

# NARRATIVE RESPONSES - PLAN CORRECTIONS REPORT (HPB21-0481)

**PLAN ADDRESS:** 1901 Collins Ave  
Miami Beach, FL 33139-1911

**APPLICATION DATE:** 08/30/2021

**EXPIRATION DATE:**

**PARCEL:** 0232260010020

**DESCRIPTION:** New residential tower.

**SQUARE FEET:** 0

**VALUATION:** \$0.00

CONTACTS	Name	Company	Address
Applicant	Nicholas Rodriguez	Bercow Radell Fernandez Larkin	200 S Biscayne Boulevard 200 S Biscayne Boulevard, Suite 850 850 Miami, FL 33131
	MICHAEL LARKIN	BERCOW, RADELL & FERNAN	200 Biscayne Blvd Miami, FL 33138

Submittal Intake	Version: 2	Date Received: 11/16/2021	Date Completed: 11/24/2021
1.	Public Works - LUB Review - Pass HPB21-0481, Approved, (11-24-21)	Aaron Osborne Ph: email: AaronOsborne@miamibeachfl.gov	Comments: 1. Since this is a Non-Residential property, an analysis of the water and sewer system may be required prior to connecting to the City's Utility Infrastructure to confirm if the system can accommodate the additional flows proposed by the increased demand from the site. Submit the following information to: AaronOsborne@miamibeachfl.gov. <b>Noted.</b> A. Demand flows in a signed and sealed letter (by a Florida PE) for each property (if multiple sites).i. Commercial Water Demands ii. Residential Water Demands iii. Fire Flow Demand iv. Irrigation Demand <b>Noted.</b> B. Flow greater than 10,000 GPD will required a hydraulic model to be performed on the water and sewer system.Recommendation(s) <b>Noted.</b> Permitting Notes: 1. All stormwater runoff must be retained within your private property and the any proposed on-site stormwater system must hold a 10-year, 24-hour rainfall event with an intensity of 8.75 inches of rainfall. <b>Noted.</b> A. Driveway entrance/exit may need trench drains to achieve this requirement. 2. In the future the City will be raising the elevation of the sidewalk in this area to 3.7 NAVD (5.26 NGVD). Consider this information in your decisions based on your design. <b>Noted.</b> 3. Any improvements proposed along Collins Avenue will require approval from FDOT prior to receiving a Public Works Department Right of Way Permit. (Sheet L0.01.00) <b>Noted.</b> 4. Driveways with entrance/exits or exits only will need to have 15 feet sight-visibility per CMB standard detail 10-23. Note: This does not apply to entrance only driveways. (Sheets A2.31 & L0.01.00) <b>Noted.</b> A. Remember no obstructions from 2 feet to 6 feet above grade are allowed within the sight triangles. <b>Noted.</b> B. If the sight-visibility cannot be received, a Hold Harmless Agreement and Convex mirrors will be required prior to approval of the building permit. Convex mirrors must be approved by the Planning and Zoning Department. <b>Noted.</b>
2.	Environmental Review - Not Reviewed	Mitche Dalberiste Ph: email: MitcheDalberiste@miamibeachfl.gov	
3.	Building Dept – DRC Review - Not Reviewed	Narinder Singh Ph: email: NarinderSingh@miamibeachfl.gov	
4.	HPB Admin Review - Fail Comments: COMMENTS ISSUED BY 11/24/21	Lizbeth Bueno Ph: email: LizbethBueno@miamibeachfl.gov	Pending Disclosure approval from the City Attorney  The following fees are outstanding and will be invoiced prior to the Notice to Proceed deadline 12/13/21  1. Advertisement - \$1,575 2. Posting - \$106 3. Mail Label Fee (\$5.16 p/ mailing label) 4. Courier - \$ 77 5. Board Order Recording - \$ 106 6. Variance(s) - \$788 p/variance 7. Sq. Ft Fee - \$.32 cents p/ Sq. Ft  Total Outstanding Balance = \$ ALL FEES MUST BE PAID BY 12/15/21  In addition to the fees, the following shall be provided to the Department no later than the Final submittal deadline 12/06/21, before 12 p.m. (Tardiness may affect being placed on the agenda):  NOTE: Please keep in mind that the submittal MUST be consistent with the plans / document which allowed the application to receive a Notice to Proceed. As customary, nothing can change between the Formal Submittal and the scheduled date of hearing.  The following must be submitted to the attention of Lizbeth Bueno / Monique Fons -Planning Department. Please leave your package with Central Services on the first floor of City Hall. • One (1) original application (Proper signed and notarized affidavits and Disclosures must be provided). • One (1) original Letter of Intent. • One (1) original set of architectural plans signed, sealed and dated. (11x17) • One (1) original signed, sealed and dated Survey. (11x17)

- Two (2) sets of Mailing labels must be provided including Letter certifying the labels, radius map, gummed labels, and Labels CD done with the proper Excel format specified by the Planning Department.
- Any additional information/documents provided (i.e. traffic studies, concurrency, etc., etc.).
- A CD/DVD containing a digital version of the documents and plans submitted. The CD must be in the proper format specified by the Planning Department (Each document must be less than 20MB). C.Ds will be checked at time of drop off -anything larger than 20MB will not be accepted.
- 14 Copies of all original documents

NOTE: Please make sure you identify the final submittal by the file number at time of drop off.  
(Attn: Planning Department – Lizbeth Bueno / Monique Fons)

Please email label documents in excel format.

Should you have any further questions, please contact:

lizbethbueno@miamibeachfl.gov  
moniquefons@miamibeachfl.gov

5. HPB Zoning Review - Not Reviewed Irina Villegas Ph: email: ivillegas@miamibeachfl.gov

Comments issued on November 24.

1. Provide a narrative responding to staff comments. [Narrative provided for each item on this document.](#)
2. Page A3.00. Indicate dimensions of parking spaces. Indicate width of driveways. [Dimensions and notes added to sheet A.3.00.0 Note: Typ. dimension parking space of 8'-6" x 18'-0" and Typ. ADA parking space of 12'-0" x 18'-0"](#)
3. The project requires two loading spaces for 54 new residential units. Backing up the loading vehicles on the street is not allowed. Loading area shall be enclosed. [The loadings can accommodate two loading spaces for Typ. SU-40 trucks. Not backing up to the street is necessary. The design intent for the loading was revised to be fully enclosed with some louvers for natural ventilation. We are also contemplating adding green screening to the louvers, big specimen vegetations on the roof and cascade landscape to create a more friendly pedestrian experience and to avoid the massiveness look of the loading volume allowing better visuals to the historic Cromwell building. Please see new rendering on sheet. A.0.77 And enlarged elevations A4.17](#)
4. Decks for furniture shall be setback 10'-0" from bulkhead line. [Decks for furniture encroaching 10'-0" Set Back from bulkhead line were removed.](#)

6. HPB Plan Review - Fail James Seiberling Ph: email: JamesSeiberling@miamibeachfl.gov

Comments: First Submittal: November 15, 2021 Comments

Issued: November 24, 2021

Final Submittal & Formal Submittal (CSS): December 6, 2021

Notice to proceed issued: December 13, 2021

Agenda finalized & all fees paid by: December 15, 2021

Tentative HPB meeting agenda date: February 8, 2022

SUBJECT: HPB21-0481, 1901 Collins Avenue.

Please provide a narrative response to the comments listed below.

1. DEFICIENCIES IN PRESENTATION
  - a. Provide enlarged existing/demo and proposed floor plans and interior elevations for the Cromwell Hotel lobby. [See sheets D3.05 Enlarged Cromwell level 1, and new sheets A6.10 to A6.16 for enlarged floorplans and internal elevations. Please see attached letter from the Historic Consultant for restoration strategy.](#)
  - b. Provide enlarged existing/demo and proposed elevation for the east side of Cromwell showing demo required for proposed balconies. [Please see sheet D4.03 Demo elevations and Sheet A4.12 Proposed Cromwell elevations.](#)
  - c. Provide enlarged proposed plans and elevations for the new service building west of the Cromwell Hotel. [Please see sheet A3.00.2 – A3.02.2, for enlarged floorplans and A4.17 for enlarged elevations.](#)
  - d. Provide enlarged proposed plans and elevations for the villa building. The floor plans show a 1-story building, the elevations show a 2-story building with rooftop. Clarify. [The villa has two stories with a roof terrace, please see enlarged floor plans A3.01.3, A3.02.3, A3.03.3, and enlarged elevations A4.16](#)
  - e. Sheet A4.31 shows new addition at Cromwell rooftop. [There will be no roof top addition, Elevator bulkhead will be modernized, and roof stair will be relocated as per new circulation core. Please see correction on elevation sheet A4.31](#)
  - f. A7.00 show detail of new columns. [Please see new columns detail added to sheet A7.00](#)
    - g. Provide a preliminary structural methodology for the restructuring of the Cromwell Hotel building from a structural engineer. Plans show a pool on the roof how will this be achieved? [Please refer to attached letter by structural engineer providing structural methodology. "The removal of the existing interior partitions made of CMU block walls will alleviate loads acting on the columns. This will lead to an increase in the capability of adding loads to the columns. In all cases, an exact calculation of the loads removed or added will be performed for each column"](#)
    - h. [Additionally, field probes will be conducted as necessary and reinforcing of existing structural members may be required.](#)
2. DESIGN/APPROPRIATENESS COMMENTS (Recommendations)
  - a. Staff recommends that the Cromwell Hotel lobby be substantially restored consistent with available historical documentation.
  - b. [Please refer to attached letter by historian consultant providing narrative as per the recommendation.](#)

Final Submittal File Naming

All PDF files must be named with the submittal deadline date and the type of document in the following format 'MM-DD-YYYY Document Name'. For example, if the deadline for first submittal is October 29, 2017 the file name would be '10-29-2017 Application'. Use this naming format for first and final CSS submittals. The uploaded file retains the name as it has been saved on your computer. The file name cannot be changed, and the file cannot be deleted once it is uploaded.

Please use names for the most common types of files. If the document type is not listed below, please use a document name that clearly identifies the file.

Document Name	Description
Application	Completed Land Use Board Application form including Exhibit A
LOI	Letter of Intent
Checklist	Pre-application Checklist
Labels	Mailing Labels, List of Property Owners, Certified Letter and Map
BTR	Copies of Previous Business Tax Receipts
Survey	Recent Signed and Sealed Survey
Plans	Architectural Plans and Exhibits
Landscape	Landscaping Plans and Exhibits
HRR	Historic Resources Report
Microfilm	Building Card and Microfilm
Traffic	Traffic Study
Sound	Sound Study

All pages of a document must be uploaded in one PDF file. Do not upload individual pages of a document.

- 
7. Transportation - LUB Review - Not Reviewed      Firat Akcay Ph: email: firatakay@miamibeachfl.gov
- 
8. Urban Forestry Group Review - Partial Fail      Omar Leon Ph: email: OmarLeon@miamibeachfl.gov  
Comments:  
A Tree evaluation report conducted by a Certified Arborist or registered Consulting Arborist shall be provided for review prior to approval. In addition to a standard tree evaluation, the report shall provide detailed narrative as to how trees will be impacted and what measures will be taken to preserve these trees during construction and per city code. Tree pruning and Management plan shall be provided for review to assure proper tree care is being taken based on proposed work.  
Proposed work would require a substantial amount of infrastructure such as Soil cells, and suspended pavement systems for review and approval by Urban Forestry. This shall be a requirement of the development orders. Soil volume requirements is a requirement of city code.  
[A tree evaluation report prepared by a Certified Arborist has been included. Also, soil cell / suspended pavement areas have been delineated on the hardscape drawing L1-03.00](#)  
Comments: The following needs to be submitted for review:  
Tree survey. [Tree survey as part of the survey attached.](#)  
Tree Disposition [Included see sheets L0-09.00 and L0-09.01](#)  
Tree evaluation report conducted by a Certified Arborist or registered Consulting Arborist. [See included arborist report.](#)  
Landscape plans complying with Sec. 46 and Sec.126 of city code.  
[See Sheets L0-09.00, L0-09.01, L0-09.02, L0-09.03, L0-09.04, L0-09.05, L1-01.00, L1-01.01, L1-02.00, L1-02.01](#)  
Tree preservation plans conducted by a Certified Arborist or registered Consulting Arborist in accordance with corresponding parts of ANSI A300.  
[See Sheets L0-09.00, L0-09.01, L0-09.02, L0-09.03, L0-09.04, L0-09.05](#)
- 
9. Fire Review - Fail      Jorge Clavijo Ph: email: JorgeClavijo@miamibeachfl.gov  
Comments: 11-1-21 Initial Fire Review  
1. Not enough information for review. The submittal must address Fire Department Access to the existing a proposed structures, available water supply, and description of the proposed Life Safety Systems for review. [Please refer to the attached Hydrant Flow Test and the short narrative letter by SLS Life Safety Consultant attached.](#)  
2. Contact the Fire Marshal's Office to arrange a meeting to present the proposed project and discuss the minimum requirements for this project moving forward. (305) 673-7123. [A productive meeting with the Fire Marshall took place on the 2021-12-1 where minimum requirements were recorded in plans to be implemented. The fire Marshall requested information additional that is being prepared.](#)  
11-16-21 Fire Comments have not been addressed.
- 
10. Planning Landscape Review - Fail Enrique Nunez Ph: email: EnriqueNunez@miamibeachfl.gov  
Comments: 1. Refer to the previous comments not addressed particularly revisions to landscape plans and landscape legend form as follows:  
91 total trees x 12=1,092 shrubs minimum required and 110 large shrubs minimum required.  
[The landscape legend has been corrected to reflect the correct number of total lot tree, shrubs, and large shrubs](#)  
2. Trees in hardscape areas shall be planted within a suspended pavement system. Define limits on plans and provide system details.  
[Soil cell / suspended pavement areas have been delineated on the hardscape drawing L1-03.00, L1-03.01, and system details provided. L1-03.02](#)  
1. Refer to the Chapter 46 Tree Preservation ordinance for tree protection and tree replacement requirements.  
2. Provide a tree evaluation report from a Certified Arborist with a conditions analysis of existing trees and palms.  
[See included Arborist Report](#)  
3. Provide a tree disposition plan with tree removal calculations in sum of inches.

- See Sheets L0-09.00, L0-09.01, L0-10.00, L0-11.00
4. Provide a summary of trees and palms to remain, to be removed, and to be relocated.  
See Sheet L0-10.00 – Tree Disposition List
  5. Show and list the replacement trees on the landscape plans.  
See Sheets L1-02.00, L1-02.01 and Sheets L0-09.04, and L0-09.05
  6. Note that palms do not count as replacement trees or Ch. 126 code required trees.  
Palms are not being calculated as replacement trees
  7. Revise the landscape plans and landscape legend form (required column as follows:
    - a. 2.880 acre lot x 28=81 lot trees minimum. The landscape legend has been updated to reflect the correct number of lot trees
    - b. 10 street trees are ok. Note that palms do not count for lot and street trees. Acknowledged
    - c. 91 total trees x 12=1,092 shrubs minimum and 110 large shrubs minimum. The landscape legend has been updated to reflect the correct number of shrubs and large shrubs
  8. Trees that are planted within hardscape areas shall be provided with suspended paver systems such as Silva Cells or approved equal.  
Soil cell / suspended pavement areas have been delineated on the hardscape drawing L1-03.00 and system details provided.
  9. All landscape plan sheets shall be signed and sealed by a landscape architect, licensed in Florida.  
Provided
-

December 2, 2021

Mr. James Sieberling  
Principal Planner  
City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, Florida, 33139

**Sub: Shore Club, 1901 Collins Avenue, Miami Beach, FL**  
**RE: Response to HPB Plan Corrections Report of 11/24/2021**

Dear Mr. Sieberling:

This letter is in response to the HPB Plan Corrections Report regarding the former Cromwell Hotel lobby.

Comment 6.2.a. of the report states, "Staff recommends that the Cromwell Hotel lobby be substantially restored consistent with available historical documentation."

There is only one photograph that depicts the historic lobby space of the Cromwell. Please see Exhibit A attached. The Cromwell sat vacant for approximately 15 years and underwent several unsuccessful attempts at renovation before the 1999-2001 project. Please see Exhibit B for a photo of the gutted lobby space.

As stated in the Historic Resource Report (HRR), page 71:

The ground level features an uninterrupted volume of space that is supported by square columns. (Fig 203) Plan drawings and an historic photo (Fig. 31) indicate that there may be eight octagonal columns that have been enclosed. The ground level has been subdivided into a lobby, bar, and two restaurants. There are additional subdivided alcoves within the lobby space. (Fig. 204) The lobby has Adoquin floor tile (Fig. 205) and recessed lighting at the ceiling. (Fig. 206) The bar and one of the restaurants have marble floors and wainscot. (Fig. 207) The other restaurant area has rectangular floor tile, and the square columns are clad with small square blue tile. (Fig. 208) Other than the columns, there does not appear to be any original materials or features in the space.

Please refer to Exhibit C for current photos of the lobby space. As you can see, the area has been substantially modified.

Response to HPB Plan Corrections Report of 11/24/2021  
Shore Club, Miami Beach, FL  
December 2, 2021  
Page 2 of 4

In our expert professional opinion, no contributing features remain in the space, other than the structural elements of the columns. Due to the lack of features and the modified configuration, we recommend a compatible interpretation that would reference and interpret the original lobby space based on the single available photo.

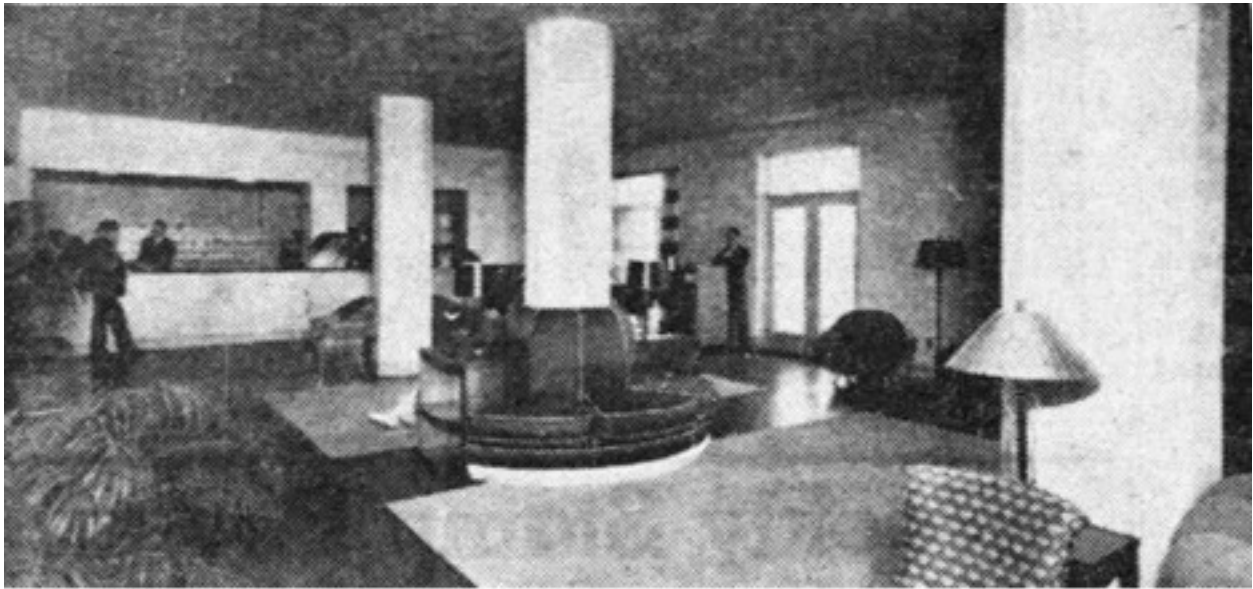
If you have any questions or would like to discuss this matter, please feel free to contact me.

Very Truly Yours,

A handwritten signature in black ink, appearing to read 'S. Avdakov', with a long horizontal flourish extending to the right.

Steven Avdakov, RA, NCARB  
Principal, Heritage Architectural Associates

**Exhibit A – Cromwell Lobby, 1940.**



**Exhibit B – Cromwell Lobby, 12/13/2000**



**Exhibit C – current photos of lobby space (from HRR)**



*Fig. 1. View of open space and square columns at lobby of former Cromwell, July 2021.*



*Fig. 2. Detail of partially enclosed alcove at lobby, July 2021.*



*Fig. 3. Detail of flooring in lobby, July 2021.*



*Fig. 4. Detail of ceiling finish and recessed light fixture at lobby, July 2021.*



*Fig. 5. Detail of marble flooring and wainscot at restaurant space, July 2021.*



*Fig. 6. Detail of blue-tiled columns and rectangular floor tile at restaurant space, July 2021.*





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**12/03/2021**

**VIA EMAIL DELIVERY**

City of Miami Beach Fire Department  
1701 Meridian Ave. #201  
Miami Beach, FL 33139  
Director of Plan Reviewer:  
Mr. Jorge Clavijo

**PRELIMINARY LIFE SAFETY NARRATIVE**

**PROJECT NAME: SHORE CLUB**

**LOCATION: 1901 COLLINS AVE. MIAMI BEACH, FL 33139**

To Whom It May Concern,

SLS Consulting, Inc. has prepared this letter on behalf of the Shore Club project team to provide a summary of the proposed life safety system and fire department access. The project is located at 1901 Collins Ave Miami Beach, FL 33139. The major applicable codes for the project include but are not limited to:

- FBC: Florida Building Code, Seventh Edition.
- FFPC: Florida Fire Prevention Code, Seventh Edition.
- NFPA 70: National Electrical Code® (NEC), 2017 Edition.
- FBC-M: Florida Building Code - Mechanical, Seventh Edition.
- FBC-P: Florida Building Code – Plumbing, Seventh Edition.

SLS and ownership met with the fire department on 10/01/2021 to discuss the overall life safety approach for the building and site access summarized within this letter.

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260 Palermo Avenue  
Coral Gables, FL 33134

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## **PROJECT DESCRIPTION**

The Shore Club project will consist of an existing 4-story hotel building (R-1), an existing 8-story residential (R-2) (former Cromwell) and a new 17-story residential (R-2) tower. These buildings have a degree of interconnectivity of some floors therefore it is the intent of the design to have the life safety systems interconnectivity among them. In addition, there is a 1-story amenity villa located on the northeastern portion of the site. All the buildings will be protected throughout by automatic sprinklers designed in accordance with NFPA 13, Standard for the Installation of Sprinklers and an emergency-voice alarm communication system designed in accordance with NFPA 72, National Fire Alarm and Signaling Code.



**Figure 1: Shore Club rendering from Collins Avenue.**

## **FIRE PROTECTION AND LIFE SAFETY SYSTEMS OVERVIEW**

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### **Fire Command Center**

The building will have a fire command center as required for high-rise buildings that is located on Collins Avenue lobby entrance and will be at least 200 sq. ft. in size with a minimum dimension of 10 ft. (FBC Section 911.1.3) as discussed on the call.

In addition, a remote annunciator panel will be provided on the residential lobby (20<sup>th</sup> street).

### **Automatic Sprinkler Systems**

Per FBC Section 903.2.1 and FFPC Section 11.8.3.1, sprinkler protection designed in accordance with NFPA 13 shall be installed throughout all the buildings in the project. This building will have the protection system connected to the city water supply.

Per FBC Section 905.3.1 and FFPC, NFPA 101 Section 11.8.3.2, Class I automatic standpipes will be provided within the project since the building is fully sprinklered. The installation of standpipes shall be designed and installed in accordance with NFPA 14, *Standard for the Installation of Standpipe and Hose Systems*.

A single fire pump room will be provided for the buildings that is accessible directly from the exterior. The installation of the fire pump shall be designed and installed in accordance with NFPA 20, *Standard for the Installation of Stationary Pumps for Fire Protection*. It is recommended that the location of the fire pump be reviewed and approved by the AHJ.

Fire Department connections will be provided at remote points of the property (Collins Ave and 20<sup>th</sup> street) and shall be located within 100-ft of a fire hydrant. The fire department connections must be visible, accessible, and clearly marked for fire department use.

### **FIRE ALARM AND EMERGENCY RESPONDER RADIO SYSTEMS**

A single fire alarm system will be provided for all buildings and the system will take into consider that floors connect across buildings (i.e parking garage and levels 1-3 for hotel). The fire alarm system will be in accordance with FBC Section 403.4.4 and FFPC, NFPA 101

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Section 11.8.4.1, an emergency voice communication fire alarm system. The fire alarm system must be designed and installed in accordance with NFPA 72. Audible and visual appliances must be installed in accordance with FBC and FFPC.

The fire alarm system will be designed to interface or monitor other life safety systems in the building such as automatic sprinkler system, fire pump, smoke control system, generator, etc.

As per usual practice with the Fire Department, a remote fire alarm annunciator panel and remote generator annunciator panel should be provided at the lobby reception desk.

In addition, the building will be provided with with emergency responder radio coverage as required by FBC Section 403.4.5 and NFPA 1, Section 11.10. The requirements of the Emergency Responder Radio System are listed in NFPA 72 Section 24.5. The Fire Department will also have specific requirements for their radio system in addition to the basic items

### **EMERGENCY AND STANBY POWER**

The building(s) will be provided with a generator that will provide standby and emergency power to all required systems per NFPA 70, 110 and 111.

### **SMOKE CONTROL SYSTEM OVERVIEW**

The building will have a smoke control system designed in accordance with FBC Section 909. The design of the smoke control system for the project an incorporate active and passive protection. The smoke control system interfaces with the fire alarm system for activation (i.e., automatic, or manual) and for supervision (e.g., monitoring of the disconnect switches for voltage and current loss).

Stairs serving floors over 75-ft will be design as smoke-proof enclosures.

Elevator hoist ways and associated machine rooms must be protected in accordance with code and will be provided with either a lobby or pressurization.

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The corridors on each floor of the high-rise building must be provided with the ability to be either exhausted or pressurized by mechanical systems designed in accordance with the FBC.

### **FIRE DEPARTMENT ACCESS**

The Shore club site must comply with FFPC, NFPA 1, Chapter 18 for the minimum fire department site access requirements as follows:

- Fire department access road shall extend to within 50-ft of at least one exterior door that can be opened from the outside and provides access to the interior of the building (FFPC 18.2.3.2.1).

**Collins Avenue and 20<sup>th</sup> street are both fire department access road that extend to within 50-ft of the residential and hotel lobbies in compliance with this requirement.**

- Fire department access road dead ends more than 150-ft shall be provided with approved provisions for fire apparatus to turn around (FFPC 18.2.3.5.4).

**20<sup>th</sup> street is an existing road with a dead end and turnaround condition which will remain.**

- Fire department access roads shall be provided such that any portion of an exterior wall of the first story of the building shall be located no more than 150-ft or 450-ft for sprinklered buildings from a fire department access road as measured from an approved route around the exterior of the building (FFPC 18.2.3.2.2.1).

**The exterior wall of the building's first story complies, refer to site access plan attached.**

- Fire department access roads shall have an unobstructed width of 20 feet and a vertical clearance of 13 ft 6 inches (FFPC 18.2.3.5.1.1 & 18.2.3.5.1.2).
- Fire department access roads shall be designed and maintained to support a

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minimum of 32 tons and shall be provided with a surface suitable for all-weather driving capabilities (FFPC 18.2.3.5.2).

### **FIRE SERVICE ACCESS ELEVATORS**

Buildings with a highest occupied floor located more than 120-feet above the lowest level of fire department vehicle access. Therefore, two fire service access elevators in accordance with FBC Section 403.6.1 shall be provided.

**The residential tower will be composed of two separate cores, therefore it is anticipated that each core will be provided with (2) two fire service access elevators.**

All other buildings <120-ft will be provided with at least one passenger elevator that is operational for building occupants and fire department access to all floors. The elevator car shall be able to accommodate an ambulance stretcher (24 inches x 76 inches) with 5 inches radius corners.

This report provides an outline of building and fire code related requirements for this project and information associated with the general approach to fire protection, life safety and building code compliance. In case of conflict, it should be noted that the requirements of the applicable codes take precedent over this report.

Please do not hesitate to contact us with any questions.

Very Truly Yours,  
**SLS Consulting, Inc.**

A handwritten signature in black ink that reads 'Michael Sheehan'.

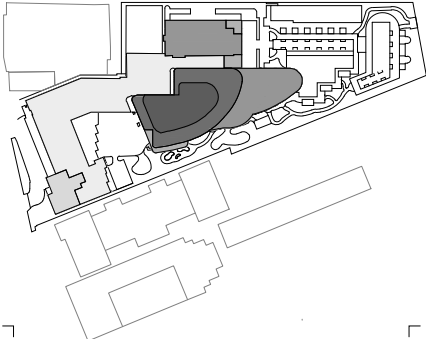
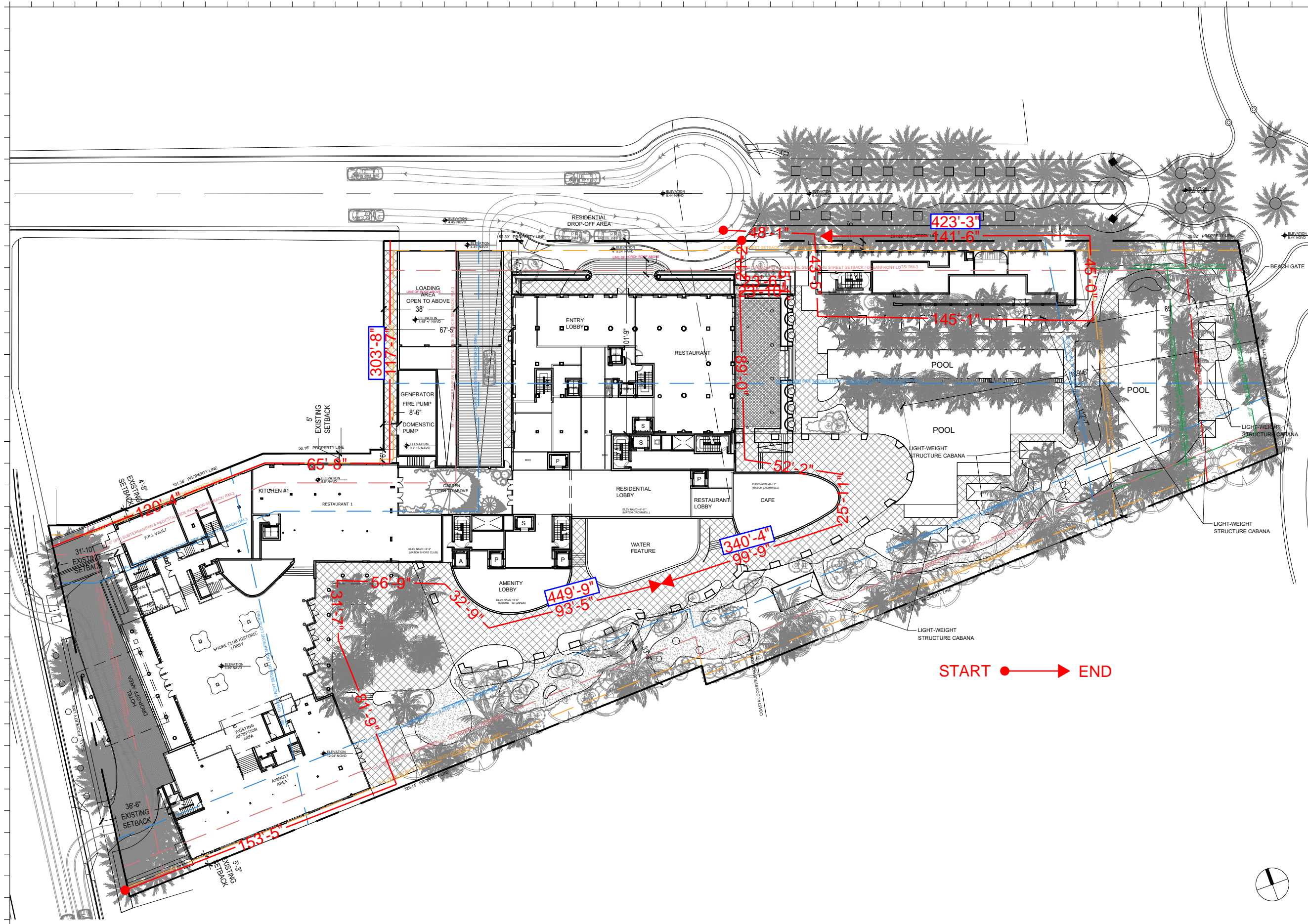
Michael Sheehan, P.E.

Principal/Fire Protection Engineer

12022021\_SLS4354\_Shore Club\_LS Short Narrative.docx

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Rev.	Date	Rev.	Date

**Shore Club**  
 1901 Collins Ave.  
 Miami Beach, FL 33139

**Owner:** WITKOFF.  
**Name:** 40 West 57th Street, Suite 1620  
**Address:** New York, NY 10019  
**Address:** 212-672-4700  
**Tel:** 212-672-4700  
**Email:** witkoff@rossettjpr.com

**Design Architects:** KKAID & RAMSA COLLABORATION  
**Name:**  
**Address:**  
**Tel:**  
**Email:**

**Consultant:** LANDSCAPE  
**Name:** Island Planning Corporation.  
**Address:** 248 Washington Ave.  
**Address:** Miami Beach, FL 33139  
**Tel:** 305-534-5725  
**Email:** info@islandplanningcorporation.com

**Consultant:** HERITAGE ARCHITECTURAL ASSOCIATES  
**Name:** Steve Avdakov.  
**Address:** Island Planning Corporation.  
**Address:** 4300 Biscayne Boulevard, Suite 203  
**Tel:** Miami, FL 33137  
**Email:**

**Architect:** Kobi Karp Architecture and Interior Design, Inc.  
 571 NW 28th Street  
 Miami, Florida 33127 USA  
**Tel:** +1(305) 573 1818  
**Fax:** +1(305) 573 3786

KOBI KARP  
Lic. # AR0012578

START → END



**1** PROPOSED OVERALL LEVEL 1 FLOOR PLAN  
 SCALE: 1" = 50'-0"

PROPOSED LEVEL 1		Sheet No.
Date	10-29-2021	A2.31
Scale	1"=50'-0"	
Project	2104	



# Miami Beach Fire Department

## Hydrant Flow Test Results

**Address:** 1901 Collins Avenue  
**Date:** 11-22-2021  
**Permit No.:** FP1121-3692  
 Location of Hydrant #1: In front of 150 20th Street; 20" WM  
 (Static Hydrant)  
 Location of Hydrant #2: In front of 1825 Collins Avenue; 20" WM  
 Location of Hydrant #3:  
 Location of Hydrant #4:

Static pressure reading from Hydrant #1: 54 **PSI**  
 (Taken before flowing water from Hydrants #2 & #3 & #4)

Residual pressure reading from Hydrant #1: 50 **PSI**  
 (Taken while flowing water from Hydrants #2 & #3 & #4)

Diameter 4.0 Inches Coefficient: 0.9

Hydrant #2, port 1: Pressure (pitot gauge):	14	<b>PSI</b>	Flow =	1608	<b>GPM</b>
Hydrant #2, port 2: Pressure (pitot gauge):		<b>PSI</b>	Flow =	0	<b>GPM</b>
Hydrant #3, port 1: Pressure (pitot gauge):		<b>PSI</b>	Flow =	0	<b>GPM</b>
Hydrant #3, port 2: Pressure (pitot gauge):		<b>PSI</b>	Flow =	0	<b>GPM</b>
Hydrant #4, port 1: Pressure (pitot gauge):		<b>PSI</b>	Flow =	0	<b>GPM</b>
Hydrant #4, port 2: Pressure (pitot gauge):		<b>PSI</b>	Flow =	0	<b>GPM</b>

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**Total Flow : 1608 GPM**

Available Water (GPM) = 4689 GPM @ 20 PSI residual pressure

**Test Conducted By:** Lt. Daniel Antoine

$$Available\ Water\ (GPM) = (Total\ Flow) \times \sqrt{\frac{Static - 20\ PSI}{Static - Residual}}$$

Important!

A copy of this test must be included with the sprinkler system plans at the time that they are submitted to the Building Department for review! Please note that this result is for calculations only. Civil drawings must be submitted to show location of fdc to the nearest fire hydrant, backflow preventer, and PIV.