

David Chipperfield

David Chipperfield was born in London, United Kingdom, in 1953. He graduated from Kingston School of Art in 1976 and from the Architectural Association School of Architecture in London in 1977. In 1985, he founded David Chipperfield Architects, which currently has offices in London, Berlin, Milan, and Shanghai. The firm has completed over 100 projects all over the world and has won more than 100 awards and citations for design, including the RIBA Stirling Prize in 2007 for The Museum of Modern Literature in Marbach, Germany, and both the Mies van der Rohe Award (European Union Prize for Contemporary Architecture) and the Deutscher Architekturpreis in 2011 for the Neues Museum, Berlin.

Work that was undertaken prior to or concurrent with the Shore Club included the Figge Art Museum, Davenport, Iowa (1999-2005) (Fig. 113), the restoration of the Neues Museum, Berlin (1997-2009), and the River and Rowing Museum in Oxfordshire, United Kingdom (1989-1997). (Fig. 114)



*Fig. 113. Figge Art Museum, Davenport, Iowa, 2010.
(Wikimedia Commons)*



*Fig. 114. River and Rowing Museum, Henley-on-Thames, Oxfordshire, United Kingdom, 2008.
(Wikimedia Commons)*

Later work included the Museum of Cultures (MUDEC), Milan, Italy (2000–2015) (Fig. 115), Des Moines Public Library, Des Moines, Iowa (2002–2006), Museum of Modern Literature, Marbach am Neckar, Germany (2002–2006) (Fig. 116). , America's Cup Building, Valencia, Spain (2005–2006) (Fig. 117), expansion of the Saint Louis Art Museum, St. Louis, Missouri (2005–2013), Liangzhu Culture Museum, Hangzhou, Zhejiang province, China (2007), Museo Jumex, Mexico City, Mexico (2009–2013) (Fig. 118), Amorepacific Headquarters, Seoul, South Korea (2010–2017) (Fig. 119), and One Kensington Gardens, London, United Kingdom (2010–2015).



Fig. 115 Museum of Cultures (MUDEC),
Milan, Italy. 2015.
(ArchDaily)



Fig. 116. Museum of Modern Literature, Marbach am
Neckar, Germany, 2007.
(Wikipedia)



Fig. 117. America's Cup Building, Valencia, Spain,
date unknown.
(Architectuul)



Fig. 118. Museo Jumex. Mexico City, Mexico, 2013..
(ArchDaily)

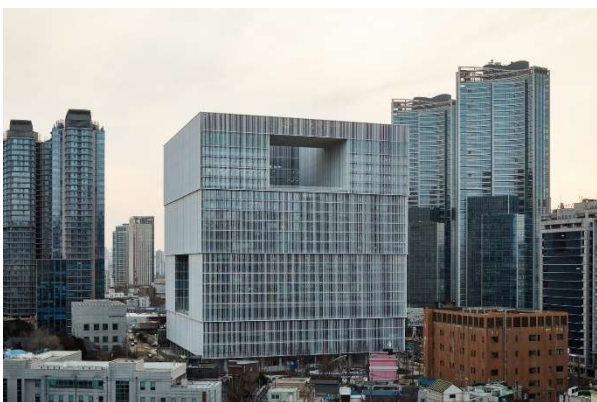


Fig. 119. Amorepacific Headquarters, Seoul,
South Korea, c.2017.
(ArchDaily)



Fig. 120. . One Kensington Gardens, London, 2016.
(Wikipedia)

ARCHITECTURAL DESCRIPTION

Site

The site is an irregularly-shaped 118,799 square foot lot located on the east side of Collins Avenue. The lot borders the Town House Hotel and 20th Street on the north, Collins Avenue on the west, the Nautilus Hotel on the south, and the beach on the east. (Fig. 5) Both Collins Avenue and 20th Street are lined by public pedestrian walkways.

At the west, the building is oriented at a slight angle to Collins Avenue and has a moderate setback. (Fig. 5) The vehicular entrance to the property is a curved one-way drive, which is accessed from the south off Collins Avenue. (Fig. 121) The drive is paved with gray cobblestones. A porte-cochere shelters the drive at approximately the mid-point. (Fig. 122) Adjacent the north end of the drive is an area that features an accessible ramp and a small bicycle rack. (Fig. 123) The paving is square white Adoquin (Mexican volcanic limestone) tile. (Fig. 123) Planting beds with shrubs and palm trees are situated between the building and public sidewalk along Collins and between the curved drive and the public sidewalk. (Fig. 121, Fig. 122, Fig. 123, Fig. 124)



Fig. 121. Detail of drive off Collins Avenue, July 2021.



Fig. 122. Detail of drive and porte-cochere, July 2021.



Fig. 123. Detail of accessible ramp and bike rack, July 2021.



Fig. 124. Detail of landscaping adjacent pedestrian sidewalk, July 2021.

From the north, vehicular access to the site is provided from 20th Street via a flat concrete drive and an adjacent elevated concrete ramp that leads to a small concrete-paved parking area. (Fig. 125) The parking abuts a utilitarian block with a 2-story screen that hides mechanical systems. Adjacent the elevated parking is an areaway to lower-level parking and also stairs that provide access to the screened mechanical area. (Fig. 126)



Fig. 125. View of flat drive and elevated ramp, July 2021.



Fig. 126. View of areaway to lower level parking and stairs to mechanical area, July 2021.

The former Cromwell Hotel has a moderate setback from the public walkway along 20th Street. A stucco-walled accessible ramp is located at the west end of the north elevation of the Cromwell. (Fig. 127) An areaway to the basement level is located at the east end of the north elevation. (Fig. 128) Both the accessible ramp and the areaway are paved with square Adoquin tile.



Fig. 127. Detail of accessible ramp at west end of north elevation of Cromwell, July 2021.



Fig. 128. Detail of areaway to basement level at east end of north elevation of Cromwell, July 2021.

East of the Cromwell, the property is enclosed by a stucco wall adjacent a planting bed with lush landscaping. (Fig. 129) The area in front of the Cromwell is landscaped with shrubs in planting beds and palm trees in large planting pots. (Fig. 130)



Fig. 129. Detail of wall and landscaping east of Cromwell, July 2021.



Fig. 130. Detail of planting beds and large planting pots adjacent pedestrian sidewalk in front of Cromwell, July 2021.

At the eastern portion of the site, a courtyard is formed by the original Shore Club and attachments to the northern and southern wings. This courtyard leads to a long narrow passageway that opens to a second courtyard adjacent the east elevation of the 20-story tower and the south elevation of the Cromwell. (Fig. 131) The cabana area and main pool are located to the south and east of this courtyard. A lap pool and whirlpool spa are located at the easternmost part of the site, adjacent the beach. Another pool is located east of the cabanas.



Fig. 131. Aerial view showing courtyards and continuous colonnade, 2021. (Google Maps)

A continuous colonnade (Fig. 131) extends along the east elevation of the original Shore Club (Fig. 145-A), the south elevation of the north wing (Fig. 145-A), the south and east elevations of the 20-story tower, (Fig. 145-D) and the south and east elevations of the former Cromwell Hotel (Fig. 145-C). The colonnade, which was constructed as part of the 1999-2001 addition, is supported by heavy round columns. (Fig. 132, Fig. 133, Fig. 134)

A courtyard is formed by the original Shore Club and attachments to the northern and southern wings. It is paved with square Adoquin tile. Lush landscaping is located to the south, and wide stairs lead to a narrow elevated walkway to the east. (Fig. 133)



Fig. 132. Detail of courtyard adjacent east elevation of Shore Club, July 2021.



Fig. 133. Detail of landscaping adjacent pedestrian sidewalk, July 2021.

The narrow walkway is paved with square Adoquin tile and features a raised planter with shrubs and a planting bed with trees. (Fig. 134) The walkway opens to a second courtyard that is covered with square red paving stone. The courtyard is adjacent the east elevation of the 20-story tower and the south elevation of the Cromwell. (Fig. 135)



Fig. 134. Narrow walkway between northern and southern wings of Shore Club, July 2021.



Fig. 135. Detail of second courtyard, July 2021.

A wide stair paved with Adoquin tile (Fig. 136) leads to the colonnade and a canopy that is attached to the east elevation of the Cromwell. (Fig. 137) The area under the colonnade and

canopy is paved with Adoquin tile. (Fig. 138) The canopy overlooks the main pool to the east. (Fig. 139)



Fig. 136. Detail of stairs from courtyard to Cromwell, July 2021.



Fig. 137. Detail of canopy at east elevation of Cromwell, July 2021.



Fig. 138. Detail of area under canopy attached to east elevation of Cromwell, July 2021.



Fig. 139. View of main pool looking west toward Cromwell, July 2021.



Fig. 140. View of main pool looking east, July 2021.



Fig. 141. Detail of pavilion adjacent main pool, July 2021.

The deck of the main pool is covered with Adoquin tile. A pavilion is located at the east end of the pool. (Fig. 141) Adjacent the pool is a building containing eight 2-story cabanas. (Fig. 142) Six of the units feature balconies that face north. The building is clad in horizontal siding. East

of the cabanas is a small swimming pool. A lap pool is situated east of the main pool. (Fig. 143) North of the lap pool are a pool equipment building and a whirlpool spa. (Fig. 144) The pool deck is paved with white Adoquin tile.



Fig. 142. View of cabanas adjacent main pool, July 2021. Fig. 143. Detail of lap pool to the east of main pool, July 2021.

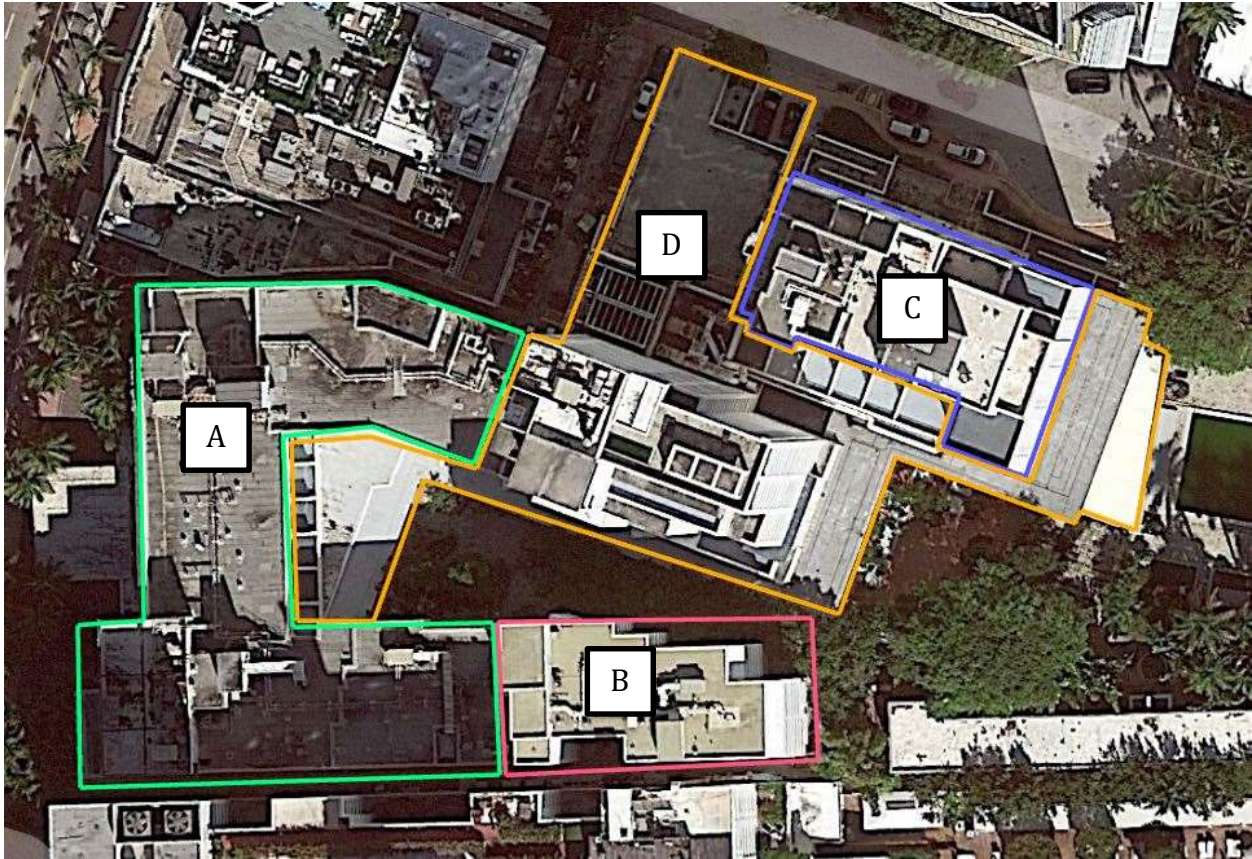


Fig. 144. View of pool equipment building and whirlpool spa, July 2021.

There are no site features at the south, as the property abuts the Nautilus Hotel.

Building

The building is irregularly shaped and is comprised of four distinct components. (Fig. 145) The original Shore Club (A) has an irregular “U”-shaped plan. The front façade is oriented north-south and faces Collins Avenue, and two wings extend to the east. The 1955 addition to the Shore Club (B) is attached at the east elevation of the south wing of the “U”. The former Cromwell Hotel (C) has a rectangular plan and is situated on a horizontal axis roughly parallel to 20th Street. The 1999-2001 additions (D) include the 20-story tower and the low-scale structures that connect the former Cromwell and the original Shore Club buildings.



*Fig. 145. Aerial view of Shore Club with components indicated, 2021.
(Google Earth)*

A – Original Shore Club Hotel (1949)

The original Shore Club (Fig. 146) has an irregular U-shaped plan. The main block, which sits on a north-south axis, has an angled wing extending east from the north end of the eastern elevation and a straight wing extending east from the south end of the eastern elevation. The northern wing originally extended further to the east, but part of it was demolished when the building was modified 1999-2001. The building is concrete block covered with stucco and has a flat roof with

parapet. The metal windows are replacement and do not retain the original muntin pattern. The Shore Club features Miami Modern (MiMo) styling.



Fig. 146. View of Shore Club Hotel front facade, July 2021.

Exterior

West (Front) Elevation (facing Collins Avenue)

The front façade features a three-and one-half-story block to the north (Fig. 147) and a projecting four-story block to the south. (Fig. 148) The façade retains its original fenestration pattern above the first level.

The northern block features a recessed corner with balconies that abut a large blank pier with vertical incised lines. (Fig. 149, Fig. 52) The pier is partially overlaid by a large stucco panel with a vertical eyebrow at the edge that undulates around recessed openings in a square pattern. (Fig. 150, Fig. 52) The eyebrow continues along the top of the panel and supports signage. (Fig. 147, Fig. 52) The upper half story features square panels with a heron motif. (Fig. 151)



Fig. 147. View of horizontal northern block at west elevation of Shore Club, July 2021.



Fig. 148. View of southern block at west elevation of Shore Club, July 2021.



Fig. 149. Detail of balconies at northwest corner, July 2021.



Fig. 150. Detail of undulating vertical eyebrow surrounding recessed openings, July 2021.



Fig. 151. Detail of plaque with heron motif, July 2021.

The northern block contains the main entrance, which features a wide storefront with a large amount of glazing. (Fig. 152) The storefront is sheltered by a shallow flat-roofed canopy supported by thick round columns. (Fig. 152) The area under the canopy features marble base, piers, and wall at the storefront (Fig. 154) and terrazzo flooring. (Fig. 155) Attached to the entrance canopy is a porte-cochere with an angled roof supported by plain round columns. (Fig. 153)



Fig. 152. Detail of entrance canopy at west elevation, July 2021.



Fig. 153. Detail of porte-cochere at west elevation, July 2021.

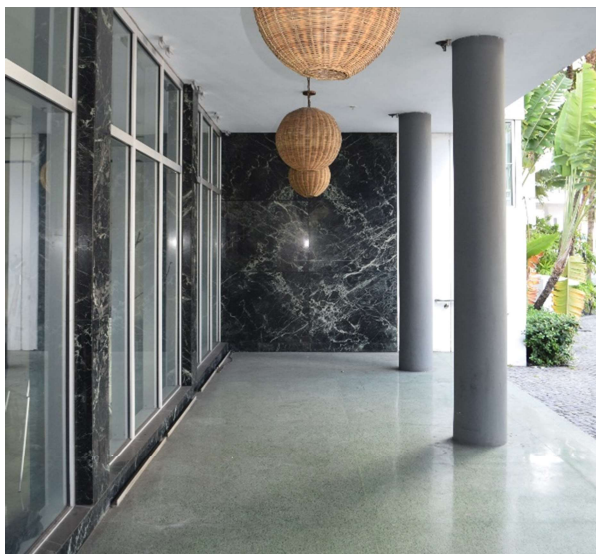


Fig. 154. Detail of marble base, piers and wall under entrance canopy at west elevation, July 2021.



Fig. 155. Detail of terrazzo paving under entrance canopy, July 2021.

The four-story southern block features vertical incised lines and corner windows. (Fig. 156) A projecting overlay is situated at the southern end of the block and has a lower roofline than the main portion of the southern block. (Fig. 53) The northern edge of the overlay features a vertical eyebrow that undulates around corner windows, then continues horizontally across the top of the overlay and supports signage. (Fig. 157) Projecting balconies are situated at the southwest corner. (Fig. 158)



Fig. 156. Detail of vertical incised lines and corner windows at southern block, July 2021.



Fig. 157. Detail of vertical undulating eyebrow that continues horizontally and supports signage, July 2021.

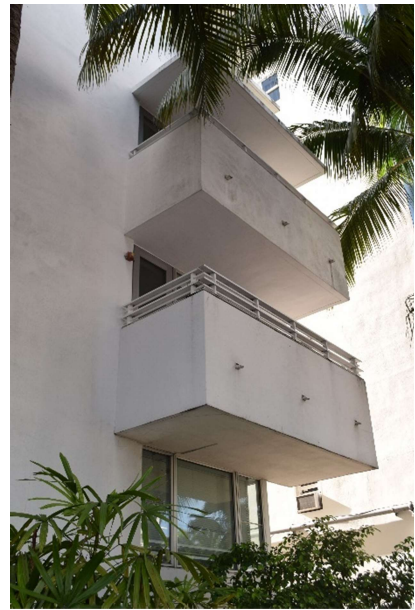


Fig. 158. Detail of projecting balconies, July 2021.

North Elevation

The north elevation of the original Shore Club is partially obscured by the neighboring building to the north. (Fig. 159, Fig. 160) The elevation features the original fenestration pattern.



Fig. 159. View of north elevation of Shore Club, looking east, July 2021.



Fig. 160. View of north elevation of Shore Club, looking west, July 2021.

East Elevation

The east elevation of the original Shore Club includes a courtyard formed by the northern and southern wings. Interior elevations of the two wings will be described as part of the courtyard.

The first level of the east elevation of the main building features an aluminum storefront system. (Fig. 161) The upper levels maintain their original fenestration pattern. (Fig. 162) The north elevation of the south wing features recessed balconies (Fig. 163), and the south elevation of the north wing features projecting windows angled to provide ocean views. (Fig. 164) The westernmost projecting window bay was part of the original construction. The other three were constructed as part of the 1999-2001 project and replaced similar projecting bays. (Fig. 165, Fig. 65)

Balconies at the second level of the main building connect to an irregularly-shaped roof terrace that appears to be utilitarian. (Fig. 162, Fig. 163) Adjacent the terrace are balconies at the second level. (Fig. 163) Connected to the terrace is the continuous colonnade that connects the original Shore Club, the 20-story tower and former Cromwell Hotel. (Fig. 131, Fig. 166)



Fig. 161. Detail of storefront at courtyard area, July 2021.



Fig. 162. Detail of fenestration at upper levels in courtyard area, July 2021.



Fig. 163. Detail of recessed balconies at north elevation of south wing, July 2021.



Fig. 164. Detail of northernmost (original) angled window bay at south elevation of north wing, July 2021.



Fig. 165. Detail of angled windows under tower, July 2021.



Fig. 166. Detail of wraparound colonnade at courtyard area, July 2021.

South Elevation

The South Elevation is situated close to the neighboring Nautilus Hotel, so visibility is limited. The elevation features regularly-spaced tripartite windows and maintains its original fenestration pattern. (Fig. 167, Fig. 168)



Fig. 167. View of south elevation of Shore Club looking west, July 2021.



Fig. 168. View of south elevation of Shore Club looking east, July 2021.

Interior

The lobby features an uninterrupted volume of space. (Fig. 169) The continuous ceiling plane floats above the tapered columns (Fig. 169). The columns and capitals are quatrefoil in plan. The ceiling material is replacement. (Fig. 175) Circulation is recessed from the main body of the lobby with recessed openings leading to the elevators and stairs. (Fig. 170) The flooring and base are terrazzo (Fig. 170), and the Shore Club logo is featured in the floor. (Fig. 171) Black marble piers are located between the storefront windows (Fig. 172) and on a wall adjacent the storefront. (Fig. 173) The northeast corner of the lobby features a curved wall with an original wall sculpture. (Fig. 174, Fig. 56) The lobby desk is not original to the building. (Fig. 176) The stair treads, risers and wainscot are covered with Adoquin tile, which continues to the second level corridor. (Fig. 177) The metal stair handrails are not original. (Fig. 178)



Fig. 169. View of Shore Club lobby, July 2021.



Fig. 170. View of elevator and stair opening at lobby, July 2021



Fig. 171. Detail of Shore Club logo in floor of lobby, July 2021.



Fig. 172. Detail of marble piers at lobby storefront, July 2021.



Fig. 173. Detail of marble wall and base at lobby, July 2021.



Fig. 174. Detail of curved wall with wall sculpture at lobby, July 2021.



Fig. 175. Detail of ceiling at lobby, July 2021.



Fig. 176. Detail of reception desk at lobby, July 2021.



Fig. 177. Detail of Adoquin tile at lobby stairs, July 2021.



Fig. 178. Detail of handrail at lobby stairs, July 2021.

B – -Shore Club Addition (1955)

An eight-story tower was added to the Shore Club Hotel in 1955. It is connected to the south wing of the original Shore Club building. The tower is irregularly shaped with setbacks on the north and east to provide ocean views. The building has a flat roof with parapet. The addition retains its original fenestration pattern.

Exterior

North Elevation

The north elevation features several setbacks. Projecting angled window bays and corner windows provide ocean views. (Fig. 179, Fig. 180, Fig. 181)



Fig. 179. View of north elevation of 1955 Shore Club Tower, looking southeast, July 2021.

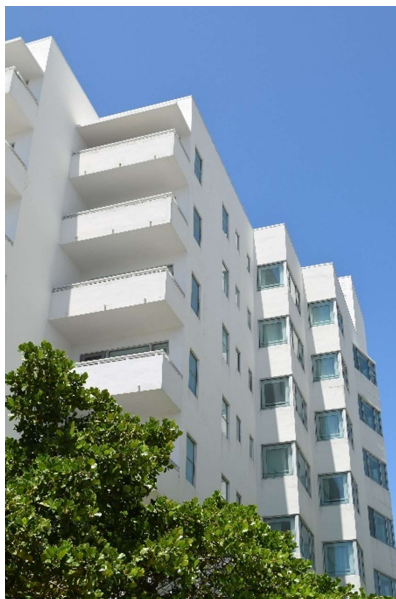


Fig. 180. View of north elevation, looking west, July 2021.

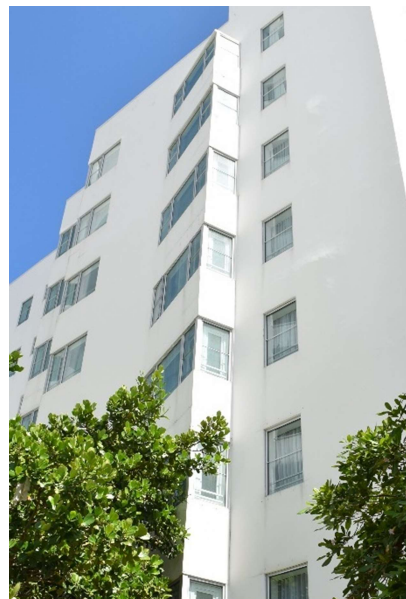


Fig. 181. Detail of angled windows at north elevation, July 2021.

East Elevation

The east elevation is “L”-shaped with a setback at the north end to provide maximum ocean views. Projecting balconies with solid knee walls are present at each level, and an eyebrow ledge shelters the balconies at the top level. (Fig. 182, Fig. 183, Fig. 184)



Fig. 182. View of east elevation, looking west, July 2021.

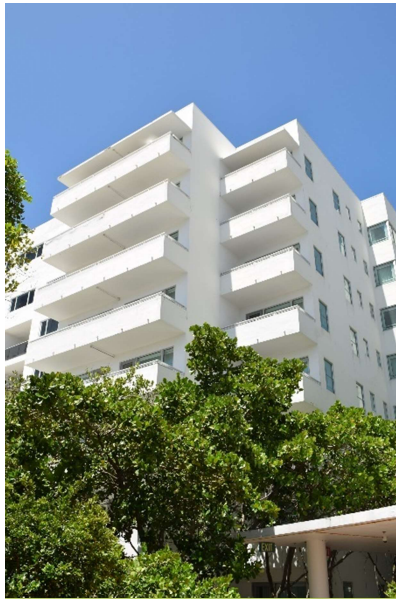


Fig. 183. View of east elevation, looking southwest, July 2021.

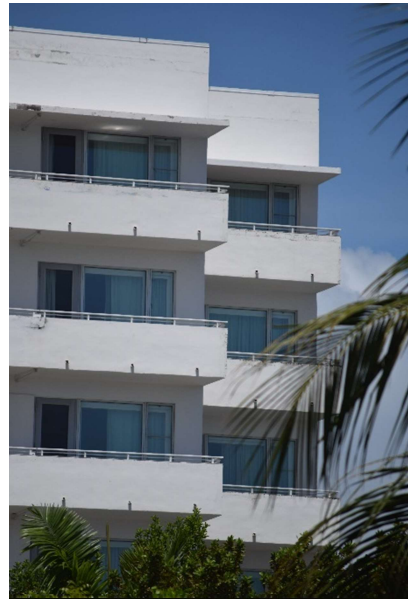


Fig. 184. Detail of balconies at east elevation, July 2021.

South Elevation

The south elevation is generally utilitarian due to its proximity to the neighboring Nautilus Hotel. (Fig. 185, Fig. 186) However, a recessed area near the west end of the elevation features corner windows that look toward Collins Avenue. (Fig. 187)



Fig. 185. View of upper stories of south elevation, looking west, July 2021.



Fig. 186. View of lower stories of south elevation, looking west, July 2021.

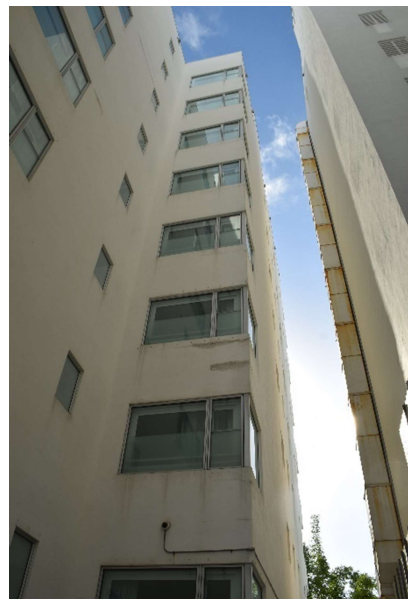


Fig. 187. Detail of corner windows at south elevation, July 2021.

West Elevation

The west elevation is attached to the original Shore Club at the first through third stories. Above the third story, the elevation is blank with no fenestration

C – Former Cromwell Hotel (1939)

The Cromwell Hotel (constructed 1939) is generally rectangular in plan. (Fig. 188) The building has six stories over the entire floorplan and seventh and eighth stories that are set back from the lower levels. The seventh and eighth stories comprise the penthouse. The setbacks provide patio areas that are bordered by knee walls. The building is covered with stucco and has a flat roof with parapet. The metal windows are replacement and do not retain the original muntin pattern. (Fig. 188) The building features subdued Art Deco styling.



Fig. 188. View of north elevation of former Cromwell Hotel, July 2021.

Exterior

North (Front) Elevation (facing 20th Street)

The symmetrical north elevation has a tripartite organization. The slightly projecting seven-story central bay (Fig. 189) is topped by a stepped ziggurat parapet and a block with no fenestration that originally held signage. (Fig. 190, Fig. 44) Five regularly-spaced windows are situated at each story of the central bay, and the three windows at the center are visually connected by incised horizontal lines. (Fig. 190) The central bay is flanked by six-story bays. Each of the flanking bays contains two windows per story that are visually connected by slightly recessed vertical spandrels. (Fig. 191)

The first level is elevated on a simple base (Fig. 192) that is fronted by a raised terrace covered with Adoquin tile. (Fig. 193) The terrace is accessed by a central stair with metal handrail and is partially enclosed by a non-original stucco wall. (Fig. 194) An accessible ramp is located within the wall at the west end of the front façade. (Fig. 127) At the first level, the centrally-located main entrance is via an aluminum storefront double-leaf door, and two sets of paired full-height aluminum windows are located on each side of the door. (Fig. 193) A continuous eyebrow canopy is situated above the five openings in the central bay. (Fig. 192) The elevation retains its fenestration pattern. (Fig. 189, Fig. 42, Fig. 44)



Fig. 189. View of north elevation of former Cromwell Hotel, July 2021.

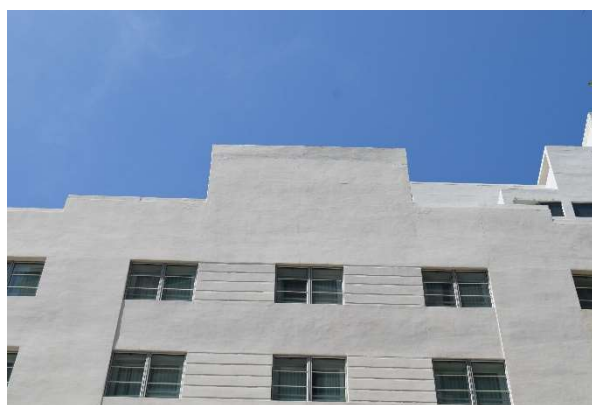


Fig. 190. Detail of ziggurat top and horizontal lines at north elevation, July 2021.



Fig. 191. Detail of slightly recessed spandrels at north elevation, July 2021.



Fig. 192. Detail of base and stairs at north elevation entrance, July 2021.



Fig. 193. Detail of terrace along north elevation, July 2021.



Fig. 194. Detail of non-original front wall at north elevation, July 2021.

East Elevation

The six-story east elevation is symmetrical in plan and has a slightly projecting central bay with three deeply-recessed portholes centered at the top. (Fig. 195) The central bay has two sets of paired windows per story. The outer bays each have one set of paired windows, and the north bay has an additional single window (likely a stair hall) at each story. Above the sixth story is a recessed two-story penthouse with multiple sliding glass doors that lead to patios with ocean views. (Fig. 197) The penthouse was expanded from its original footprint and a second story added during the 1999-2001 project. The upper levels retain their original fenestration pattern.

The first level features an expansive aluminum storefront system. (Fig. 198) The storefront is sheltered by a non-original canopy, which is part of the continuous colonnade. An irregularly-shaped metal canopy is attached to the roof of the colonnade. (Fig. 195, Fig. 196)



Fig. 195. View of east elevation, July 2021.



Fig. 196. View of continuous colonnade and attached canopy at east elevation, July 2021.

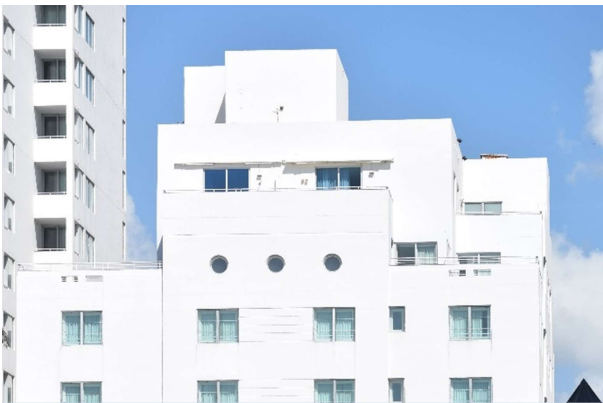


Fig. 197. Detail of penthouse at east elevation, July 2021.



Fig. 198. Detail of storefront at east elevation, July 2021.

South Elevation

The south elevation is asymmetrical with two projecting bays. (Fig. 199) The main body of the elevation is seven stories in height. The east bay, which returns from the east elevation, is six stories and projects significantly from the south elevation. A slightly projecting bay is located near the west end of the elevation, and the westernmost bay returns from the west elevation and is six stories in height. The upper levels maintain their original fenestration pattern. Deep balconies project from the second level and are connected to the wraparound colonnade. (Fig. 201) The screened mechanical area is connected at the southwest corner of the building. (Fig. 126)

The first level features a series of aluminum double doors that open to a plaza located at grade. (Fig. 200) The doors are sheltered by the continuous colonnade that connects the buildings.



Fig. 199. View of south elevation, July 2021.



Fig. 200. Detail of first level of south elevation, July 2021.



Fig. 201. Aerial view of second level balconies at south elevation, 2021. (Google Maps).

West Elevation

The west elevation has a seven-story central bay with an asymmetrical projecting bay that appears to be a stairwell. (Fig. 202) The elevation maintains its fenestration pattern. The outer bays have paired windows, and the central bay has single windows. This elevation has no fenestration at the first level. A metal staircase provides access from the ground to the second level and also to the screened mechanical area. (Fig. 126)

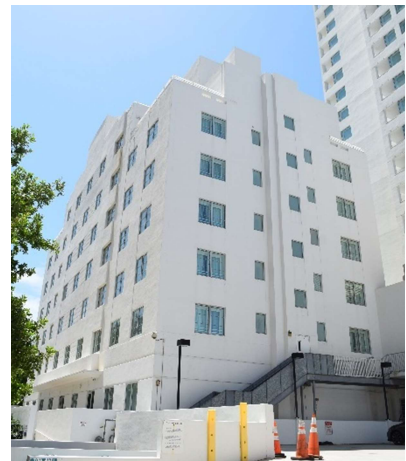


Fig. 202. View of west elevation, July 2021.

Interior

The ground level features an uninterrupted volume of space that is supported by square columns. (Fig. 203) Plan drawings and an historic photo (Fig. 31) indicate that there may be eight octagonal columns that have been enclosed. The ground level has been subdivided into a lobby, bar, and two restaurants. There are additional subdivided alcoves within the lobby space. (Fig. 204) The lobby has Adoquin floor tile (Fig. 205) and recessed lighting at the ceiling. (Fig. 206) The bar and one of the restaurants have marble floors and wainscot. (Fig. 207) The other restaurant area has rectangular floor tile, and the square columns are clad with small square blue tile. (Fig. 208) Other than the columns, there does not appear to be any original materials or features in the space.



Fig. 203. View of open space and square columns at lobby of former Cromwell, July 2021.



Fig. 204. Detail of partially enclosed alcove at lobby, July 2021.



Fig. 205. Detail of flooring in lobby, July 2021.



Fig. 206. Detail of ceiling finish and recessed light fixture at lobby, July 2021.



Fig. 207. Detail of marble flooring and wainscot at restaurant space, July 2021.



Fig. 208. Detail of blue-tiled columns and rectangular floor tile at restaurant space, July 2021.

D – Shore Club Addition (1999-2001)

The 20-story tower was constructed 1999-2001. (Fig. 209)



Fig. 209. 20-story tower flanked by 1955 tower at south and the former Cromwell at north.