

Sharon Hotel

USAFTTC 4-9-42
USAFTTC returned to owner Nov. 17, 1945

N. B. T. PONEY Mailing Address Permit No 12779 (all plans) Cost \$192,000....
Lot 1 Block B Subdivision M. B. Impr. Co. Address 110 20th street see below

General Contractor Fred Howland, Inc. Ocean Front
Architect Robert A. Taylor 17004
Engineer R. A. Belsham

Zoning Regulations: Use BA Area 19
Building Size: Front 117' Depth 72' Lot Size
Height 75'10 Stories 7

Certificate of Occupancy No. Use HOTEL - 103 rooms:
Type of Construction Fireproof Foundation Concrete Piling Roof B- Date Aug. 3, 1939

Plumbing Contractor # 12462 Chas. M. Ewing Sewer Connection 1 Date Sept. 20, 1939
Temporary Closet 2

Plumbing Contractor
Water Closets 102, Bath Tubs 97
Lavatories 103, Showers 6
Urinals Sinks 6
Gas Stoves 1, Gas Heater 15,
Gas Radiators Gas Turn On Approved T. J. Bell, December 15, 1939
Septic Tank Contractor Tank Size Date
Oil Burner Contractor # 13903 1 Oil Burner (\$200) Tank Size 500 gallons Date Apr. 15, 1940
Ewing

METRO ORD. # 75-34
CERTIFICATION DATE
M. Ewing
2 water closets, 2 lavatories
1 urinal, 1 shower,
Nov. 1939
12-19-39

Electrical Contractor # 13558 Miami Beach Electric: Address Date Oct. 16, 1939

Switch 260 Range Motors 2, 1, Fans Temporary Service #13157 - Aug. 8, 1939
OUTLETS Light 380 HEATERS Water M.B. Electric: 1
Receptacles 470 Space Centers of Distribution 15,

Refrigerators #13824 Miami Beach Electric: Nov. 17, 1939
Irons Sign Outlets 1 Temporary service:

No. FIXTURES 410 Electrical Contractor # 14174 - M.B. Electric: Date Dec. 18, 1939

FINAL APPROVED BY Date of Service

#6915

Building Permits:

105 ton

- # 31365 Air conditioning - Mizit System-Miami Station, Inc. \$55,000...Nov. 9, 1949
- # 31914 Garbage shed- 5' x 20' x 7' - L. B. Taylor, architect: Plaks Construction Company \$ 1,000...Jan. 26, 1950
- # 36382 One flat wall sign- Claude Neon \$ 400...July 20, 1951
- # 37358 Remodeling for kitchen - Owner \$ 200...Nov. 5, 1951
- 49199 T. Goddard: Painting \$ 5 000 Nov. 15, 1955
- ~~49199 T. Goddard: Painting~~

#53883 Acme Air Cond: 1 - 75 ton built up air conditioner-\$1600-July 11, 1957 OK 10/21/57 Plaag

#62117 Claude Neon Sign Co: 1 Pole neon sign 6 x 5 = 30 sq. ft. - \$650 - June 10, 1960

#62487 Sears Roebuck:1-1 HP window unit air cond.,\$200,7/22/60 OK 7/27/60 Plaag

#63104 Snapp, Inc: Sandblasting protecting adj. property with water & tarp - \$4900 - Oct.-4, 1960

#75916 Acme Air Cond. Service: Replace air cond. condenser - \$200 - 3/7/66 OK Plaag 4/14/66

#77178 Neon Sign and Service, Inc.: 2 signs (wall) SHARON - metal channel letters - \$1400 - 10/13/66

#83246 - Gordon Roofing - Reroof 8 square's \$600.00 11/5/69

~~#86493 - owner - stairway enclosure \$500.00~~

#86493 - owner - stairway enclosure \$500.00

#02791-Amber Oil Corp- 1-560000BTU hot water boilers-\$2875-11-8-73

#04599-Gordon Roofing-Install 4 ply built up roof-\$350-11-19-73

#07544-Tuten Fence-8' fence installation-\$300-7-3-75

#3440-Century A/C- 1 5ton central a/c-12-16-75

#89437-Nu Prime of Miami-Replace windows(295)-\$17,379-10-25-77

#12282-Eddys Painting-Pressure cleaning and painting-\$6000-11-2-77

#19235 B&J Chattahoochee Service/resurface existing patio, pool area in rear/\$11,036/11-10-80

#M-05286--Century A/C--45-A/C wind--wall units--6/30/81

#21194 11/13/81 owner interior painting hotel rooms only \$5,000.

#MO5501 11/16/81 Central Air Design Inc. - duct work only, violation-no permit (valuation \$400.)

#21213 11/12/81 owner italian tile on existing floor - \$1,800.

#MO5641 2/16/82 Quality Air Inc. - 1 range hood, 1 exhaust fan

#90594 3/3/82 Jet Pool Corp - office partition, new bar remodeling existin coffee shop, wood platfrom, and general minor repair \$20,000.

#MO5661 3/3/82 Lazaro Paz violation no permit

#22192 5/14/82 owner interior only minor repair and paint. replace 70 existing doors make 22 openings for air cond units \$4,700.

#39610 Southern Drilling & Equipment: 11" Supply Well- June 25, 1957
#39713 Futch & Associates, Inc: 2 Water Connections for 2 Water Towers - July 31, 1957
~~#46257 Edwin M. Green, Inc. Repair swimming pool piping - 11/20/67~~
#48126 - Peoples Gas - 1 gas dryer 12/10/70

#49488-Peoples Gas- 1 coffee maker-11-21-72

#49615-Peoples Gas System- 1 comm oven-12-227-22

#53210-Morgen Plumbing-repair gas line-12-16-75

#55455-Ed Michel Plumbing- 48 lavatory-11-9-77

#57372-McGrath and Assoc- pool piping-6-15-79

#57903-Ovidio Ventura- one discharge well-11-16-79

12-31-80/#59112/1 discharge well/South Fla Well Drilling/\$10

6/16/81 - #59575 - Silver Plumbing - Gas Repair - \$5.00

#59603--Silver Plumbing--Grease trap hook up, sink, Pot/3-comp hook up, sink hook up--6/23/81

#59690 7/29/81 Peoples Gas - 1 meter set gas

Electrical Permits:

#50301 Miller Elec: 2 Motors(2-5HP), 1 Motor(6-10HP),1 Motor(over 25HP)-7/5/57

#55268 Claude Neon: 4 Neon Transformers - June 10, 1960

#55533 Astor Elec: 1 Motor (1HP)- July 26, 1960

#61891 Astor Elec. Service, Inc.: 1 appliance outlet; 1 cent. of dist. - 1/11/65

#64021 Neon Sign and Service: 4 neon transformers - 10/13/66

#72770-Electronic Detection- 1 fire alarm control, 14 bells, 14 pull stations-12-3-75

#75980-Ocean Electric- 4 special purpose in kitchen-1-15-80

#76745 CountyWide Electric Inc/telephone booth/11-14-80

5/14/81 - #77203 - Ocean Electric Co. - 45 window a/c - \$225.00

#77574 11/10/81 Ocean Electric Co - 3 switch outlets, 4 light outlets, 3 receptacles, repairs (will file amended permit at time we know what is to be done)

ALTERATIONS AND REPAIRS

Building Permits: # 13132 Elevator - Elevator Equipment Company: \$ 9,336: Oct. 20, 1939

13082 - 52 Cabanas: Location: So. of foot of 20th Street & East of Lots 1, 2, 3, Block B, M.B.I.O.O.F. and East of Lots 3, 4, 5, 6, Fisher's First Sub:: Approved with revised plan and agreement Between City Council, Mr. N. B. T. Roney & Mr. C. W. Renshaw: Fred Howland, contractor: Robert A. Taylor, architect: Cost \$ 15,000. Oct. 12, 1939
Wood on spread footing One story:

See Permit #29872

13419 - Men & Women's Locker Room: Lots, 1, 7, 8, \$ 11,000: Dec. 7, 1939
CBS on Spread footing: R.A. Taylor, architect: Fred Howland, contractor:
Size: 20' x 67': 2 story:

13426 2 Signs - Claude Neon Southern Corp: \$ 400: Dec. 8, 1939

14820 Addition of pent house - 24' x 24' x 15' \$ 4,000: Oct. 14, 1940
Fred Howland, contractor: R. A. Taylor, architect:

14819 Enlarging basement: Fred Howland, contractor: \$ 2,000: Oct. 14, 1940

15207 Moving sign: Claude Neon Southern Corp: \$ 100: Dec. 11, 1940

21408 Painting - Vernon Allison, painter \$ 10,000: Nov. 21, 1945

21565 Painting - furniture only. Clark & Freeman, painters \$ 260: Dec. 7, 1945

21580 New shoe mold, threshold, repairs to floor on roof: \$ 1,000: Dec. 15, 1945

21654 Flat wall sign - Tropicalites, Inc. \$ 800: Dec. 15, 1945

Pool # 24805 Swimming Pool & addition of room for pool equipment: \$ 35,000: June 26, 1947
25'x60' (Priority #4-10-2381) Albert Anis, arch: room 34x22x21/
R.A. Belsham, engineer: S.C. Davis Construction Co. contractor #1 -CBS -con. pile:

Cabanas # 25071 15 Cabanas: Priority 4-10-2381 141' x 11' x 10' \$ 16,000: Aug. 1, 1947
Albert Anis, architect: S.C. Davis Construction Co. contractor: #3 CBS - conc. pile

29872 Wrecking existing building- Marks Brothers, contr. \$ 1,000: May 9, 1949

Plumbing Permits:

12838 Chas. Ewing: 6 water closets, 1 Sewer connection: 6 lavatories, 6 showers, 3 floor drains, 2 urinals, 1 gas: Dec. 12, 1939 Gas OK Ball 1/2/ 1940

12854 Chas. Ewing: 1 Grease trap - December 15, 1939
14246 H. Brunson: Change sewer - October 7, 1940

14379 H. Brunson: 6 water closets, 7 lavatories, 2 sinks, 2 showers, 4 floor drains, 3 urinals, 1 sump sewer, 3 gas stoves, October 21, 1940 Rough OK 1/6/40

14994 H. Brunson: 1 water closet, 1 lavatory, 1 bath tub, 1 sink, Jan. 24, 1941

15017 H. Brunson: 2 sinks, 1 safe waste drain, Jan. 28, 1941

15533 H. Brunson: 1 floor drain, July 1, 1941

16737 USAAFTTC (Crawford) 1 Sewer(4"), 2 Gas, Aug. 4, 1942 (2 Gas OK Inman 8/5/42

18909 C. Ray Martin: 2 floor drains; Dec. 12, 1945

19999 Roy Martin: 1 Safe waste drain: July 24, 1946

25473 Leinecker: 2 water closets, 2 lavatories, 15 showers, 1 uninal, 1 drinking fountain, 8/19/4

32588 Pitsch & Morgen: 2 Sinks, 2 Grease traps, 2 Floor drains, 1 Gas range, 1 gas water heater, 1 gas steam heater, 1 frylator: Nov. 5, 1951 Rough ok 11-13
Gas rough 11-13-LR -Final Plbg. OK-LR-11/29/51
#36686 Amber Fuel Oil Co replace storage tank December 22, 1954 OK, Rothman 12/28/54 Final -OK- 11/30/51 L

BUILDING PERMITS: #31130 - 10-13-87 - Polonia Restoration - Painting (outside) - \$4,000.00

(This Permit is void) Off. See letter attached to original Permit

#31321 - 11-16-87 - A. Acme Sandblasting Inc. - Sandblast designated areas - \$1,500.00 *ct.*

#31438 - 12-7-87 - Polonia Restoration - Painting of exterior - \$7,000.00 *ct.*

plete landscape and lighting plan shall be
ted to staff for review and approval. This
include a landscape buffer between the pool
and the beach, planting of the dune overlay
ct, and the south side of the property. The
side of the pool area shall be landscaped, and
rees provided on the beach.

haust fan presently located in the rear of the
a shall be screened with landscaping. This
ing shall be shown on the landscape plan.

licant shall provide a south elevation of the
; to be reviewed by staff.

lot lighting shall be provided by the use
al halide lights to be mounted on the
ig.

control on the south side of the building
be provided through the use of crime
ion gates at the southeast and southwest
of the building. The design of the gates
e submitted to the Department for approval.

at the appropriate staff is aware of these
ecord this action on the building card for
If the building permit is not issues within
aeting date (August 8, 1989) Design Review
come void.

istance in this matter.

Electrical Permits:

- # 14269 Miami Beach Electric: 280 Light outlets, 4 motors, 150 Fixtures,
6 centers of distribution, Dec. 28, 1939
- # 14051 Claude Neon Southern Corp: 2 Neon transformers: December 8, 1939
- # 16764 Bankier Bros: 4 switch outlets, 6 light outlets, 11 receptacles, 1 refrigerator,
1 iron. 1 range, 1 motor, 3 centers of distribution, Jan. 23, 1941
- # 16765 Bankier Bros: 6 Fixtures, January 23, 1941 Final L. Brown, jr. 2/15/41
- # 17583 Neon Sign & Display: 1 Neon transformer: September 10, 1941
- # 18885 USAAFTTC 2 switch outlets, (air conditioning for bar) Oct. 31, 1942
- # 19643 USAAFTTC 2 switch outlets, 4 lught outlets, 8 receptacles, 4 fixtures,
3 refrigerators, 2 appliances, 1 fan, 4 motors, Sept. 15, 1943
- # 21518 ARMY 20 light outlets, 8 appliance outlets, 1 bell transformer, Oct. 30, 1945
- # 21752 Astor Electric: 4 switch outlets, 10 light outlets, 10 fixtures, 1 center: 12/4/45
- # 21856 Tropicalites: 1 neon transformer: December 15, 1945
- # 22042 Astor Electric: 3 centers of distribution, Jan. 16, 1946
- # 22112 Astor Electric: 3 switch outlets, 3 light outlets, 27 fixtures, 1 motor,
1 center of distribution, February 1, 1946
- # 22173 Astor Electric: 3 switch outlets, 6 light outlets, 2 receptacles, 5 fixtures,
1 motor, 1 center of distribution, February 11, 1946
- # 22399 Astor Electric: 8 light outlets, 16 Fixtures, April 2, 1946
- # 22675 Astor Electric: 3 motors, 5 centers of distribution, June 15, 1946
- # 23668 Astor Electric: 1 appliance outlet, January 6, 1947
- # 23782 Astor Electric: 3 switch outlets, 1 receptacle, 1 motor, January 20, 1947
- # 25088 Dade Electric: 20 switch outlets, 20 light outlets, 27 receptacles, 20 fixtures-
10-29-47
- # 25509 Tropicalites: 2 Neon Transformers - Dec. 22, 1947
- # 25880 Astor Electric: 1 water heater outlet, 1 center of distribution- Feb. 20, 1948
- # 26479 Astor Electric: 7 motors, 2 centers of distribution - June 9, 1948
- # 27425 Fla. Power & Light Co: 1 transformer vault - Oct. 18, 1948
- # 27439 Lyon Electric: 10 light outlets, 10 fixtures, 102 fan outlets, 5 motors, 1 meter
change - Oct. 19, 1948 Final Ok Woodmansee - Dec.13,1948
- # 28812 Friedman: television antenna - May 16, 1949
- # 30312 Astor Electric: 2 switch outlets, 6 light outlets, 14 fixtures - Dec. 5, 1949-PM
1-13-1950
- # 34732 Claude Neon: 5 neon transformers - July 20, 1951
- # 35566 Astor Elec.Service: 2 receptacles, 3 appliance outlets, 2 centers of distribution,
1 motor - Nov. 21, 1951 ok 1- 10-52 HOR

BUILDING PERMITS:

#31130

10-13-87 - Polonia Restoration - Painting (outside) - \$4,000.00

(This permit is void) Off. See letter attached to original permit

#31321 - 11-16-87 - A. Acme Sandblasting Inc. - Sandblast designated areas - \$1,500.00 *CV*

#31438 - 12-7-87 - Polonia Restoration - Painting of exterior - \$7,000.00 *CV*

6. A complete landscape and lighting plan shall be submitted to staff for review and approval. This shall include a landscape buffer between the pool deck and the beach, planting of the dune overlay district, and the south side of the property. The south side of the pool area shall be landscaped, and palm trees provided on the beach.

7. The exhaust fan presently located in the rear of the kitchen shall be screened with landscaping. This screening shall be shown on the landscape plan.

8. The applicant shall provide a south elevation of the cabanas to be reviewed by staff.

9. Parking lot lighting shall be provided by the use of metal halide lights to be mounted on the building.

10. Access control on the south side of the building shall be provided through the use of crime prevention gates at the southeast and southwest corners of the building. The design of the gates shall be submitted to the Department for approval.

In order to ensure that the appropriate staff is aware of these requirements, please record this action on the building card for subject property. If the building permit is not issued within (1) year of the meeting date (August 8, 1989) Design Review approval will become void.

Thank you for your assistance in this matter.

D/ga
ET\1405J-a

DEPARTMENT OF PLANNING

004

CITY HALL
1700 CONVENTION CENTER DRIVE
TELEPHONE: 673-7550

Enly
JAM
AUG 1 8 1989

TO: Paul Gioia
Building Director

FROM: Jud Kurlancheek *P*
Planning and Zoning Director

SUBJECT: FILE NO. 1405J-A
ALTON PLAZA HOTEL
110 TWENTIETH STREET

August 15, 1989
CITY OF MIAMI BEACH
BUILDING DEPARTMENT
1989 AUG 17 AM 11:23

At the August 8, 1989 meeting, the Design Review Board and Historic Preservation Board granted final approval of the above noted project subject to the following conditions:

1. The applicant shall work with staff to develop a landscape plan for the off-street parking lot for Department review and approval.
2. Plans shall specify future use and type of windows on the west elevation which are currently shuttered.
3. Plans shall note the removal of existing chattahoochee stone on building entry, steps, and terraces and replacement with keystone as indicated by the applicant. A detail of the porch railings shall also be provided.
4. Plans shall show replacement of the existing chattahoochee stone on the swimming pool deck with a more attractive material.
5. The applicant shall provide a detail to staff of the security fence proposed for the beach side of the property.

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
10-13-87		Painting(outside)	\$14,000.00					31130
11-16-87		Sandblast designated AREAS.	\$1,500.00					31321
12-7-87		EXTERIOR Painting	\$7,000.00					31438

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

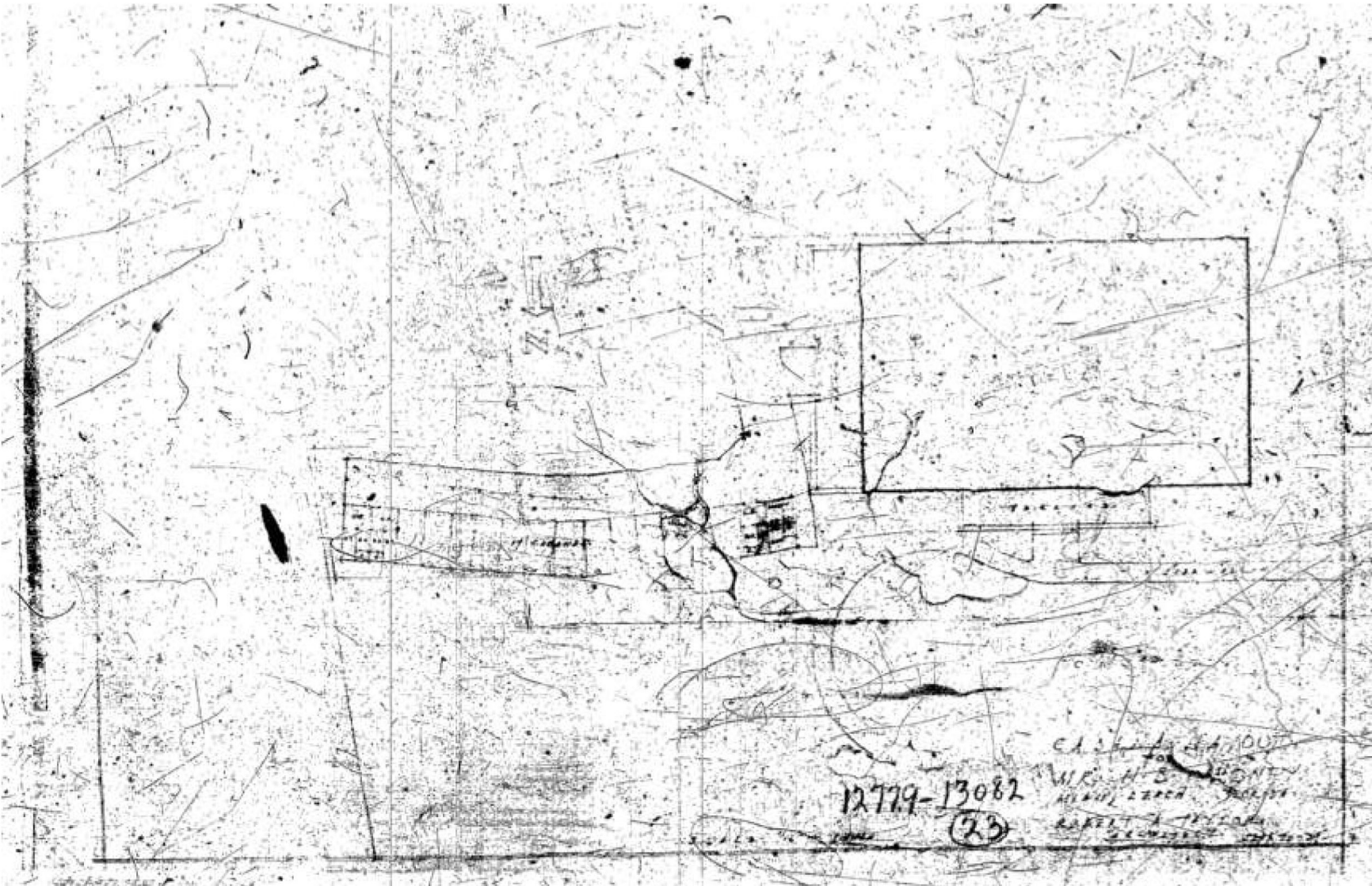
DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
10-13-88		5000 sq ft.	\$20,000.00					58880072
11-7-88		REPLACE 294 existing windows	\$2,537,645					58880184
1-9-89		EXTERIOR PAINTING	\$19,000.00					58890494

BUILDING PERMITS: #SB880072 - 10-18-88 - All Dade Roofing - 5000 sqs. reroof - \$20,000.00 *cy*
#SB880184 - 11-7-88 - Sunshine Glass Inc. - Replace 294 existing windows -
\$2,537,645 *K*
#SB890494 - 1-9-89 - Eddys Painting - Exterior painting - \$19,000.00 *cy* .

ELECTRICAL PERMITS: #83215 - Elna Inc. - 1 Service temporary, 1 general repairs for temporary lighting
and safety - 5-6-88 *K*
#BE891292 - K&R Electric - Temporary power (Security) - 7-6-89 *cy*

APPENDIX B

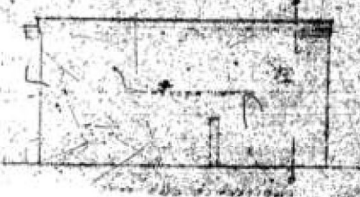
MICROFILMED ORIGINAL DRAWINGS
CROMWELL HOTEL



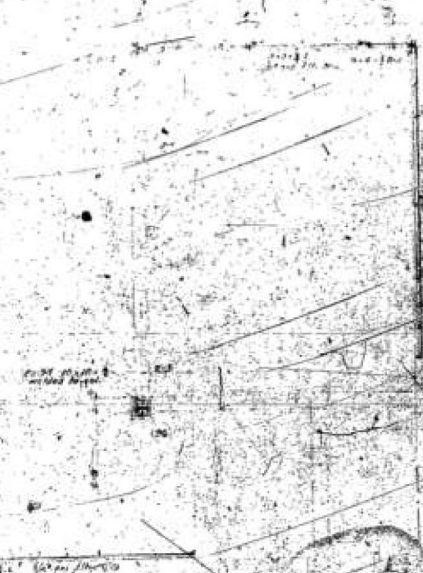
12779-13082

(23)

Casting
WIRING
ALUMINUM
STEEL



All elevations 1/4" = 1'-0"
 10/1/50

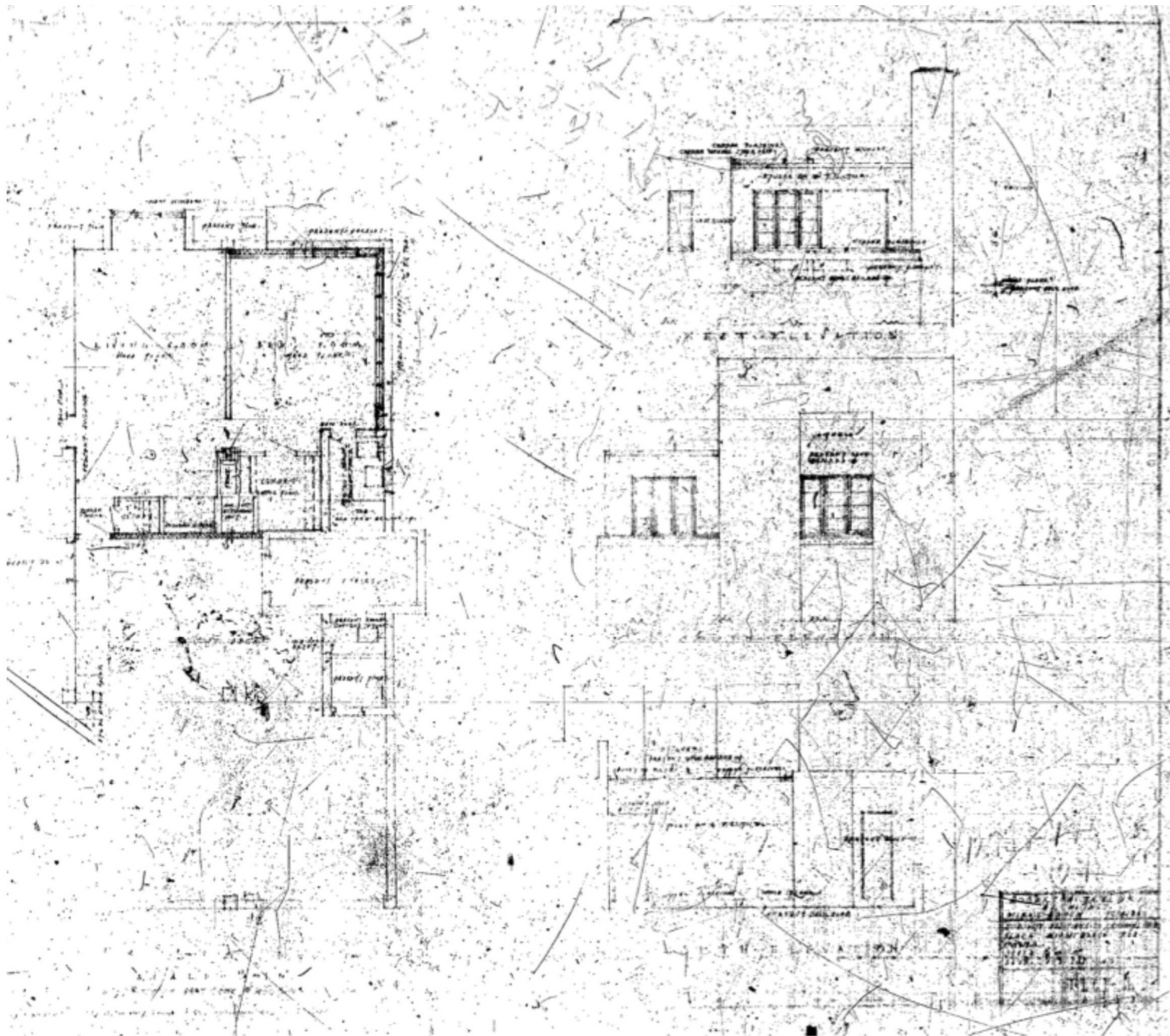


ROOF PLAN
 10/1/50

14820

Robert A. Dalken
 Engineer

PROJECT NO. 14820 SHEET NO. 14820 DATE 10/1/50
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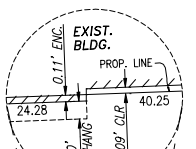
APPENDIX C

SITE SURVEY REPORT

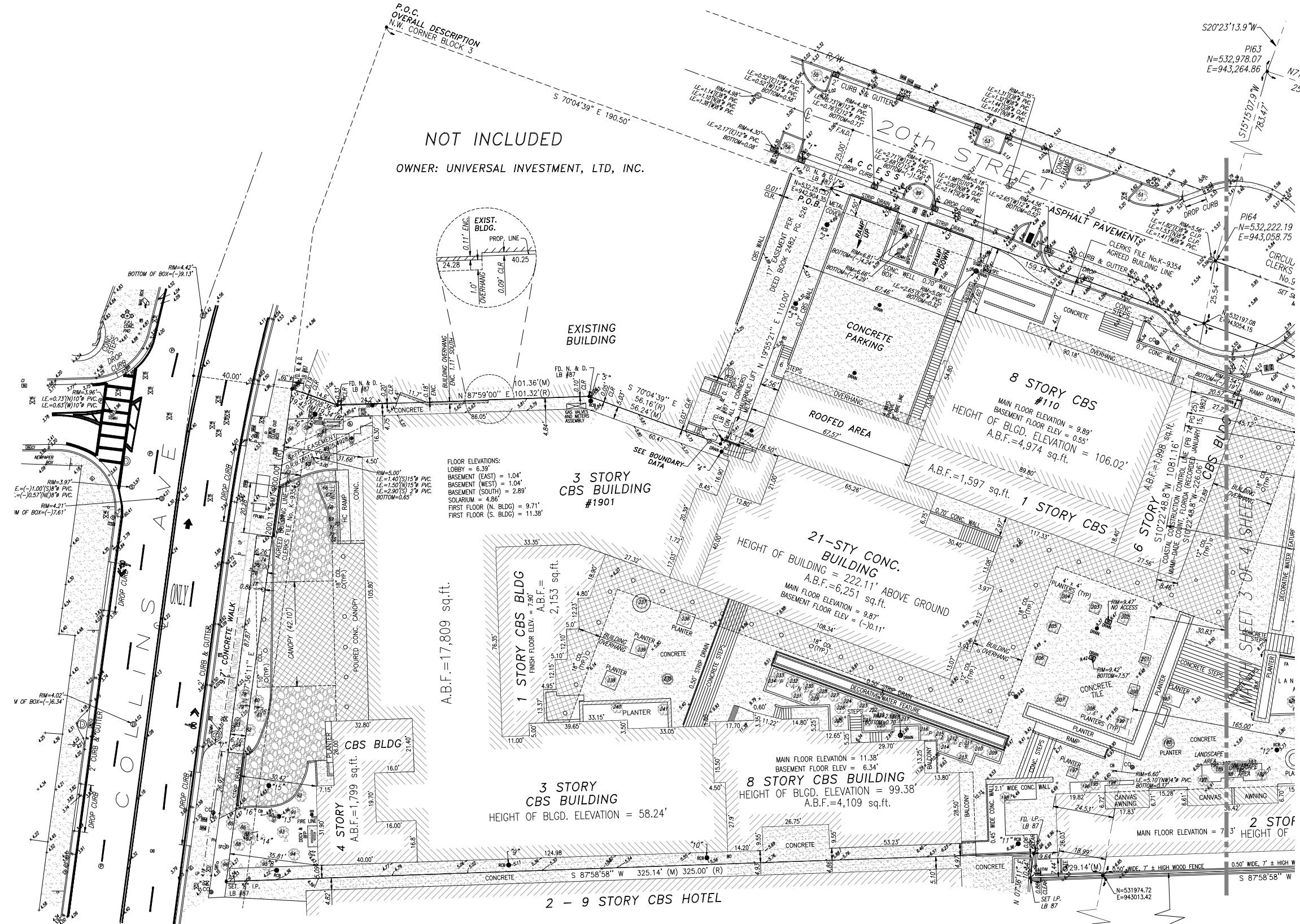


P.O.C. OVERALL DESCRIPTION N.W. CORNER BLOCK 3

NOT INCLUDED
OWNER: UNIVERSAL INVESTMENT, LTD, INC.



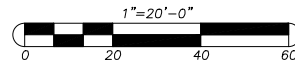
FLOOR ELEVATIONS:
LOBBY = 6.39'
BASEMENT (EAST) = 1.04'
BASEMENT (WEST) = 1.04'
BASEMENT (SOUTH) = 2.89'
SOLARIUM = 4.86'
FIRST FLOOR (N. BLDG) = 9.71'
FIRST FLOOR (S. BLDG) = 11.38'



LEGEND:

	DENOTES BOLLARD		DENOTES CHAIN LINK FENCE
	DENOTES WOOD POWER POLE		DENOTES CENTER LINE
	DENOTES LIGHT POLE		DENOTES FOUND
	DENOTES WATER VALVE		DENOTES IRON PIPE
	DENOTES WATER METER		DENOTES NAIL AND DISC
	DENOTES FIRE HYDRANT		DENOTES CLEAR
	DENOTES SIAMESE FIRE CONNECTION		DENOTES ENCROACHMENT
	DENOTES BACKFLOW PREVENTER		DENOTES CONCRETE
	DENOTES DOUBLE DETECTOR CHECK VALVE		DENOTES TYPICAL
	DENOTES CATCH BASIN		DENOTES MEASURED
	DENOTES ROUND CATCH BASIN		DENOTES RECORD
	DENOTES CLEAN OUT		DENOTES COLUMN
	DENOTES SANITARY SEWER MANHOLE		DENOTES PLAT BOOK AND PAGE
	DENOTES STORM DRAINAGE MANHOLE		DENOTES POINT OF COMMENCEMENT
	DENOTES FLORIDA POWER & LIGHT MANHOLE		DENOTES POINT OF BEGINNING
	DENOTES SOUTHERN BELL CLOSURE		DENOTES CLEAR
	DENOTES PULL BOX		DENOTES ENCROACHES
	DENOTES GAS VALVE		DENOTES AREA OF BUILDING FOOTPRINT
	DENOTES GAS METER		DENOTES EXISTING CONCRETE
	DENOTES PHONE KIOSK		DENOTES EXISTING ASPHALT
	DENOTES SEWER VALVE		
	DENOTES FIRE LINE INDICATOR POST		
	DENOTES SHOWER		
	DENOTES FIRE ALARM		
	DENOTES FIRE HOSE VALVE		
	DENOTES WATER MANHOLE		

NOTE:
PARKING FOR THE SUBJECT PROPERTY IS OFF-SITE BY VALET SERVICES



ELEVATIONS SHOWN HEREON REFER TO NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND ARE EXPRESSED IN FEET.

BOUNDARY DATA

NUMBER	DIRECTION	DISTANCE
L1	S 70°04'39" E	7.00'
L2	N 19°55'21" E	2.00'

REVISIONS

Date	Remarks	By
06-18-97	ORD #178255 ADDED ELEVATIONS	EAC
07-24-97	PILOT LOCATION OF "R" MONUMENTS PER FDP	JBB
09-29-97	REVISED LEGAL INSTR. PER COMMENTS	JBB
01-12-99	UP-DATE SURVEY	COF
04-05-99	ADDED TP. PLACEMENT	RPS
12-10-99	ORD #181067 UP-DATE (UNDER CONST.)	JBB
02-14-00	ORD #181094 LOCATE POOL FORMS	EAC
03-01-00	ORD #181540 POOL (AS-BUILT)	EAC
02-10-00	ORD #186448 UP-DATE SURVEY (ALTA)	JBB
07-07-03	ORD #188357 UP-DATE SURVEY (ALTA)	J.G.H.
08-21-05	ORD #192012 UP-DATE SURVEY (ALTA)	JBB
10-18-05	REVISED PER LENDER REQUEST	DEL
04-01-14	ORD #202575 UP-DATE BOUNDARY SURVEY	AS/2/G.H.
05-06-14	ORD #202736 ADD BEACH INFO. FOR FDP SURV.	J.G.H.
07-10-14	REVISED PER F.D.E.P. COMMENTS	J.G.H.
07-17-14	REVISED PER F.D.E.P. COMMENTS	J.G.H.
02-01-16	ORD #205113 UP-DATE SURVEY	J.G.H.
04-20-16	ORD #205479 UP-DATE SURVEY	E.W.
08-26-16	ORD #206006 UP-DATE SURVEY (INVERTS ELEV.)	E.W.

BOUNDARY SURVEY

Portion of Block B, "THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY", according to the Plat thereof as recorded in Plat 5 at Pages 7 and 8, and a Portion of Block 1, "FISHERS FIRST SUBDIVISION OF ALTON BEACH", according to the Plat thereof as recorded in Plat Book 2 at Page 77, all the Public Records of Dade County, Florida, and a Parcel of land Lying East of said Block B and 1, Lying and Being in the City of Miami Beach, Miami-Dade County, Florida.

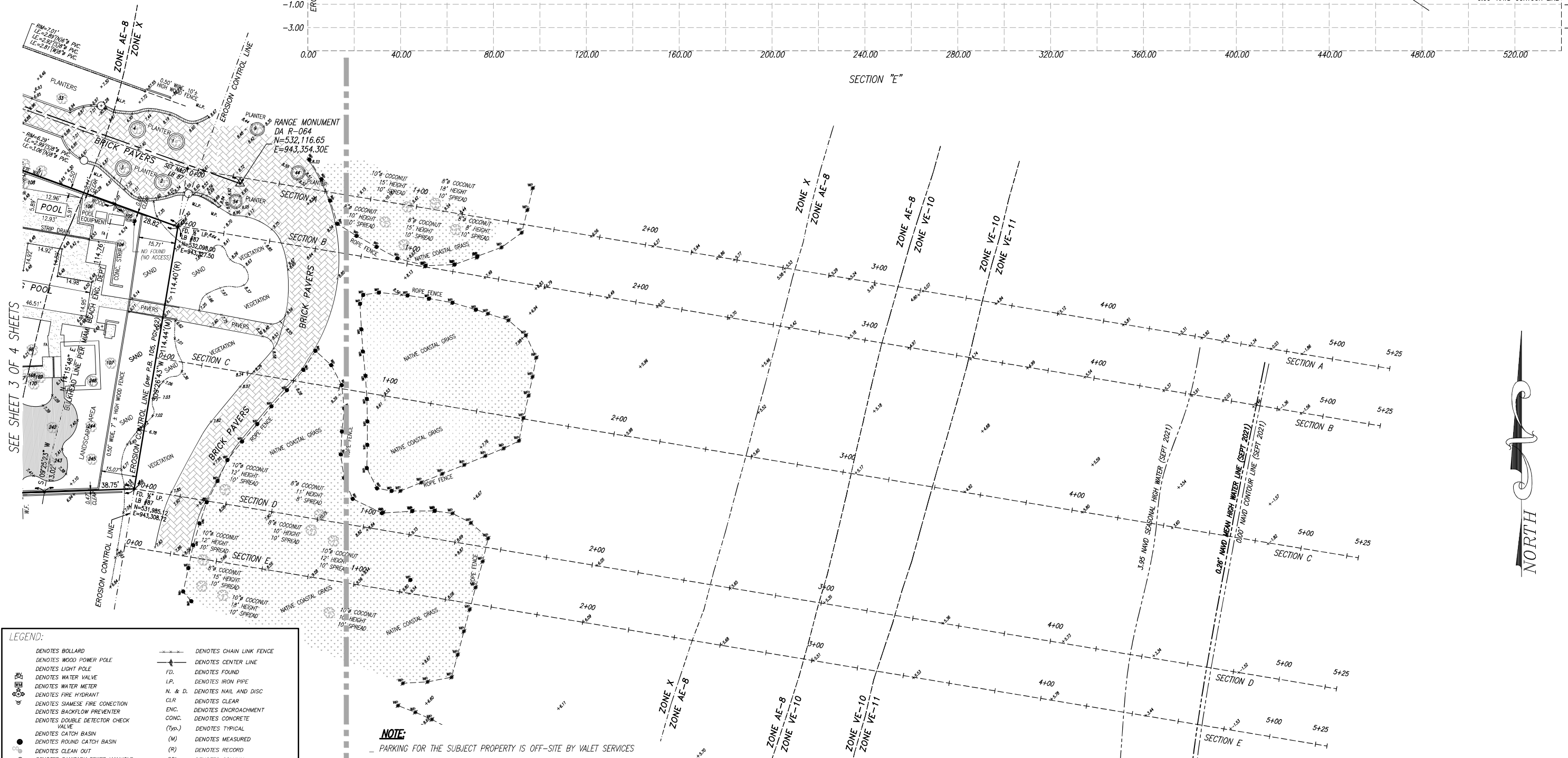
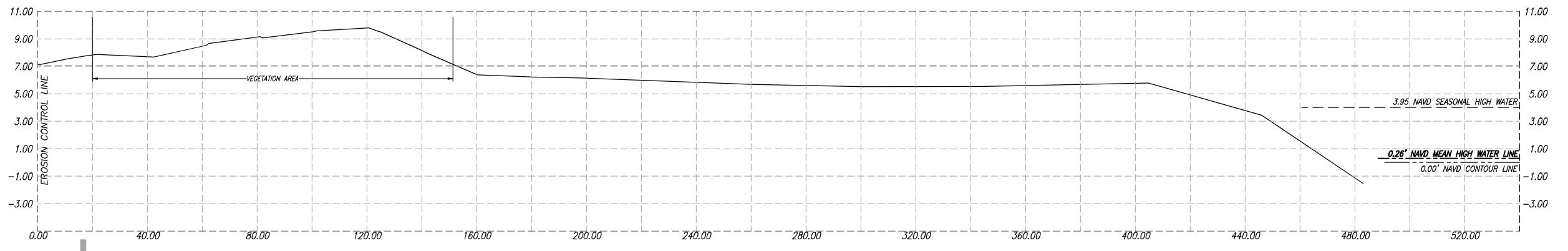
Schwabke-Shiskin & Associates, Inc.
 LAND PLANNERS ENGINEERS LAND SURVEYORS LB #87
 3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288

By: _____ Drawn By: J.B.B. Date: 05-01-97 Checked By: _____ Date: _____
 Registered Land Surveyor No. _____ State of Florida Order No. 178069 FB. 2113 Pg. 26 Scale: 1" = 20'
 Registered Engineer No. _____ State of Florida File No. PSI-182 B Sheet No. 2 of 5 Sheets

THIS IS A "BOUNDARY SURVEY"

08-24-2021 ORD #213974 UP-DATE SURVEY E.G.
NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.

SECTION 34-53-42



- LEGEND:**
- DENOTES BOLLARD
 - ⊕ DENOTES WOOD POWER POLE
 - ⊕ DENOTES LIGHT POLE
 - ⊕ DENOTES WATER VALVE
 - ⊕ DENOTES WATER METER
 - ⊕ DENOTES FIRE HYDRANT
 - ⊕ DENOTES SIAMSE FIRE CONNECTION
 - ⊕ DENOTES BACKFLOW PREVENTER
 - ⊕ DENOTES DOUBLE DETECTOR CHECK VALVE
 - ⊕ DENOTES CATCH BASIN
 - ⊕ DENOTES ROUND CATCH BASIN
 - ⊕ DENOTES CLEAN OUT
 - ⊕ DENOTES SANITARY SEWER MANHOLE
 - ⊕ DENOTES STORM DRAINAGE MANHOLE
 - ⊕ DENOTES FLORIDA POWER & LIGHT MANHOLE
 - ⊕ DENOTES SOUTHERN BELL CLOSURE
 - ⊕ DENOTES PULL BOX
 - ⊕ DENOTES GAS VALVE
 - ⊕ DENOTES GAS METER
 - ⊕ DENOTES PHONE KIOSK
 - ⊕ DENOTES SEWER VALVE
 - ⊕ DENOTES FIRE LINE INDICATOR POST
 - ⊕ DENOTES SHOWER
 - ⊕ DENOTES FIRE ALARM
 - ⊕ DENOTES FIRE HOSE VALVE
 - ⊕ DENOTES WATER MANHOLE
 - DENOTES CHAIN LINK FENCE
 - DENOTES CENTER LINE
 - FD. DENOTES FOUND
 - I.P. DENOTES IRON PIPE
 - N. & D. DENOTES NAIL AND DISC
 - CLR. DENOTES CLEAR
 - ENC. DENOTES ENCROACHMENT
 - CONC. DENOTES CONCRETE
 - (Typ.) DENOTES TYPICAL
 - (M) DENOTES MEASURED
 - (R) DENOTES RECORD
 - COL. DENOTES COLUMN
 - P.B., PG. DENOTES PLAT BOOK AND PAGE
 - P.O.C. DENOTES POINT OF COMMENCEMENT
 - P.O.B. DENOTES POINT OF BEGINNING
 - CLR. DENOTES CLEAR
 - ENC. DENOTES ENCROACHES
 - A.B.F. DENOTES AREA OF BUILDING FOOTPRINT
 - DENOTES EXISTING CONCRETE
 - DENOTES EXISTING ASPHALT

NOTE:
 - PARKING FOR THE SUBJECT PROPERTY IS OFF-SITE BY VALET SERVICES

REVISIONS

Date	Remarks	By
05-18-97	ORD #178259 ADDED ELEVATIONS	EAC
07-24-97	PLAT LOCATION OF "M" MONUMENTS PER TDEP	JBB
09-29-97	MOVING LEGAL INSTR. PER COMMENTS	JBB
01-17-99	UP-DATE SURVEY	COF
04-05-99	ADDED PPL EASEMENT	RPS
12-10-99	ORD #181001 UP-DATE (UNDER CONST.)	EAC
02-14-00	ORD #181094 LOCATE POOL FORMS	JBB
03-01-00	ORD #181540 POOL TAG-BUILD	JBB
02-10-01	ORD #186448 UP-DATE SURVEY (ALTA)	JBB
07-07-03	ORD #188387 UP-DATE SURVEY (ALTA)	J.G.H.
02-21-05	ORD #190012 UP-DATE SURVEY (ALTA)	JBB
10-18-05	REVISED PER LENDER REQUEST	RBL
04-01-14	ORD #202575 UP-DATE BOUNDARY SURVEY	AS/J.G.H.
05-26-14	ORD #202746 ADD BEACH INFO. FOR DEP. SURV.	J.G.H.
07-10-14	REVISED PER F.D.E.P. COMMENTS	J.G.H.
07-17-14	REVISED PER F.D.S. COMMENTS	J.G.H.
02-20-16	ORD #205113 UP-DATE SURVEY	J.E.S.
04-20-16	ORD #205479 UP-DATE SURVEY	E.W.
05-26-16	ORD #206006 UP-DATE SURVEY (INVERTS ELEV.)	E.W.

ELEVATIONS SHOWN HEREON REFER TO NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND ARE EXPRESSED IN FEET.

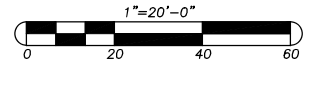
BOUNDARY SURVEY

Portion of Block B, "THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY", according to the Plat thereof as recorded in Plat 5 at Pages 7 and 8, and a Portion of Block 1, "FISHERS FIRST SUBDIVISION OF ALTON BEACH", according to the Plat thereof as recorded in Plat Book 2 at Page 77, all the Public Records of Dade County, Florida, and a Parcel of land Lying East of said Block B and 1, Lying and Being in the City of Miami Beach, Miami-Dade County, Florida.

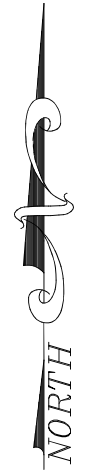
THIS IS A "BOUNDARY SURVEY"

Schuelke-Shiskin & Associates, Inc.
 LAND PLANNERS ENGINEERS LAND SURVEYORS LB #87
 3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288

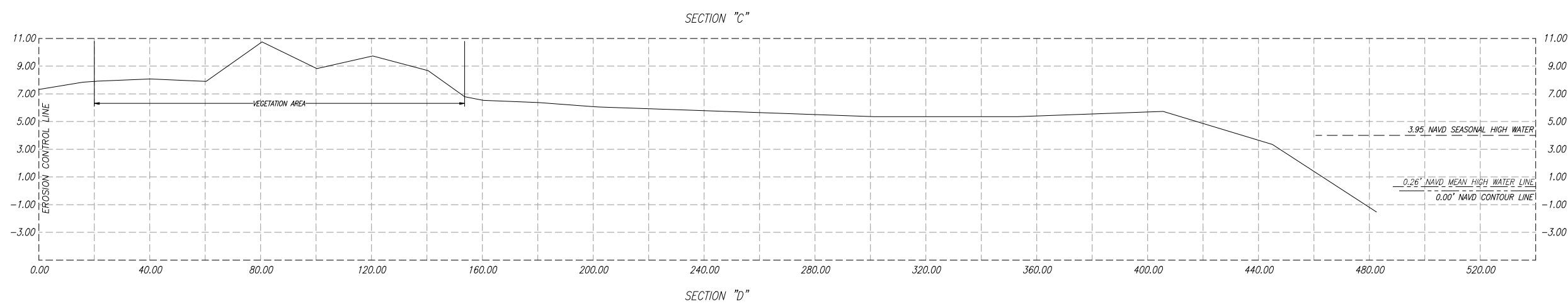
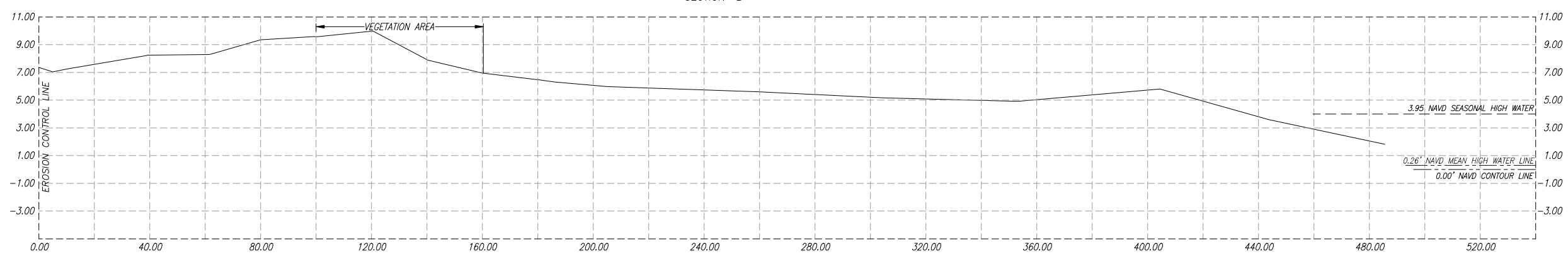
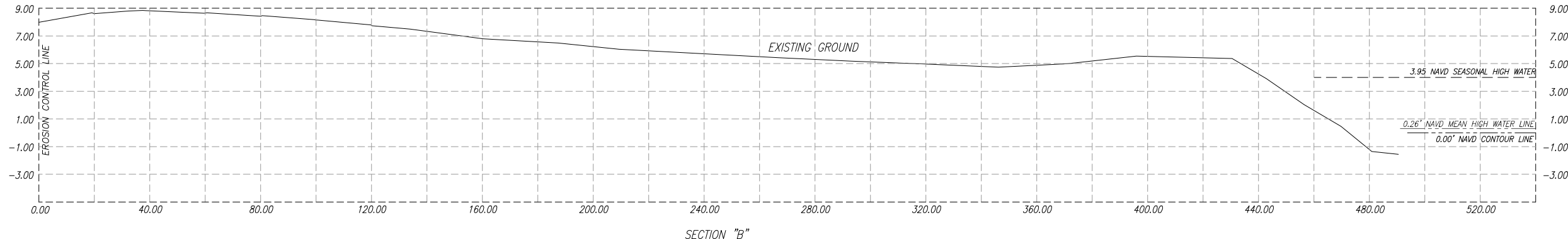
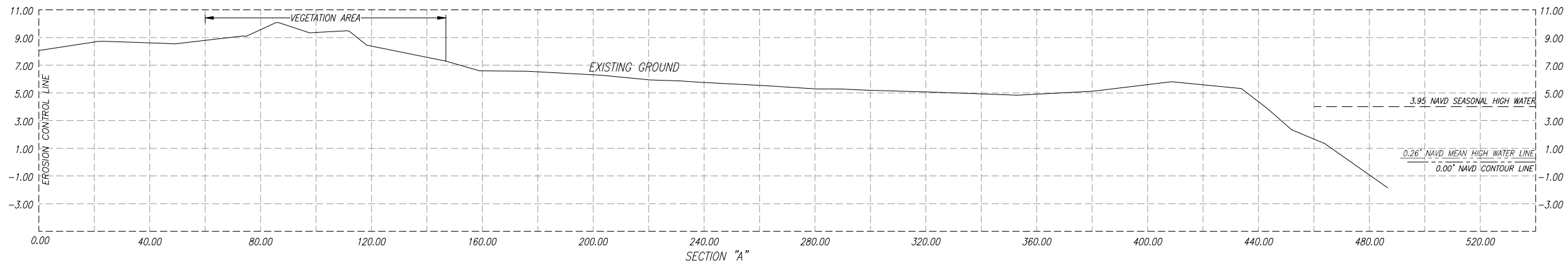
By: _____ Drawn By: J.B.B. Date: 05-01-97 Checked By: _____ Date: _____
 Registered Land Surveyor No. _____ State of Florida Order No. 176069 FB. 2113 Pg. 26 Scale: 1" = 20'
 Registered Engineer No. _____ State of Florida File No. **PSI-182 B** Sheet No. 4 of 5 Sheets



08-24-2021 ORD #213974 UP-DATE SURVEY L.E.G.
 NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.



SEE SHEET 3 OF 4 SHEETS



ELEVATIONS SHOWN HEREON REFER TO NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND ARE EXPRESSED IN FEET.

THIS IS A " BOUNDARY SURVEY "

Date	Remarks	By
06-18-97	ORD #178255 ADDED ELEVATIONS	EAC
07-24-97	PLAT LOCATION OF "K" MONUMENTS PER FDP#	JGB
09-29-97	REVISED LOCAL MON. PER COMMENTS	JGB
01-12-99	UP-DATE SURVEY	COF
04-05-99	ADDED THE EASUREMENT	RPS
12-10-99	ORD #181067 UP-DATE (UNDER CONST.)	DRS
02-14-00	ORD #181094 LOCATE POOL FORMS	EAC
03-01-00	ORD #181540 POOL (AS-BUILT)	EAC
02-10-01	ORD #186448 UP-DATE SURVEY (ALTA)	JGB
07-07-03	ORD #188357 UP-DATE SURVEY (ALTA)	JGB
09-01-05	ORD #192012 UP-DATE SURVEY (ALTA)	DRS
10-18-05	REVISED PER LENDER REQUEST	DRS
04-01-14	ORD #202575 UP-DATE BOUNDARY SURVEY	AS/JGBH
05-06-14	ORD #202736 ADD BEACH INFO. FOR DEP. SURV.	JGBH
07-10-14	REVISED PER F.D.E.P. COMMENTS	JGBH
07-17-14	REVISED PER F.S.I. COMMENTS	JGBH
02-01-15	ORD #205115 UP-DATE SURVEY	L.E.G.
04-20-16	ORD #205479 UP-DATE SURVEY	E.M.
08-26-16	ORD #206006 UP-DATE SURVEY (INVERTS ELEV.)	E.M.

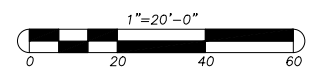
BOUNDARY SURVEY

Portion of Block B, " THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY ", according to the Plat thereof as recorded in Plat 5 at Pages 7 and 8, and a Portion of Block 1, " FISHERS FIRST SUBDIVISION OF ALTON BEACH ", according to the Plat thereof as recorded in Plat Book 2 at Page 77, all the Public Records of Dade County, Florida, and a Parcel of land Lying East of said Block B and 1, Lying and Being in the City of Miami Beach, Miami-Dade County, Florida.

SECTION 34-53-42

Schuelke-Shiskin & Associates, Inc.
 LAND PLANNERS ENGINEERS LAND SURVEYORS LB #87
 3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288

By: _____ Drawn By: J.B.B. Date: 05-01-97 Checked By: _____ Date: _____
 Registered Land Surveyor No. _____ State of Florida Order No. 178069 FB. 2113 Pg. 26 Scale: 1" = 20'
 Registered Engineer No. _____ State of Florida File No. PSI-182 B Sheet No. 5 of 5 Sheets



08-24-2021 ORD #213974 UP-DATE SURVEY L.E.G.
 NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Land Surveyor or Professional Engineer.

APPENDIX D

FLORIDA MASTER SITE FILE
SHORE CLUB HOTEL AND CROMWELL HOTEL

Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 _____
Field Date September 27, 2021
Form Date 9-16-2021
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Shore Club Hotel Multiple Listing (DHR only) _____
Survey Project Name Search for 'shore club' in Miami Beach Historic Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Street Number 1901a Direction _____ Street Name Collins Street Type Avenue Suffix Direction _____
Address: _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name _____ USGS Date _____ Plat or Other Map _____
City / Town (within 3 miles) Miami Beach In City Limits? yes no unknown County _____ Dade
Township 53S Range 42E Section 26 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # 02-3226-001-0020 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 587300 Northing 2853256
Other Coordinates: X: 25.7948753196 Y: -80.1291998578 Coordinate System & Datum WGS84
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1949 approximately year listed or earlier year listed or later
Original Use Hotel From (year): _____ To (year): _____
Current Use Hotel From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature _____
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): Albert Anis Builder (last name first): Robert L. Turchin
Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Moderne Exterior Plan Unspecified Number of Stories _____
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Unspecified 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) _____

Distinguishing Architectural Features (exterior or interior ornaments) The shore club has a series of Art Deco & MiMo features such as the eyebrows that hold the Shore Club signage, but it transitions into the Miami Moder

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. 2.
Structural System(s): 1. Concrete block 2. 3.
Foundation Type(s): 1. Other 2.
Foundation Material(s): 1. Other 2.
Main Entrance (stylistic details) The primary entryway is located on the west elevation, on collins and it is recessed from the facade under an over hang.
Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): []excellent [x]good []fair []deteriorated []ruinous
Narrative Description of Resource

Archaeological Remains []Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- [] FMSF record search (sites/surveys) [] library research [] building permits [] Sanborn maps
[] FL State Archives/photo collection [] city directory [] occupant/owner interview [] plat maps
[] property appraiser / tax records [] newspaper files [] neighbor interview [] Public Lands Survey (DEP)
[] cultural resource survey (CRAS) [] historic photos [] interior inspection [] HABS/HAER record search
[] other methods (describe)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) City of Miami Beach Building Department records; Miami-Dade County Property Appraiser; City of Miami Beach Planning Department records; Miami Design Preservation League records

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? []yes [x]no []insufficient information
Appears to meet the criteria for National Register listing as part of a district? [x]yes []no []insufficient information
Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. 3. 5.
2. 4. 6.

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents
1) Document type Maintaining organization
Document description File or accession #'s
2) Document type Maintaining organization
Document description File or accession #'s

RECORDER INFORMATION

Recorder Name Carolina Richardson Affiliation
Recorder Contact Information Mauricio Caro
(address / phone / fax / e-mail)

Required Attachments
1 USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
3 PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 _____
Field Date September 30th
Form Date 9-16-2021
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) The Cromwell Hotel Multiple Listing (DHR only) _____
Survey Project Name Search for 'shore club' in Miami Beach Historic Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Street Number 1901 Direction b Street Name Collins Street Type Avenue Suffix Direction _____
Address: _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name _____ USGS Date _____ Plat or Other Map _____
City / Town (within 3 miles) Miami Beach In City Limits? yes no unknown County _____
Township 53S Range 42E Section 26 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # 02-3226-001-0020 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting 587393 Northing 2853287
Other Coordinates: X: 25.7951479496 Y: -80.1282685472 Coordinate System & Datum WGS84
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1939 approximately year listed or earlier year listed or later
Original Use _____ From (year): _____ To (year): _____
Current Use _____ From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature _____
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): Robert A. Taylor Builder (last name first): Fred Howland, Inc
Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Art Deco Exterior Plan Unspecified Number of Stories 7
Exterior Fabric(s) 1. Unknown 2. _____ 3. _____
Roof Type(s) 1. Unspecified 2. _____ 3. _____
Roof Material(s) 1. Unspecified 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) Windows are original aluminum jalousie.

Distinguishing Architectural Features (exterior or interior ornaments) The Cromwell Hotel is an Art Deco building with strong features of symmetry with a vertical axis on the facade. The roof line of the hotel is in Ziggu

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Other _____ 2. _____ 3. _____

Foundation Type(s): 1. Other _____ 2. _____

Foundation Material(s): 1. Other _____ 2. _____

Main Entrance (stylistic details) The primary entryway is on the North elevation and has a small overhand with a stepped edge.

Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): [] excellent [x] good [] fair [] deteriorated [] ruinous

Narrative Description of Resource _____

Archaeological Remains _____ [] Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- [] FMSF record search (sites/surveys) [] library research [] building permits [] Sanborn maps
[] FL State Archives/photo collection [] city directory [] occupant/owner interview [] plat maps
[] property appraiser / tax records [] newspaper files [] neighbor interview [] Public Lands Survey (DEP)
[] cultural resource survey (CRAS) [] historic photos [] interior inspection [] HABS/HAER record search
[] other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) City of Miami Beach Building Department records; Miami-Dade County Property Appraiser; City of Miami Beach Planning Department records; Miami Design Preservation League records

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? [] yes [x] no [] insufficient information

Appears to meet the criteria for National Register listing as part of a district? [x] yes [] no [] insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) _____

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

- 1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____
2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Carolina Richardson Affiliation _____

Recorder Contact Information Mauricio Caro
(address / phone / fax / e-mail)

Required Attachments
1 USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
3 PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.