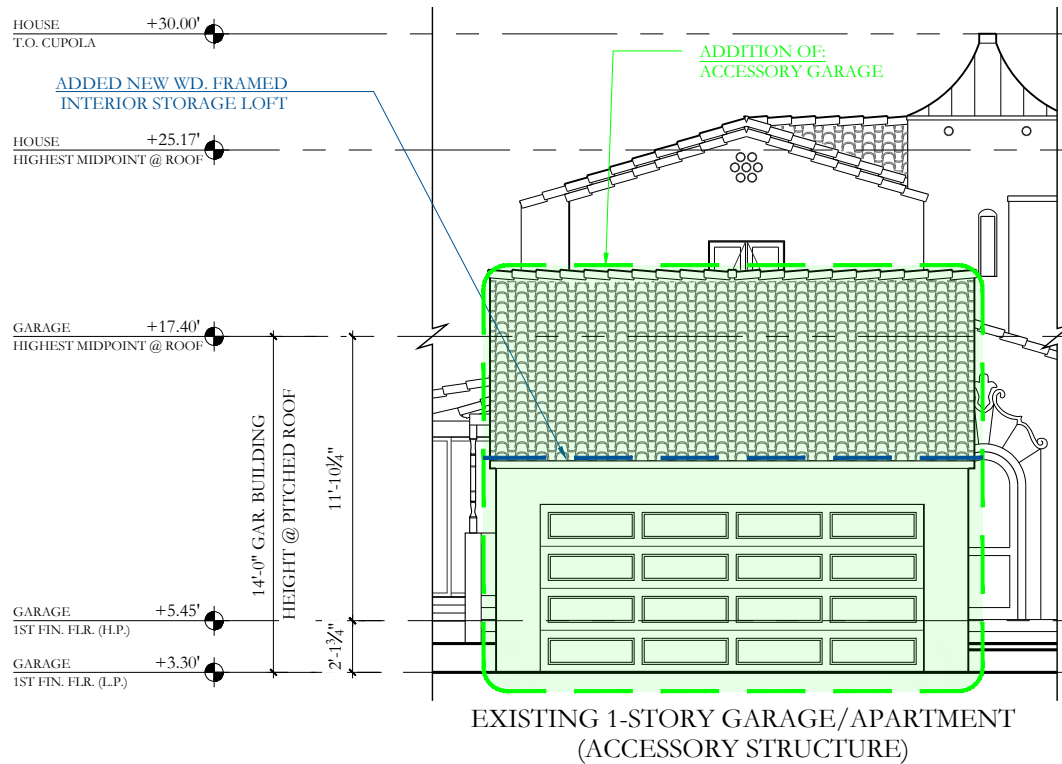


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MODIFIED AREA #B0400039 (2014) SHOWN IN MAGENTA	
MODIFIED AREA (DATE UNKNOWN) SHOWN IN GRAY	

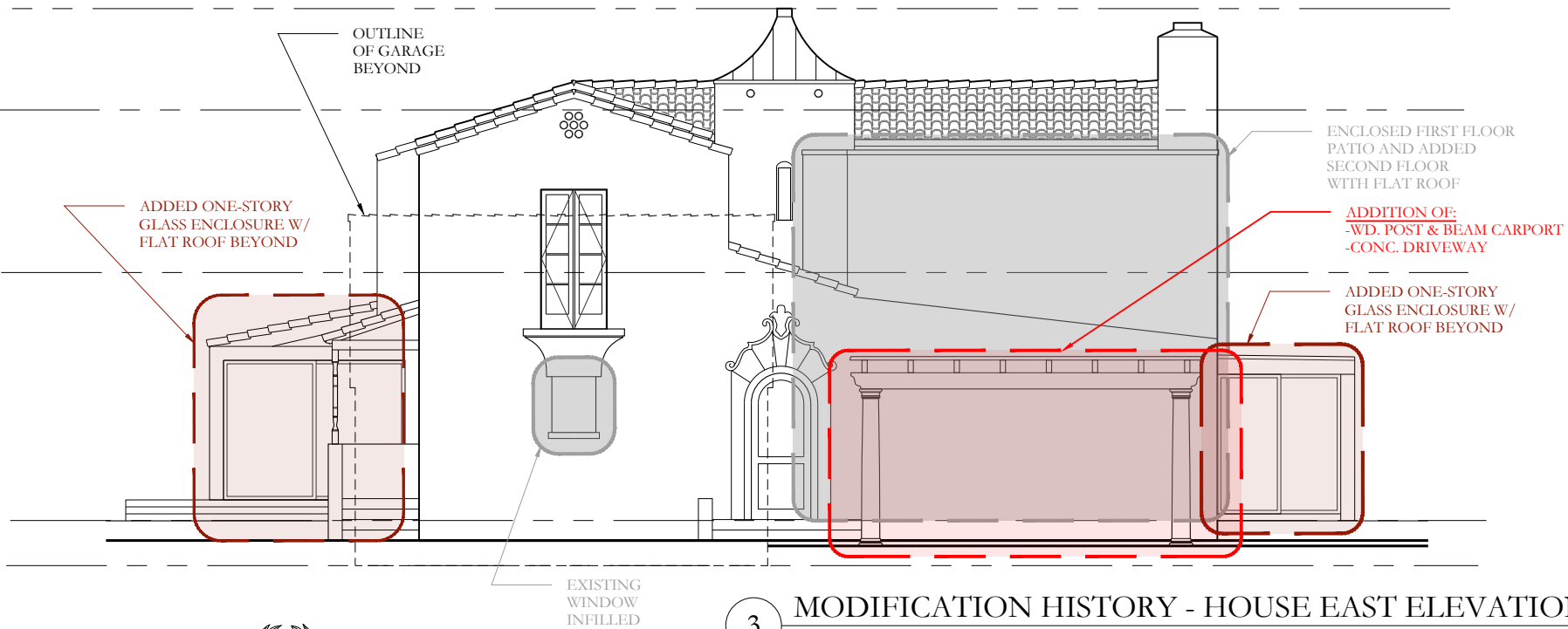
NOTE: ELEVATIONS  
REFERENCED TO NGVD  
SURVEY ELEVATIONS



1 MODIFICATION HISTORY - WEST ELEVATION  
1/8"=1'-0"



2 MODIFICATION HISTORY - GARAGE EAST ELEVATION  
1/8"=1'-0"



3 MODIFICATION HISTORY - HOUSE EAST ELEVATION  
1/8"=1'-0"



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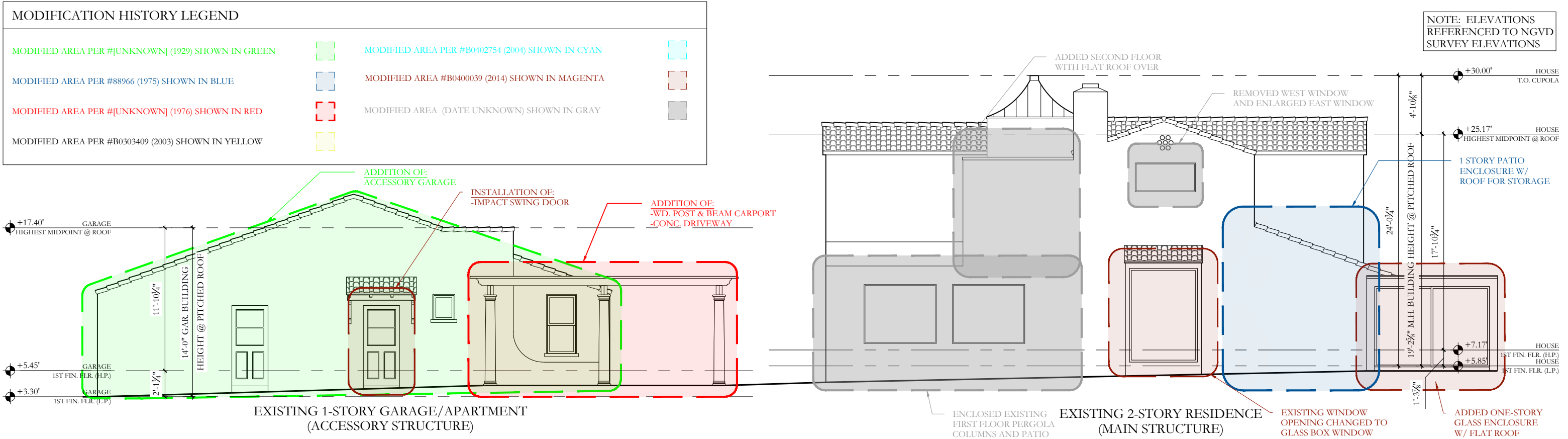


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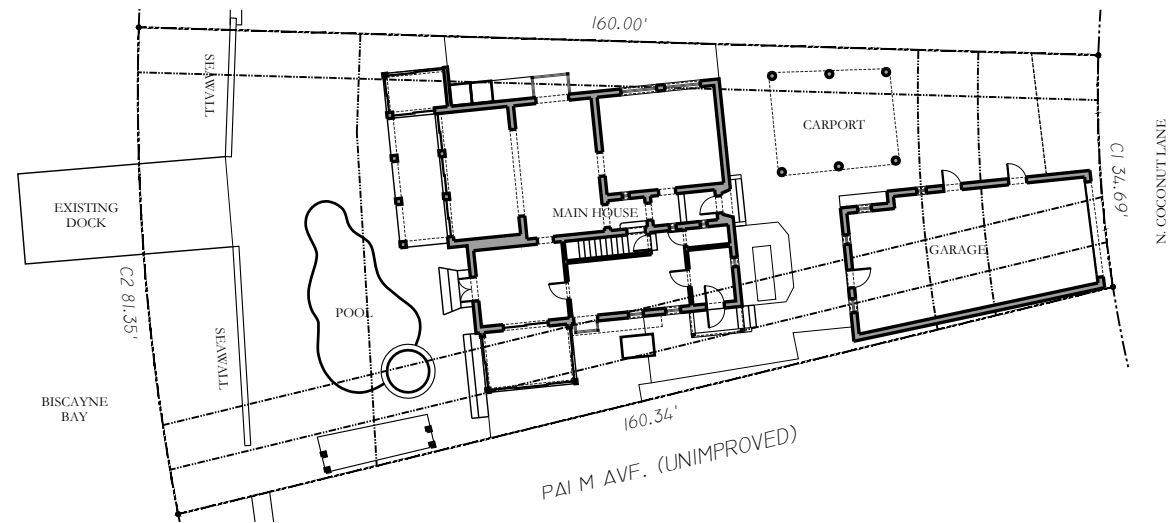




1 FRONT VIEW (1929 - 1975 ) PRIOR TO CAR PORT & GATE  
1/32"=1'-0"



2 FRONT VIEW (PRESENT DAY) AFTER CAR PORT & GATE  
1/32"=1'-0"



3 EXISTING SITE & RESIDENCE KEY PLAN  
1/32"=1'-0"



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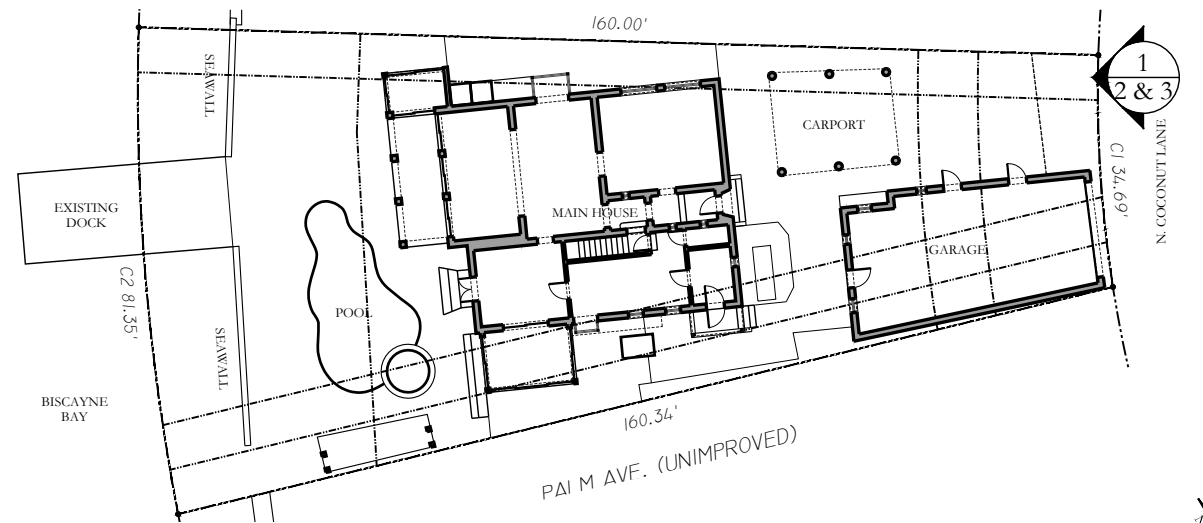
1 FRONT VIEW (1929 - 1975 ) PRIOR TO CAR PORT & GATE  
NTS



2 FRONT VIEW (1975 - 2000s) AFTER CAR PORT  
NTS



3 FRONT VIEW (PRESENT DAY) AFTER REPAVING  
NTS



4 EXISTING SITE & RESIDENCE KEY PLAN  
1/32"=1'-0"



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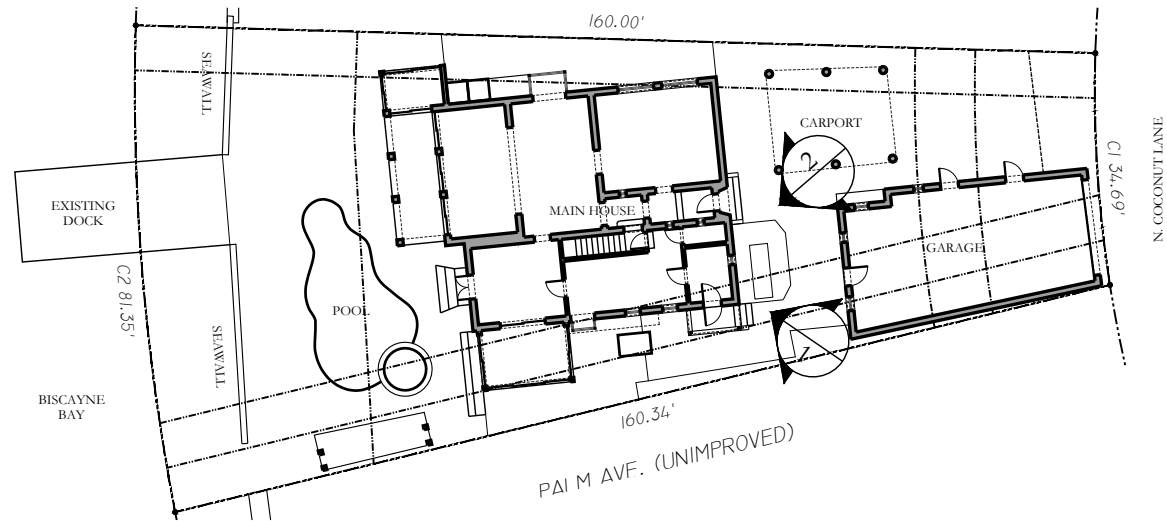




1 SIDE VIEW (1929 - 1975 ) PRIOR TO WINDOW REPLACEMENTS  
NTS



2 SIDE VIEW (PRESENT DAY) AFTER WINDOW REPLACEMENTS & AWNINGS ADDED  
NTS



3 EXISTING SITE & RESIDENCE KEY PLAN  
1/32"=1'-0"



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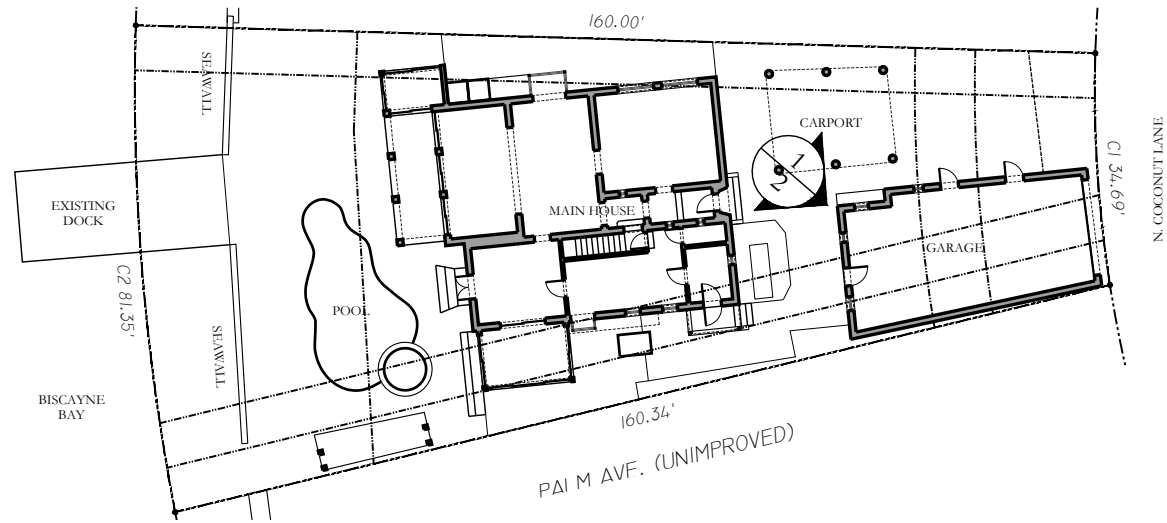




1 REAR VIEW - GARAGE/APT (1929 - 1975 ) PRIOR TO CAR PORT  
NTS



2 REAR VIEW - GARAGE/APT (PRESENT ) AFTER CAR PORT & WINDOW REPLACEMENTS  
NTS



3 EXISTING SITE & RESIDENCE KEY PLAN  
1/32"=1'-0"



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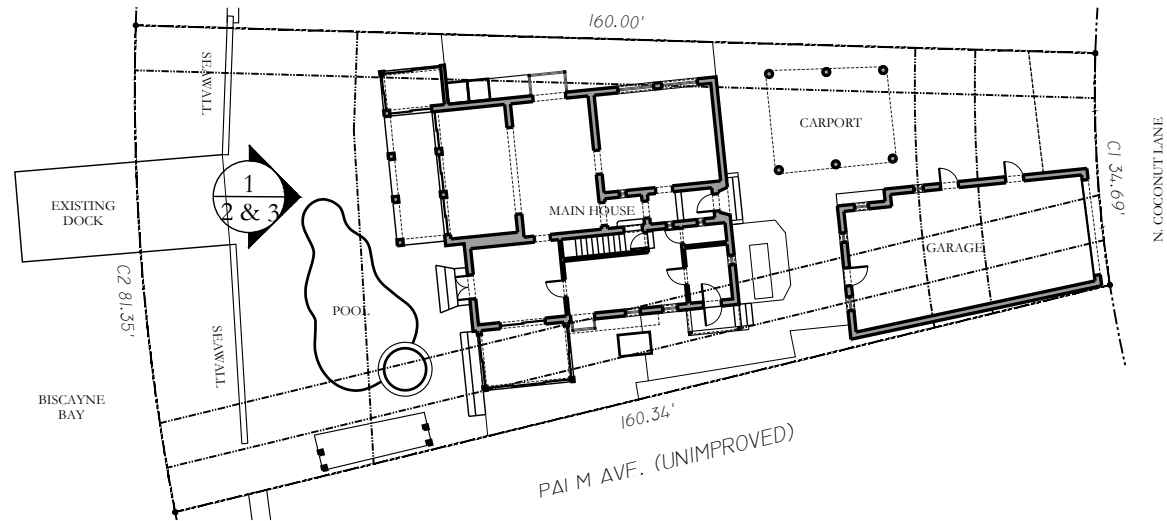
1 REAR VIEW (1929 - 1975 ) PRIOR TO TRELLIS  
NTS



2 REAR VIEW (1975 - 2000s) AFTER TRELLIS  
NTS



3 REAR VIEW (2000s - PRESENT) AFTER POOL & WINDOW REPLACEMENTS  
NTS



4 EXISTING SITE & RESIDENCE KEY PLAN  
1/32"=1'-0"



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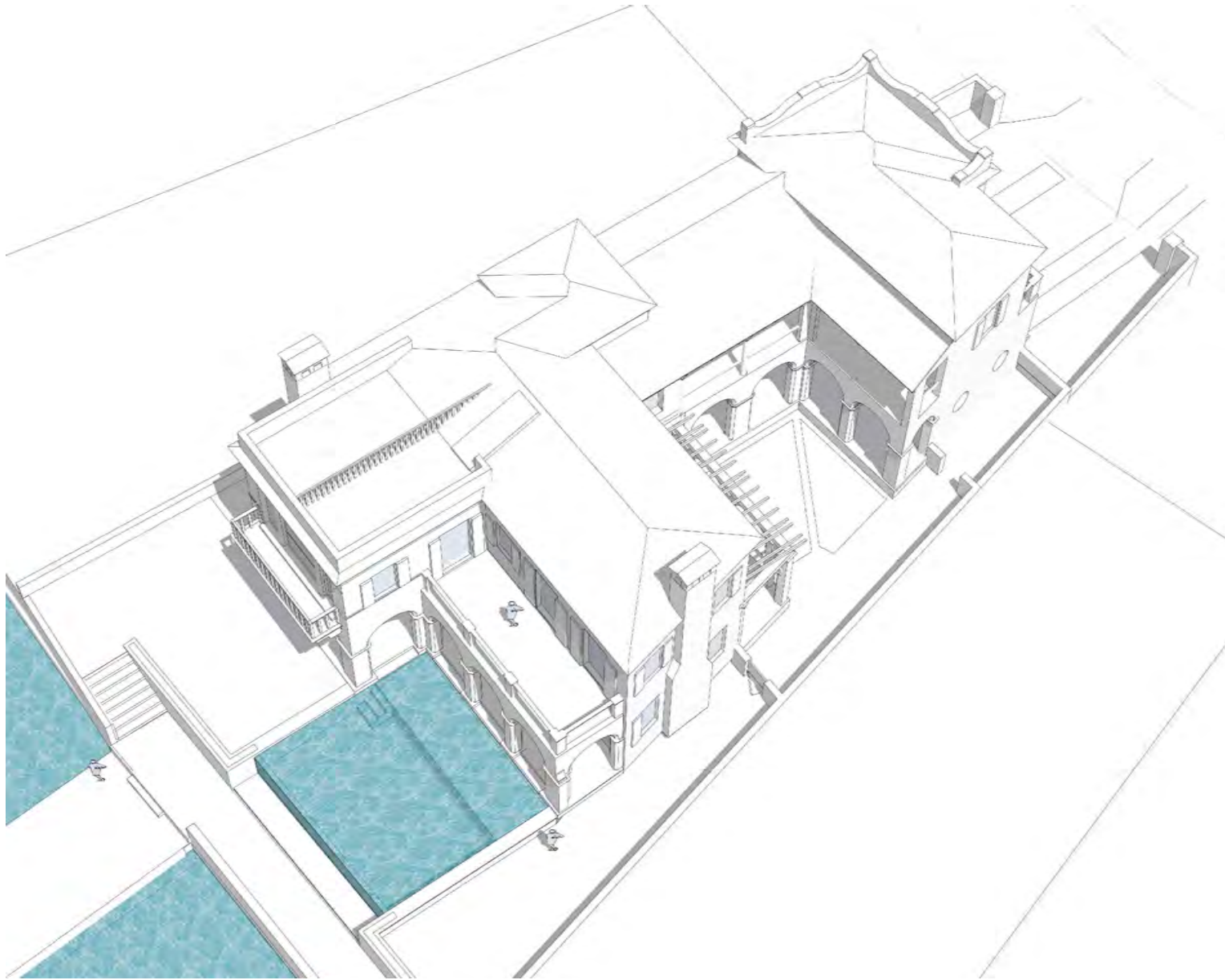
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1 MASSING AXONOMETRIC - VIEW FROM SOUTHWEST



1 MASSING AXONOMETRIC - VIEW FROM NORTHEAST



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Private Residence  
317 N. Coconut Lane  
Miami Beach

F L O R I D A

November 5, 2021

### Sheet Index

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- L6.0 - Hardscape Plan - 11.05.21
- L7.0 - Landscape Lighting Plan - 11.05.21
- L7.1 - Landscape Lighting Fixture Specifications - 11.05.21
- L8.0 - Topographic Cross Section - 11.05.21
- L8.1 - Topographic Cross Section - 11.05.21

Dustin M  
Mizell

Digitally signed by  
Dustin M Mizell  
Date: 2021.11.08  
10:34:32 -05'00'





Street View to Site



View to North Buffer



View to West from Drive



View to Front Entry



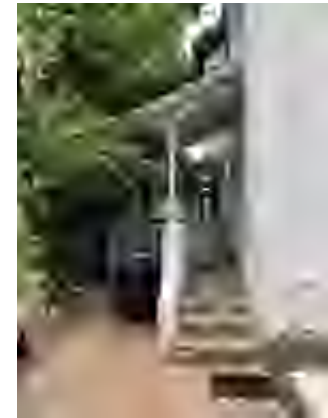
West View to Garage Apartment



View to South Buffer



East View to Garage Apartment



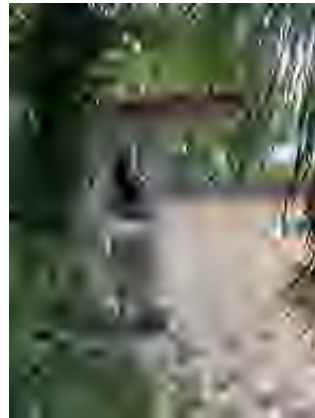
View to South Side Yard



View to South Side Yard



View to South Side Yard



View to Rear Yard



North View to Rear Yard



Northeast View to Rear Yard



View to North Side Yard

Private Residence  
 317 N. Coconut Lane  
 Miami Beach

F L O R I D A

JOB NUMBER: # 21196.00 LA  
 DRAWN BY: Lauren Freeman  
 DATE: 08.27.2021  
 10.18.2021  
 11.05.2021

SHEET L1.0

Existing Site Photos





East View to Back Yard



Southwest View to South Yard



Northeast View to North Side Yard



View to North Side Yard



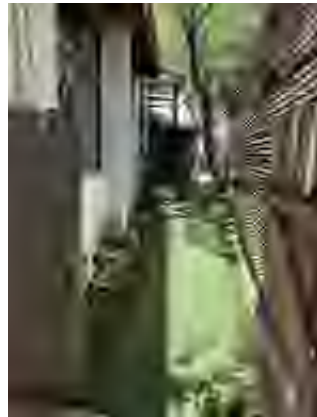
View to North Side Yard



View to North Side Yard



View to North Side Yard



Northwest View to North Side Yard

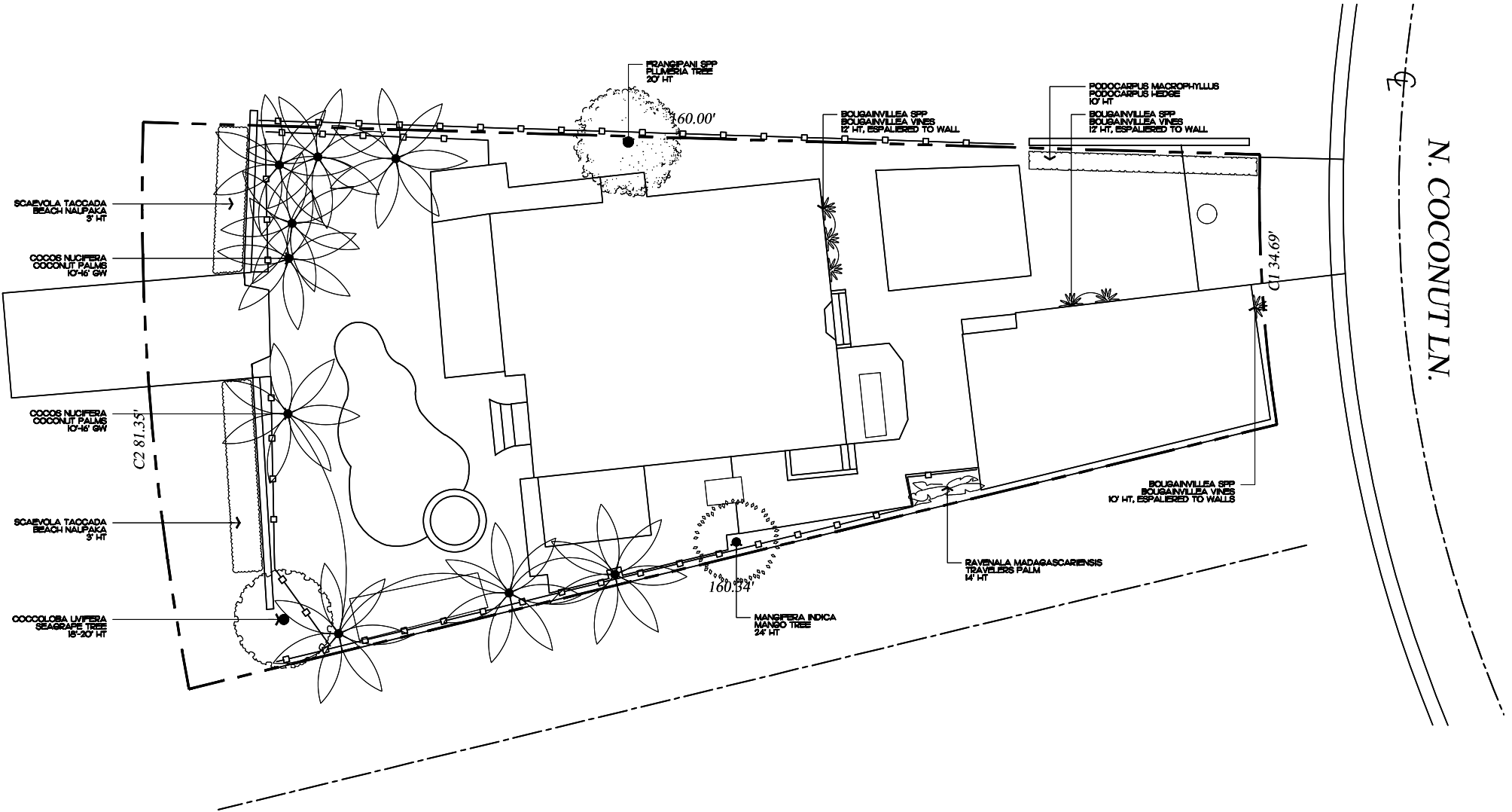
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Miami Beach

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DRAWN BY: Lauren Freeman  
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10.18.2021  
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SHEET L1.1

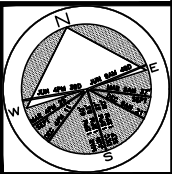


BISCAYNE BAY WATERWAY



Private Residence  
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Miami Beach

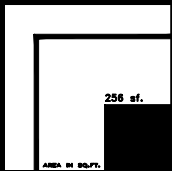
F L O R I D A



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DRAWN BY: Lauren Freeman  
DATE: 09.27.2021  
10.19.2021  
11.05.2021

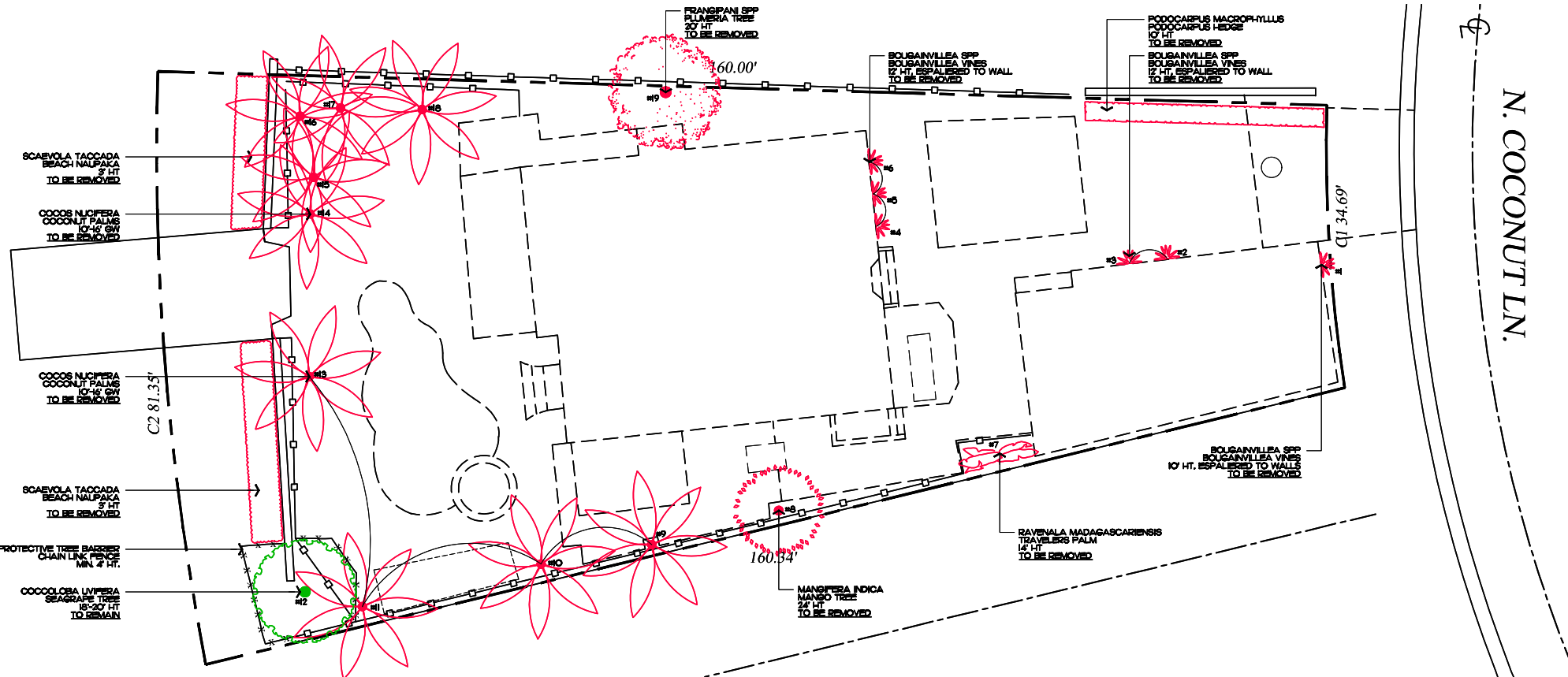
SHEET L2.0

# Existing Vegetation Inventory Plan





BISCAYNE BAY WATERWAY



N. COCONUT LN.

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317 N. Coconut Lane  
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ENVIRONMENTAL  
DESIGN  
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130 North County Road 5700-0 Palm Beach, FL 33400  
Phone 561.832.4000 Mobile 561.313.4404  
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Landscape Management  
Dustin M. Ward, MIA, RLA #0080764  
dward@environmentaldesigngroup.com

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D  
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## Tree & Palm Mitigation Schedule

TREE #	SCIENTIFIC NAME	COMMON NAME	DBH (IN.)	DBH (IN.) MITIGATION	HEIGHT	CONDITION	DISPOSITION
1	BOUGAINVILLEA SPP.	BOUGAINVILLEA VINES	8"	N/A	10' HT	FAIR	REMOVE (NO MITIGATION)
2	BOUGAINVILLEA SPP.	BOUGAINVILLEA VINES	6"	N/A	12' HT	FAIR	REMOVE (NO MITIGATION)
3	BOUGAINVILLEA SPP.	BOUGAINVILLEA VINES	6"	N/A	12' HT	FAIR	REMOVE (NO MITIGATION)
4	BOUGAINVILLEA SPP.	BOUGAINVILLEA VINES	6"	N/A	12' HT	FAIR	REMOVE (NO MITIGATION)
5	BOUGAINVILLEA SPP.	BOUGAINVILLEA VINES	6"	N/A	12' HT	FAIR	REMOVE (NO MITIGATION)
6	BOUGAINVILLEA SPP.	BOUGAINVILLEA VINES	6"	N/A	12' HT	FAIR	REMOVE (NO MITIGATION)
7	RAVELANA MADAGASCARIENSIS	TRAVELERS PALM	N/A	N/A	14' HT	FAIR	REMOVE (NO MITIGATION)
8	MANGIFERA INDICA	MANGO TREE	8"	N/A	24' HT	FAIR	REMOVE (NO MITIGATION)
9	COCOS NUCIFERA	COCONUT PALM	9"	N/A	12' GW	FAIR	REMOVE (NO MITIGATION)
10	COCOS NUCIFERA	COCONUT PALM	9"	N/A	12' GW	FAIR	REMOVE (NO MITIGATION)
11	COCOS NUCIFERA	COCONUT PALM	9"	N/A	12' GW	FAIR	REMOVE (NO MITIGATION)
12	COCOCLOBA UVIFERA	SEAGRAPE TREE	18"	N/A	18'-20' HT	GOOD	REMAIN/PROTECT
13	COCOS NUCIFERA	COCONUT PALM	9"	N/A	12' GW	FAIR	REMOVE (NO MITIGATION)
14	COCOS NUCIFERA	COCONUT PALM	9"	N/A	16' GW	FAIR	REMOVE (NO MITIGATION)
15	COCOS NUCIFERA	COCONUT PALM	9"	N/A	16' GW	FAIR	REMOVE (NO MITIGATION)
16	COCOS NUCIFERA	COCONUT PALM	9"	N/A	16' GW	FAIR	REMOVE (NO MITIGATION)
17	COCOS NUCIFERA	COCONUT PALM	9"	N/A	16' GW	FAIR	REMOVE (NO MITIGATION)
18	COCOS NUCIFERA	COCONUT PALM	9"	N/A	16' GW	FAIR	REMOVE (NO MITIGATION)
19	FRANGIPANI SPP	PLUMERIA TREE	15"	N/A	20' GW	FAIR	REMOVE (NO MITIGATION)

### NOTE

-ALL PROTECTIVE BARRIERS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION OR SITE DEVELOPMENT, INCLUDING TREE REMOVAL, DEMOLITION OR LAND-CLEARING ACTIVITIES, AND SHALL REMAIN IN PLACE THROUGHOUT ALL PHASES OF CONSTRUCTION.

-PROTECTIVE BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL DEVELOPMENT IS COMPLETED, AND SHALL NOT BE REMOVED UNTIL THE ENVIRONMENT AND SUSTAINABILITY DEPARTMENT INSPECTS THE SITE AND AUTHORIZES THEIR REMOVAL.

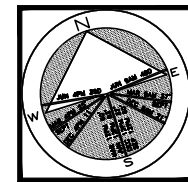
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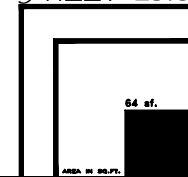
## Demolition and Vegetation Action Plan

SCALE IN FEET 0' 16' 32' 48'



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DRAWN BY: Lauren Freeman  
DATE: 08.27.2021  
10.18.2021  
11.05.2021

SHEET L3.0

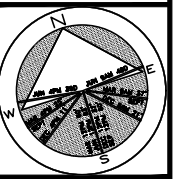


64 sf.

AREA IN SQ. FT.



Private Residence  
317 N. Coconut Lane  
Miami Beach



**JOB NUMBER:** # 21196.00 LA  
**DRAWN BY:** Lauren Freeman  
Jean Twomey  
**DATE:** 09.27.2021  
10.18.2021  
11.05.2021

SHEET L4.0

36 af.

AREA IN SQ. FT.



**2021**  
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# 2021

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## Site Plan Rendering

SCALE IN FEET 0'

16'

32'

48'



SHEET L5.0

EA IN SQ.FT.



SCALE IN FEET 0' 16' 32' 48'

2021	2022
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Trees & Palms

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BURSERIA SIMARUBA GUMBO LIMBO TREE	1	15 HT, 6' SPR MIN, 1.5" CAL MIN, 4' CT MIN	YES
	COCCOLOBA DIVERSIFOLIA PIGEON PLUM TREE	6	15' HT, 6' SPR MIN, 1.5" CAL MIN, 6' CT	YES
	COCCOLOBA UVIFERA SEAGRAPE TREE	1	16' HT, 6' SPR MIN, 1.5" CAL MIN, 4' CT MIN	YES
	COCOS NUCIFERA COCONUT PALMS	4	14'-16' CT, CURVED	NO
	CONOCARPUS ERECTUS (STREET TREE) GREEN BUTTONWOOD TREE	2	16' HT, 4' CT MIN, 3" CAL MIN	YES
	CONOCARPUS ERECTUS GREEN BUTTONWOOD TREE	1	20' X 20', 1.5" CAL MIN, 4' CT MIN	YES
	SABAL PALMETTO SABAL PALM	6	14'-16' OA HT, 6'-8' CT	YES
	THRINAX RADIATA THATCH PALM	2	12' CT	YES

Shrubs & Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BOUGAINVILLEA SPP BOUGAINVILLEA VINES	4	10' HT, ESPALIER TO COLUMNS	NO
	CHRYSOBALANUS ICACO 'HORIZONTAL' HORIZONTAL COCOPLUM	65	7 GAL, 18" HT, MIN 18" OC	YES
	COCCOLOBA UVIFERA SEAGRAPE	50	3 GAL, 18" OC, 2' HT	YES
	CONOCARPUS ERECTUS 'SERICEUS' SILVER BUTTONWOOD HEDGE	118	6' HT, 30" OC	YES
	NERIUM OLEANDER 'DWARF ICE PINK' DWARF ICE PINK OLEANDER	30	3 GAL, 12" OC	NO
	FICUS MICROCARPA GREEN ISLAND FICUS	130	3 GAL, 12" OC	NO
	GARDENIA JASMINOIDES GARDENIA	1	2' X 2'	NO
	OPHIPOGON JAPONICUS 'NANUS' DWARF MONDO GRASS	600	4" LINERS, 9" OC	NO
	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINE	8	6' HT, ESPALIER TO WALL IN DIAMOND PATTERN	NO
	WRIGHTIA ANTIDYSENTERICA ASIAN SNOW	70	1 GAL, 12" OC	NO

Lawn & Mulch

AREA	PLANT NAME	QTY.	DESCRIPTION
LAWN	EMPIRE ZOYSIA LAWN	AS NEEDED	SOD PALLETS
MULCH	EUCALYPTUS MULCH	AS NEEDED	3" MIN. DEPTH

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City of Miami Beach

Landscape Legend

ZONING DISTRICT: RS-4 LOT AREA: 9,627 SF (ACRES: 0.22)

OPEN SPACE	REQUIRED ALLOWED	PROPOSED
A. SQUARE FEET OF REQUIRED OPEN SPACE AS INDICATED ON SITE PLAN: LOT AREA-9,627 SF X 30%= 2,888 SF	2,888	2,978
LAWN AREA CALCULATION		
A. SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED	2,888	2,978
B. MAXIMUM LAWN AREA (SOD) PERMITTED- 50% X 9,627 SF	4,813.5	1,434
TREES		
A. NUMBER OF TREES REQUIRED PER LOT OR NET LOT ACRE, LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS- 9 TREES X 1/4A NET LOT ACRES - NUMBER OF EXISTING TREES-	9	11
B. % NATIVES REQUIRED: NUMBER OF TREES PROVIDED X 30%+	4	11
C. % LOW MAINTENANCE/DROUGHT AND SALT TOLERANT REQUIRED: NUMBER OF TREES PROVIDED X 50%+	6	11
D. STREET TREES (MAXIMUM AVERAGE SPACING OF 20' O.C.) 34.69 LINEAR FEET ALONG STREET DIVIDED BY 20'-	2	2
SHRUBS		
A. NUMBER OF SHRUBS REQUIRED: SUM OF LOT AND STREET TREES REQUIRED X 12-	132	256
B. % NATIVE SHRUBS REQUIRED: NUMBER OF SHRUBS PROVIDED X 50%+	128	256
LARGE SHRUBS OR SMALL TREES		
A. NUMBER OF LARGE SHRUBS OR TREES REQUIRED: NUMBER OF REQUIRED SHRUBS X 10%+	14	141
B. NATIVE LARGE SHRUBS OR SMALL TREES REQUIRED: NUMBER OF LARGE SHRUBS OR SMALL TREES PROVIDED X 50%+	70.5	141

ENVIRONMENTAL  
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138 North County Road 5720-9 Palm Beach, FL 33409  
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Landscape Architecture  
Land Planning  
Landscape Management  
Dustin M. Ward, MIA RLA #0880764  
dward@environmentaldesigngroup.com

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Miami Beach

JOB NUMBER: # 21196.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 08.27.2021  
10.18.2021  
11.05.2021

SHEET L5.1

Plant Schedule



# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

SIX PERCENT (6%) NITROGEN  
SIX PERCENT (6%) PHOSPHORUS  
SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL S-GLUBS (1/3 LB. PER 3 GAL. POT. 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVERS. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOO AT A RATE OF 15 LB. PER 1000 SQUARE FEET. A POLYMERBENT (64) NITROGEN, POLYMERBENT (64) PHOSPHORUS AND POLYMERBENT (64) POTASSIUM IS REQUIRED ON ALL TREES AND S-GLUBS OVER 6'-0" IN HEIGHT 1/2 LB. PER 3'-0" OF SPREAD. ASPIRINUM TABLETS WITH TWENTY PERCENT COO NITROGEN, TEN PERCENT COO POTASSIUM, FIVE PERCENT (5%) POTASSIUM, 2 GAL. PLANTS, 3 WITH 3 GAL. PLANTS AND 2 TABLETS PER 7 OF THESE TRUNK CALIPERS. BACK FILL HALFWAY UP THE TRUNK SHALL BE APPLIED ABOUT ONE INCH FROM ROOT. TOP. MANGANESE SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE S-RECEDED CYPRESS MULCH OR APPROVED SOIL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3' DEPTH IN PLANTING BEDS.

## SOD:

THE SOO SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND. CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTION:

NO SUBSTITUTION OF PLANT MATERIAL, TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. PLANT MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTES FOR SOO MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

S-GLUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE S-GLUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (CT) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (OAJ) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE PRONG HEIGHT. PALMS WITH MARKED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING/SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMBER, S-GLUBS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOO AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10' - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIAL:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II", LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNOT PLANT, SO TRAINED OR PRUNED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FREELY DUS, SOLID, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND NESTING EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE REPAIRED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED TREES AND ESTABLISHED IN THE CONTAINERS IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

1. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW PERIOL ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

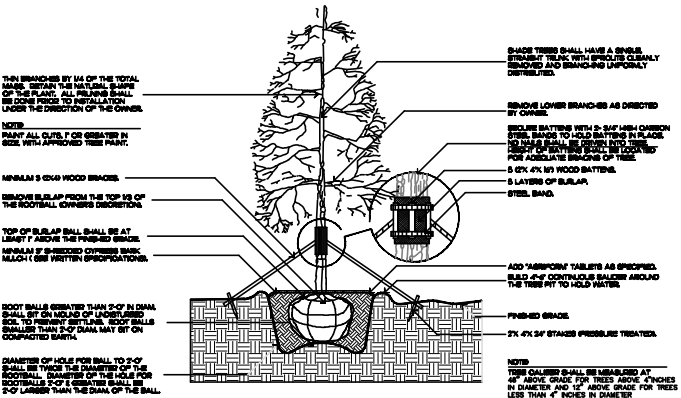
## WARRANTY:

WARRANTY PLANTS, S-GLUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLERS CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

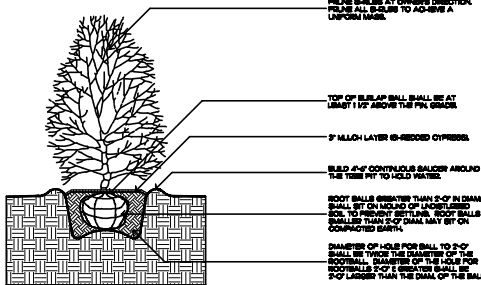
MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, PRUNING, CULTIVATING, RESEEDING, AND TRIMMING GRASS, PRUNING TREES AND S-GLUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

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Miami Beach  
F L O R I D A



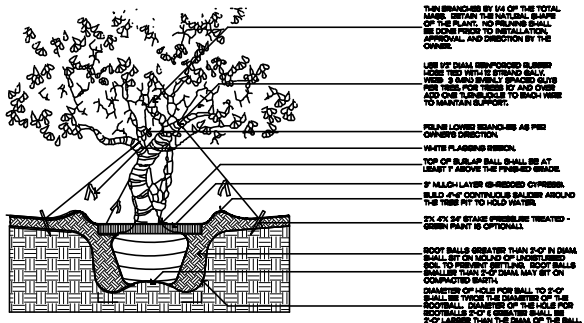
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

tree planting



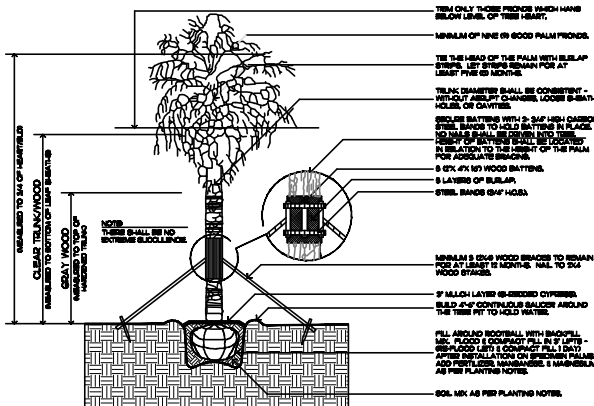
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

shrub planting



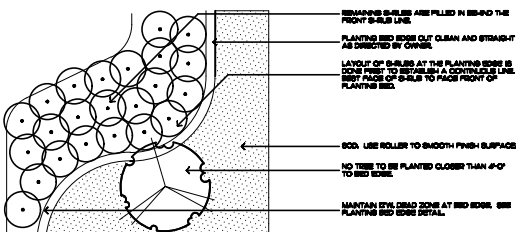
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

irregular and multi-stem tree



FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

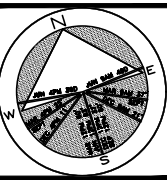
palm tree planting



shrub & ground cover layout



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 Miami Beach



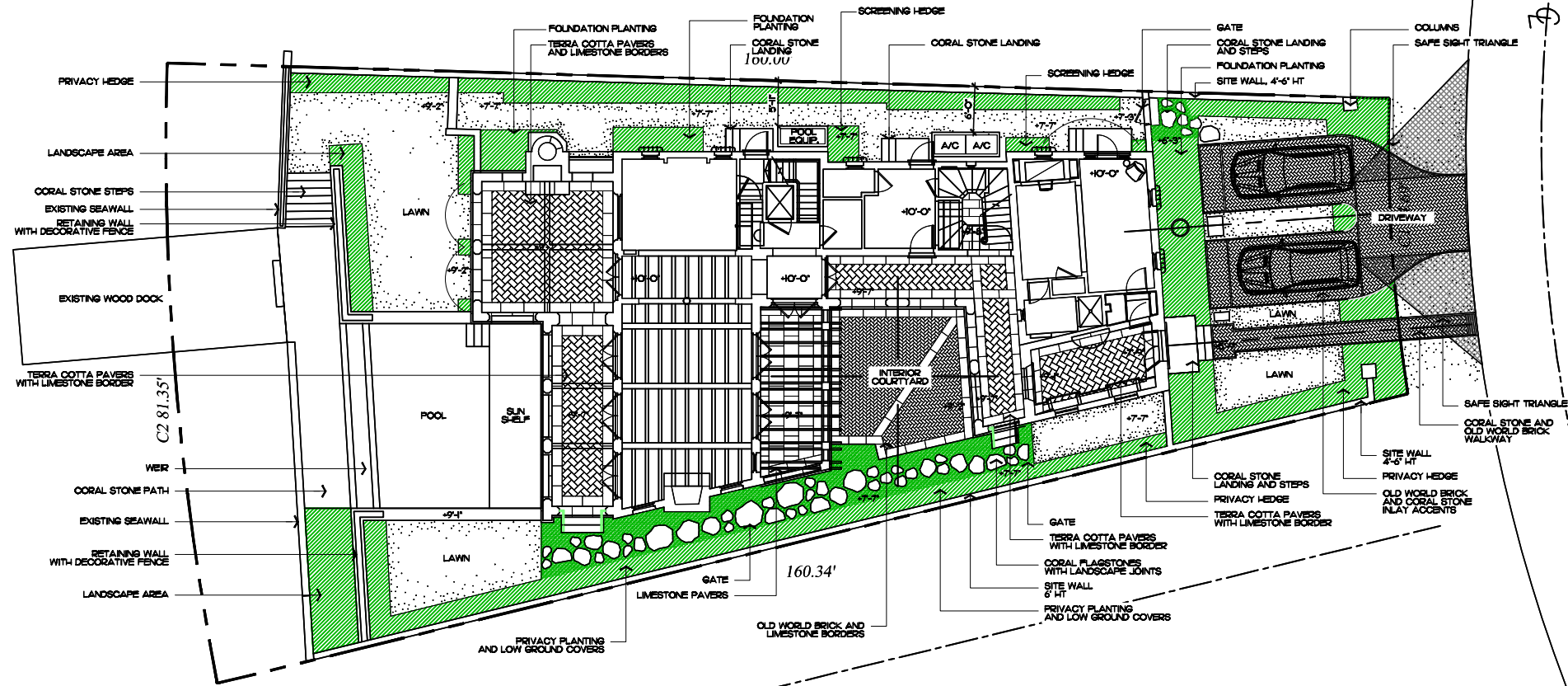
JOB NUMBER: # 21195.00 LA  
 DRAWN BY: Lauren Freeman  
 DATE: 08.27.2021  
 10.18.2021  
 11.05.2021

SHEET L6.0

64 sq. ft.  
 AREA IN SQ. FT.

BISCAYNE BAY WATERWAY

N. COCONUT LN.



FRONT YARD	REQUIRED	PROVIDED
A. AT LEAST 50% OF REQUIRED FRONT YARD SHALL CONSIST OF SODDED OR LANDSCAPED PERVIOUS OPEN SPACE (CALCULATED FROM 30' SETBACK) FRONT YARD=1,282 SQ. FT.	641 SQ. FT. (50%)	646 SQ. FT. (50.4%)
B. MAXIMUM WIDTH OF ALL DRIVEWAYS AT CURB CUT SHALL NOT EXCEED 30% OF THE LOT WIDTH. LOT WIDTH=34.69'	10.4' (30%)	10' (28.8%)

Hardscape Plan

SCALE IN FEET 0' 16' 32' 48'



BISCAYNE BAY WATERWAY

C2 81.35'

160.00'

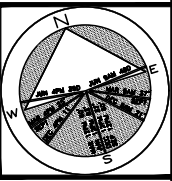
160.34'

N. COCONUT LN.

Private Residence  
317 N. Coconut Lane  
Miami Beach

Lighting Schedule

SYMBOL	DESCRIPTION	QTY.
▲ U	UPLIGHT - AURORALIGHT - HSL16-R TELLURIDE BRASS - 3 WATTS - LED 3000K	7
✚ PL	PATH LIGHT - AURORALIGHT - UPL8 - CORONA BRASS FINISH - 4.5 WATTS - LED 3000K	10
△ DL	DOWN LIGHT - AURORALIGHT - HSL16-R TELLURIDE BRASS - 3 WATTS - LED 3000K - WITH TREE CLIP	6
○ WL	WELL LIGHT - AURORALIGHT - LWL2-F METRO BRASS - 2 WATTS - LED 3000K	5



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SHEET L7.0

256 sq. ft.

AREA IN SQ. FT.

Landscape Lighting Plan

SCALE IN FEET 0' 16' 32' 48'



2021  
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Up/Down Light



Path Light



Well Light

## Lighting Schedule

SYMBOL	DESCRIPTION	QTY.
▲ UL	UPLIGHT - AURORALIGHT - HSL16-R TELLURIDE BRASS - 3 WATTS - LED 3000K	7
✦ PL	PATH LIGHT - AURORALIGHT - LPL6 - CORONA BRASS FINISH - 4.5 WATTS - LED 3000K	10
△ DL	DOWN LIGHT - AURORALIGHT - HSL16-R TELLURIDE BRASS - 3 WATTS - LED 3000K - WITH TREE CLIP	6
○ WL	WELL LIGHT - AURORALIGHT - LWL2-F METRO BRASS - 2 WATTS - LED 3000K	5

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## Landscape Lighting Fixture Specifications

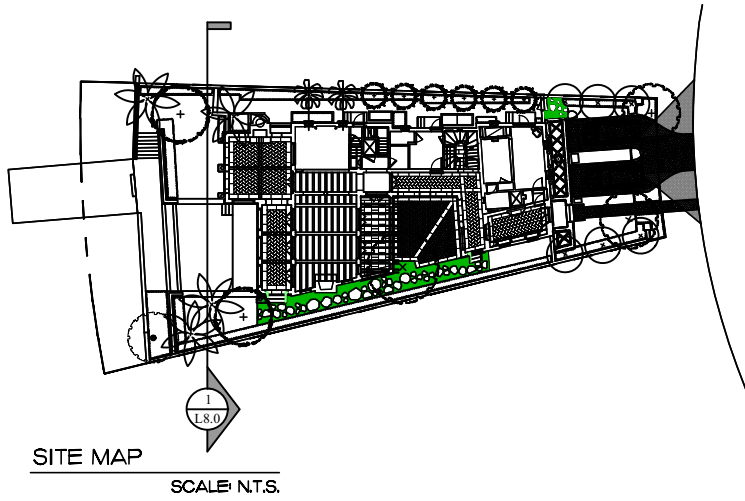
**ENVIRONMENTAL  
DESIGN  
GROUP**  
130 North County Road 3700-0 Palm Beach, FL 33408  
Phone 561.832.4000 Mobile 561.313.4404  
Landscape Architecture  
Land Planning  
Landscape Management  
Dustin M. West, M.A. RLA #0080764  
dwest@environmentaldesigngroup.com

Private Residence  
317 N. Coconut Lane  
Miami Beach

JOB NUMBER: # 21196.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 08.27.2021  
10.18.2021  
11.05.2021

SHEET L7.1





NOTE:

1. ALL SPOT ELEVATIONS SHOWN IN NGVD
2. THE MINIMUM ELEVATION OF A REQUIRED YARD CANNOT BE LESS THAN 6.56 FEET NGVD, EXCEPT DRIVEWAYS, WALKWAYS, TRANSITION AREAS, GREEN INFRASTRUCTURE (E.G. VEGETATED SWALES, PERMEABLE PAVEMENT, RAIN GARDENS, AND RAINWATER/STORMWATER CAPTURE AND INFILTRATION DEVICES), AND AREAS WHERE EXISTING LANDSCAPING THIS IS BEING PRESERVED.



- +41.92' T.O. CHIMNEY  
2ND FL. - MAIN HOUSE
- +36.90' MIDPOINT ROOF  
2ND FL. - MAIN HOUSE
- +33.75' B.O. ROOF STRUC.  
2ND FL. - MAIN HOUSE
- +33.42' T.O. ROOF DECK  
2ND FL. - MAIN HOUSE
- +22.33' INTR. FIN. FL.  
2ND FL. - MAIN HOUSE
- +10.00' INTR. FIN. FL.  
1ST FL. - MAIN HOUSE
- +9.00' F.E.M.A.  
BASE FLOOD ELEV.

2 NORTH / SOUTH YARD SECTION  
SCALE: 3/32" = 1'-0"

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SHEET L8.0

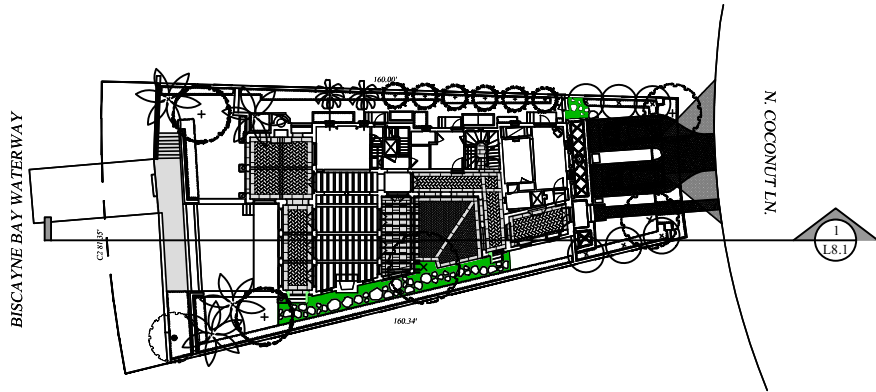
Topographic Cross Section  
SCALE IN FEET: 3/32"=1'-0"

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SITE MAP

SCALE: N.T.S.

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SHEET L8.1

Topographic Cross Section

SCALE IN FEET: 1/16"=1'-0"

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