

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE, MIAMI BEACH, FL. 33139

HISTORIC PRESERVATION BOARD
FIRST SUBMITTAL
11 - 8 -2021



JEFFERSON AVE. APT./HOTEL SCALE: N.T.S

SCOPE OF WORK

- RENOVATION AND RESTORATION OF BUILDINGS 333, 345, 343 & 337
- REMOVAL AND REPLACING OF DAMAGED ROOF JOISTS AND SECOND FLOOR OF 343 BUILDING
- REMOVAL AND REPLACING OF FLOOR JOISTS, REMOVAL AND REPLACING OF FIRST FLOOR
- 16 APARTMENT-HOTEL UNITS AND 4 APARTMENT UNITS (20 UNITS TOTAL)
- MODIFICATIONS TO OPENINGS ON FRONT (WEST) ELEVATION OF 343 JEFFERSON

QR CODE



CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

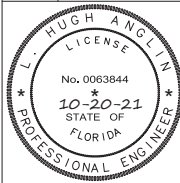
OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL. 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE :



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

1 REV 11/10/21
3RD SUBMITTAL

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:

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SHEETS



AERIAL OF 1/2 MILE RADIUS

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MIAMI, FL 33033
305.785.3300

OWNER:

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NATHANIEL COHEN MBR
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SHEET TITLE : AERIALS VIEWS

JOB TITLE & ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139



L. HUGH ANGLIN, P.E.
P.E. #63844

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CONTEXT AERIAL VIEW



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L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

CAD FILE:

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SHEET:
A0.02

OF: SHEETS



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A	<div>FRONT RENDERINGS</div> <div></div> <div></div>							
B								
C								
D								
E								
F								
	1	2	3	4	5	6	7	8

QR CODE	
<div><div>kaytech design group, corp.</div><div>CA No. 33204 16521 SW 297 TERRACE MIAMI, FL 33033 305.785.3300</div></div>	
OWNER:	333 JEFFERSON HOLDING LLC NATHANAEEL COHEN MBR 2800 BISCAYNE BLVD PH FLOOR MIAMI, FL. 33137
JOB TITLE & ADDRESS:	JEFFERSON APARTMENTS/HOTEL 333 JEFFERSON AVENUE MIAMI BEACH, FL 33139
SHEET TITLE : RENDERINGS	
<div><div>L. HUGH ANGLIN, P.E. P.E. #63844</div></div>	
REVISION DATE:	
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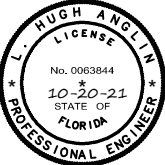
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A	<div>343 BUILDING RENDERINGS</div> 							
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	1	2	3	4	5	6	7	8

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 L. HUGH ANGLIN, P.E. P.E. #63844	
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SCALE:	
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JOB:	
SHEET:	A3.03
OF:	SHEETS

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A	<div>WALKWAY RENDERINGS</div> <div></div> <div></div>						
B							
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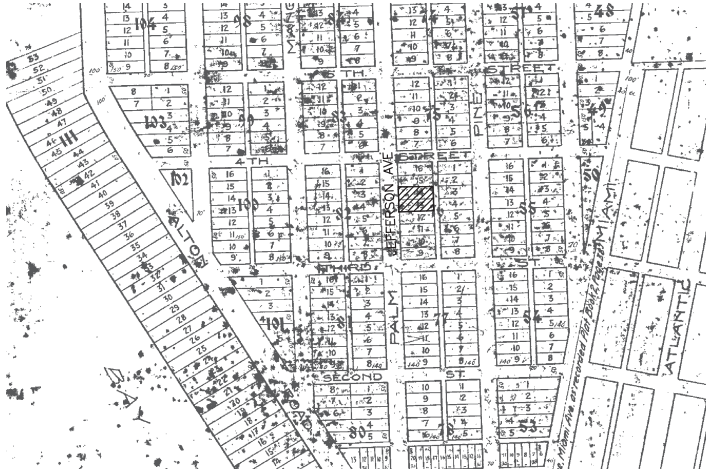
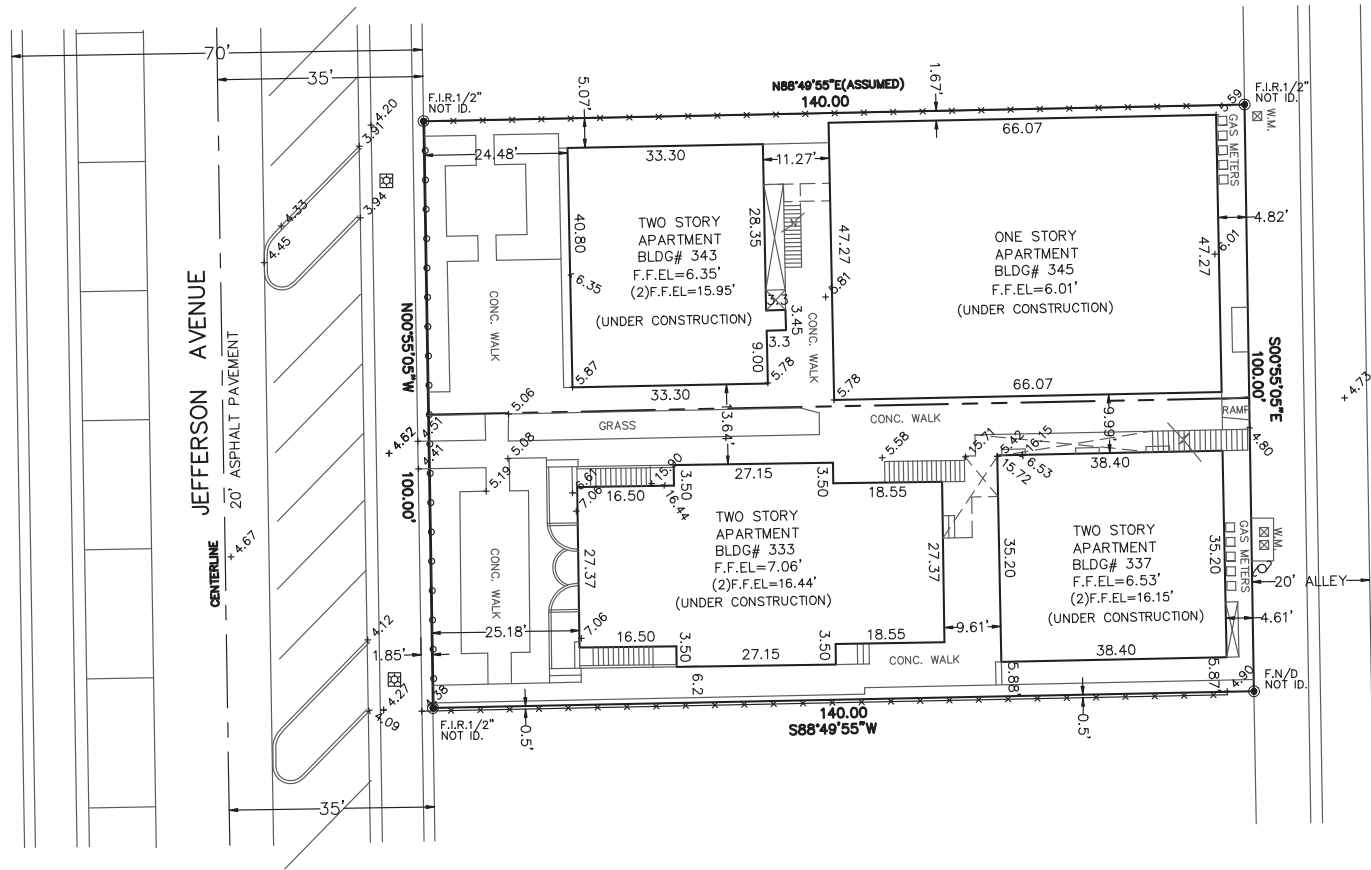
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REVISION DATE:	
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OF: SHEETS	



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SHEET TITLE :	OWNER: 333 JEFFERSON HOLDING LLC NATHANAEEL COHEN MBR 2800 BISCAYNE BLVD PH FLOOR MIAMI, FL. 33137
	JOB TITLE & ADDRESS: JEFFERSON APARTMENTS/HOTEL 333 JEFFERSON AVENUE MIAMI BEACH, FL 33139
<div> L. HUGH ANGLIN, P.E. P.E. #63844</div>	
REVISION DATE:	
CAD FILE:	
SCALE:	
DRAWN:	
JOB:	
SHEET: A3.05 OF: SHEETS	

BOUNDARY SURVEY
SCALE: 1" = 20'

PAGE 1 OF 1
JOB No. CH-016102



LOCATION SKETCH - NTS

PROPERTY ADDRESS 333/337/343/345 JEFFERSON AVENUE, MIAMI BEACH, FL. 33139
(FOLIO# 02-4203-009-5250 / 5260)

ELEVATION INFORMATION:
BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENT MANAGEMENT AGENCY DATED OR REVISED ON 9/11/2011 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE AE
BASE FLOOD ELEVATION 8 COMMUNITY 120651 PANEL NUMBER 12086C0319 SUFFIX L
BENCHMARK D-116 ELEVATION 5.03 N.G.V.D.29

LEGAL NOTES

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINATE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD. LEGAL DESCRIPTIONS PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN, ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. FENCE OWNERSHIP NOT DETERMINED

LEGAL DESCRIPTION:

Parcel 1:
Lot 13, Block 76, OCEAN BEACH FLA NO. 3, according to the Plat thereof as recorded in Plat Book 2, Page 81 of the Public Records of Miami-Dade County, Florida.

Parcel 2:
Lot 14, Block 76, OCEAN BEACH FLA NO. 3, according to the Plat thereof as recorded in Plat Book 2, Page 81, of the Public Records of Miami-Dade County, Florida.

CERTIFIED TO:
TROY 333 LLC

REVISIONS:	DATE:
THIS SURVEY WAS PERFORMED	DATE: SEP. 16, 2021

CH LAND SURVEYING INC.
5951 NW 11TH AVE, SUITE 210
MIAMI LAKES, FL 33014
PH (305) 825-3220 FAX 305 823-9806
CARLOS A. HERNANDEZ
LAND SURVEYOR AND MAPPER No. 5718
STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISE SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER

QR CODE



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16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:

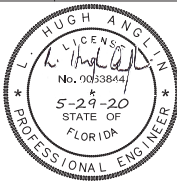
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NATHANIEL COHEN MBR
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MIAMI, FL 33137

JOB TITLE &
ADDRESS:

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MIAMI BEACH, FL 33139

SITE PLANS

SHEET TITLE :



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

5/8/18 NOTE
REQUIREMENT OF
PERMIT FOR
WINDOW AND
DOOR

10/7/19

CAD FILE:

SCALE:

DRAWN:

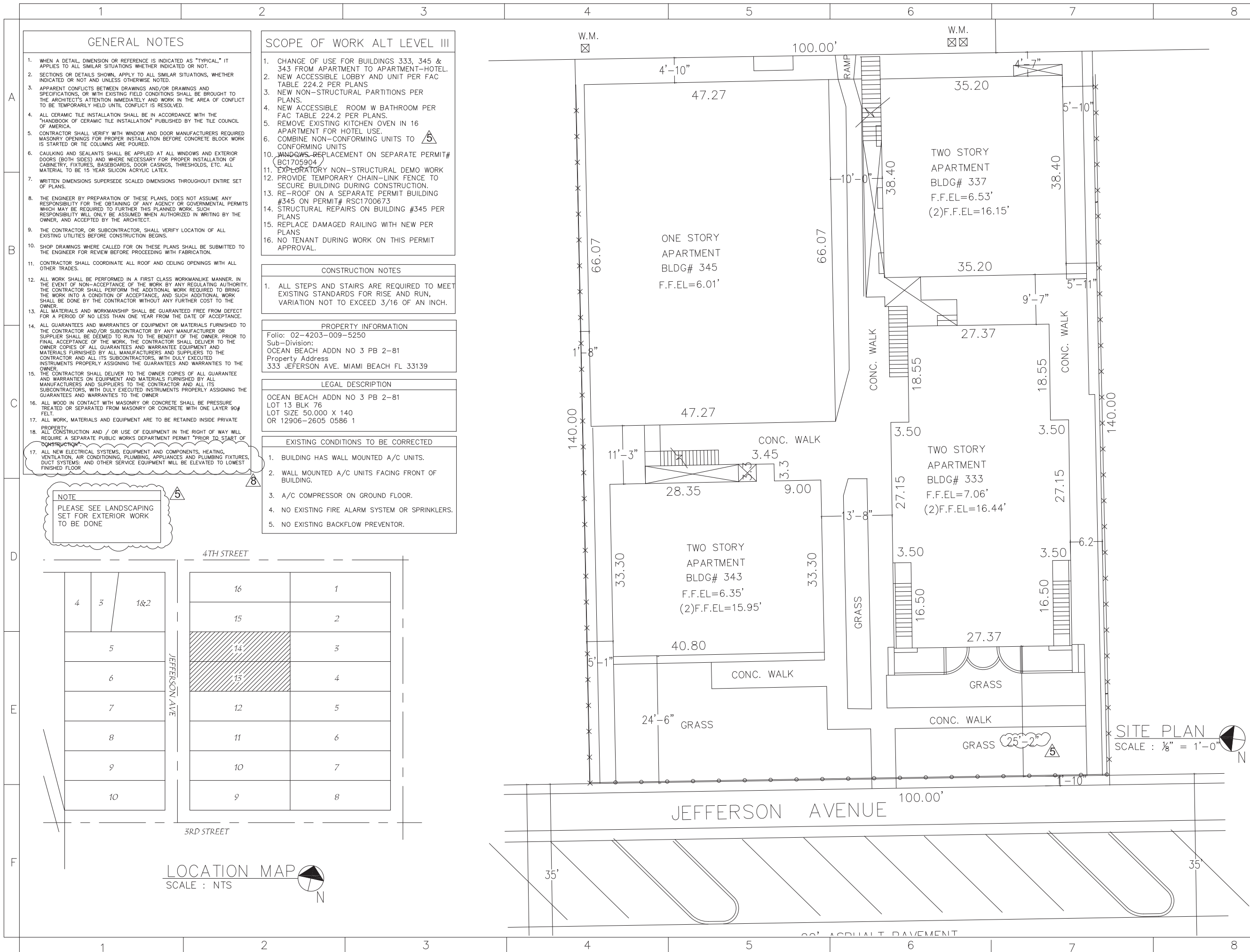
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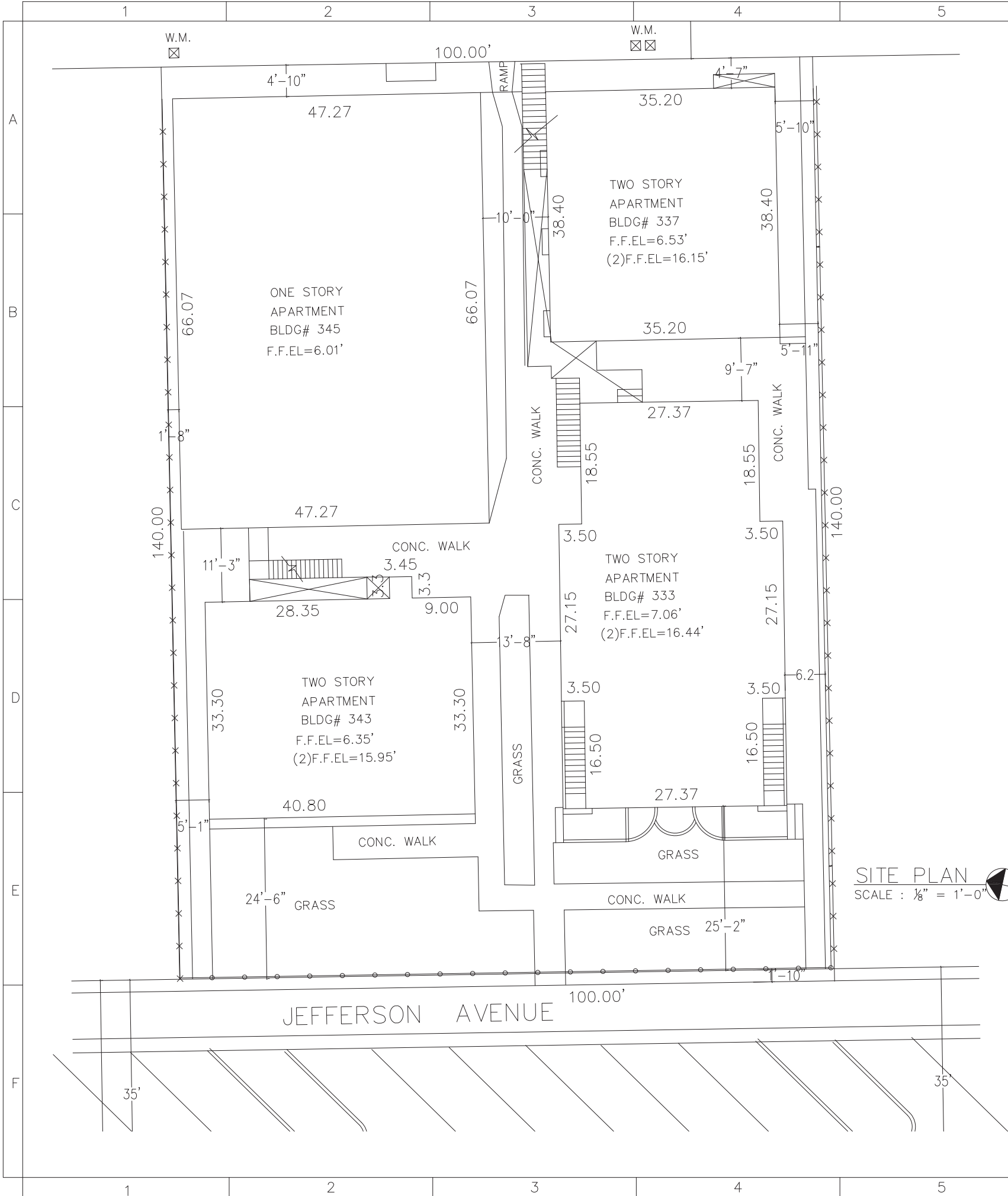
G1.01

OF:

SHEETS



Reviewed For Compliance
07/24/2020 2:34:33 PM



SITE PLAN
SCALE : 1/8" = 1'-0"

ZONING REQUIREMENT			
AREA	ALLOWED	EXISTING	REMARKS
NET LOT AREA (100' x 140')	5,750 SQ.FT. MIN	12,371 SQ.FT.	26 APT. REDUCE TO 20 CONFORMING APARTMENT/HOTEL
LOT WIDTH	50 FT. MIN.	100.0 LN. FT.	
MAXIMUM BUILD HEIGHT	45 FT. MAX.	25' - 11" FT.	BUILD 50' + WIDE 45 FT. ALLOWED
FAR	1.5	21,000 SQ.FT.	12,371 SQ.FT. EXISTING BUILDING BUILT 1950
OCCUPANCY CLASSIFICATION : R-PS2			
GROUP: R-PS2 APARTMENTS			
ZONING CLASSIFICATION: R-PS2 APARTMENT/HOTEL			
NEW OCCUPANCY CLASSIFICATION: APARTMENTS TO APARTMENT/HOTEL			
ALTERATION LEVEL 3 PER SECTION 305 FBC			
TYPE OF CONSTRUCTION: IIIB			
PARKING SPACES: EXISTING STREET PARKING			
EXISTING STRUCTURE			
TOTAL WORK AREA BY THIS PERMIT: 12,371 SQ.FT.			
APARTMENTS: 2,704 SQUARE FEET			
HOTEL/APARTMENTS: 8,879 SQUARE FEET			
HALLWAYS : 473.3 SQUARE FEET			
LOBBY : 315.21 SQUARE FEET			
NEW OCCUPANCY CLASSIFICATION: R-PS2 APARTMENT/HOTEL			
		REQUIRED	PROPOSED
APARTMENT WITH KITCHENS		400 + SQ. FT.	4
APARTMENT/HOTEL		400 + SQ. FT.	16
TOTAL APARTMENT/HOTEL		400 + SQ. FT.	20
MINIMUM FLOOR AREA PER APARTMENT		400 + SQ. FT.	420 MINIMUM APT. SQ. FT.
MINIMUM AVERAGE FLOOR AREA PER APARTMENT		550 + SQ. FT.	579 SQ. FT. AVERAGE
BUILDING MAX STORIES		5 STORIES	2 STORIES
SET BACK:	REQUIRED	EXISTING	REMARKS
FRONT	5.00'	24.6'	EXISTING
REAR	5.00'	4.33'	EXISTING NON-CONFORMING
NORTH SIDE	5.00'	1.66'	EXISTING NON-CONFORMING
SOUTH SIDE	5.00'	5.83'	EXISTING
ACCESSIBILITY ACCESSIBLE ROOM PER FAC TABLE 224.2			
	NUMBER OF ROOMS	MINIMUM NUMBER OF REQUIRED ROOMS WITHOUT ROLL-IN SHOWERS	MINIMUM NUMBER OF REQUIRED ROOMS WITH ROLL-IN SHOWERS
EXISTING STRUCTURE	20	1	0
HEARING IMPAIRMENT TABLE 9.1.3	20	0	0
FL 5% RULE	20	0	0
TOTAL NUMBER OF REQUIRED ROOMS			
FLORIDA 5% RULE: GUEST ROOMS HAVING MORE THAN 25 BEDS, 5 PERCENT MINIMUM OF THE BEDS SHALL HAVE CLEAR FLOOR SPACE COMPLYING WITH 806.2.3. AT LEAST ONE SLEEPING AREA SHALL PROVIDE A CLEAR FLOOR SPACE COMPLYING WITH 305 ON BOTH SIDES OF A BED. THE CLEAR FLOOR SPACE SHALL BE POSITIONED FOR PARALLEL APPROACH TO THE SIDE OF THE BED.			

APPLICABLE CODES IN USE:	
1. THE NFPA-72, 2010 NATIONAL FIRE ALARM AND SIGNALING CODE	2
2. THE NFPA-70 NATIONAL ELECTRICAL CODE (NEC) 2012 EDITION	2
3. THE FLORIDA BUILDING CODE 2014 EDITION	2
4. THE NFPA-101 LIFE SAFETY CODE 2012.	2
5. THE NFPA 1: FIRE CODE, 2012 EDITION	2
6. THE FLORIDA FIRE PREVENTION CODE 5TH EDITION 2012.	2
7. THE FLORIDA ACCESSIBILITY CODE 2012	2
INTERIOR NOTES:	
ALL INTERIOR FINISHES SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE (2012 5th EDITION CHAPTER 10.7 TABLE A.10.2.2 FOR EXISTING HOTEL.	

REV 6/14/18
CHANGE OF CODE
EDITION



OWNER:
333 JEFFERSON HOLDING LLC
NATHANAE COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL. 33137

JOB TITLE & ADDRESS:
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333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139



REVISION DATE:
12/1/17 CHANGES
5/8/18 CHANGES TO CODE IN USE

CAD FILE:
SCALE:
DRAWN:
JOB:
SHEET: G1.02
OF: SHEETS

QR CODE



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SHEET TITLE :



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P.E. #63844

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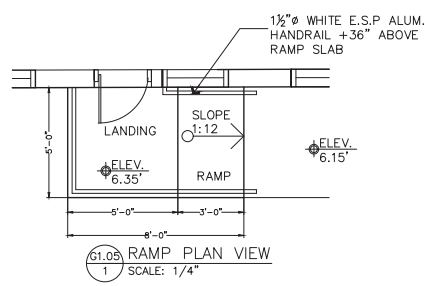
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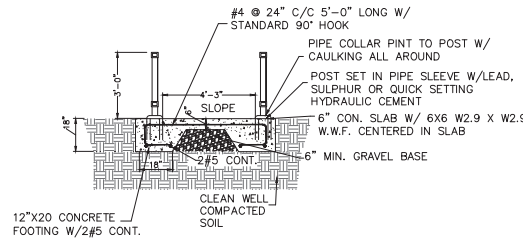
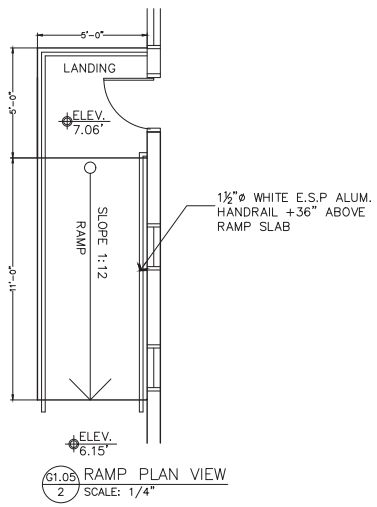
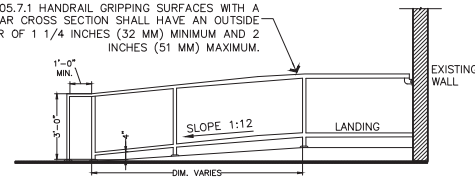
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SHEETS

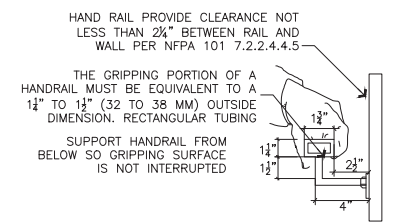


505.10.2 TOP EXTENSION AT STAIRS. AT THE TOP OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES (305 MM) MINIMUM BEGINNING DIRECTLY ABOVE THE FIRST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT

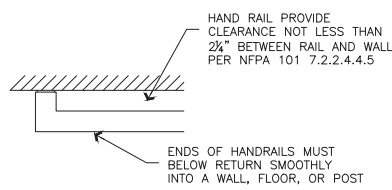
1 1/2" Ø WHITE E.S.P. ALUM. HANDRAIL +36" ABOVE RAMP SLAB



TYP. RAMP & SLAB SECTION
SCALE: 3/4"

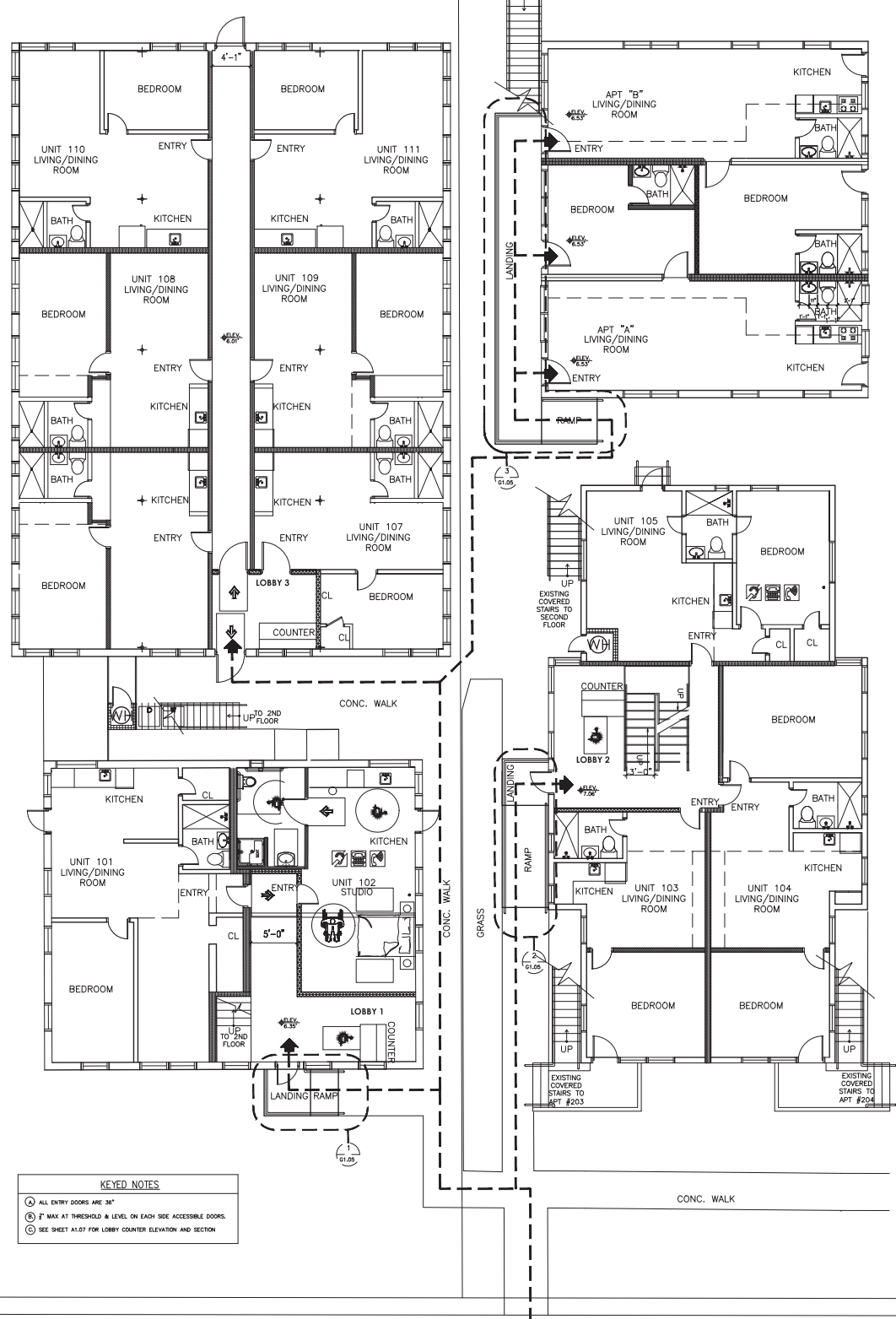


TYPICAL STEEL RAILING AT STAIR
SCALE: NTS



TYPICAL RAILING RETURN PLAN VIEW AT STAIR
SCALE: NTS

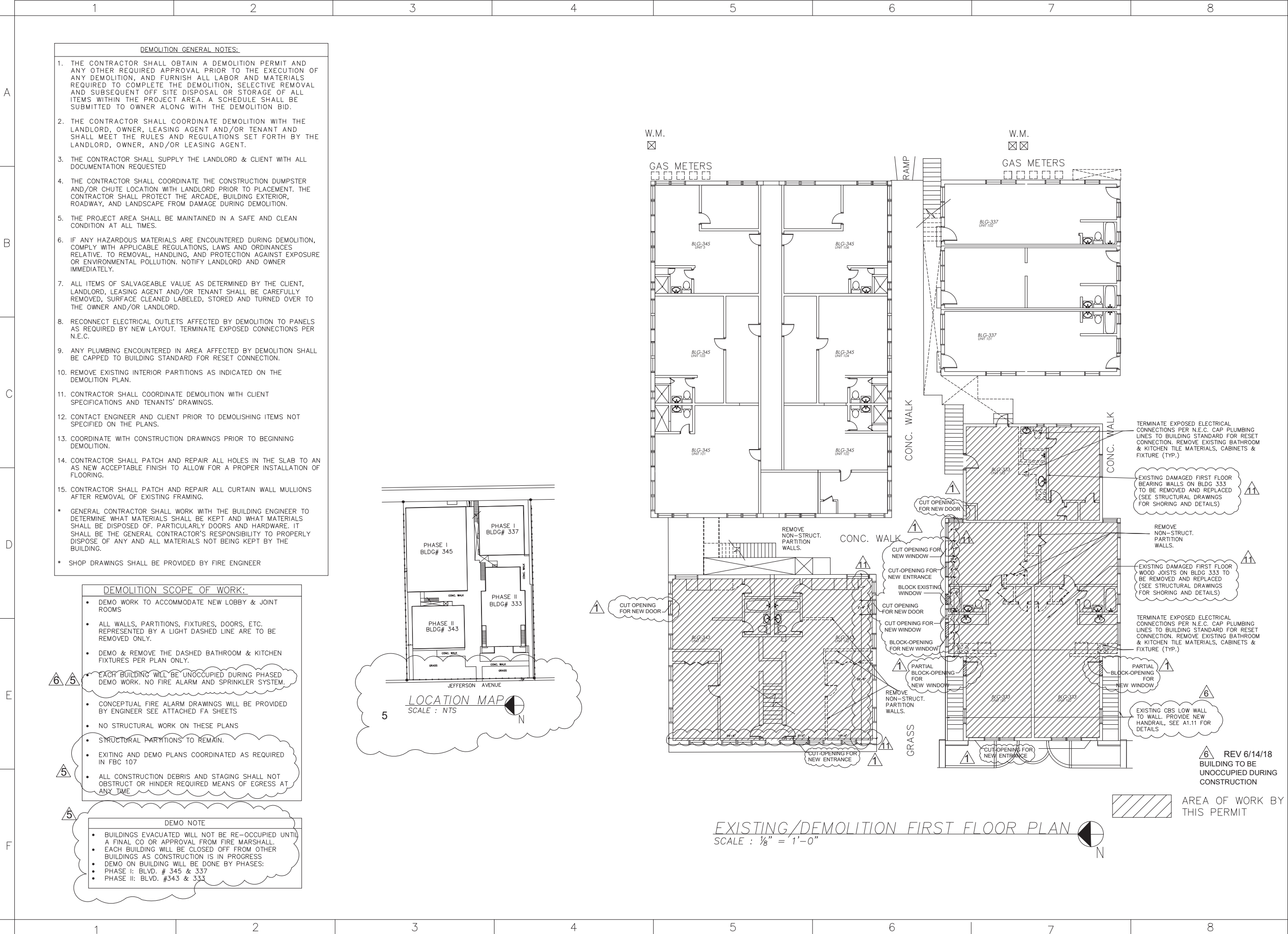
- KEYED NOTES
- Ⓐ ALL ENTRY DOORS ARE 36"
 - Ⓑ 2" MAX AT THRESHOLD & LEVEL ON EACH SIDE ACCESSIBLE DOORS
 - Ⓒ SEE SHEET A1.07 FOR LOBBY COUNTER ELEVATION AND SECTION

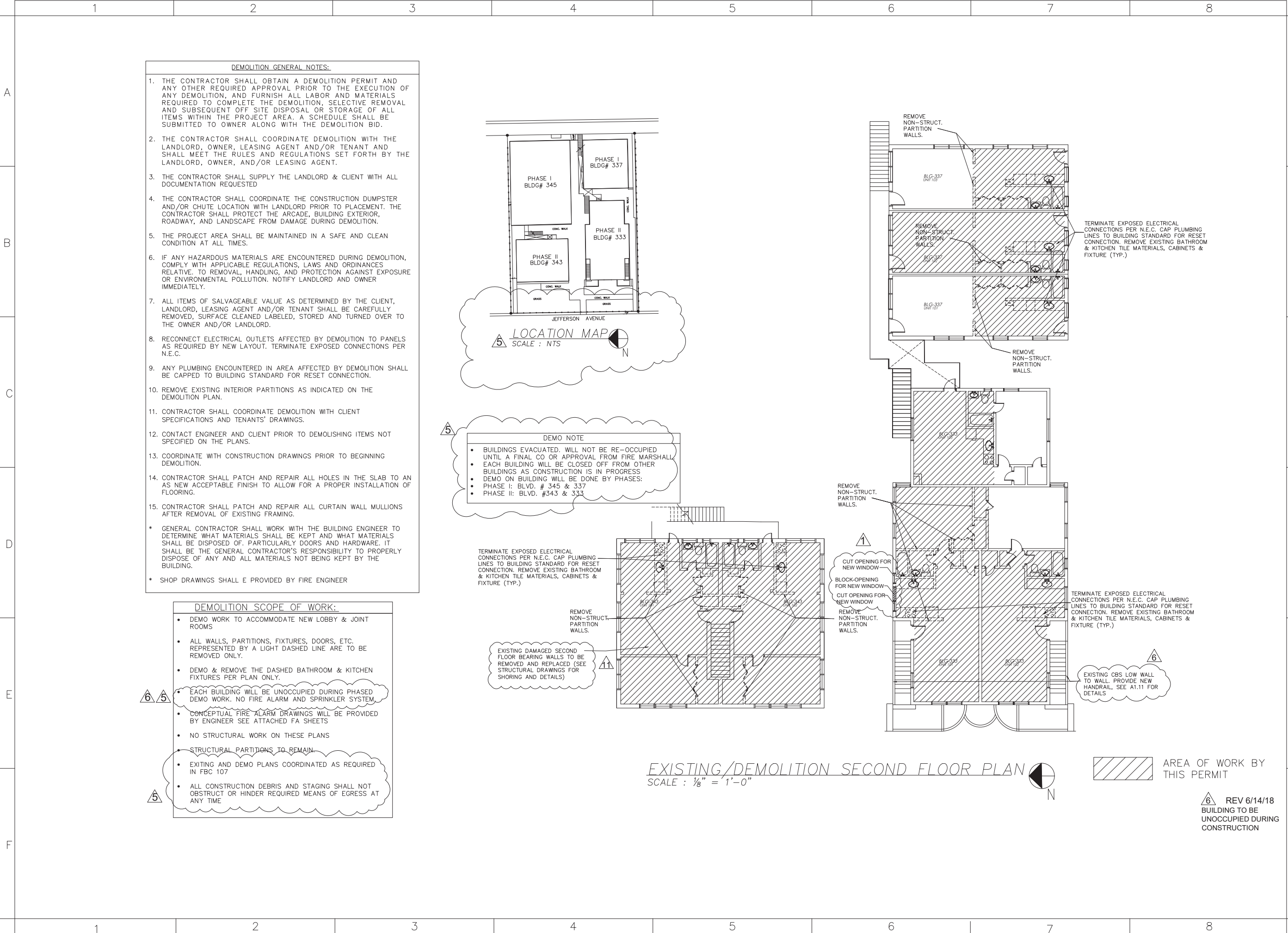


V13 5/29/20
-SITE ACCESS PATH

SITE PLAN
SCALE : 1/8" = 1'-0"







QR CODE

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design group, corp.

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333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : EXISTING & DEMOLITION PLANS

L. HUGH ANGLIN
LICENSE
No. 0063844
10-20-21
STATE OF FLORIDA
PROFESSIONAL ENGINEER

L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

12/4/17 CHANGES

5/8/18

DEMOLITION NOTES

11 REV 10/20/21 ELEVATIONS

CAD FILE:

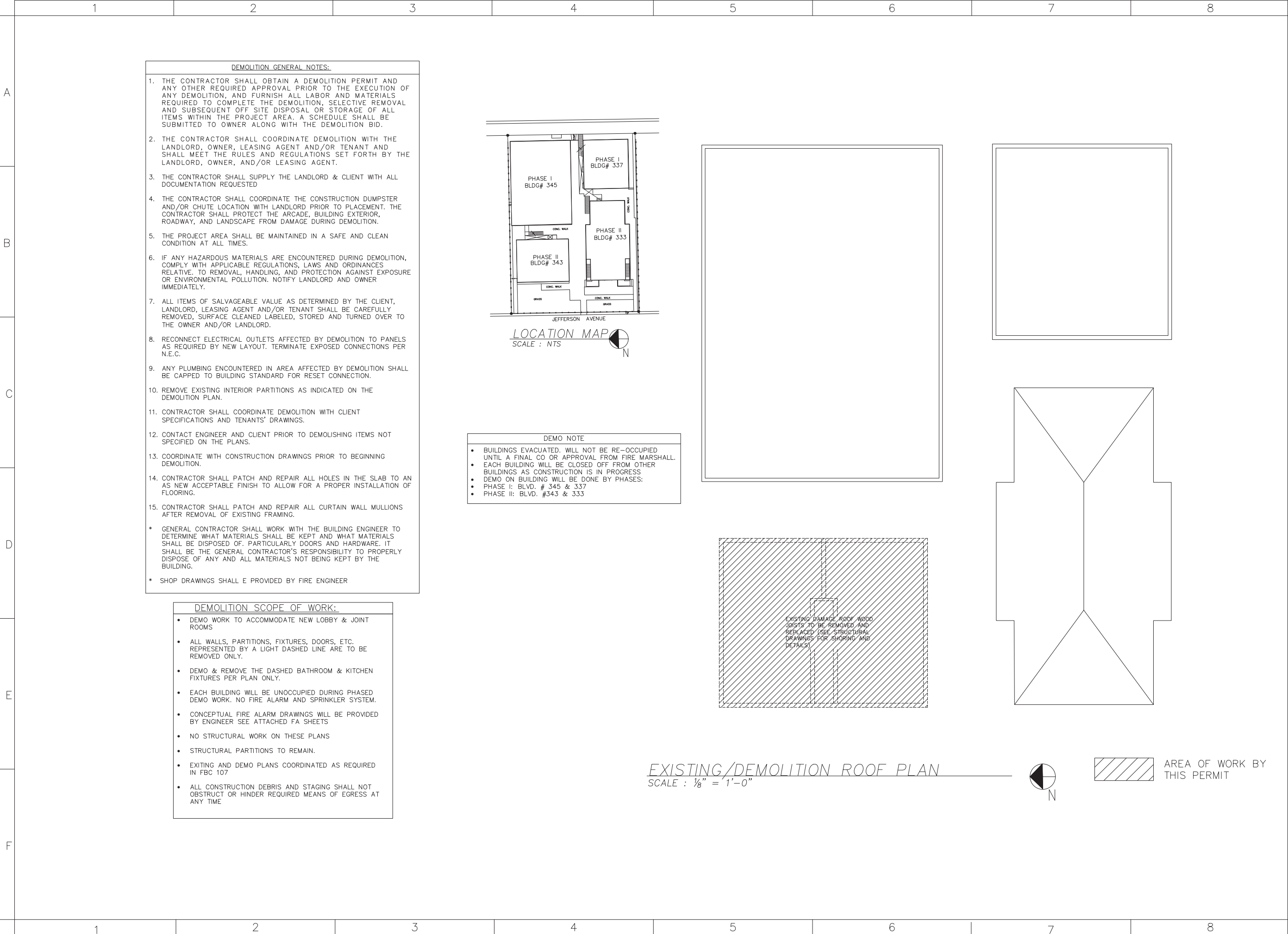
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11 OF: **D1.03** SHEETS

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SHEET TITLE : FLOOR PLANS



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5/8/18 CHANGES

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OF:

SHEETS

KEYED NOTES

- (A) ALL STAIRS SHOWN ARE EXISTING AND SHALL COMPLY WITH THE (FFPC 5th EDITION 2014) TABLE 7.2.2.2.1.1 & 7.8.1.3.2.
- (B) THE CORRIDOR IS PROVIDED WITH 1-HOUR FIRE RESISTANT RATING. HALLWAY IS CLOSE WITH NO OPENING FOR SMOKE PENETRATION. EXISTING DOORS IN PATH OF CORRIDOR NOT LESS THAN 20 MINUTE FIRE RATED DOORS PER NFPA 101 30.3.6.2.1.
- (C) ALL HORIZONTAL SEPARATION WITH A FIRE RATING OF NOT LESS THAN ONE HOUR IS PROVIDED BETWEEN DWELLING UNITS.
- (D) EXISTING WINDOWS UNDER 36" FROM F.F. MEET THE MINIMUM REQUIREMENT OF NET CLEAR OPENING HEIGHT OF 36" AS PER FBC R310.1, R310.1.2, R310.1.3, R310.4 R311.4. ALL BEDROOM WINDOW PROVIDE EGRESS IN COMPLIANCE WITH NFPA 29.2.1. ALL BEDROOM WINDOWS ARE EGRESS TYPE WITH A CLEAR OPENING OF 5.7 SOFT. AND A MIN. WIDTH OF 20"
- (E) DOORS OPENING ON TO THE EXIT ACCESS CORRIDOR ARE SELF CLOSING AND SELF LATCHING. ALL EGRESS DOORS SHALL NOT REQUIRE A KEY OR SPECIAL KNOWLEDGE TO OPEN FOR EGRESS
- (F) NEW FIRE ALARM SYSTEM AND SPRINKLER SYSTEM WILL BE INSTALLED. BUILDING WILL NOT BE OCCUPIED DURING CONSTRUCTION.
- (G) NEW FIRE EXTINGUISHERS PROVIDED UNDER THIS PERMIT.
- (H) REPLACE EXISTING NON-STRUCTURAL PARTITION WITH 3 5/8" (20GA) METAL STUDS @ 24" O/C SEE TYPICAL PARTITION DETAIL 1 ON SHEET A1.29.
- (I) 2" MAX AT THRESHOLD & LEVEL ON EACH SIDE ACCESSIBLE DOORS.
- (J) EXISTING KITCHEN TO REMAIN.
- (K) EXISTING STAIRS MINIMUM 36" WIDE
- (L) ADA COMPLIANCE COUNTER TOP A PORTION OF THE MAIN COUNTER WHICH IS A MINIMUM OF 36 IN LENGTH SHALL BE PROVIDED WITH A MAXIMUM HEIGHT OF 34 IN. THE KNEE AND TOE SPACE MUST BE PROVIDED UNDER THE COUNTER. SEE DETAIL SHEET A1.10.
- (M) AUTOMATIC DOORS AND POWER-ASSISTED DOORS PER 4.13.12.
- (N) SLEEPING ACCOMMODATION FOR PERSONS WITH HEARING IMPAIRMENTS PER 9.1.3.
- (O) ACCESSIBLE UNITS, SLEEPING ROOMS, AND SUITES PER TABLE 224.2 FOR 24 UNITS REQUIRE 1 ACCESSIBLE UNITS.
- (P) UNITS COMPLY WITH ACCESSIBLE ROUTE 4.3 AND HAVE ACCESSIBLE ELEMENTS AND SPACES. SLEEPING ROOMS SHALL HAVE A 36 IN (915 MM) CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED PER 9.2.2.
- (Q) KITCHENS & KITCHENETTES PROVIDE A CLEAR FLOOR SPACE FOR A FRONT APPROACH TO CABINETS, COUNTERS, SINKS, AND APPLIANCES TO COMPLY WITH 4.2.4. COUNTERTOPS AND SINKS SHALL BE MOUNTED AT A MAXIMUM HEIGHT OF 34 IN (865 MM) ABOVE THE FLOOR. SHELF SPACE IN CABINETS AND REFRIGERATOR/FREEZERS SHALL BE WITHIN THE REACH RANGES OF 4.2.5 OR 4.2.6 AND SPACE SHALL BE DESIGNED TO ALLOW FOR THE OPERATION OF CABINET AND/OR APPLIANCE DOORS SO THAT ALL CABINETS AND APPLIANCES ARE ACCESSIBLE AND USABLE. ALL CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH 4.2.7.
- (R) 3" OR LESS MARKING STRIPING WIDTH STRIPE NOSING FOR STAIRS LESS THAN THREE STEPS.
- (S) ENCLOSED STAIRS AND STAIRS WITH CONCEALED SPACES UNDERNEATH NEED TO BE PROTECTED FROM FIRE ON THE UNDERSIDE WITH GYPSUM BOARD

NOTE:

- ALL NEW CONSTRUCTION ELEMENTS, COMPONENT SYSTEMS, AND SPACE SHALL COMPLY W/THE REQUIREMENTS OF FBC. (E) 601.1
- ALL SOUND PROOFING TO MEET STC AND IIC OF NOT LESS THAN 50. THE SPECIFICATION MUST CLARIFY TESTING WITHOUT A DROPPED CEILING PER FBC 1207.
- ALL NEW CONSTRUCTION ELEMENTS, COMPONENT, SYSTEMS, AND SPACE SHALL COMPLY W/ THE REQUIREMENTS OF FBC. (E) 503.3.
- NEW CARPETING SHALL COMPLY WITH RADIANT FLUX REQUIREMENTS OF FBC E 503.2
- ALTERATIONS SHALL COMPLY WITH CHAPTER 13
- PLANS ALTERATIONS COMPLIES WITH THE ENERGY CONSERVATION FBCE 612.1. ALL REPLACE FIXTURES AND EQUIPMENT SHALL MEET THE REQUIREMENTS FOR LEVEL III
- SHOWER COMPARTMENT SHALL BE FINISHED WITH A NON ABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR (FACT 307.2) AND THAT FIBER CEMENT, FIBER MAT REINF. CEMENTIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS AND FIBER REINF. GYPSUM BACKERS, PER STANDARDS, AND INSTALLED PER MANUF. RECOMMENDATIONS. SHALL BE USED AS BACKERS FOR WALL TILE IN SHOWER AREA PFBC R702.4.2
- FOR FLAME SPREAD FOR WALL CEILING FINISHES MAX. 200, SMOKE DEVELOPED MAX. 450-PFBC R302.9, & FLAME SPREAD FOR INSULATION MAX. 25, SMOKE DEVELOPED MAX. 450 FBC R302.10

WINDOW SCHEDULE

NO.	SIZE		TYPE	MATERIAL	NO. OF WINDOW	JAMB	REMARKS
	W	H					
(A)	74"	50 5/8"	SLIDING	ALUMINUM/WHITE	46	WOOD	EGRESS FL.20359
(B)	37"	50 5/8"	CASEMENT	ALUMINUM/WHITE	35	WOOD	EGRESS NOA:150416.02
(C)	37"	38 3/8"	SLIDING	ALUMINUM/WHITE	9	WOOD	EGRESS FL.20359
(D)	37"	26"	CASEMENT	ALUMINUM/WHITE	6	WOOD	NOA:150416.02
(E)	111"	50 5/8"	CASEMENT	ALUMINUM/WHITE	2	WOOD	NOA:150416.02
(F)	53 1/8"	38 3/8"	SLIDING	ALUMINUM/WHITE	6	WOOD	FL.20359
(G)	19 1/8"	38 3/8"	CASEMENT	ALUMINUM/WHITE	15	WOOD	NOA:150416.02
(H)	53"	50 5/8"	SLIDING	ALUMINUM/WHITE	4	WOOD	FL.20359
(I)	1"x4"	50 5/8"	MULLION	ALUMINUM/WHITE		WOOD	IMPACT-4H LITE

(*) COORDINATE MASONRY OPENINGS W/ WINDOW MANUFACTURER PRIOR TO WINDOW INSTALLATION
(*) ALL EXTERIOR WINDOWS ARE TO BE HURRICANE RESISTANT. SEE NOA'S ATTACHED.

PARTITION LEGEND

EXISTING INTERIOR DOORS TO REMAIN

EXISTING WINDOWS TO REMAIN

1 NEW INTERIOR PARTITION: 3 5/8" 25GA METAL STUDS @ 16" OC WITH A LAYER OF 1/2" GWB @ EACH SIDE TO 6" ABOVE HIGHEST SCHEDULED CEILING. PROVIDE 20 GA METAL STUDS @ 16" O.C. & WOOD BLOCKING AS REQUIRED AT PARTITIONS SUPPORTING WALL-MOUNTED FIXTURES AND CABINETS (PROVIDE CEMENT BOARD BEHIND WET AREA PER FBC 2509). SEE A1.29 DETAIL 1.

2 NEW 1 HR RATED ASSEMBLY INCLUDING 1HR DOORS

EXISTING PARTITION LEGEND

EXISTING 8" C.M.U. EXTERIOR WALL AND INTERIOR PARTITION TO REMAIN

EXISTING DEMISING PARTITION WITH EXISTING FINISH ON BOTH SIDES PROVIDE A MINIMUM ONE HOUR SEPARATION.

EXISTING 2 HR RATED CONCRETE WALL

5 DOOR SCHEDULE

1 PARTITION TYPE

001 FINISH TAG

A KEY NOTES SEE A1.03 & A1.04

SHOWER VALVE

TOWEL BAR

ELECTRICAL PANEL

INTERCOM JACK

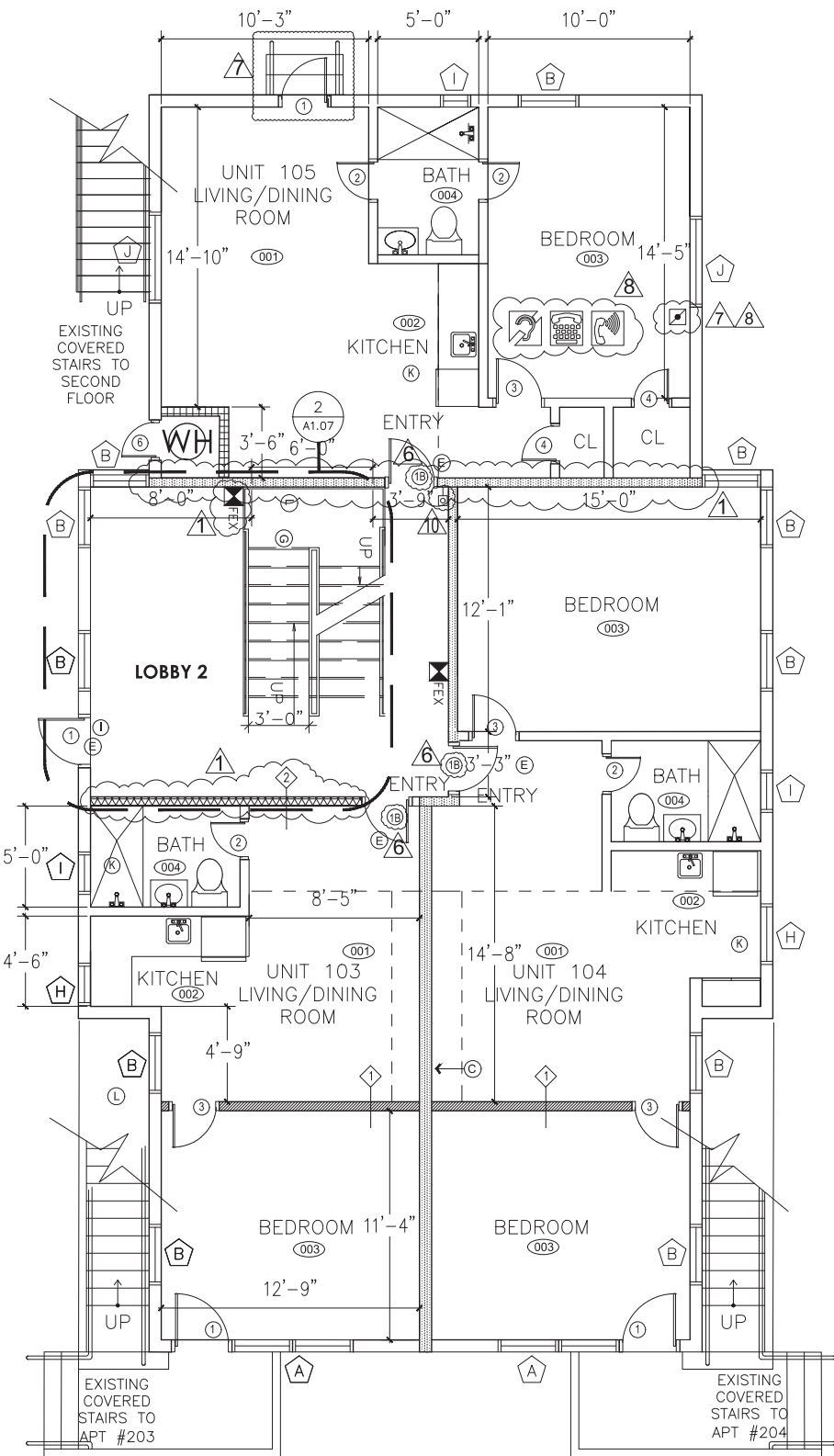
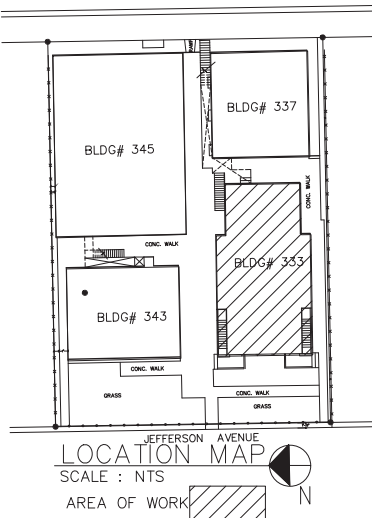
DOOR BELL

FIRE EXTINGUISHER NOTES:
OWNER TO PROVIDE ONE FIRE EXTINGUISHER 2Z.10 BC TYPE, FOR EACH 2500 SQ. FT. OF BUILDING AREA WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC 2004-90.6, FFPC 2007-9.7.4.1. SEE FLOOR PLAN FOR LOCATIONS.

FLAME SPREAD NOTES:
ALL INTERIOR FINISHES INCLUDING WALLS, PARTITIONS, CEILINGS AND OTHER EXPOSED INTERIOR SURFACES, COMPRISING BOTH PLASTER, WOOD OR OTHER INTERIOR FINISH MATERIAL & ANY SURFACING MATERIAL SUCH AS PAINT OR WALL PAPER APPLIED THEREOF SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS A, AS PER NFPA 101.

NOTES:

- FOR DIMENSIONS OF CORRIDORS SEE APPROVED LIFE SAFETY PLANS
- NO CHANGES TO EXISTING CORRIDOR AND HALLWAYS HAVE BEEN MADE
- PER CHAPTER 4 FAC2010 FOR PULL & PUSH DIMENSIONS FOR ADA ENTRY DOORS
- ALL ADA ENTRANCE, BEDROOM AND BATHROOM DOORS ARE 36" WIDE PER CHAPTER 4 FAC2010
- BUILDING SPRINKLERS & FIRE ALARM SYSTEM NON-OPERATIONAL, BUILDING EMPTY WHILE UNDER CONSTRUCTION
- FOR ALL EXIT SIGNS LOCATIONS SEE LS1.01
- ALL 1HR FIRE RATED PARTITIONS ARE DOTTED



PROPOSED FLOOR PLAN (BLDG.333) N
SCALE : 1/4" = 1'-0"

- REV 6/14/18
-ADDING DELTA ON LOG
-EXIT SIGN LOCATION ON LS1.0/LS1.02 & E1.08
-60 MIN. DOORS "1B"
-1HR FIRE RATED
-PARTITIONS ARE DOTTED
- REV 6/26/19
-MISSING HANDRAIL
-EXIT SIGN ON LS1.01
-CALL STATION
- REV 10/7/19
-ASSISTIVE LISTENING SYSTEM,
TELEPHONE TYPEWRITER AND VOLUME CONTROL
TELEPHONE INTERFACE JACK
- V13 5/29/20
-HC BATHROOM CHANGE, DOOR SYSTEM

QR CODE



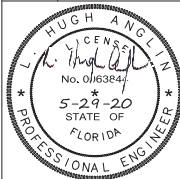
CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:

333 JEFFERSON HOLDING LLC
NATHANAELE COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

SHEET TITLE : FLOOR PLANS
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

12/1/17 CHANGES
5/8/18 CHANGES

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:

OF:

A1.02

SHEETS

KEYED NOTES

- (A) ALL STAIRS SHOWN ARE EXISTING AND SHALL COMPLY WITH THE FFPC 5th EDITION 2014 TABLE 7.2.2.2.1.1 & 7.8.1.3.2.
- (B) THE CORRIDOR IS PROVIDED WITH 1-HOUR FIRE RESISTANT RATING. HALLWAY IS CLOSE WITH NO OPENING FOR SMOKE PENETRATION. EXISTING DOORS IN PATH OF CORRIDOR NOT LESS THAN 20 MINUTE FIRE RATED DOORS PER NFPA 101 30.3.6.2.1.
- (C) ALL HORIZONTAL SEPARATION WITH A FIRE RATING OF NOT LESS THAN ONE HOUR IS PROVIDED BETWEEN DWELLING UNITS.
- (D) EXISTING WINDOWS UNDER 36" FROM F.F. MEET THE MINIMUM REQUIREMENT OF NET CLEAR OPENING HEIGHT OF 36" AS PER FBC R310.1, R310.1.2, R310.1.3, R310.4 R311.4. ALL BEDROOM WINDOW PROVIDE EGRESS IN COMPLIANCE WITH NFPA 29.2.1. ALL BEDROOM WINDOWS ARE EGRESS TYPE WITH A CLEAR OPENING OF 5.7 SQFT. AND A MIN. WIDTH OF 20"
- (E) DOORS OPENING ON TO THE EXIT ACCESS CORRIDOR ARE SELF CLOSING AND SELF LATCHING. ALL EGRESS DOORS SHALL NOT REQUIRE A KEY OR SPECIAL KNOWLEDGE TO OPEN FOR EGRESS
- (F) NEW FIRE ALARM SYSTEM AND SPRINKLER SYSTEM WILL BE INSTALLED. BUILDING WILL NOT BE OCCUPIED DURING CONSTRUCTION.
- (G) NEW FIRE EXTINGUISHERS PROVIDED UNDER THIS PERMIT.
- (H) REPLACE EXISTING NON-STRUCTURAL PARTITION WITH 3 5/8" (20GA) METAL STUDS @ 24" O/C SEE TYPICAL PARTITION DETAIL 1 ON SHEET A1.29.
- (I) 2" MAX AT THRESHOLD & LEVEL ON EACH SIDE ACCESSIBLE DOORS.
- (J) EXISTING KITCHEN TO REMAIN.
- (K) EXISTING STAIRS MINIMUM 36" WIDE
- (L) ADA COMPLIANCE COUNTER TOP A PORTION OF THE MAIN COUNTER WHICH IS A MINIMUM OF 36 IN LENGTH SHALL BE PROVIDED WITH A MAXIMUM HEIGHT OF 34 IN. THE KNEE AND TOE SPACE MUST BE PROVIDED UNDER THE COUNTER. SEE DETAIL SHEET A1.10.
- (M) AUTOMATIC DOORS AND POWER-ASSISTED DOORS PER 4.13.12.
- (N) SLEEPING ACCOMMODATION FOR PERSONS WITH HEARING IMPAIRMENTS PER 9.1.3.
- (O) ACCESSIBLE UNITS, SLEEPING ROOMS, AND SUITES PER TABLE 224.2 FOR 24 UNITS REQUIRE 1 ACCESSIBLE UNITS.
- (P) UNITS COMPLY WITH ACCESSIBLE ROUTE 4.3 AND HAVE ACCESSIBLE ELEMENTS AND SPACES. SLEEPING ROOMS SHALL HAVE A 36 IN (915 MM) CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED PER 9.2.2.
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- (R) 3" OR LESS MARKING STRIPING WIDTH STRIPE NOSING FOR STAIRS LESS THAN THREE STEPS.
- (S) ENCLOSED STAIRS AND STAIRS WITH CONCEALED SPACES UNDERNEATH NEED TO BE PROTECTED FROM FIRE ON THE UNDERSIDE WITH GYPSUM BOARD

NOTE:

- ALL NEW CONSTRUCTION ELEMENTS, COMPONENT SYSTEMS, AND SPACE SHALL COMPLY W/THE REQUIREMENTS OF FBC. (E) 601.1
- ALL SOUND PROOFING TO MEET STC AND IIC OF NOT LESS THAN 50. THE SPECIFICATION MUST CLARIFY TESTING WITHOUT A DROPPED CEILING PER FBC 1207.
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WINDOW SCHEDULE

NO.	SIZE		TYPE	MATERIAL	NO. OF WINDOW	JAMB	REMARKS
	W	H					
(A)	74"	50 5/8"	SLIDING	ALUMINUM/WHITE	46	WOOD	EGRESS FL-20359
(B)	37"	50 5/8"	CASEMENT	ALUMINUM/WHITE	35	WOOD	EGRESS NOA:150416.02
(C)	37"	38 3/8"	SLIDING	ALUMINUM/WHITE	9	WOOD	EGRESS FL-20359
(D)	37"	26"	CASEMENT	ALUMINUM/WHITE	6	WOOD	NOA:150416.02
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(I)	1"x4"	50 5/8"	MULLION	ALUMINUM/WHITE		WOOD	IMPACT-4H LITE

- (*) COORDINATE MASONRY OPENINGS W/ WINDOW MANUFACTURER PRIOR TO WINDOW INSTALLATION
- (*) ALL EXTERIOR WINDOWS ARE TO BE HURRICANE RESISTANT. SEE NOA'S ATTACHED.

PARTITION LEGEND

EXISTING INTERIOR DOORS TO REMAIN

EXISTING WINDOWS TO REMAIN

NEW INTERIOR PARTITION: 3 5/8" 25GA METAL STUDS @ 16" OC WITH A LAYER OF 1/2" GWB @ EACH SIDE TO 6" ABOVE HIGHEST SCHEDULED CEILING. PROVIDE 20 GA METAL STUDS @ 16" O.C. & WOOD BLOCKING AS REQUIRED AT PARTITIONS SUPPORTING WALL-MOUNTED FIXTURES AND CABINETS (PROVIDE CEMENT BOARD BEHIND WET AREA PER FBC 2509). SEE A1.29 DETAIL 1.

NEW 1 HR RATED ASSEMBLY INCLUDING 1HR DOORS

EXISTING PARTITION LEGEND

EXISTING 8" C.M.U. EXTERIOR WALL AND INTERIOR PARTITION TO REMAIN

EXISTING DEMISING PARTITION WITH EXISTING FINISH ON BOTH SIDES PROVIDE A MINIMUM ONE HOUR SEPARATION.

EXISTING 2 HR RATED CONCRETE WALL

DOOR SCHEDULE

PARTITION TYPE

FINISH TAG

KEY NOTES SEE A1.03 & A1.04

SHOWER VALVE

TOWEL BAR

ELECTRICAL PANEL

INTERCOM JACK

DOOR BELL

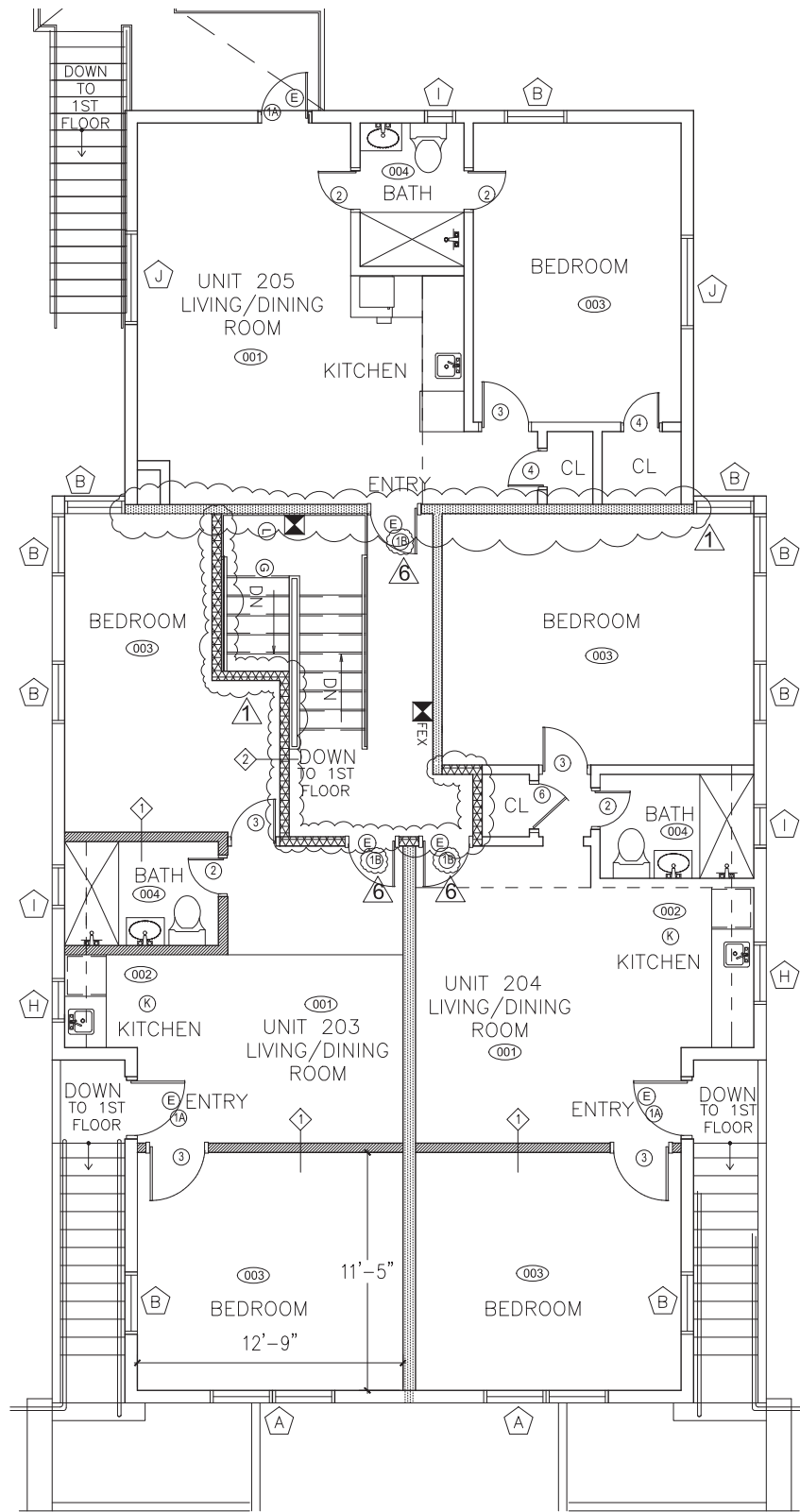
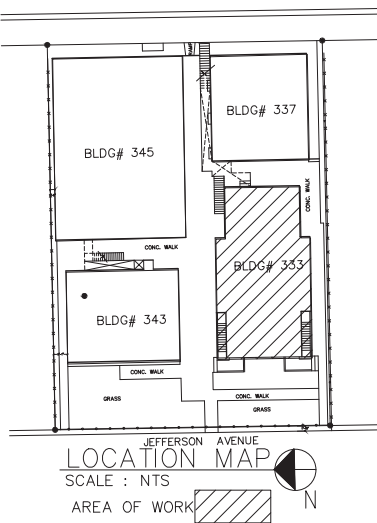
FIRE EXTINGUISHER NOTES:
OWNER TO PROVIDE ONE FIRE EXTINGUISHER 2Z 10 BC TYPE, FOR EACH 2500 SQ. FT. OF BUILDING AREA WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC 2004-90.6, FFPC 2007-9.7.4.1. SEE FLOOR PLAN FOR LOCATIONS.

FEX

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NOTES:

- FOR DIMENSIONS OF CORRIDORS SEE APPROVED LIFE SAFETY PLANS
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- ALL ADA ENTRANCE, BEDROOM AND BATHROOM DOORS ARE 36" WIDE PER CHAPTER 4 FAC2010
- BUILDING SPRINKLERS & FIRE ALARM SYSTEM NON-OPERATIONAL, BUILDING EMPTY WHILE UNDER CONSTRUCTION
- FOR ALL EXIT SIGNS LOCATIONS SEE LS1.01
- ALL 1HR FIRE RATED PARTITIONS ARE DOTTED



PROPOSED 2NDFLOOR PLAN (BLDG.333)
SCALE : 1/4" = 1'-0"

- REV 6/14/18
-ADDING DELTA ON LOG
-EXIT SIGN LOCATION ON LS1.0/LS1.02 & E1.08
-60 MIN. DOORS "1B"
-1HR FIRE RATED
-PARTITIONS ARE DOTTED

- REV 6/26/19
-EXIT SIGN ON LS1.01

QR CODE



CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

SHEET TITLE : FLOOR PLANS
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

12/1/17 CHANGES
5/8/18 CHANGES

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:
A1.03

OF: SHEETS

KEYED NOTES

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- (C) ALL HORIZONTAL SEPARATION WITH A FIRE RATING OF NOT LESS THAN ONE HOUR IS PROVIDED BETWEEN DWELLING UNITS.
- (D) EXISTING WINDOWS UNDER 36" FROM F.F. MEET THE MINIMUM REQUIREMENT OF NET CLEAR OPENING HEIGHT OF 36" AS PER FBC R310.1, R310.1.2, R310.1.3, R310.4, R311.4. ALL BEDROOM WINDOW PROVIDE EGRESS IN COMPLIANCE WITH NFPA 29.2.1. ALL BEDROOM WINDOWS ARE EGRESS TYPE WITH A CLEAR OPENING OF 5.7 SQFT. AND A MIN. WIDTH OF 20"
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- (J) EXISTING KITCHEN TO REMAIN.
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- (L) ADA COMPLIANCE COUNTER TOP A PORTION OF THE MAIN COUNTER WHICH IS A MINIMUM OF 36 IN LENGTH SHALL BE PROVIDED WITH A MAXIMUM HEIGHT OF 34 IN. THE KNEE AND TOE SPACE MUST BE PROVIDED UNDER THE COUNTER. SEE DETAIL SHEET A1.10.
- (M) AUTOMATIC DOORS AND POWER-ASSISTED DOORS PER 4.13.12.
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- (O) ACCESSIBLE UNITS, SLEEPING ROOMS, AND SUITES PER TABLE 224.2 FOR 24 UNITS REQUIRE 1 ACCESSIBLE UNITS.
- (P) UNITS COMPLY WITH ACCESSIBLE ROUTE 4.3 AND HAVE ACCESSIBLE ELEMENTS AND SPACES. SLEEPING ROOMS SHALL HAVE A 36 IN (915 MM) CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED PER 9.2.2.
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PARTITION LEGEND

EXISTING INTERIOR DOORS TO REMAIN

EXISTING WINDOWS TO REMAIN

- 1 NEW INTERIOR PARTITION: 3 5/8" 25GA METAL STUDS @ 16" OC WITH A LAYER OF 1/2" GWB @ EACH SIDE TO 6" ABOVE HIGHEST SCHEDULED CEILING. PROVIDE 20 GA METAL STUDS @ 16" O.C. & WOOD BLOCKING AS REQUIRED AT PARTITIONS SUPPORTING WALL-MOUNTED FIXTURES AND CABINETS (PROVIDE CEMENT BOARD BEHIND WET AREA PER FBC 2509). SEE A1.29 DETAIL 1.
- 2 NEW 1 HR RATED ASSEMBLY INCLUDING 1HR DOORS

EXISTING PARTITION LEGEND

- EXISTING 8" C.M.U. EXTERIOR WALL AND INTERIOR PARTITION TO REMAIN.
- EXISTING DEMISING PARTITION WITH EXISTING FINISH ON BOTH SIDES PROVIDE A MINIMUM ONE HOUR SEPARATION.
- EXISTING 2 HR RATED CONCRETE WALL

- 5 DOOR SCHEDULE
- 1 PARTITION TYPE
- 001 FINISH TAG
- A KEY NOTES SEE A1.03 & A1.04
- SHOWER VALVE
- TOWEL BAR
- ELECTRICAL PANEL
- INTERCOM JACK
- DOOR BELL

FIRE EXTINGUISHER NOTES:

OWNER TO PROVIDE ONE FIRE EXTINGUISHER 2Z 10 BC TYPE, FOR EACH 2500 SQ. FT. OF BUILDING AREA WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC 2004-90.6, FFPC 2007-9.7.4.1. SEE FLOOR PLAN FOR LOCATIONS.

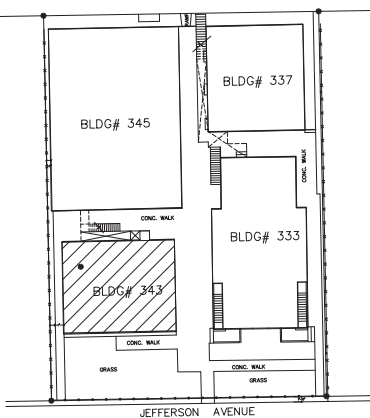
FEK

FLAME SPREAD NOTES:

ALL INTERIOR FINISHES INCLUDING WALLS, PARTITIONS, CEILINGS AND OTHER EXPOSED INTERIOR SURFACES, COMPRISING BOTH PLASTER, WOOD OR OTHER INTERIOR FINISH MATERIAL & ANY SURFACING MATERIAL SUCH AS PAINT OR WALL PAPER, APPLIED THEREOF SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS A, AS PER NFPA 101.

NOTES:

- FOR DIMENSIONS OF CORRIDORS SEE APPROVED LIFE SAFETY PLANS
- NO CHANGES TO EXISTING CORRIDOR AND HALLWAYS HAVE BEEN MADE
- PER CHAPTER 4 FAC2010 FOR PULL & PUSH DIMENSIONS FOR ADA ENTRY DOORS
- ALL ADA ENTRANCE, BEDROOM AND BATHROOM DOORS ARE 36" WIDE PER CHAPTER 4 FAC2010
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- FOR ALL EXIT SIGNS LOCATIONS SEE LS1.01
- ALL 1HR FIRE RATED PARTITIONS ARE DOTTED

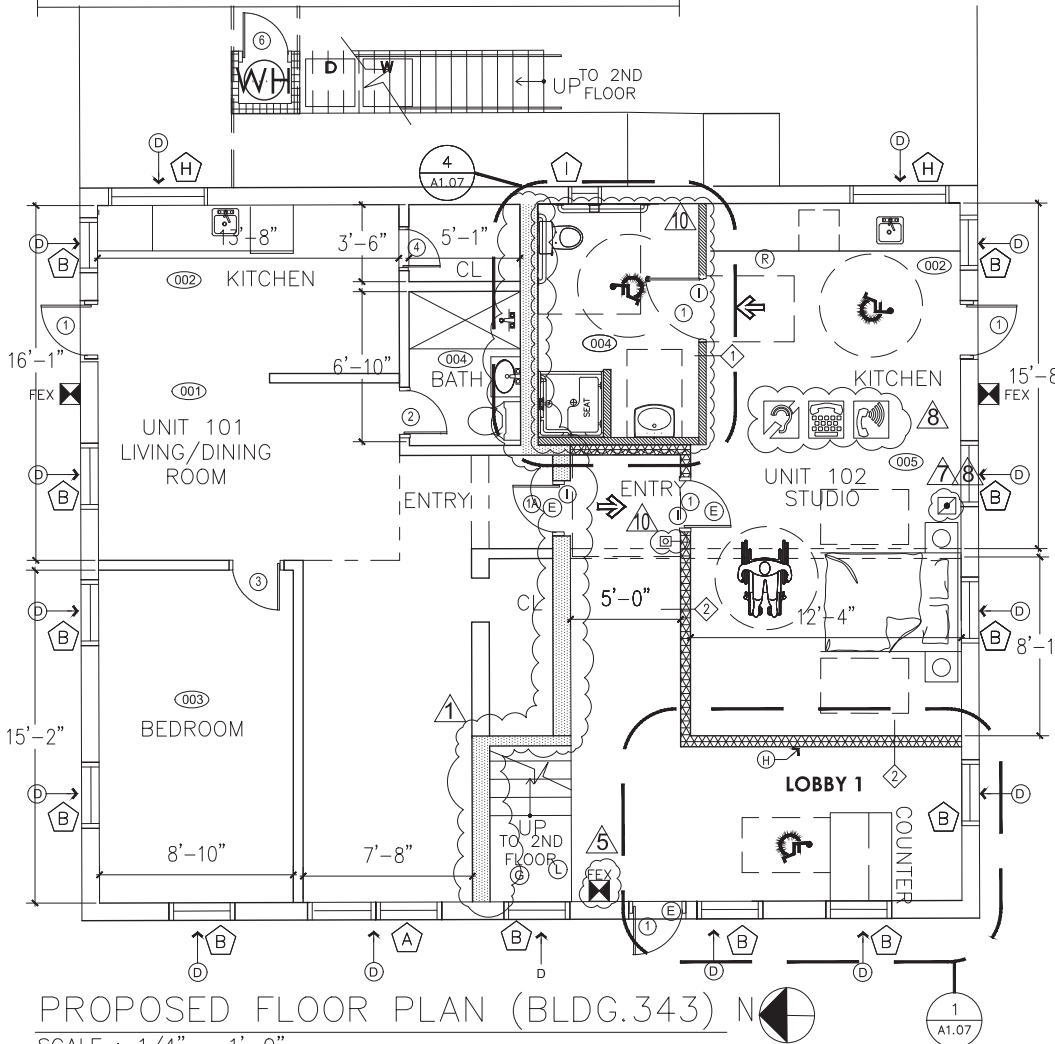


LOCATION MAP
SCALE : NTS
AREA OF WORK

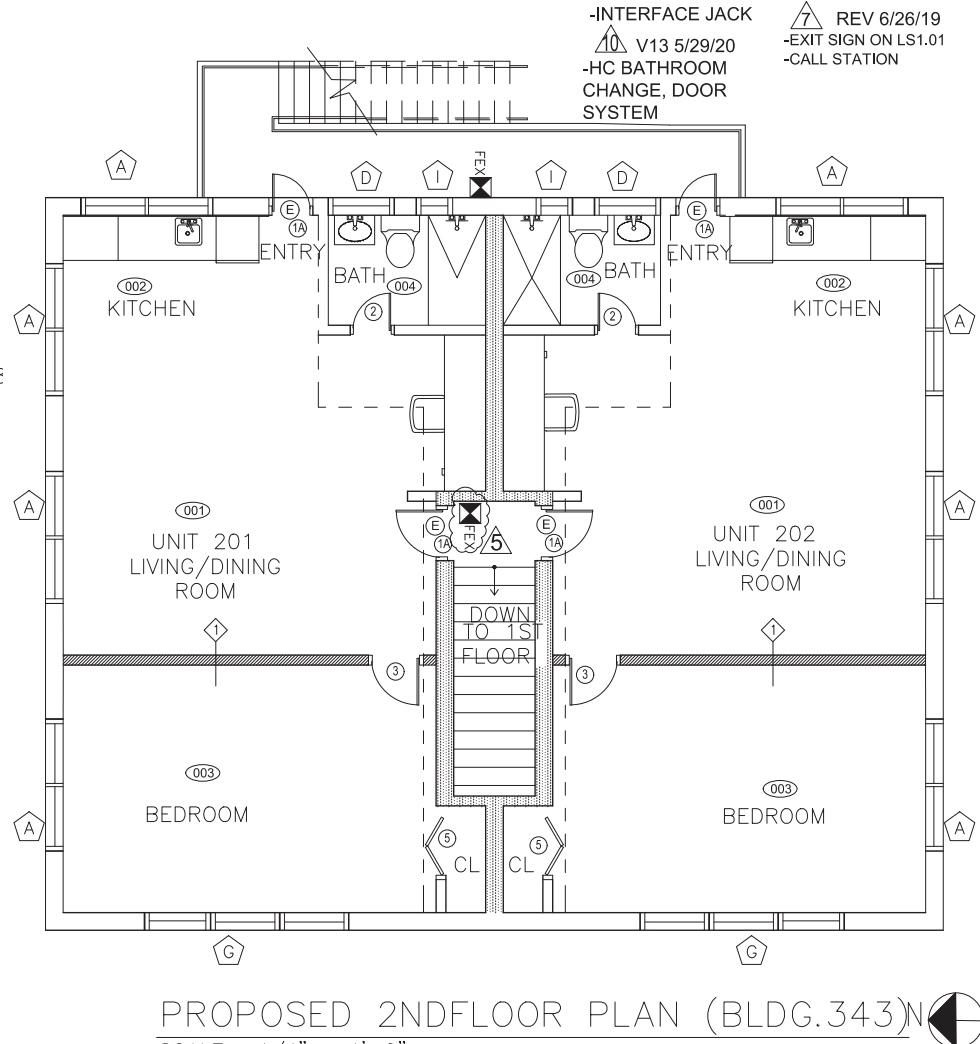
REV 10/7/19
-ASSISTIVE LISTENING SYSTEM, TELEPHONE TYPEWRITER AND VOLUME CONTROL TELEPHONE
-INTERFACE JACK
V13 5/29/20
-HC BATHROOM CHANGE, DOOR SYSTEM

REV 6/14/18
-ADDING DELTA ON LOG
-EXIT SIGN LOCATION ON LS1.0/LS1.02 & E1.08
-1HR FIRE RATED PARTITIONS ARE DOTTED

REV 6/26/19
-EXIT SIGN ON LS1.01
-CALL STATION



PROPOSED FLOOR PLAN (BLDG.343) N
SCALE : 1/4" = 1'-0"



PROPOSED 2NDFLOOR PLAN (BLDG.343) N
SCALE : 1/4" = 1'-0"

QR CODE



CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:

333 JEFFERSON HOLDING LLC
NATHANAELE COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : FLOOR PLANS



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

12/1/17 CHANGES
5/8/18 CHANGES

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:

A1.04

OF:

SHEETS

KEYED NOTES

- (A) ALL STAIRS SHOWN ARE EXISTING AND SHALL COMPLY WITH THE FFPC 5th EDITION 2014 TABLE 7.2.2.2.1.1 & 7.8.1.3.2.
- (B) THE CORRIDOR IS PROVIDED WITH 1-HOUR FIRE RESISTANT RATING. HALLWAY IS CLOSE WITH NO OPENING FOR SMOKE PENETRATION. EXISTING DOORS IN PATH OF CORRIDOR NOT LESS THAN 20 MINUTE FIRE RATED DOORS PER NFPA 101 30.3.6.2.1.
- (C) ALL HORIZONTAL SEPARATION WITH A FIRE RATING OF NOT LESS THAN ONE HOUR IS PROVIDED BETWEEN DWELLING UNITS.
- (D) EXISTING WINDOWS UNDER 36" FROM F.F. MEET THE MINIMUM REQUIREMENT OF NET CLEAR OPENING HEIGHT OF 36" AS PER FBC R310.1, R310.1.2, R310.1.3, R310.4. ALL BEDROOM WINDOW PROVIDE EGRESS IN COMPLIANCE WITH NFPA 29.2.1. ALL BEDROOM WINDOWS ARE EGRESS TYPE WITH A CLEAR OPENING OF 5.7 SOFT. AND A MIN. WIDTH OF 20"
- (E) DOORS OPENING ON TO THE EXIT ACCESS CORRIDOR ARE SELF CLOSING AND SELF LATCHING. ALL EGRESS DOORS SHALL NOT REQUIRE A KEY OR SPECIAL KNOWLEDGE TO OPEN FOR EGRESS
- (F) NEW FIRE ALARM SYSTEM AND SPRINKLER SYSTEM WILL BE INSTALLED. BUILDING WILL NOT BE OCCUPIED DURING CONSTRUCTION.
- (G) NEW FIRE EXTINGUISHERS PROVIDED UNDER THIS PERMIT.
- (H) REPLACE EXISTING NON-STRUCTURAL PARTITION WITH 3 5/8" (20GA) METAL STUDS @ 24"O/C SEE TYPICAL PARTITION DETAIL 1 ON SHEET A1.29.
- (I) 3/2" MAX AT THRESHOLD & LEVEL ON EACH SIDE ACCESSIBLE DOORS.
- (J) EXISTING KITCHEN TO REMAIN.
- (K) EXISTING STAIRS MINIMUM 36" WIDE
- (L) ADA COMPLIANCE COUNTER TOP A PORTION OF THE MAIN COUNTER WHICH IS A MINIMUM OF 36 IN LENGTH SHALL BE PROVIDED WITH A MAXIMUM HEIGHT OF 34 IN. THE KNEE AND TOE SPACE MUST BE PROVIDED UNDER THE COUNTER. SEE DETAIL SHEET A1.10.
- (M) AUTOMATIC DOORS AND POWER-ASSISTED DOORS PER 4.13.12.
- (N) SLEEPING ACCOMMODATION FOR PERSONS WITH HEARING IMPAIRMENTS PER 9.1.3.
- (O) ACCESSIBLE UNITS, SLEEPING ROOMS, AND SUITES PER TABLE 224.2 FOR 24 UNITS REQUIRE 1 ACCESSIBLE UNITS.
- (P) UNITS COMPLY WITH ACCESSIBLE ROUTE 4.3 AND HAVE ACCESSIBLE ELEMENTS AND SPACES. SLEEPING ROOMS SHALL HAVE A 36 IN (915 MM) CLEAR WIDTH MANEUVERING SPACE LOCATED ALONG BOTH SIDES OF A BED PER 9.2.2.
- (Q) KITCHENS & KITCHENETTES PROVIDE A CLEAR FLOOR SPACE FOR A FRONT APPROACH TO CABINETS, COUNTERS, SINKS, AND APPLIANCES TO COMPLY WITH 4.2.4. COUNTERTOPS AND SINKS SHALL BE MOUNTED AT A MAXIMUM HEIGHT OF 34 IN (865 MM) ABOVE THE FLOOR. SHELF SPACE IN CABINETS AND REFRIGERATOR/FREEZERS SHALL BE WITHIN THE REACH RANGES OF 4.2.5 OR 4.2.6 AND SPACE SHALL BE DESIGNED TO ALLOW FOR THE OPERATION OF CABINET AND/OR APPLIANCE DOORS SO THAT ALL CABINETS AND APPLIANCES ARE ACCESSIBLE AND USABLE. ALL CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH 4.27.
- (R) 3" OR LESS MARKING STRIPING WIDTH STRIPE NOSING FOR STAIRS LESS THAN THREE STEPS.
- (S) ENCLOSED STAIRS AND STAIRS WITH CONCEALED SPACES UNDERNEATH NEED TO BE PROTECTED FROM FIRE ON THE UNDERSIDE WITH GYPSUM BOARD

NOTES:

- ALL NEW CONSTRUCTION ELEMENTS, COMPONENT SYSTEMS, AND SPACE SHALL COMPLY W/THE REQUIREMENTS OF FBC. (E) 601.1
- ALL SOUND PROOFING TO MEET STC AND IIC OF NOT LESS THAN 50. THE SPECIFICATION MUST CLARIFY TESTING WITHOUT A DROPPED CEILING PER FBC 1207.
- ALL NEW CONSTRUCTION ELEMENTS, COMPONENT, SYSTEMS, AND SPACE SHALL COMPLY W/ THE REQUIREMENTS OF FBC. (E) 503.3.
- NEW CARPETING SHALL COMPLY WITH RADIANT FLUX REQUIREMENTS OF FBC E 503.2
- ALTERATIONS SHALL COMPLY WITH CHAPTER 13
- PLANS ALTERATIONS COMPLIES WITH THE ENERGY CONSERVATION FBCE 612.1. ALL REPLACE FIXTURES AND EQUIPMENT SHALL MEET THE REQUIREMENTS FOR LEVEL III
- SHOWER COMPARTMENT SHALL BE FINISHED WITH A NON ABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR (FACE 307.2) AND THAT FIBER CEMENT, FIBER MAT REINF. CEMENTIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS AND FIBER REINF. GYPSUM BACKERS, PER STANDARDS, AND INSTALLED PER MANUF. RECOMMENDATIONS. SHALL BE USED AS BACKERS FOR WALL TILE IN SHOWER AREA PFBC R702.4.2
- FOR FLAME SPREAD FOR WALL CEILING FINISHES MAX. 200, SMOKE DEVELOPED MAX. 450-PFBC R302.9, & FLAME SPREAD FOR INSULATION MAX. 25, SMOKE DEVELOPED MAX. 450 FBC R302.10

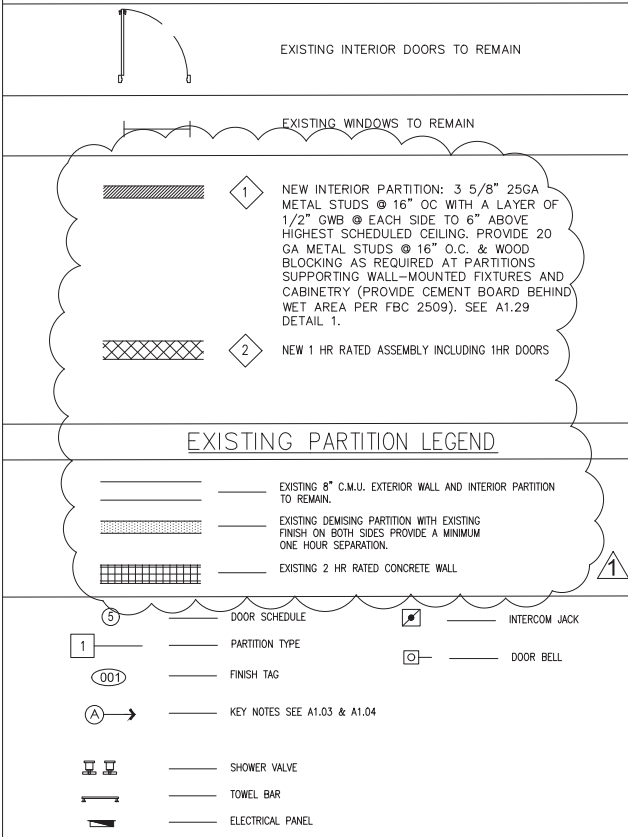
WINDOW SCHEDULE

NO.	SIZE		TYPE	MATERIAL	NO. OF WINDOW	JAMB	REMARKS
	W	H					
(A)	74"	50 5/8"	SLIDING	ALUMINUM/WHITE	46	WOOD	EGRESS FL-20359
(B)	37"	50 5/8"	CASEMENT	ALUMINUM/WHITE	35	WOOD	EGRESS NOA:150416.02
(C)	37"	38 3/8"	SLIDING	ALUMINUM/WHITE	9	WOOD	EGRESS FL-20359
(F)	37"	26"	CASEMENT	ALUMINUM/WHITE	6	WOOD	NOA:150416.02
(G)	111"	50 5/8"	CASEMENT	ALUMINUM/WHITE	2	WOOD	NOA:150416.02
(H)	53 1/8"	38 3/8"	SLIDING	ALUMINUM/WHITE	6	WOOD	FL-20359
(I)	19 1/8"	38 3/8"	CASEMENT	ALUMINUM/WHITE	15	WOOD	NOA:150416.02
(J)	53"	50 5/8"	SLIDING	ALUMINUM/WHITE	4	WOOD	FL-20359
(I)	1"x4"	50 5/8"	MULLION	ALUMINUM/WHITE		WOOD	IMPACT-4H LITE

(*) COORDINATE MASONRY OPENINGS W/ WINDOW MANUFACTURER PRIOR TO WINDOW INSTALLATION

(*) ALL EXTERIOR WINDOWS ARE TO BE HURRICANE RESISTANT. SEE NOA'S ATTACHED.

PARTITION LEGEND

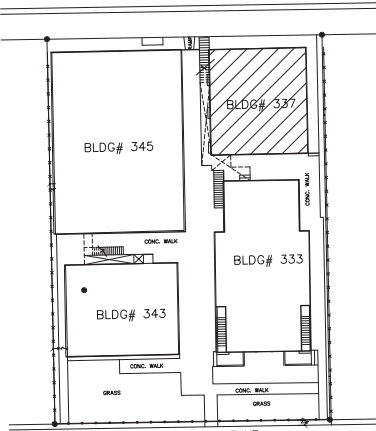


FIRE EXTINGUISHER NOTES:
OWNER TO PROVIDE ONE FIRE EXTINGUISHER 22 10 BC TYPE, FOR EACH 2500 SQ. FT. OF BUILDING AREA WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC 2004-90.6, FFPC 2007-9.7.4.1. SEE FLOOR PLAN FOR LOCATIONS.

FLAME SPREAD NOTES:
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LOCATION MAP

SCALE : NTS

AREA OF WORK

APT "B"
LIVING/DINING
ROOM

ENTRY

BEDROOM

BATH

BEDROOM

BATH

APT "A"
LIVING/DINING
ROOM

ENTRY

KITCHEN

APT "D"
LIVING/DINING
ROOM

ENTRY

BATH

BEDROOM

BEDROOM

BATH

APT "C"
LIVING/DINING
ROOM

ENTRY

KITCHEN

PROPOSED
1ST FLOOR
PLAN
(BLDG.337)

SCALE : 1/4" = 1'-0"

PROPOSED
2ND FLOOR
PLAN
(BLDG.337)

SCALE : 1/4" = 1'-0"

REV 6/14/18
-ADDING DELTA ON LOG
-EXIT SIGN LOCATION ON LS1.0/LS1.02 & E1.08
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REV 6/26/19
-EXIT SIGN ON LS1.01

QR CODE



CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

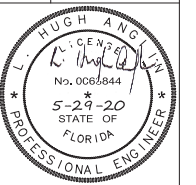
OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE & ADDRESS:

JEFFERSON APARTMENTS/HOTEL
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MIAMI BEACH, FL 33139

SHEET TITLE : FLOOR PLANS



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

12/1/17 CHANGES
5/8/18 CHANGES

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:

A1.05
OF: SHEETS

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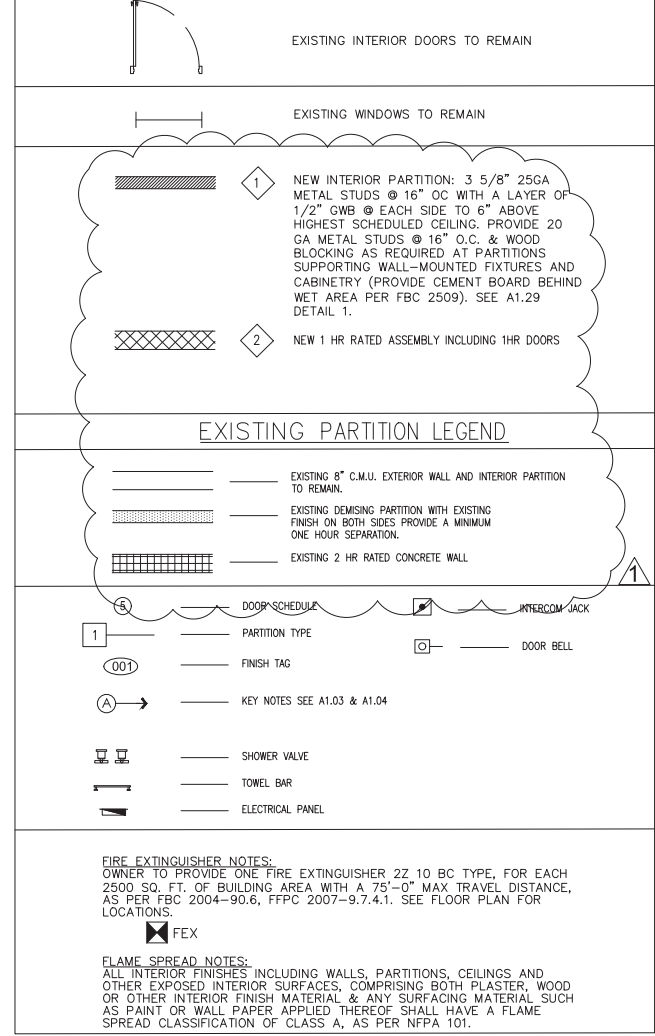
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WINDOW SCHEDULE

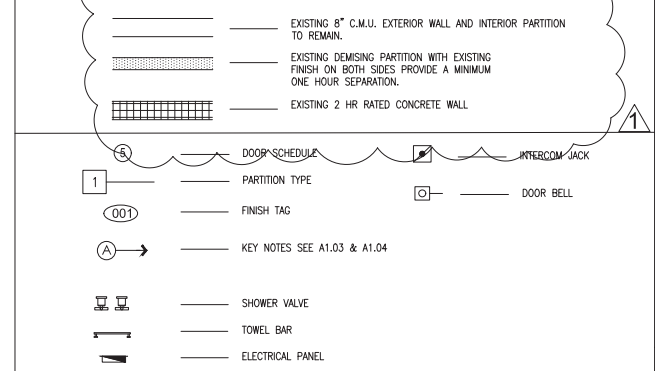
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(*) COORDINATE MASONRY OPENINGS W/ WINDOW MANUFACTURER PRIOR TO WINDOW INSTALLATION
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PARTITION LEGEND



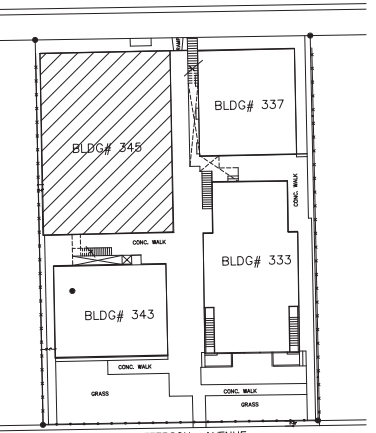
EXISTING PARTITION LEGEND



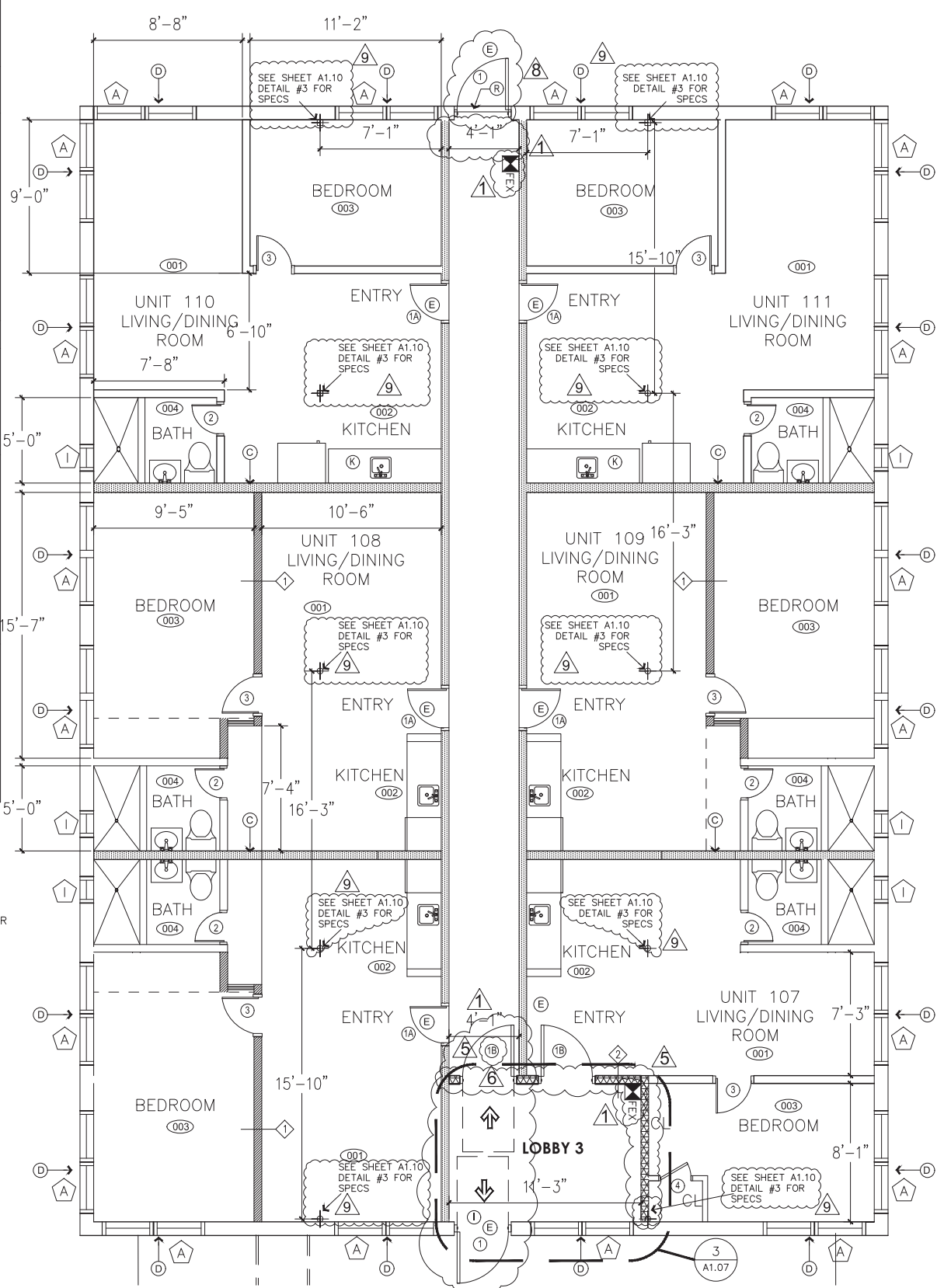
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OWNER TO PROVIDE ONE FIRE EXTINGUISHER 2Z 10 BC TYPE, FOR EACH 2500 SQ. FT. OF BUILDING AREA WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC 2004-90.6, FFPC 2007-9.7.4.1. SEE FLOOR PLAN FOR LOCATIONS.

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 - FOR ALL EXIT SIGNS LOCATIONS SEE LS1.01
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LOCATION MAP
SCALE : NTS
AREA OF WORK



PROPOSED FLOOR PLAN (BLDG.345) N
SCALE : 1/4" = 1'-0"

- REV 6/14/18
-ADDING DELTA ON LOG
-EXIT SIGN LOCATION ON LS1.0/LS1.02 & E1.08
-60 MIN. DOORS "1B"
-1HR FIRE RATED
-PARTITIONS ARE DOTTED
- REV 10/7/19
-REAR DOOR & "R"
NOTE CLARIFICATION
11/26/19
COLUMNS

QR CODE



CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

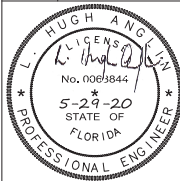
OWNER:

333 JEFFERSON HOLDING LLC
NATHANAELE COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ROOF PLAN



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

6 REV 6/14/18
-NEW LAYOUT OF CU
UNITS
-ACCESS TO ROOF
ONLY FOR MAINT. &
SERV.

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:

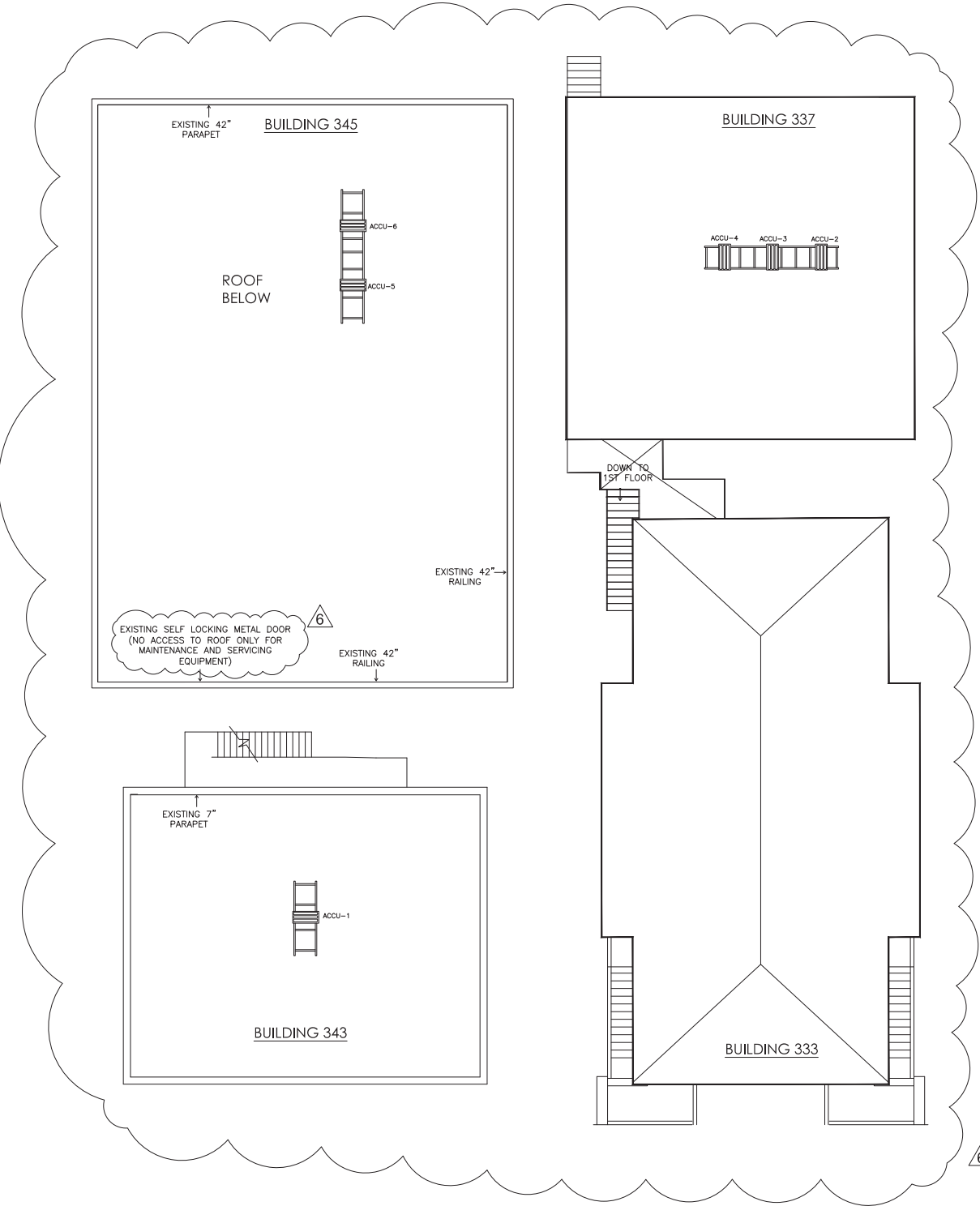
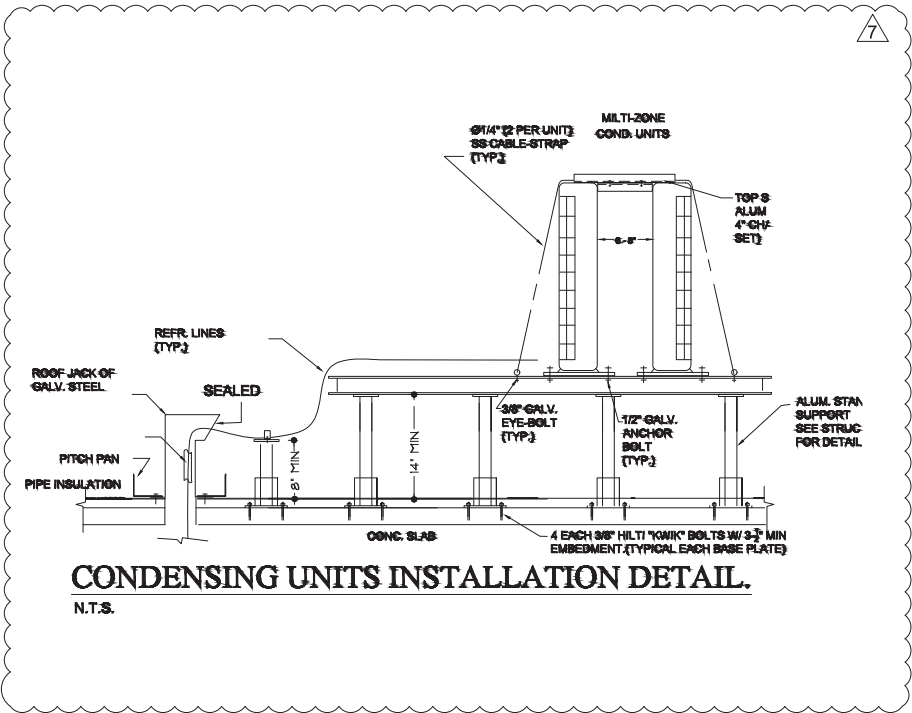
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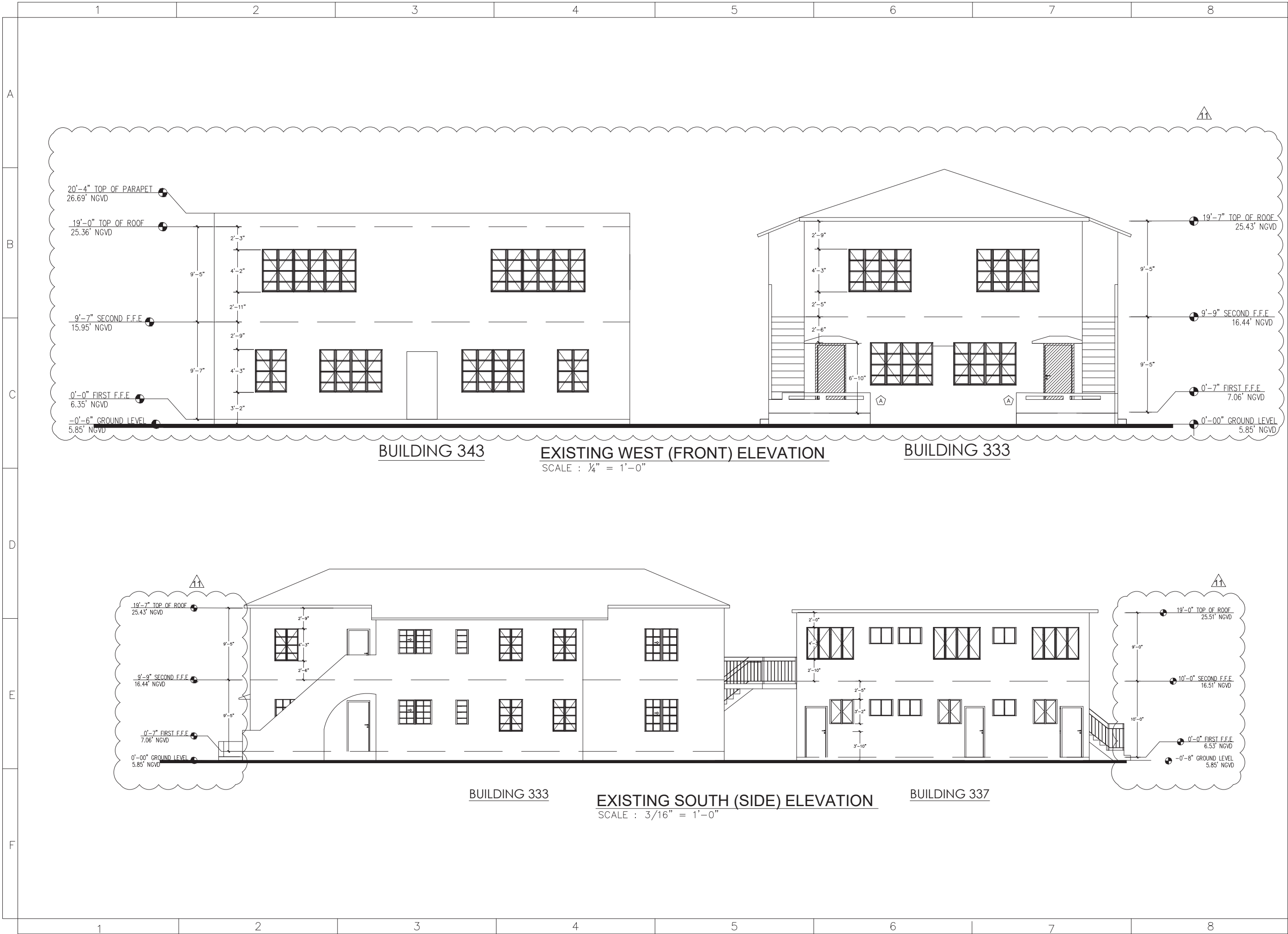
OF:

SHEETS

7 8.6.19
SHOW MECH.
ELEVATION
W/HEIGHT FROM
ROOF SLAB

PROPOSED ROOF PLAN
SCALE : 1/8" = 1'-0"





QR CODE



CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

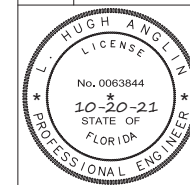
OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

REV 10/20/21
ELEVATIONS

CAD FILE:

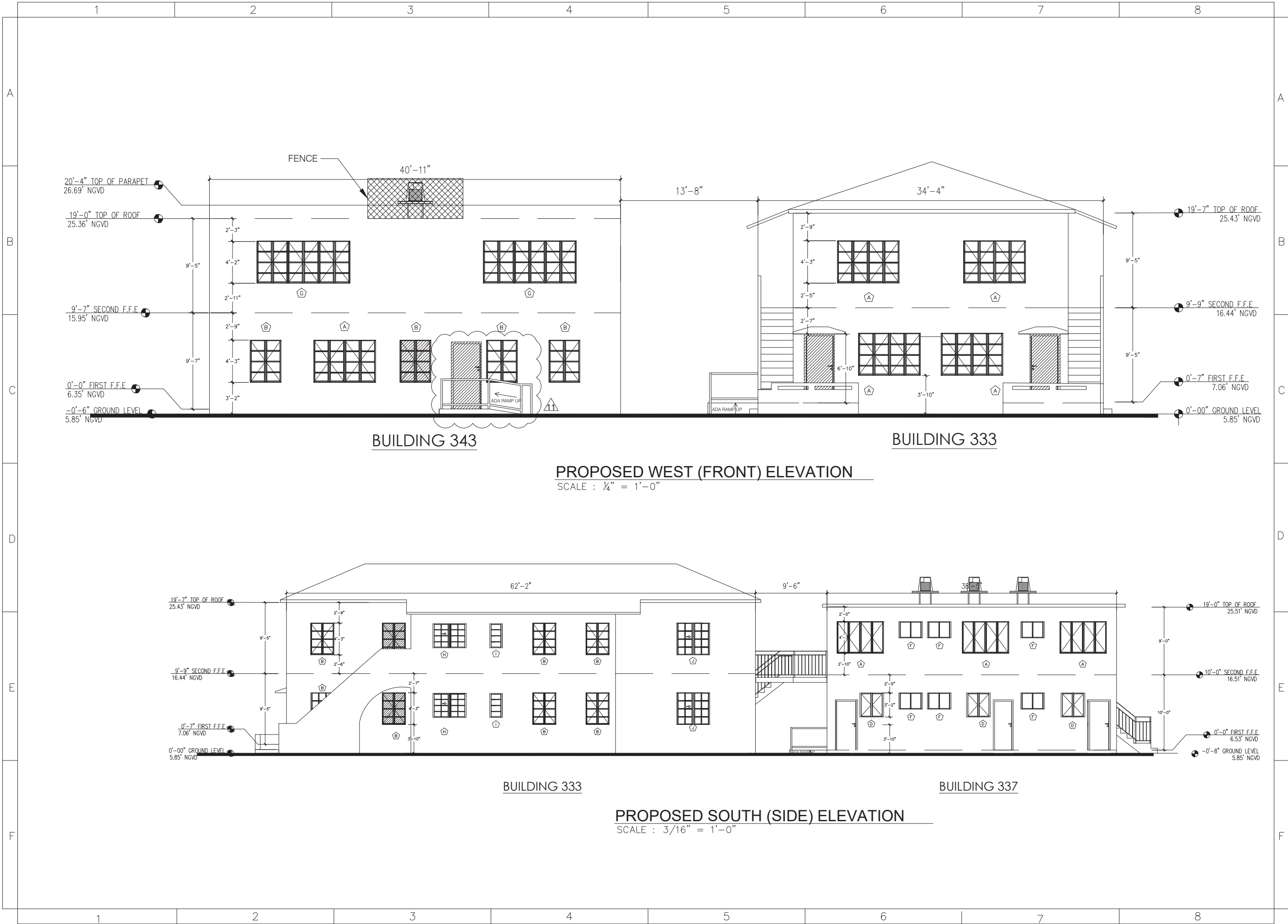
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DRAWN:


JOB:

SHEET:
A1.14

OF: SHEETS



QR CODE


keytech
design group, corp.

CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

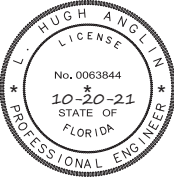
OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137


JOB TITLE & ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS


L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

 REV 10/20/21
ELEVATIONS

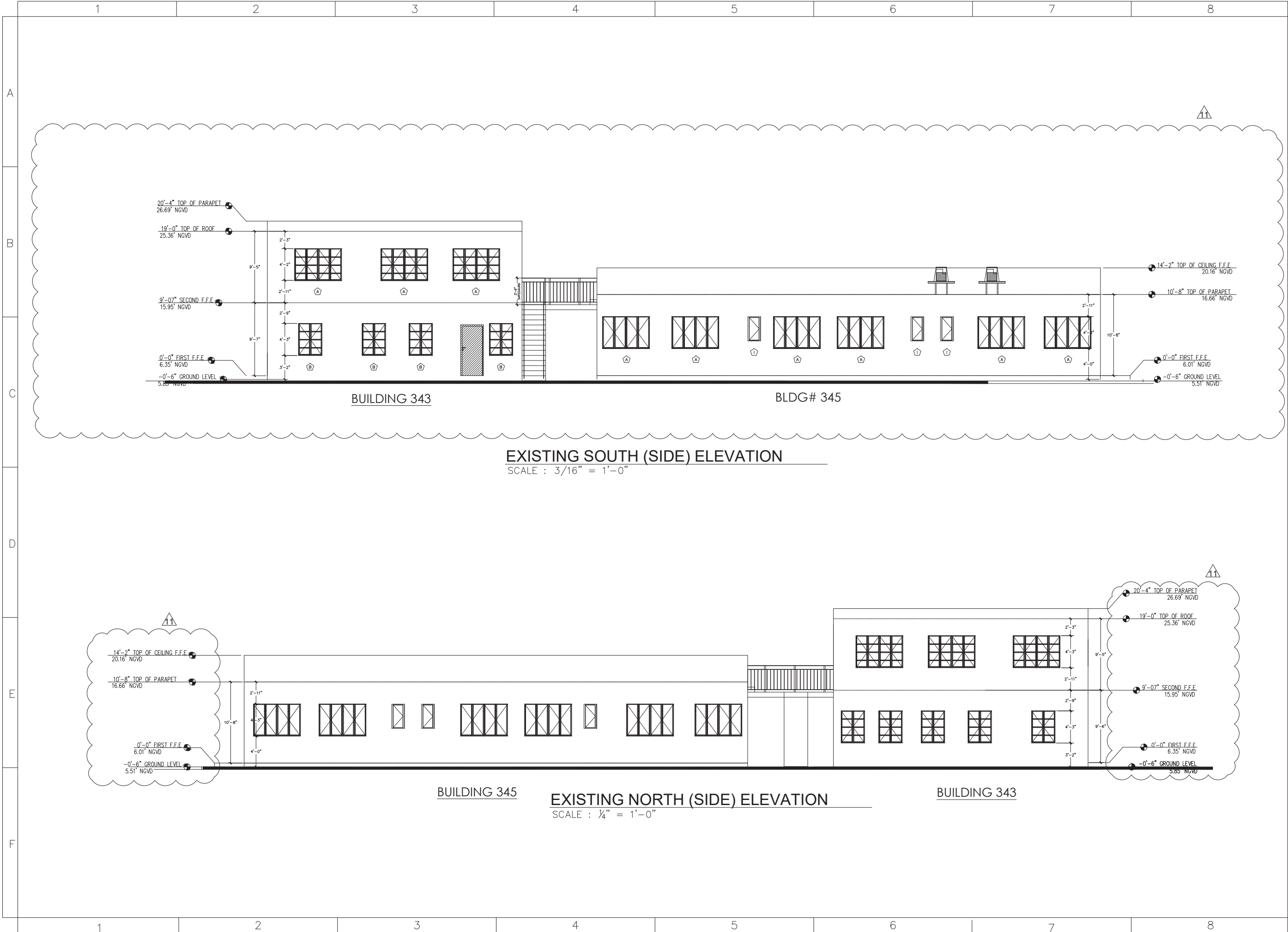
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SCALE:

DRAWN:

JOB:

SHEET: **A1.14A**
OF: SHEETS



EXISTING SOUTH (SIDE) ELEVATION

SCALE : 3/16" = 1'-0"

EXISTING NORTH (SIDE) ELEVATION

SCALE : 1/4" = 1'-0"

QR CODE



CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

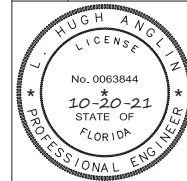
OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

REV 10/20/21
ELEVATIONS

CAD FILE:

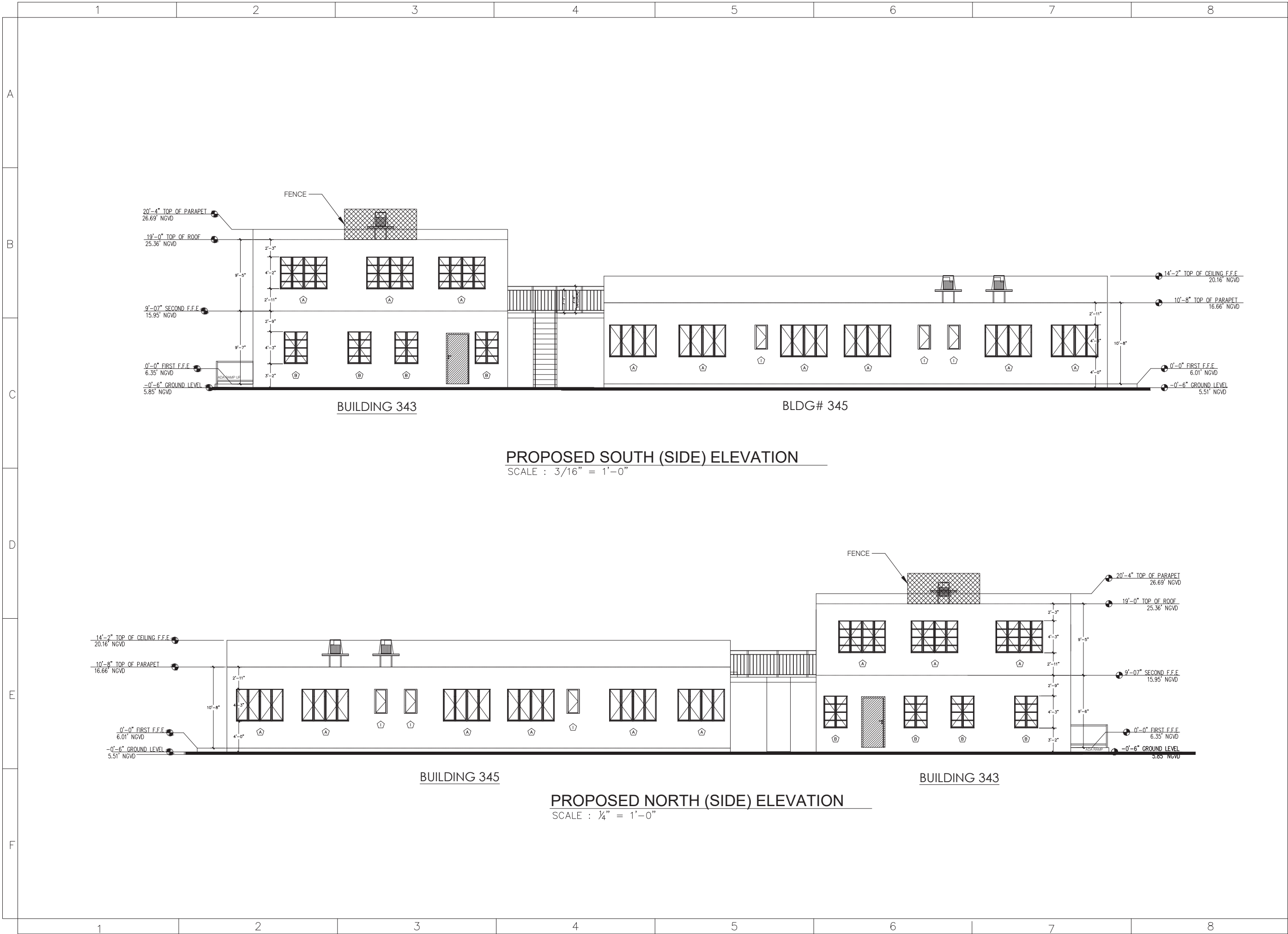
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DRAWN:

JOB:

SHEET:
A1.15

OF: SHEETS



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design group, corp.

CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

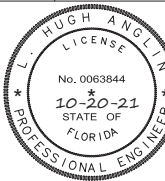
OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

REV 10/20/21
ELEVATIONS

CAD FILE:

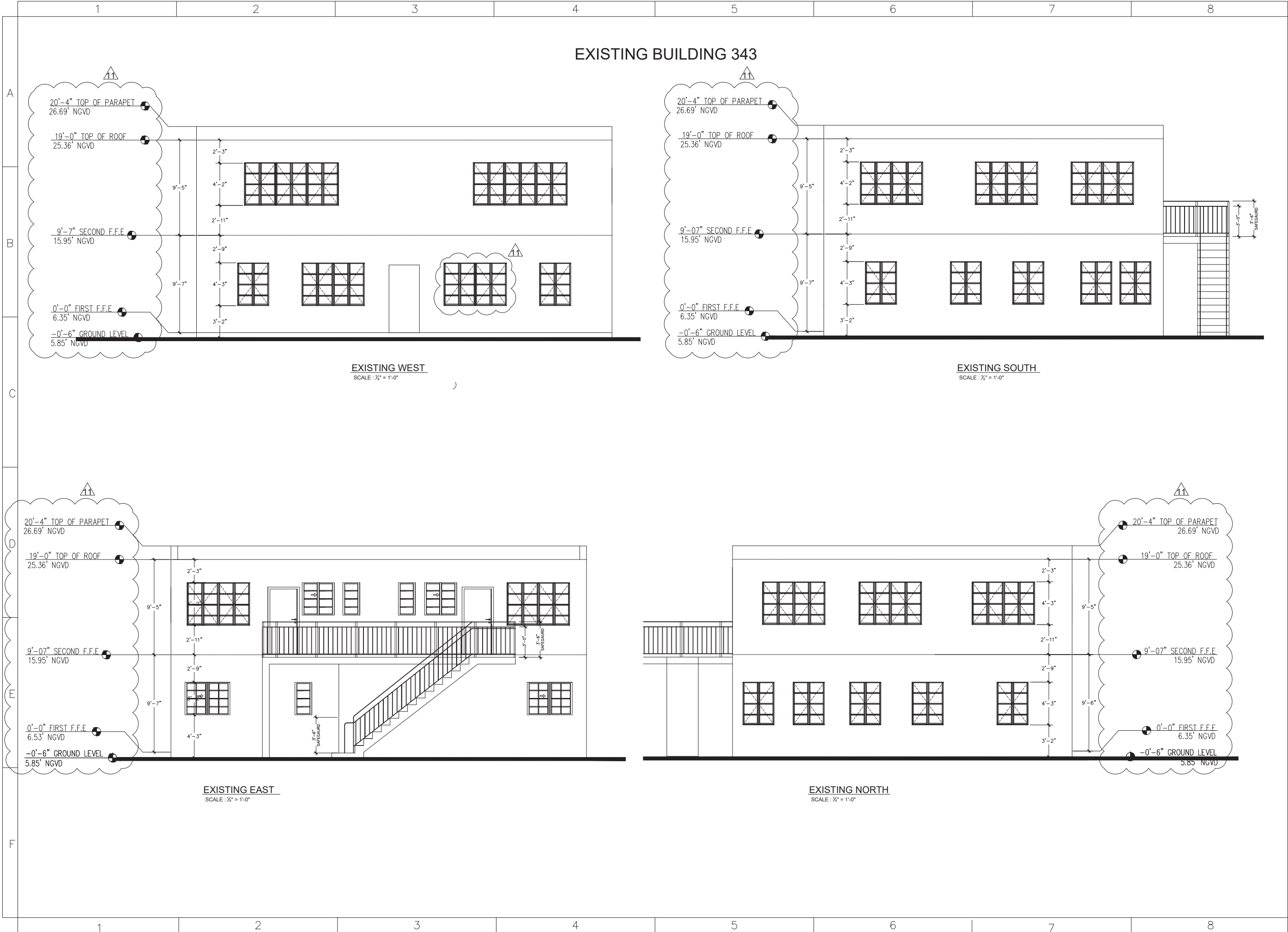
SCALE:

DRAWN:

JOB:

SHEET

A1.15A
OF SHEETS



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design group, corp.

CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:
333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS (BUILDING 343)

L. HUGH ANGLIN
LICENSE
No. 0063844
10-20-21
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

11 REV 10/20/21
ELEVATIONS

CAD FILE:

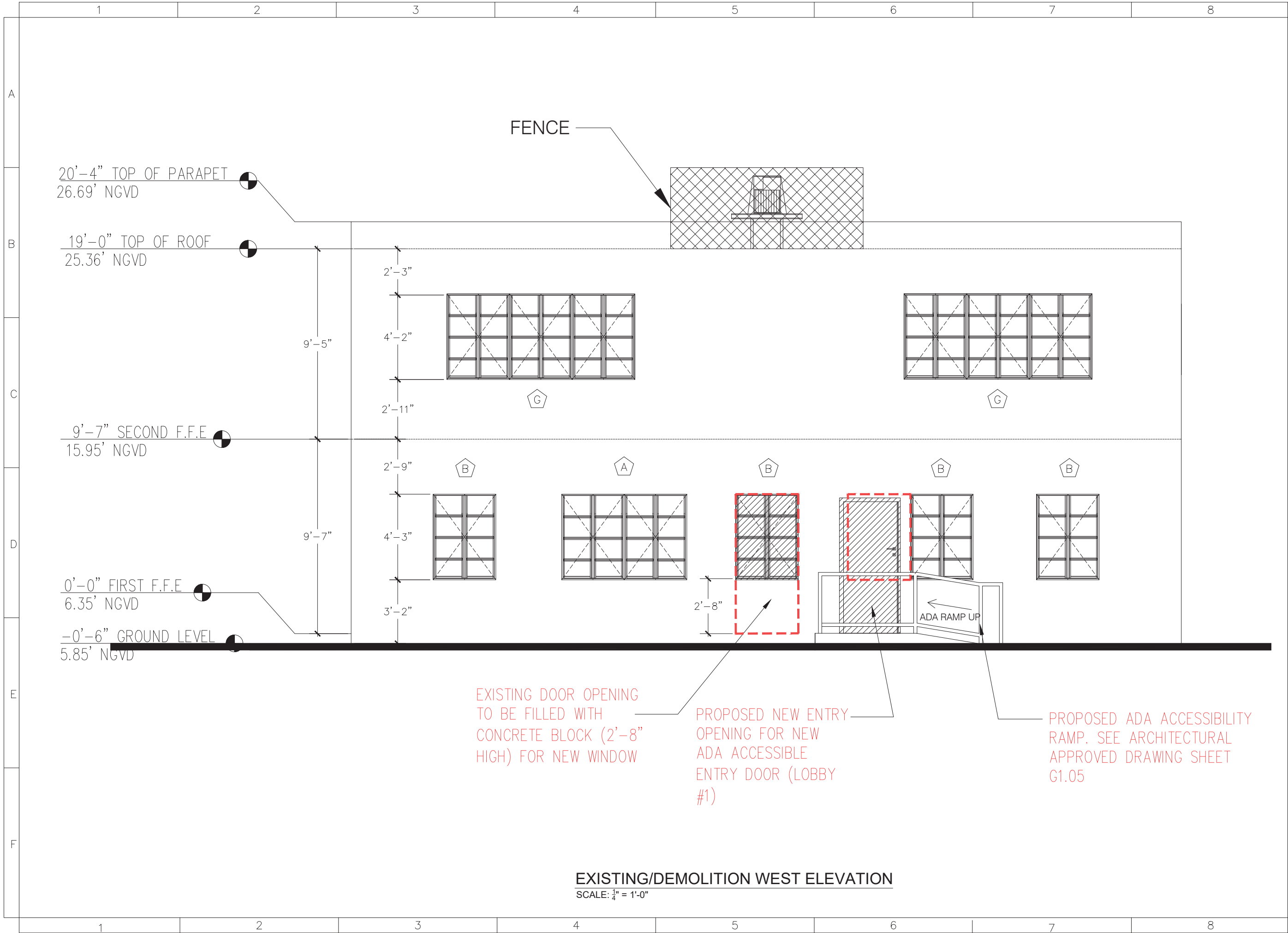
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DRAWN:


JOB:

SHEET: A1.16

OF: SHEETS



QR CODE


keytech
design group, corp.

CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:

333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL. 33137

JOB TITLE &
ADDRESS:


JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE :

ELEVATIONS (BUILDING 343)


L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

 REV 11/10/21
3RD SUBMITTAL

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET:
OF:



EXISTING BUILDING 333



QR CODE



keytech
design group, corp.

CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

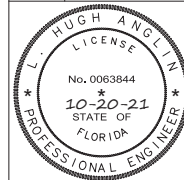
OWNER:

333 JEFFERSON HOLDING LLC
NATHANAELE COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS (BUILDING 333)



L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

REV 10/20/21
ELEVATIONS

CAD FILE:

SCALE:

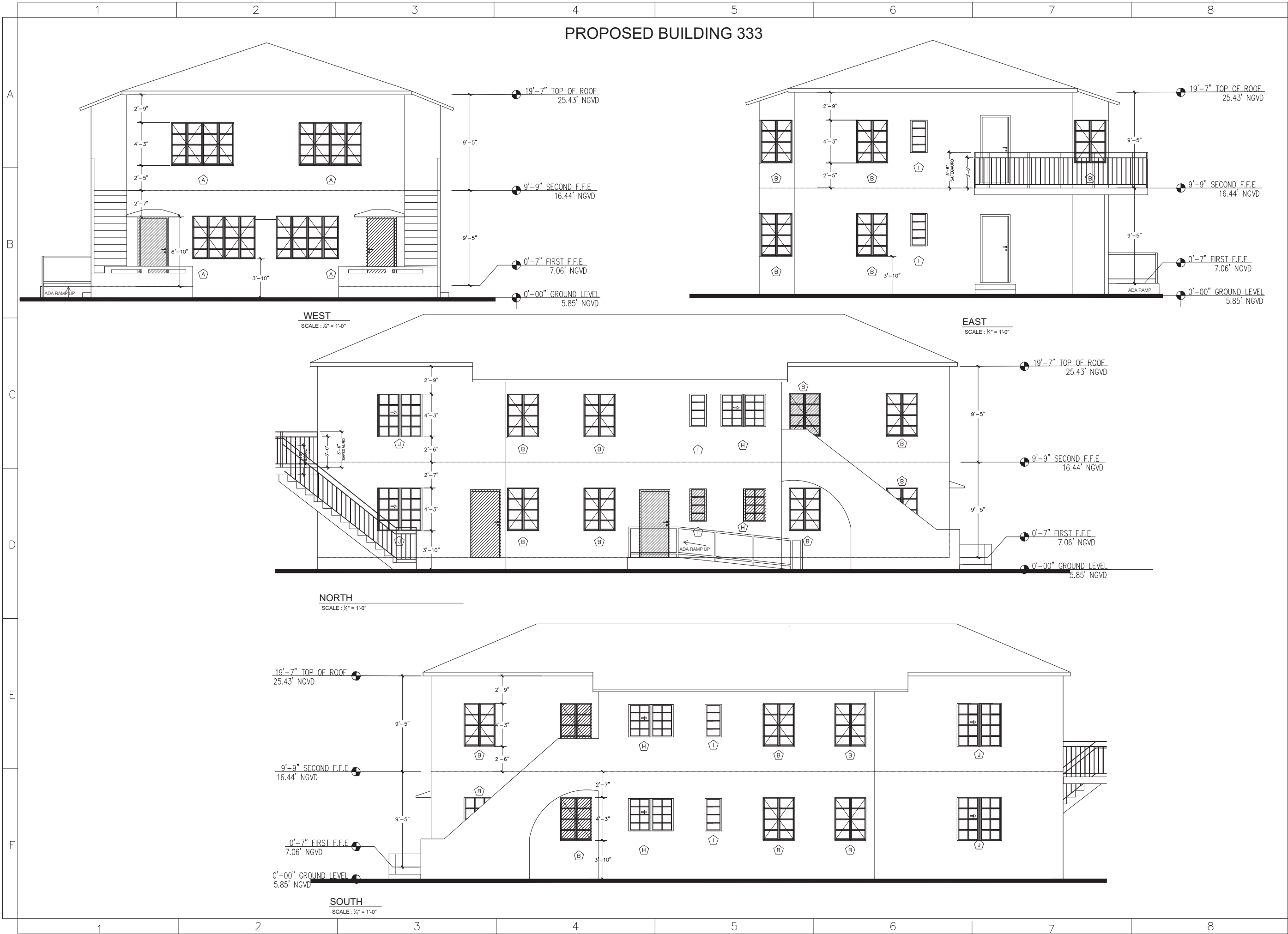
DRAWN:

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SHEET:

A1.17

OF: SHEETS



QR CODE

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design group, corp.

CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:
333 JEFFERSON HOLDING LLC
NATHANIEL COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL. 33137

JOB TITLE & ADDRESS:
JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS (BUILDING 333)

L. HUGH ANGLIN
LICENSE
No. 0063844
10-20-21
STATE OF FLORIDA
PROFESSIONAL ENGINEER

L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:
REV 10/20/21
ELEVATIONS

CAD FILE:
SCALE:
DRAWN:
JOB:

SHEET:
OF: **A1.17A** SHEETS



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design group, corp.

CA No. 33204
16521 SW 297 TERRACE
MIAMI, FL 33033
305.785.3300

OWNER:

333 JEFFERSON HOLDING LLC
NATHANAELE COHEN MBR
2800 BISCAYNE BLVD PH FLOOR
MIAMI, FL. 33137

JOB TITLE &
ADDRESS:

JEFFERSON APARTMENTS/HOTEL
333 JEFFERSON AVENUE
MIAMI BEACH, FL 33139

SHEET TITLE : ELEVATIONS (BUILDING 337)

L. HUGH ANGLIN
LICENSE
No. 0063844
10-20-21
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

L. HUGH ANGLIN, P.E.
P.E. #63844

REVISION DATE:

CAD FILE:

SCALE:

DRAWN:

JOB:

SHEET: **A1.18**

OF: SHEETS

[illegible]

DF:

SHEET: **A1.18A**
OF: SHEETS