

CARBONE:
SIGNAGE
49 Collins Avenue
Miami Beach, FL 33139

SCOPE OF WORK
<ul style="list-style-type: none">• Installation of one illuminated wall sign on the west (front) side of the building, and one painted wall sign on the south side of the building.• Both signs have already been installed, as represented in this plan set.

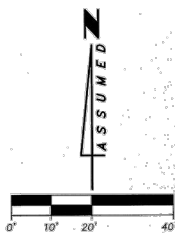
DESIGN REVIEW BOARD
FINAL SUBMITTAL
Application for two exterior signs
November 8, 2021
STA Project #4107

INDEX OF DRAWINGS

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BOUNDARY SURVEY
of
49-53 COLLINS AVENUE, MIAMI BEACH
MIAMI-DADE COUNTY, FLORIDA 33139
for
GT McDONALD ENTERPRISES, INC



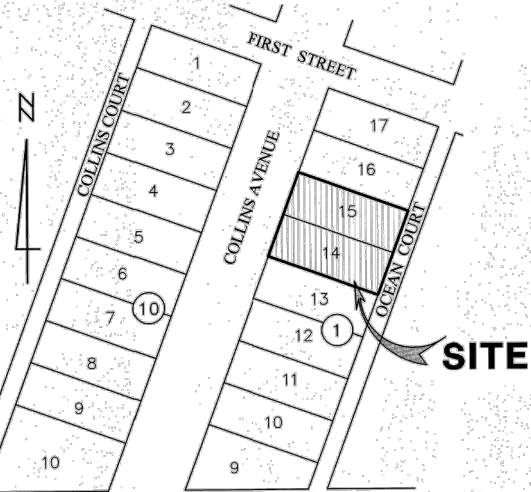
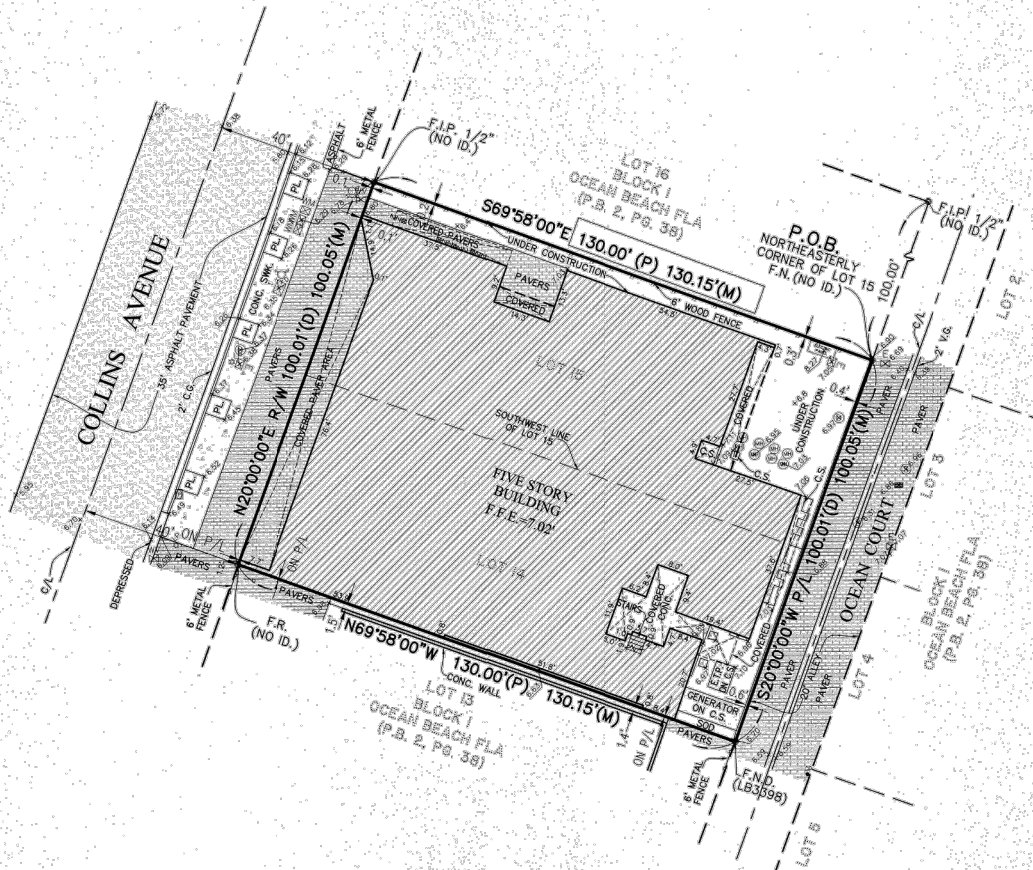
GRAPHIC SCALE
SCALE : 1" = 20'

ABBREVIATIONS

A	Arc Length
A/C	Air Conditioner Pad
ASPH.	Asphalt
B.M.	Benchmark
C.B.S.	Concrete Block Structure
C.G.	Curb & Gutter
C/L	Center Line
C.L.F.	Chain Link Fence
CONC.	Concrete
C.S.	Concrete Slab
D.W.	Driveway
E.O.W.	Edge of Water
E.T.P.	Electric Transformer Pad
F.F.E.	Finished Floor Elevation
F.I.P.	Found Iron Pipe
F.N.	Found Nail
F.N.D.	Found Nail & Disc
F.R.	Found Rebar
ID.	Identification
INV.	Inverts
L.F.E.	Lowest Floor Elevation
M/L	Manumant Line
P.B.	Plat Book
P.C.P.	Permanent Control Point
P.G.	Page
P.L.	Plat
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P/S	Parking Space
P.R.M.	Permanent Reference Monument
R/W	Right-of-Way Line
SWK	Sidewalk
T.B.M.	Temporary Benchmark
T.O.B.	Top of Bank
U.E.	Utility Easement
V.G.	Valley Gutter
W.F.	Wood Fence
(TYP.)	Typical
R	Recorded

LEGEND

Ø	Diameter
AC	Air Conditioner
WP	Water Pump
BFP	Back Flow Preventer
CLP	Concrete Light Pole
CTV	Cable Television
MLP	Metal Light Pole
GW	Guy Wire
UPP	Utility Power Pole
FW	Fire Hydrant
WM	Water Meter
EB	Electric Box
TB	Telephone Box
SM	Sewer Manhole
OUL	Overhead Utility Lines
LP	Light Pole
GV	Gas Valve
WV	Water Valve
WMH	Water Manhole
TMH	Telephone Manhole
MW	Monitoring Well
PM	Parking Meter
UM	Unknown Manhole
SV	Sewer Valve
MB	Mail Box
SE	Spot Elevation
TB	Temporary Benchmark
1.5'-15'-10'	Diameter-Height-Spread
---	Right-of-Way Lines
●	Property Corner
T	Traffic Sign
CB	Catch Basin
DM	Drainage Manhole
ICV	Irrigation Control Valve
IF	Iron Fence
C.B.S.	C.B.S. Wall
CO	Clean Out
GP	Guard Pole
C.L.F.	Chain Link Fence
WF	Wood Fence
GM	Gas Meter
DMH	Grease Manhole
DR	Drain



LOCATION SKETCH
NOT TO SCALE

SURVEYOR'S NOTES:

1. Field Survey was completed on: April 15th, 2016.

2. LEGAL DESCRIPTION:

Lots 14 and 15, in Block 1, of "Ocean Beach Florida Subdivision", according to the Plat thereof recorded in Plat Book 2, at Page 38, of the Public Records of Miami Dade County, Florida, also described as follows:

And also commence at (Begin at) the Northeastly corner of said Lot 15, in Block 1, of "Ocean Beach Florida Subdivision", according to the Plat thereof, as recorded in Plat Book 2, at Page 38, of the Public Records of Miami Dade County, Florida; thence run Southwestly (S20°00'00"W) along the Easterly line of said Lots 15 and 14 in Block 1, for a distance of 100.01 feet (100.05 feet measured) to the Southeastly corner of said Lot 14, thence run Northwestly (N69°58'00"W) for a distance of 130.00 feet (130.15 feet measured) to the Southwestly corner of said Lot 14, thence run Northeastly (N20°00'00"E) along the Westerly line of said Lots 14 and 15, for a distance of 100.01 feet (100.05 feet measured) to the Northwestly corner of said Lot 15; thence run Southeastly (S69°58'00"E) along the Northerly line of said Lot 15 for a distance of 130.00 feet (130.15 feet measured) to the Northeastly corner of said Lot 15 and the POINT OF BEGINNING, all lying and being in a portion of Section 3, Township 54 South, Range 42 East, Miami Beach, Dade County, Florida.

Being the same property conveyed to RWB Medical Income Properties I Limited Partnership, a Louisiana partnership, by Deed of record in Book 13006, Page 2231, and Deed of record in Book 13006, Page 2233, Clerk's Office of Dade County, Florida.

Containing 13,015 Square feet or 0.30 Acres more or less by calculations.

3. SOURCES OF DATA:

AS TO HORIZONTAL CONTROL:

North Arrow and Bearings refer to an assumed value of N20°00'00"E along the Northwestly Property line as per Deed recorded in O.R.B. 23354, at Page 3383 of the Public Records of Miami-Dade County, Florida. Said line is considered well-established and monumented.

AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in Flood Zone AE, Elev.=8 feet, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651, Map No. 12066C06319, Suffix L, Revised Date: 09-11-2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

The vertical control element of this survey was derived from National Geodetic Vertical Datum 1929 (N.G.V.D. 1929).

Benchmarks used:

-Miami-Dade County Benchmark: D-146
Elev. 8.84' N.G.V.D. 1929
Located @ 5th Street & Ocean Drive

-Miami-Dade County Benchmark: D-145
Elev. 6.64' N.G.V.D. 1929
Located @ South Pointe Drive & Ocean Drive

4. ACCURACY:

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

5. LIMITATIONS:

Legal Description provided by client as per Official Records Book 23954, Page 3383, of the Public Records of Miami Dade County, Florida.

5. LIMITATIONS:

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon. This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Rule 5J-17 of the Florida Administrative Code.

Notice is hereby given that Sunshine State One Call of Florida, Inc. must be contacted at 1-800-432-4770 at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. This Notice is given in compliance with the "Underground Facility Damage Prevention and Safety Act," pursuant to Chapter 556.101-111 of the Florida Statutes.

CERTIFY TO:

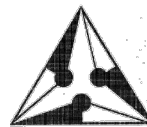
SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J-17, Florida Administrative Code, pursuant to section 472.027 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of title.

J. BONFILL & ASSOCIATES, INC.
Florida Certificate of Authorization No. LB 3398

By: Oria Jannet Suarez, P.S.M.
Professional Surveyor and Mapper Number No. LS 6781
State of Florida

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



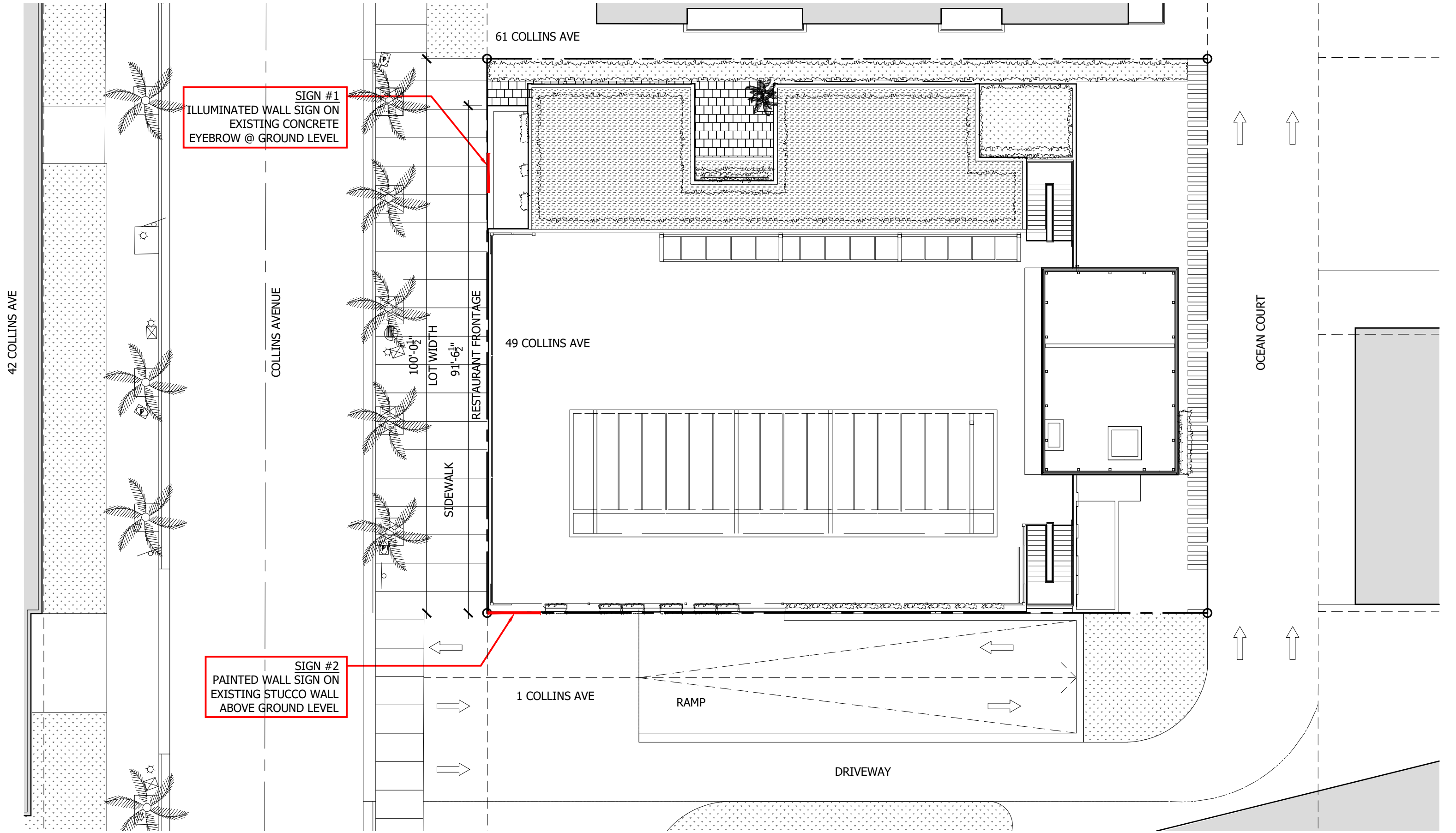
J. Bonfill & Associates, Inc.
REGISTERED LAND SURVEYORS & MAPPERS
Florida Certificate of Authorization LB3398
7100 S.W. 99th Avenue Suite 104
Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY
of
49-53 COLLINS AVENUE, MIAMI BEACH,
MIAMI-DADE COUNTY, FLORIDA 33139
for
GT McDONALD ENTERPRISES, INC

REVISIONS	BY

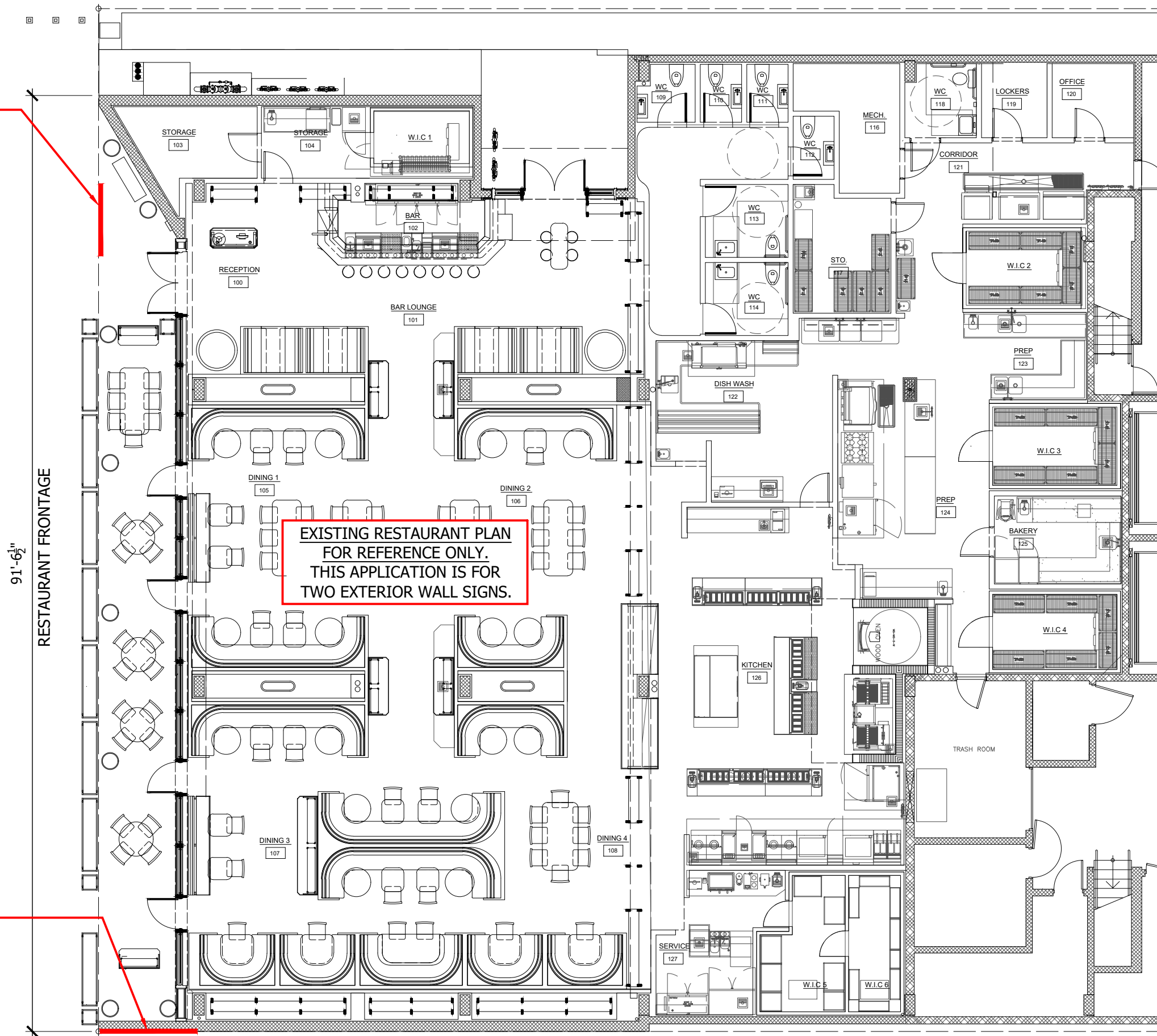
Proj:	05-0445
Job:	16-0109
Date:	04-15-2016
Drawn:	G.P., G.M., J.S., C.B.
Checked:	J.S.
Scale:	AS SHOWN
Field Book:	ON FILE
SHEET 1 OF 1	





1 SITE PLAN
SCALE: 1/16" = 1'-0"

SIGN #1
ILLUMINATED WALL SIGN ON
EXISTING CONCRETE
EYEBROW @ GROUND LEVEL



SIGN #2
PAINTED WALL SIGN ON
EXISTING STUCCO WALL
ABOVE GROUND LEVEL

1 **RESTAURANT PLAN : FOR REFERENCE ONLY**
SCALE: 3/32" = 1'-0" 

SIGN #1
ILLUMINATED WALL SIGN ON
EXISTING CONCRETE EYEBROW



1 VIEW FROM COLLINS AVE: INSTALLED ENTRY SIGN
SCALE: N.T.S.

SIGN #2
PAINTED WALL SIGN ON
EXISTING STUCCO WALL



2

EXTERIOR DINING PATIO

SCALE: N.T.S.



1

SOUTH WALL: PAINTED WALL SIGN

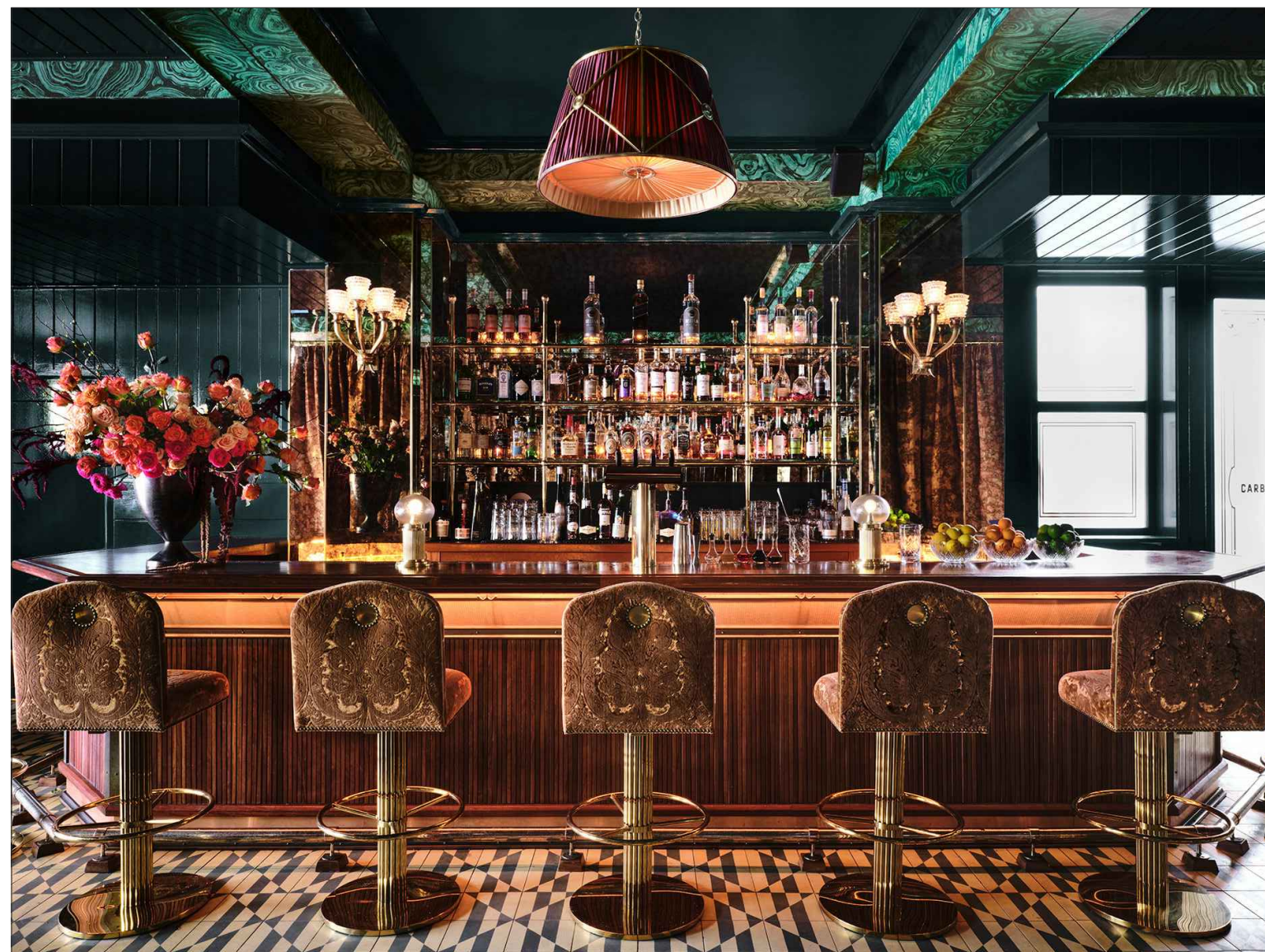
SCALE: N.T.S.



2

RESTAURANT INTERIOR: DINING

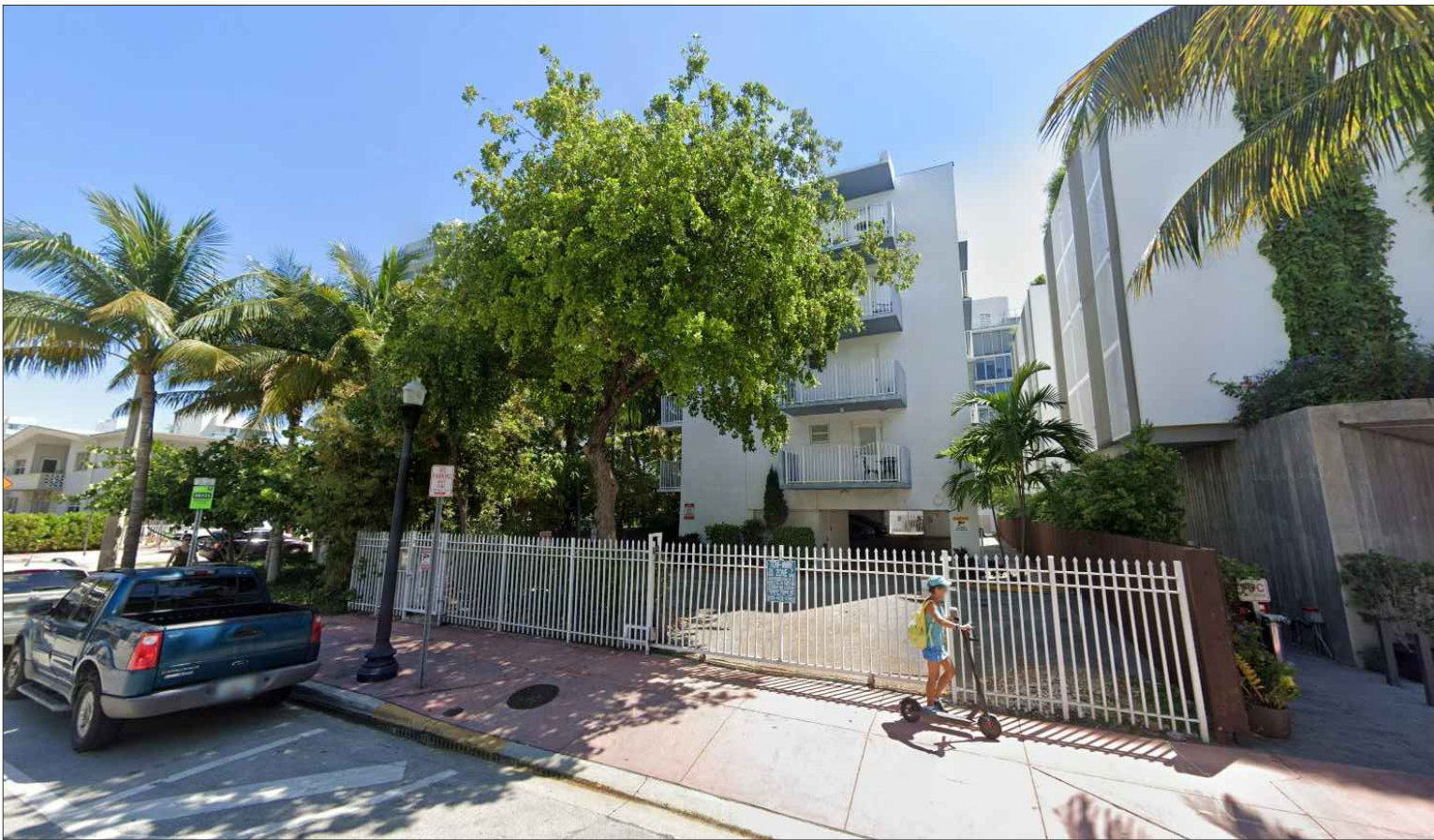
SCALE: N.T.S.



1

RESTAURANT INTERIOR: BAR

SCALE: N.T.S.



4

61 COLLINS AVE

SCALE: N.T.S.



3

1 COLLINS AVE

SCALE: N.T.S.



2

42 COLLINS AVE (SOUTH)

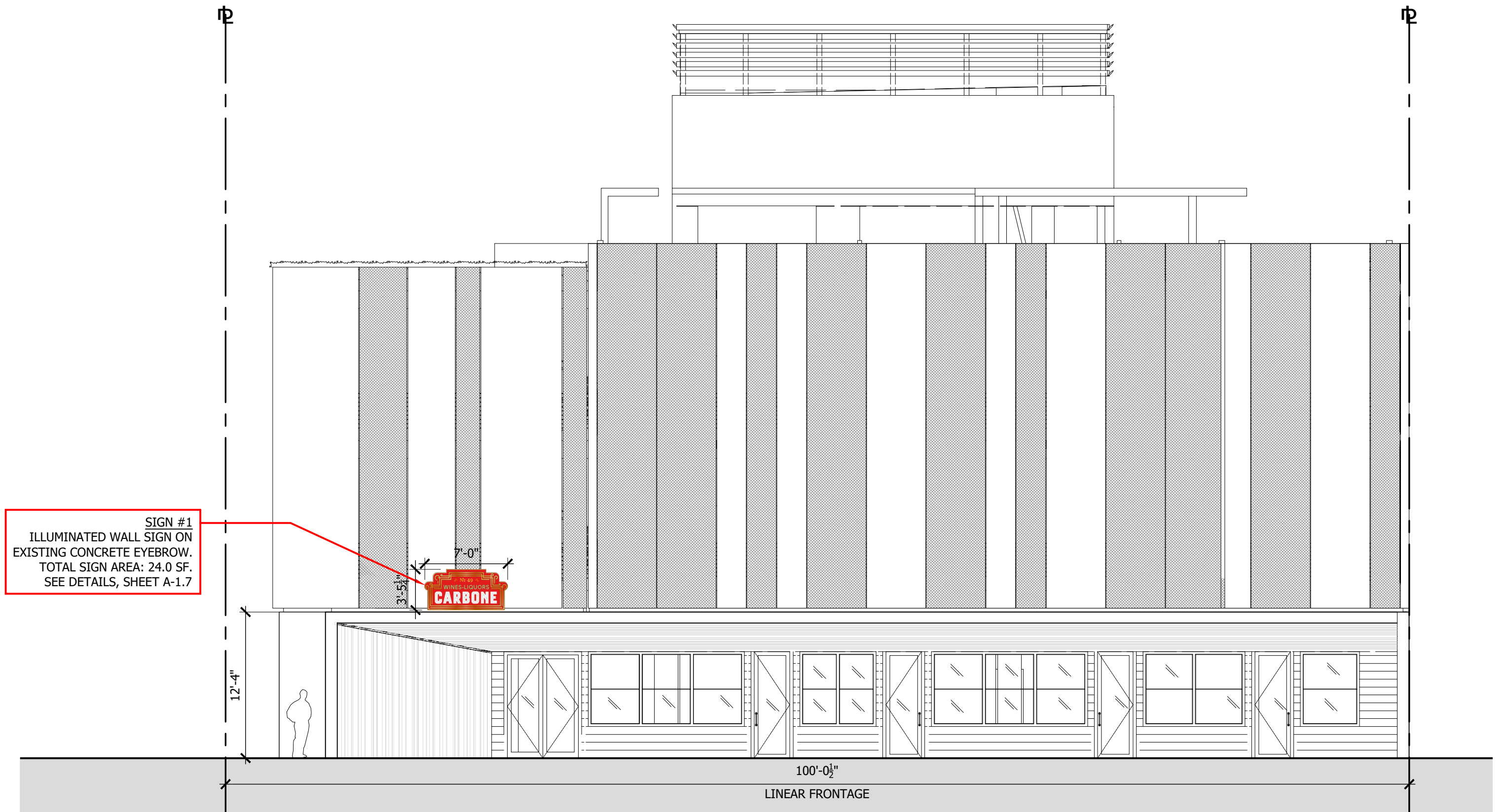
SCALE: N.T.S.



1

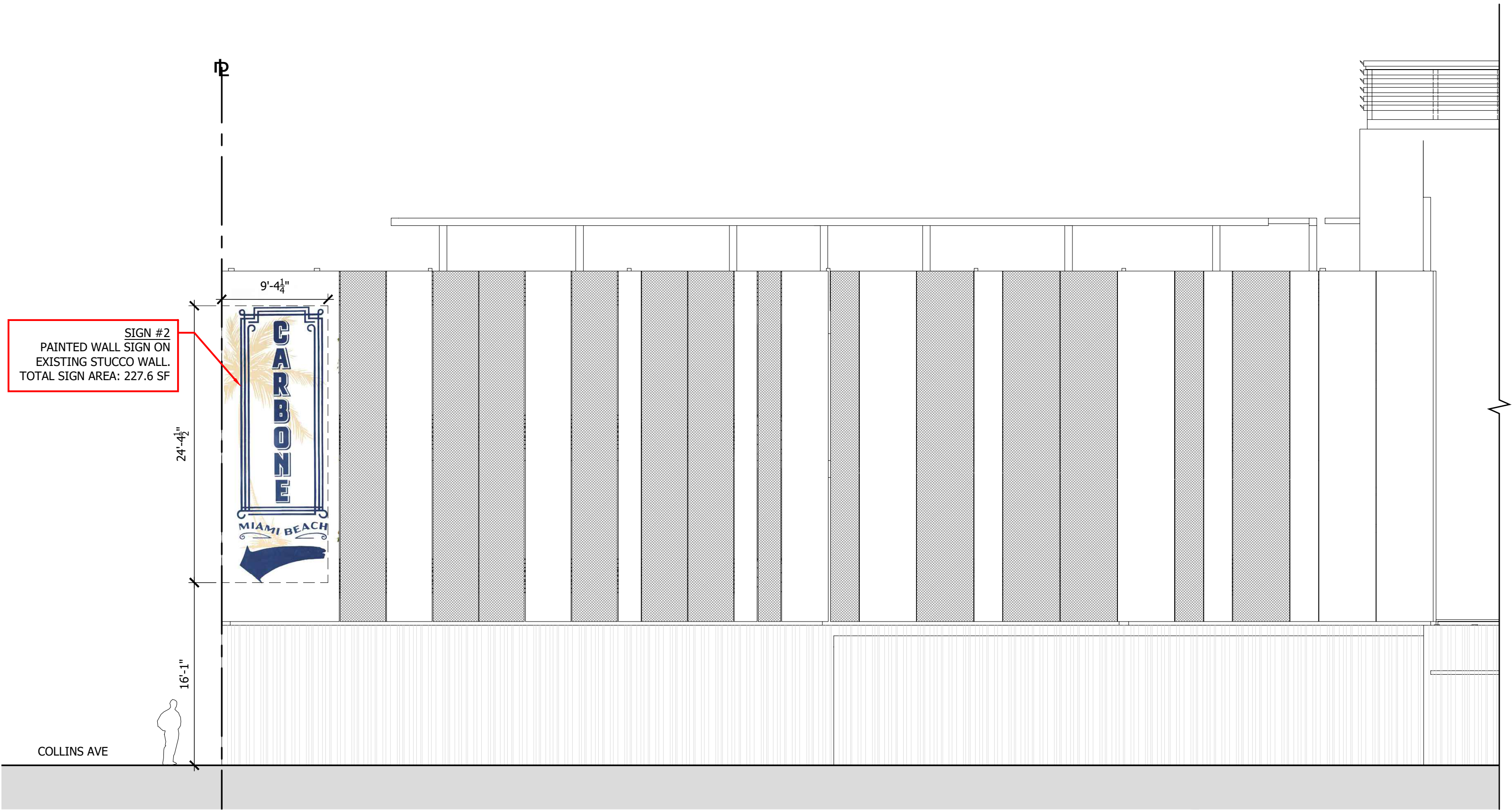
42 COLLINS AVE (NORTH)

SCALE: N.T.S.



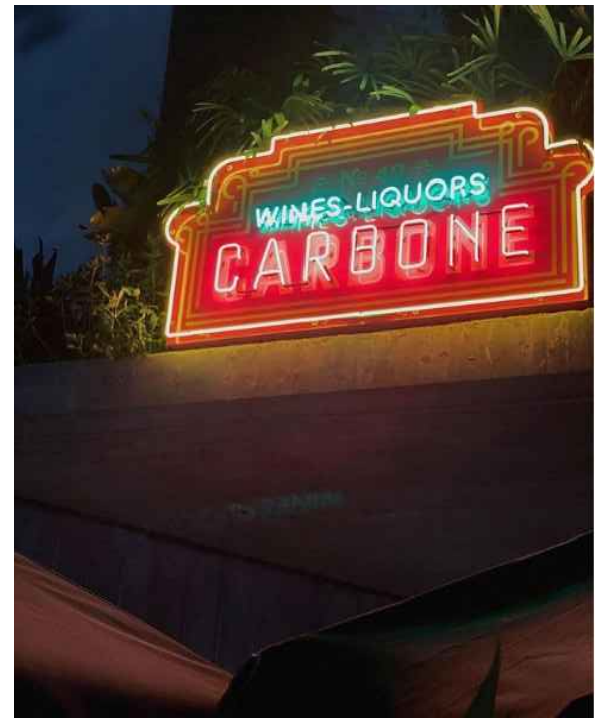
1 WEST (COLLINS AVE) ELEVATION
SCALE: 1/8" = 1'-0"



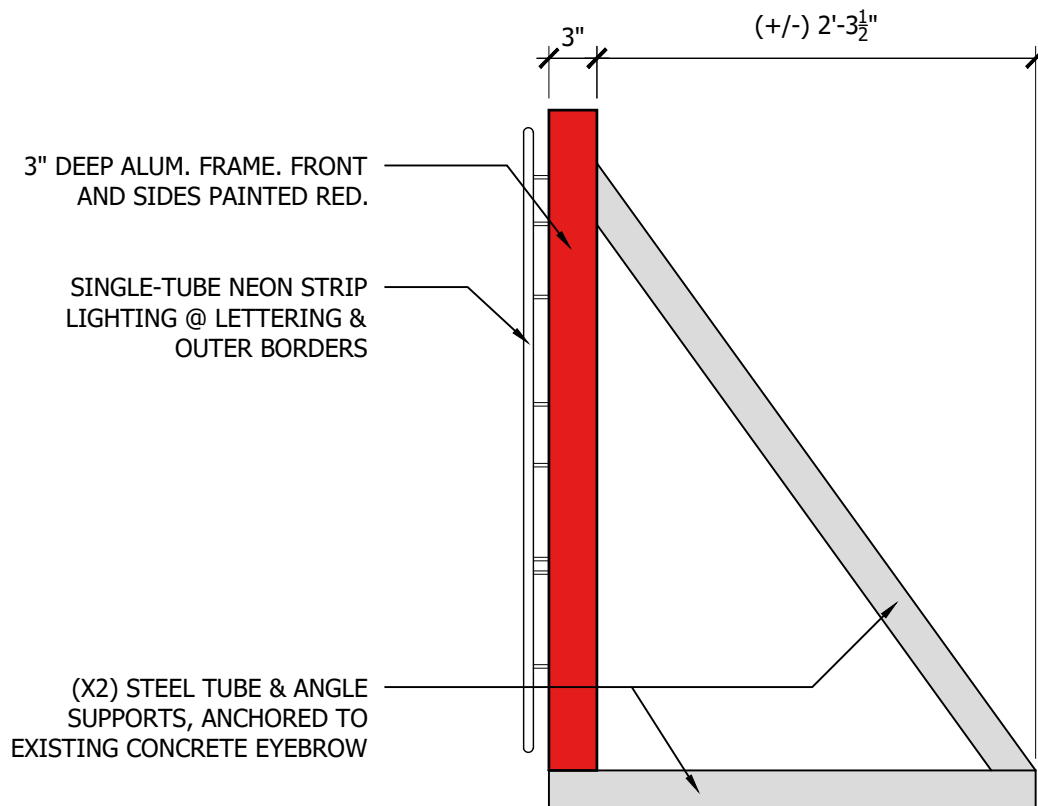


1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"





3 ENTRY WALL SIGN ILLUMINATION: PHOTO
SCALE: N/A



2 ENTRY WALL SIGN: SIDE
SCALE: 1" = 1'-0"



1 ENTRY WALL SIGN: FRONT
SCALE: 1" = 1'-0"