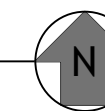


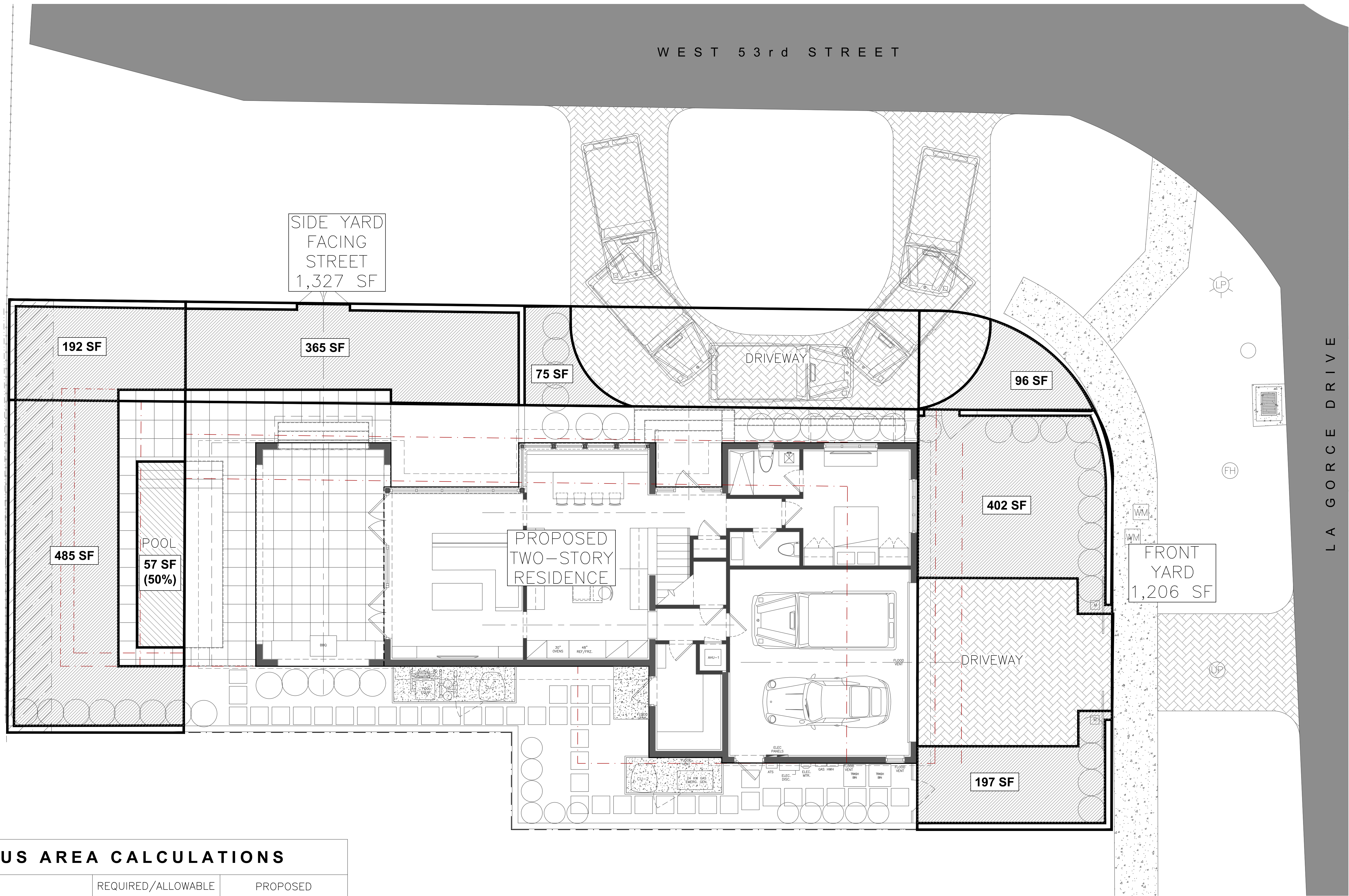
The site plan illustrates a proposed 2-story residence on a lot with a total area of 125.0 square feet. The lot is bounded by a street to the north and a driveway to the east. The plan includes a rear yard, a pool, a porch with living space above, an interior side yard, and a front yard. The proposed residence is shown with its footprint and setbacks. The lot is divided into a first level and a second level. The plan also shows the proposed north driveway and east driveway. The lot is bounded by a street to the north and a driveway to the east. The lot is divided into a first level and a second level. The plan also shows the proposed north driveway and east driveway.

Key dimensions and features include:

- Lot Area: 125.0' (Total)
- Street Side Yard: 15'-2" (Total)
- Interior Side Yard: 13'-0" (Total)
- Front Yard: 22'-1" (Total)
- Rear Yard: 12'-5" (Total)
- Pool: 14'-6" (Total)
- Porch w/ Living Space Above: 15'-8" (Total)
- Proposed 2-Story Residence: 36'-4" (Total)
- Proposed North Driveway: 7'-7" (Total)
- Proposed East Driveway: 22'-1" (Total)
- Setbacks: 20' (Front), 20' (Side), 20' (Rear)
- Lot Width: 58'-9" (Total)
- Lot Length: 74'-10" (Total)
- First Level: 15'-1" (Total)
- Second Level: 20'-0" (Total)
- Proposed 2-Story Residence: 36'-4" (Total)
- Proposed North Driveway: 7'-7" (Total)
- Proposed East Driveway: 22'-1" (Total)
- Setbacks: 20' (Front), 20' (Side), 20' (Rear)
- Lot Width: 58'-9" (Total)
- Lot Length: 74'-10" (Total)
- First Level: 15'-1" (Total)
- Second Level: 20'-0" (Total)

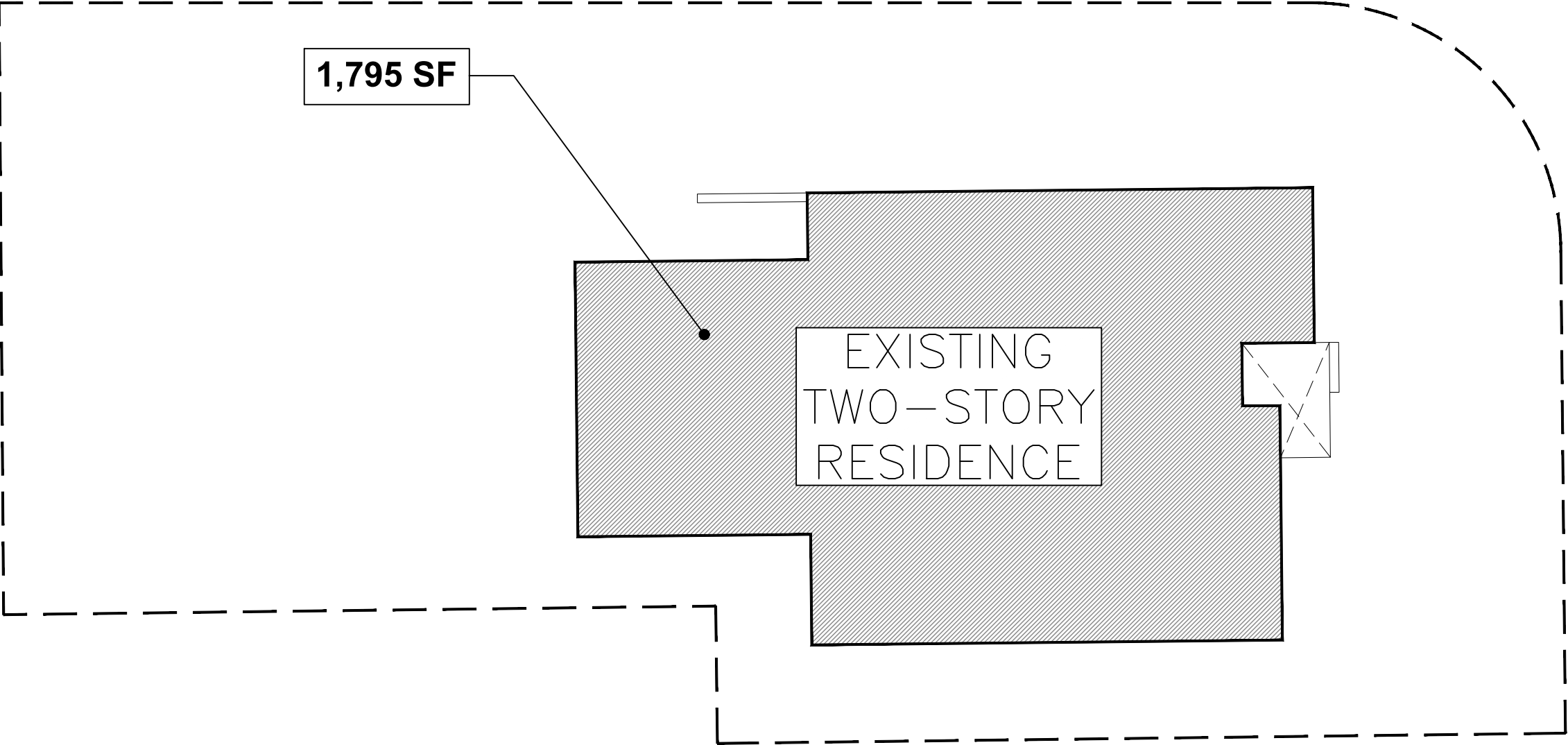
$$\frac{3}{16}'' = 1'-0''$$


A1.1



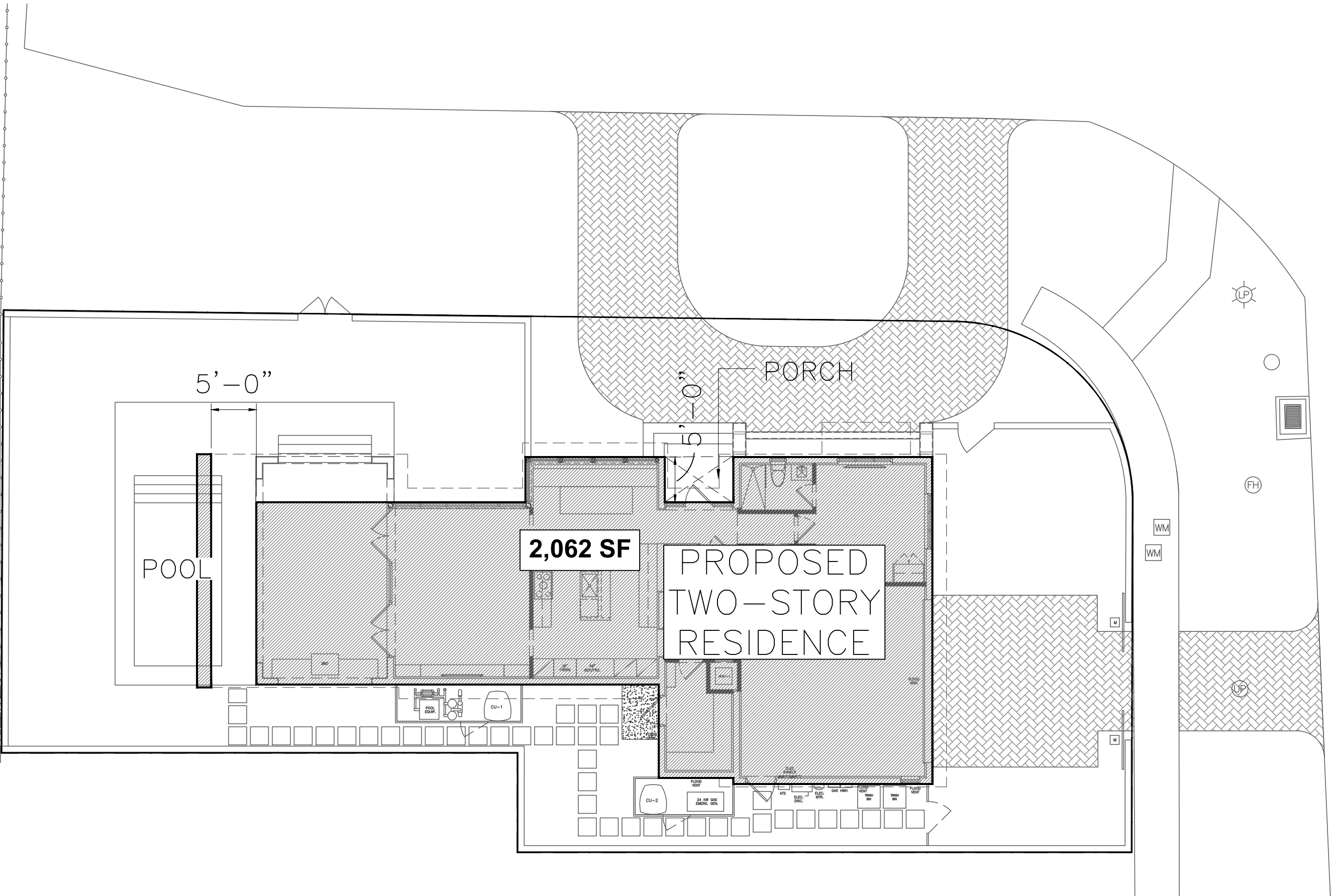
PERVIOUS AREA CALCULATIONS		
CRITERIA	REQUIRED/ALLOWABLE	PROPOSED
PERVIOUS AREAS:		
FRONT YARD: 1,206 SF	603 SF (50%)	695 SF (57.63%)
SIDE YARD FACING STREET: 1,327 SF	664 SF (50%)	728 SF (54.86%)
REAR YARD: 976 SF	683 SF (70%)	734 SF (75.20%)

PERVIOUS AREA DIAGRAM



EXISTING LOT COVERAGE
DIAGRAM

3/32" = 1'-0"



PROPOSED LOT
COVERAGE DIAGRAM

3/32" = 1'-0"

LOT COVERAGE CALCULATIONS			
CRITERIA	REQUIRED/ALLOWABLE	EXISTING	PROPOSED
LOT COVERAGE LOT AREA: 6,718.75 SF	2,016 SF (30%)	1,795 SF (26.7%)	2,062 SF (30.69%)

THOMAS F. WEBER
ARCHITECT
ARCHITECT
ARCHITECT

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ARCHITECTS
104 CRANDON BLVD, SUITE 414
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www.weberstudio.com
305.561.7975 305.561.7986

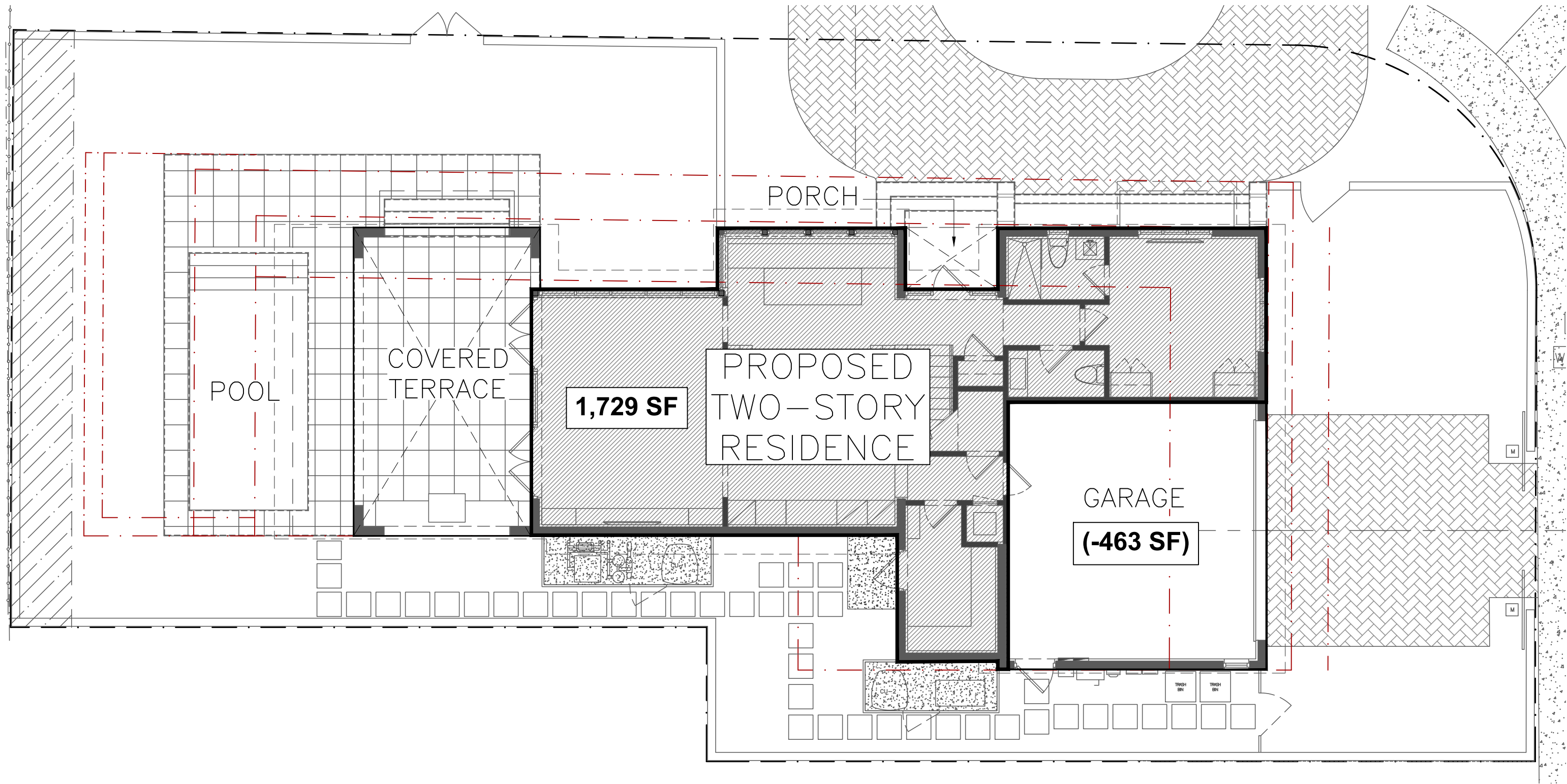
PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
MIAMI BEACH, FL 33149
SUBMIT: 02-22-21 03-3-21

DATE: 09.07.2021
DRAWN BY: G.S.L.C.

REVISION / DATE
REVISION
11-17-2021

SHEET TITLE
LOT COVERAGE
DIAGRAMS

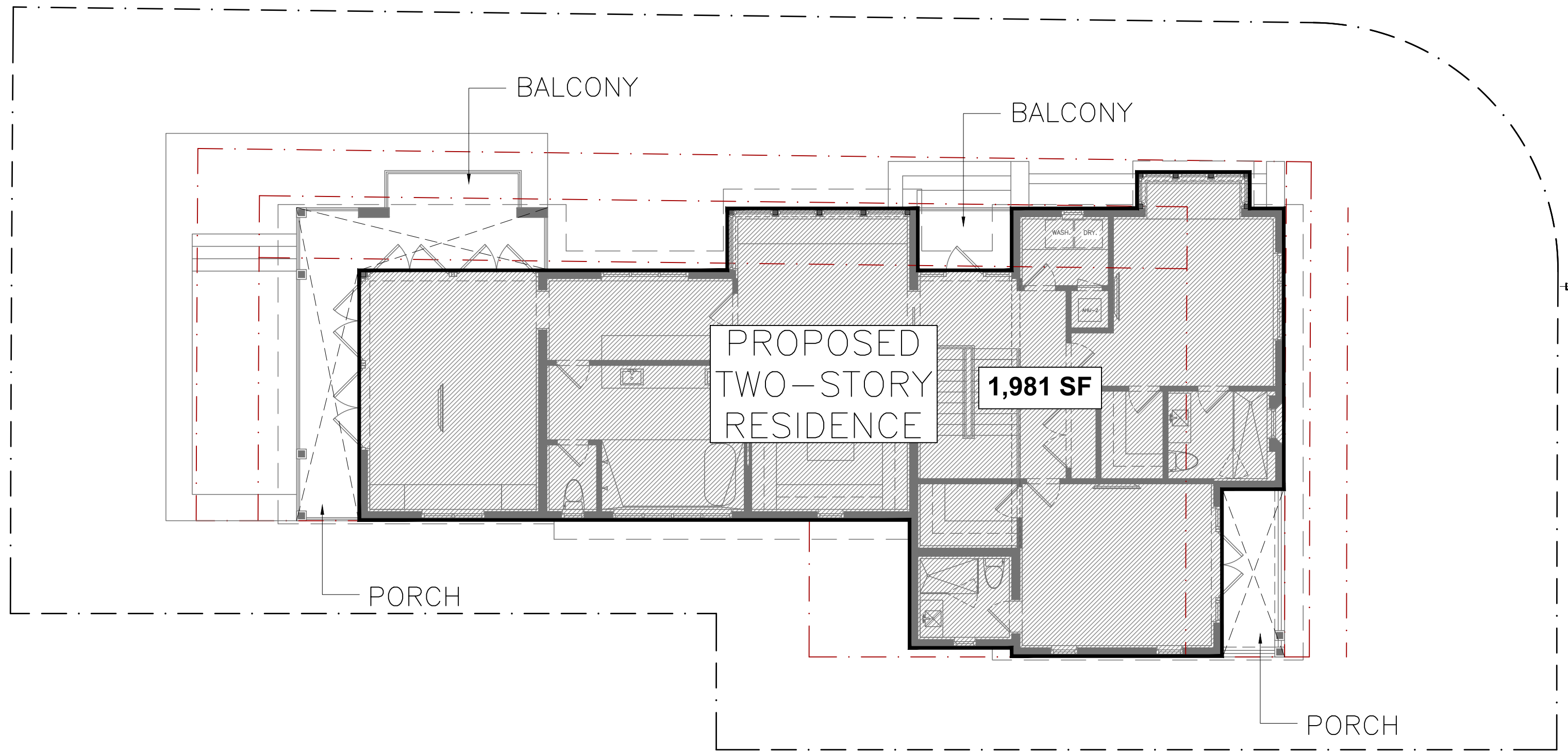
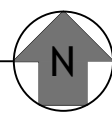
SHEET No.
A1.3



$$1,729 - 463 = 1,266 \text{ SF}$$

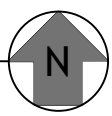
FIRST FLOOR UNIT
SIZE DIAGRAM

3/32" = 1'-0"



SECOND FLOOR UNIT
SIZE DIAGRAM

1/8" = 1'-0"



UNIT SIZE CALCULATIONS		
CRITERIA	REQUIRED/ALLOWABLE	PROPOSED
UNIT SIZE LOT AREA: 6,718.75 SF	3,359 SF (50%)	1,266 + 1,981 = 3,247 SF (48.33%)

THOMAS F. WEBER
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ARCHITECT

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KEY BISCAYNE, FLORIDA 33149
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PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
SUITE 101
MIAMI BEACH, FL 33149
305.561.9795 305.561.9796

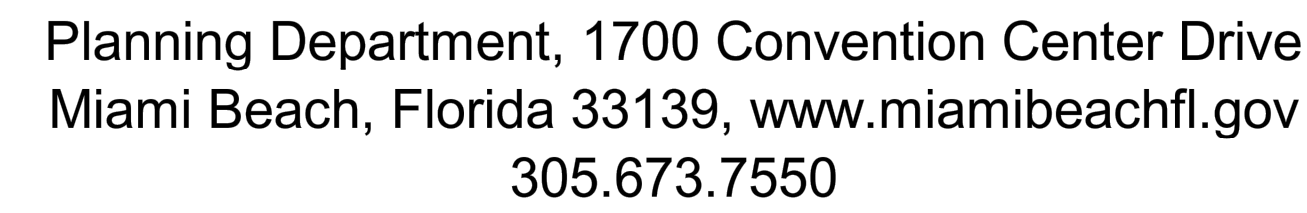
DATE: 09.07.2021
DRAWN BY: GSL/LC

REVISION / DATE
REVISION
11-17-2021

SHEET TITLE
UNIT SIZE
DIAGRAMS

SHEET No.

A1.4



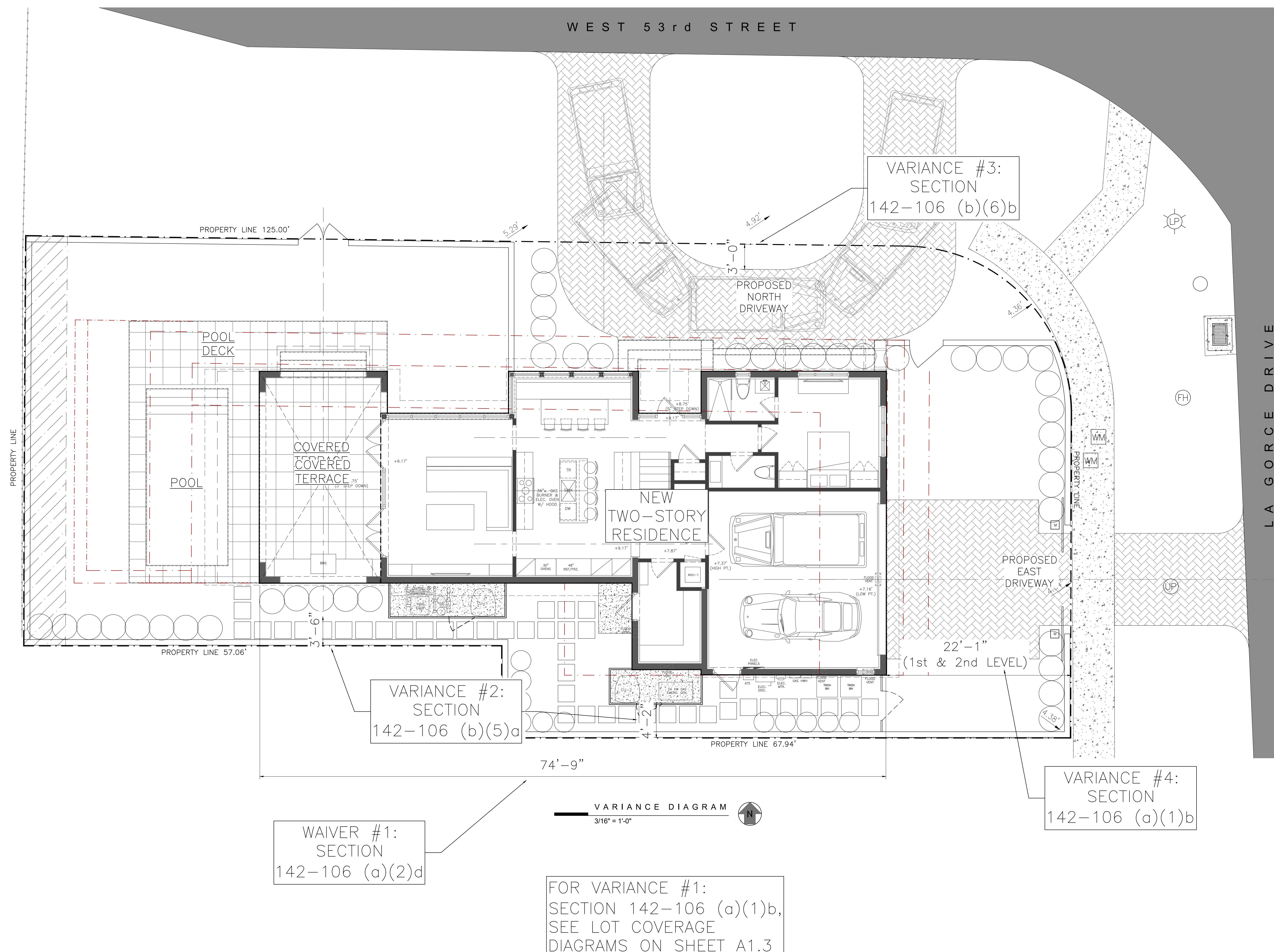
ITEM #	Zoning Information				
1	Address:	5262 La Gorce Dr.			
2	Folio number(s):	02-3214-003-1392			
3	Board and file numbers :	DRB21-0731			
4	Year built:	1972	Zoning District:	RS-4	
5	Based Flood Elevation:	8.00' NGVD	Grade value in NGVD:	4.34' NGVD	
6	Adjusted grade (Flood+Grade/2):	6.17' NGVD	Free board:	1'-0"	
7	Lot Area:	6,718.75 SF			
8	Lot width:	58.75'	Lot Depth:	125'	
9	Max Lot Coverage SF and %:	2,016 (30%)	Proposed Lot Coverage SF and %:	2,062 SF (30.69%)	
10	Existing Lot Coverage SF and %:	1,795 (26.7%)	Lot coverage deducted (garage-storage) SF:	0	
11	Front Yard Open Space SF and %:	695 (57.63%)	Rear Yard Open Space SF and %:	734 SF (75.20%)	
12	Max Unit Size SF and %:	3,359 (50%)	Proposed Unit Size SF and %:	3,247 SF (48.33%)	
13	Existing First Floor Unit Size:	1,795 SF	Proposed First Floor Unit Size:	1,266 SF (18.42%)	
14	Existing Second Floor Unit Size	1,391 SF			
15			Proposed Second Floor Unit Size SF and % :	1,981 SF (29.48%)	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A	
		Required	Existing	Proposed	Deficiencies
17	Height:	27'-0'	19'-6' (+/-)	27'-0"	
18	Setbacks:				
19	Front First level:	20'-0"	19.8'	22'-1"	7'-11"
20	Front Second level:	30'-0"	19.8'	22'-1"	7'-11"
21	Side 1:	7'-6"	5.7'	7'-7"	none
22	Side 2 or (facing street):	15'-0"	14.8'	15'-1"	none
23	Rear:	20'-0"	46.0'	28'-1"	
	Accessory Structure Side 1:			N/A	
24	Accessory Structure Side 2 or (facing street) :			N/A	
25	Accessory Structure Rear:			N/A	
26	Sum of Side yard :	22'-6"		22'-6"	
27	Located within a Local Historic District?		NO		
28	Designated as an individual Historic Single Family Residence Site?		NO		
29	Determined to be Architecturally Significant?		NO		

If not applicable write N/A

All other data information should be presented like the above format

SHEET No.

A1.5



THOMAS F. WEBB
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AR94372

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AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
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PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
MIAMI BEACH, FL 33140

DATE:	09.07
DRAWN BY:	GSI

REVISION / DATE	REVISION
1	11.12.20

SHEET TITLE.
VARIANCE
DIAGRAM

CHLORINE NITRILE

A2.



EXISTING 2-STORY
HOMES AT 20' FRONT
SETBACK LINE

30' FRONT
SETBACK LINE

20' FRONT
SETBACK LINE

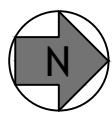
APPROXIMATE
PROPERTY LINE

30' FRONT
SETBACK LINE

20' FRONT
SETBACK LINE

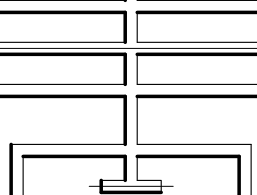
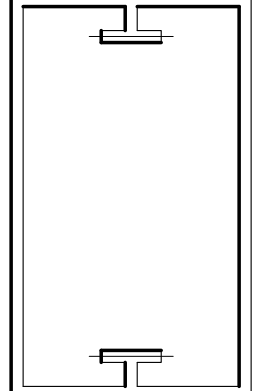
EXISTING 2-STORY
HOMES AT 20' FRONT
SETBACK LINE

SETBACK EXHIBIT
1/32" = 1'-0"



THOMAS F. WEBER
ARCHITECT
ARCHITECT
AIA 3372

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13360 DGS
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PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
801 ACH, FL 33149
FOUR 01 02-0214-003-1-032

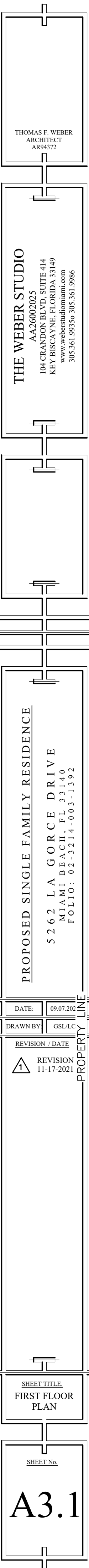
DATE: 09.07.2021
DRAWN BY: GRL/LC

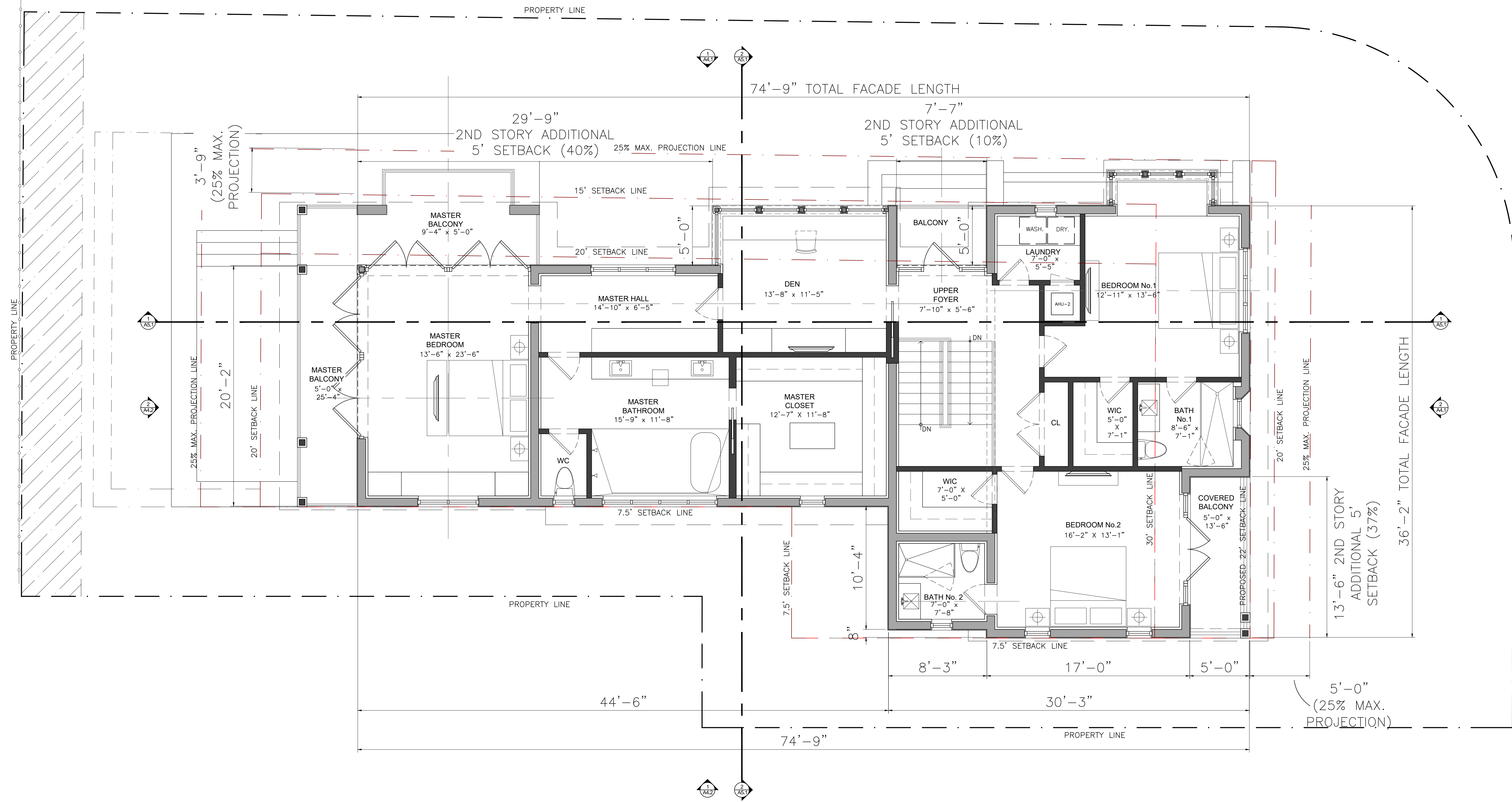
REVISION / DATE
REVISION
11-17-2021

SHEET TITLE
SETBACK
EXHIBIT

SHEET No.

A2.3





SECOND FLOOR PLAN
1/4" = 1'-0"

THOMAS F. WEBER
ARCHITECT
ARCHITECT
A33072

THE WEBER STUDIO
A33072023
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
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305.561.9795 / 305.561.9796

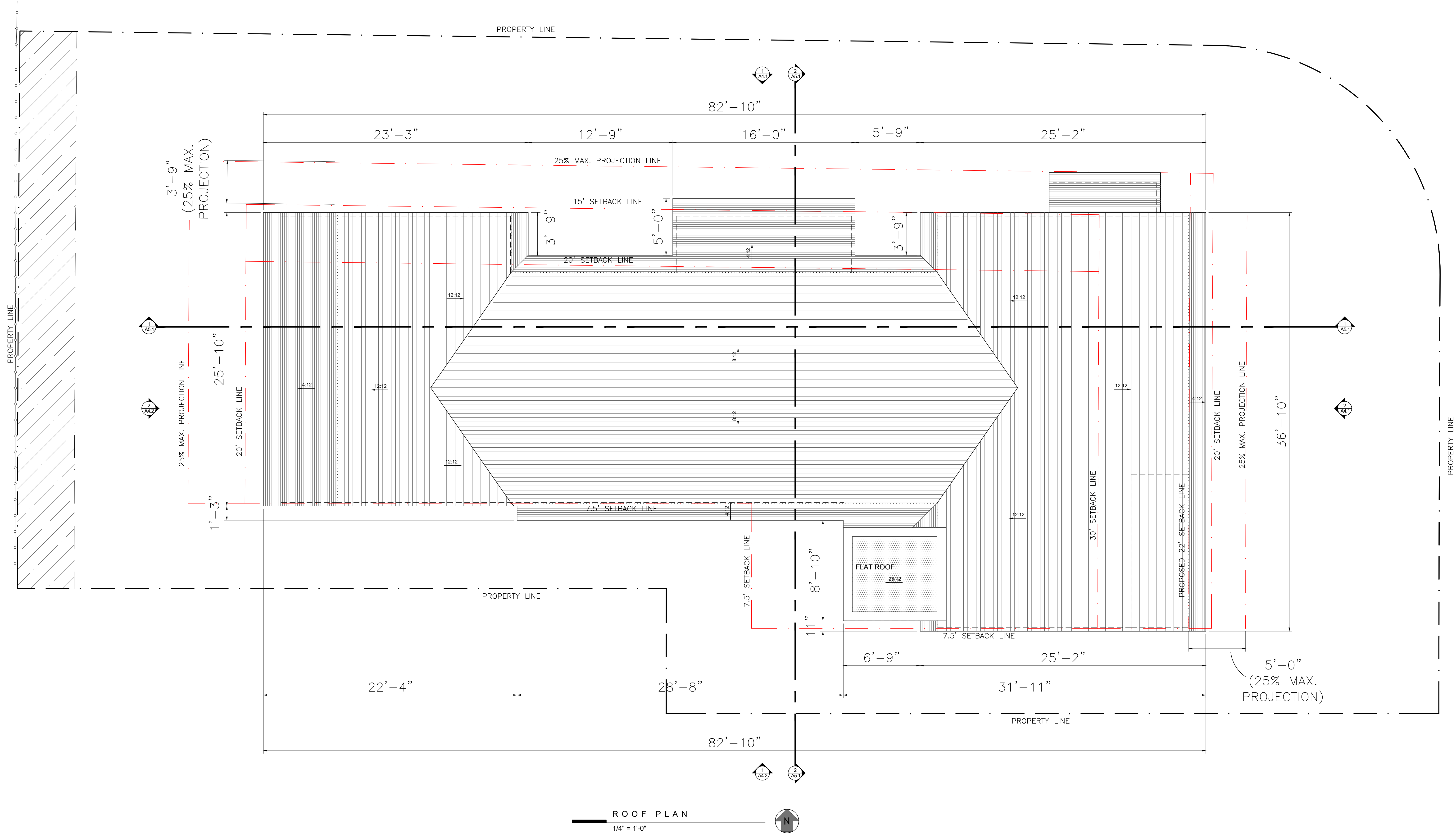
PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
MIAMI BEACH, FL 33140
PROJECT NO. 2023-214-003-1192

DATE: 09.07.2021
DRAWN BY: GSL/LLC

REVISION / DATE
REVISION 11-17-2021

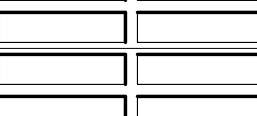
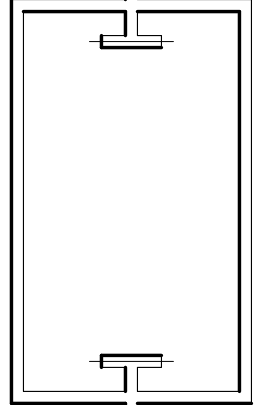
SHEET TITLE
SECOND FLOOR PLAN

SHEET No.
A3.2



THOMAS F. WEBER
ARCHITECT
AIA#1372

THE WEBER STUDIO
A33660203
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
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305.561.9795 / 305.561.9786



PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
MIAMI ACH, FL 33149
TEL: 305-521-4033 / 305-521-4032

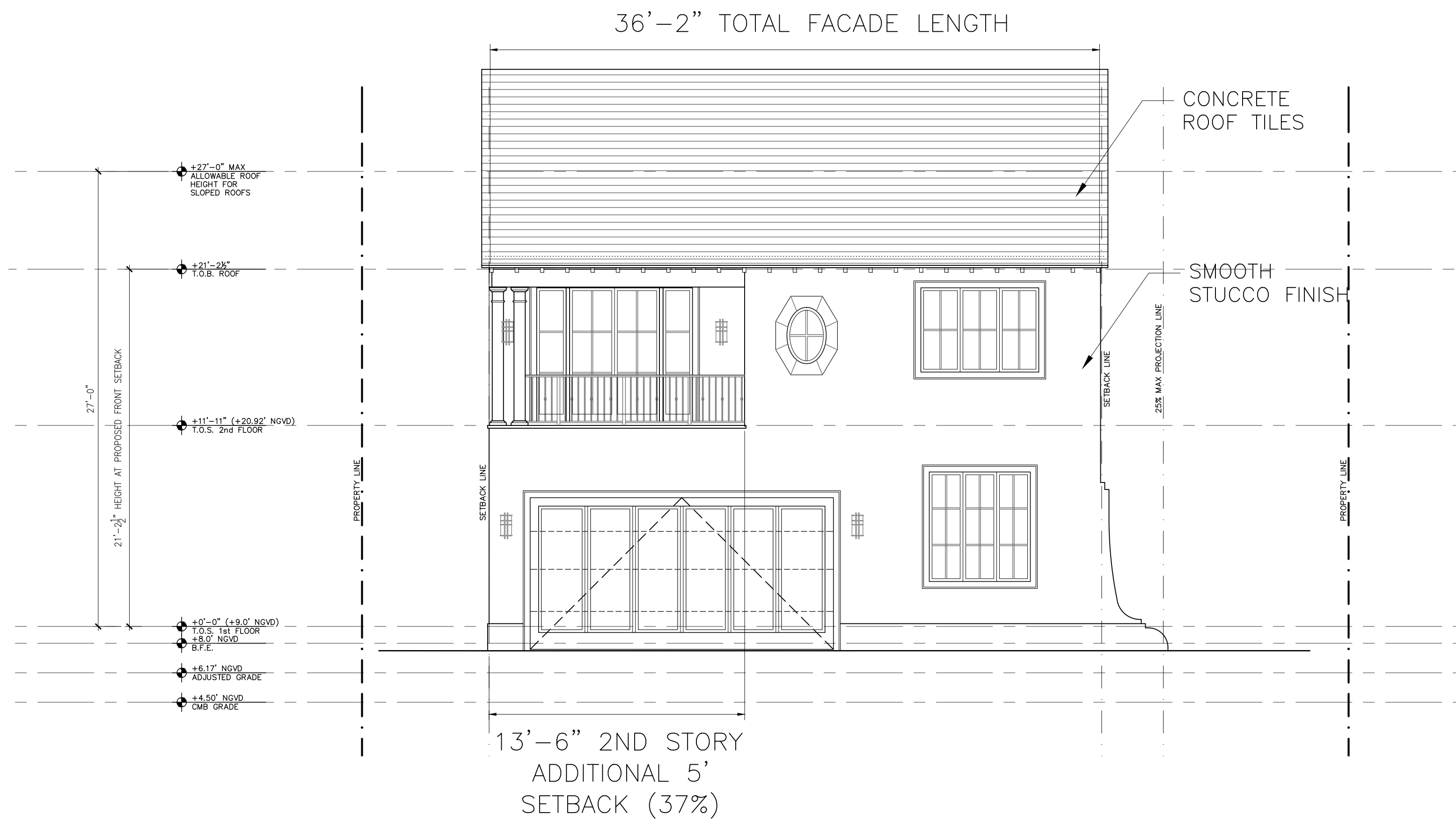
DATE: 09.07.2021
DRAWN BY: GSL/LC

REVISION / DATE
11-17-2021

REVISION
11-17-2021

SHEET TITLE
ROOF PLAN

SHEET No.
A3.3



1 EAST ELEVATION
A4.1 3/16" = 1'-0"



2 SOUTH ELEVATION
A4.1 3/16" = 1'-0"

THOMAS F. WEBER
ARCHITECT
AIA#3172

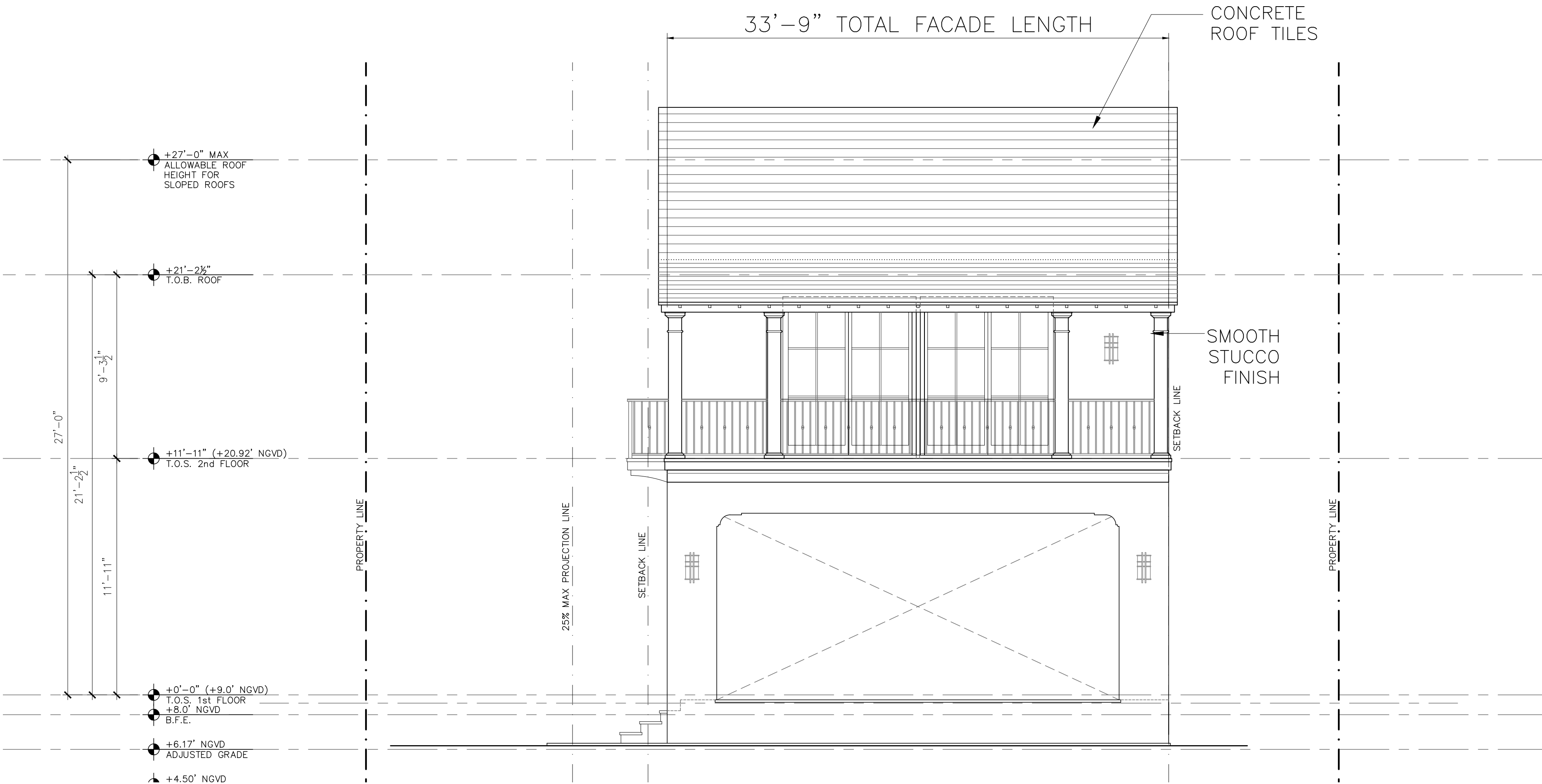
THE WEBER STUDIO
AIA#60003
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
www.weberstudiofl.com
305.561.9795 / 305.561.9786

PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
MIAMI BEACH, FL 33149
PROJECT NO.: 2021-003-1052

DATE: 09.07.2021
DRAWN BY: GSL/IC
REVISION / DATE
11-17-2021

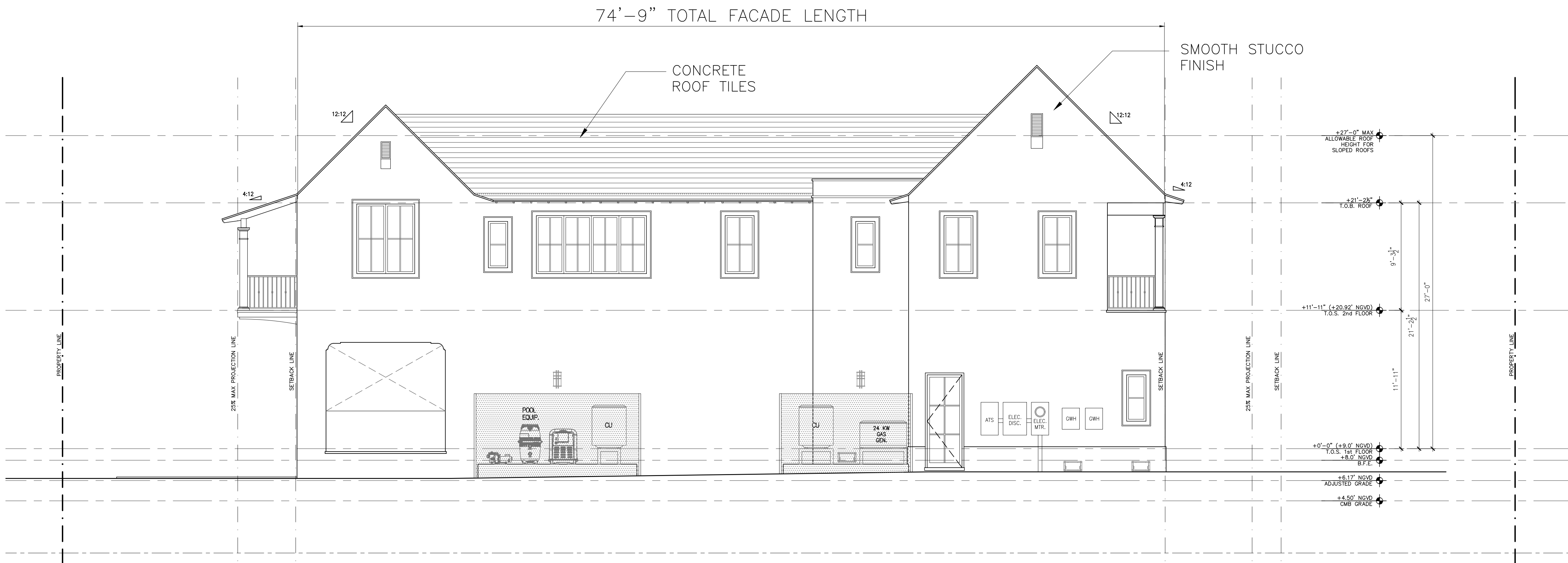
SHEET TITLE
BUILDING
ELEVATIONS

SHEET No.
A4.1



1 WEST ELEVATION

A4.2 3/16" = 1'-0"



2 NORTH ELEVATION

A4.2 3/16" = 1'-0"

THOMAS F. WEBER
ARCHITECT
AIA 3372

THE WEBER STUDIO
AIA 360003
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
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305.561.9795 / 305.561.9786

PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
MIAMI BEACH, FL 33149
TEL: 305.521.4003 / 305.521.4004

DATE: 09.07.2021
DRAWN BY: GRL/C

REVISION / DATE
11-17-2021

SHEET TITLE
BUILDING
ELEVATIONS

SHEET No.

A4.2



SMOOTH STUCCO WALL FINISH



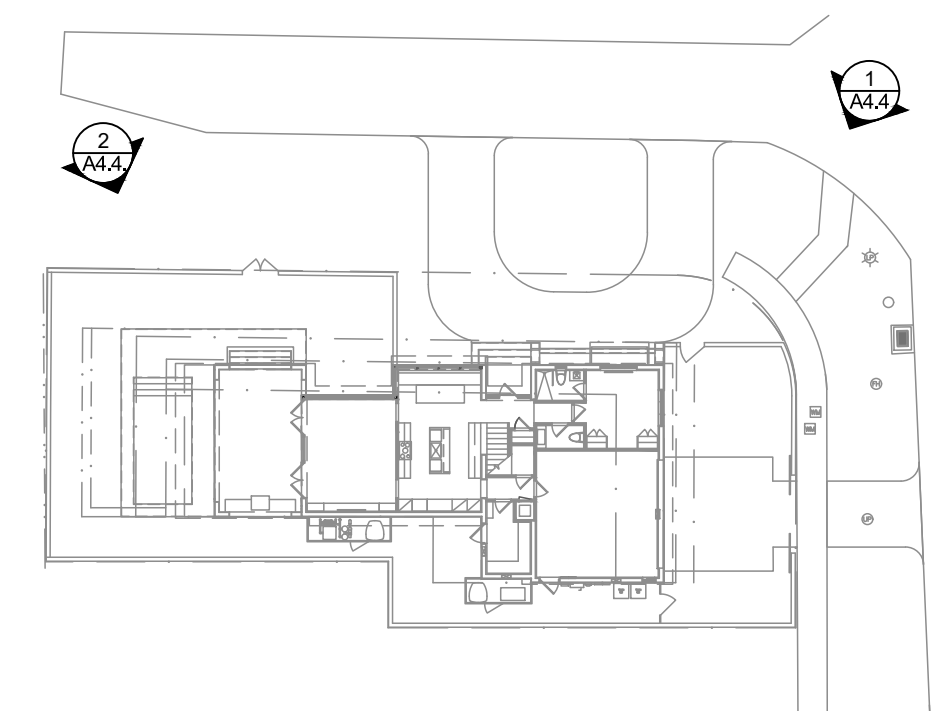
CONCRETE ROOF TILES



WOOD BALCONY



WINDOWS & DOORS



THOMAS F. WEBER
ARCHITECT
AR94372

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAWAYNE, FLORIDA 33149
www.weberstudiomiami.com
305.361.9935 or 305.361.9986

5262 LA GORCE DRIVE
MIAMI BEACH, FL 33140
FOLIO: 02-3214-003-1392

DATE:	09.07.2021
DRAWN BY:	GSL/LC

RAWN BY: GSL/LC

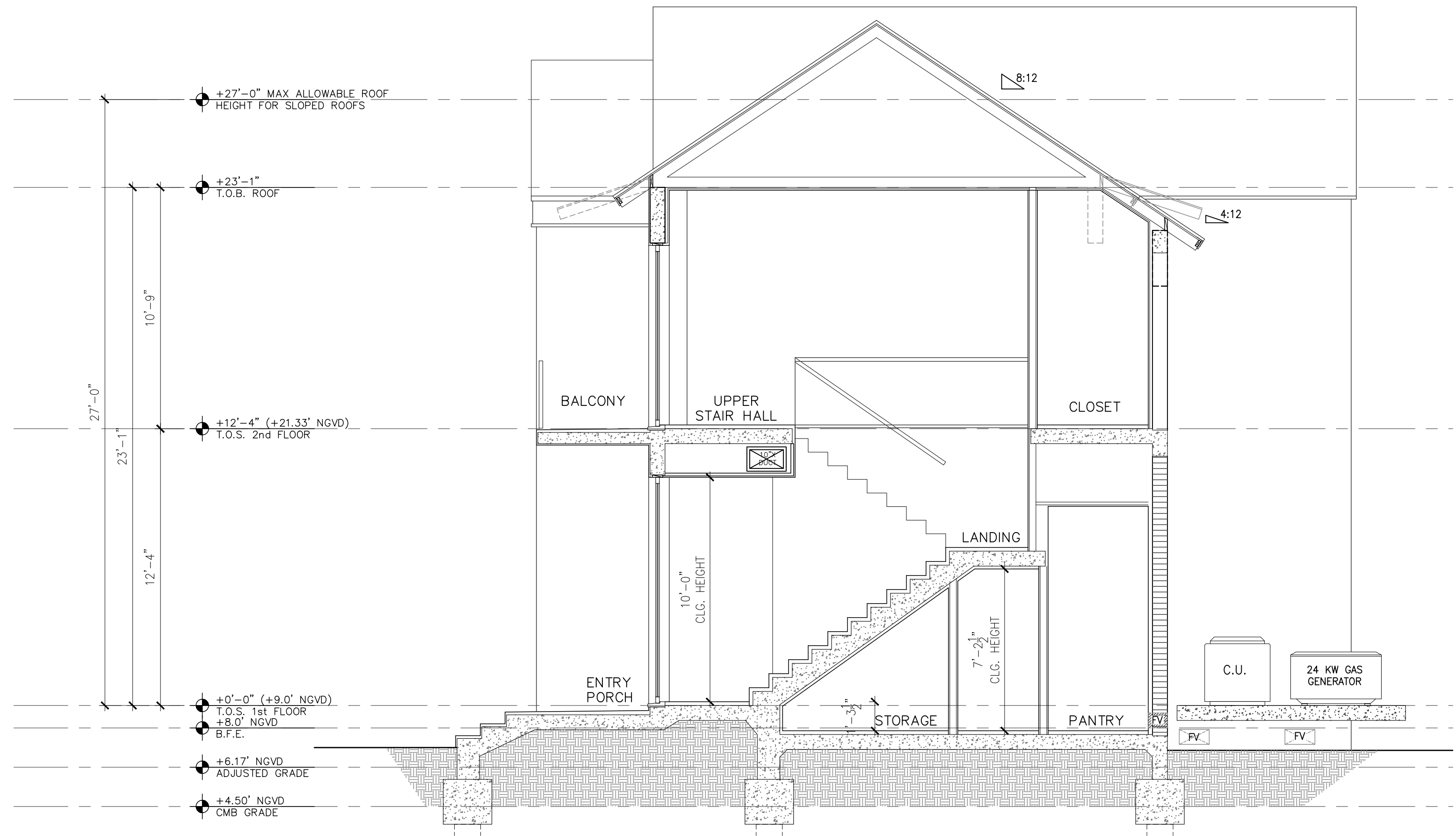
REVISION / DATE	
REVISION 11-17-2021	

REVISION
11-17-2021

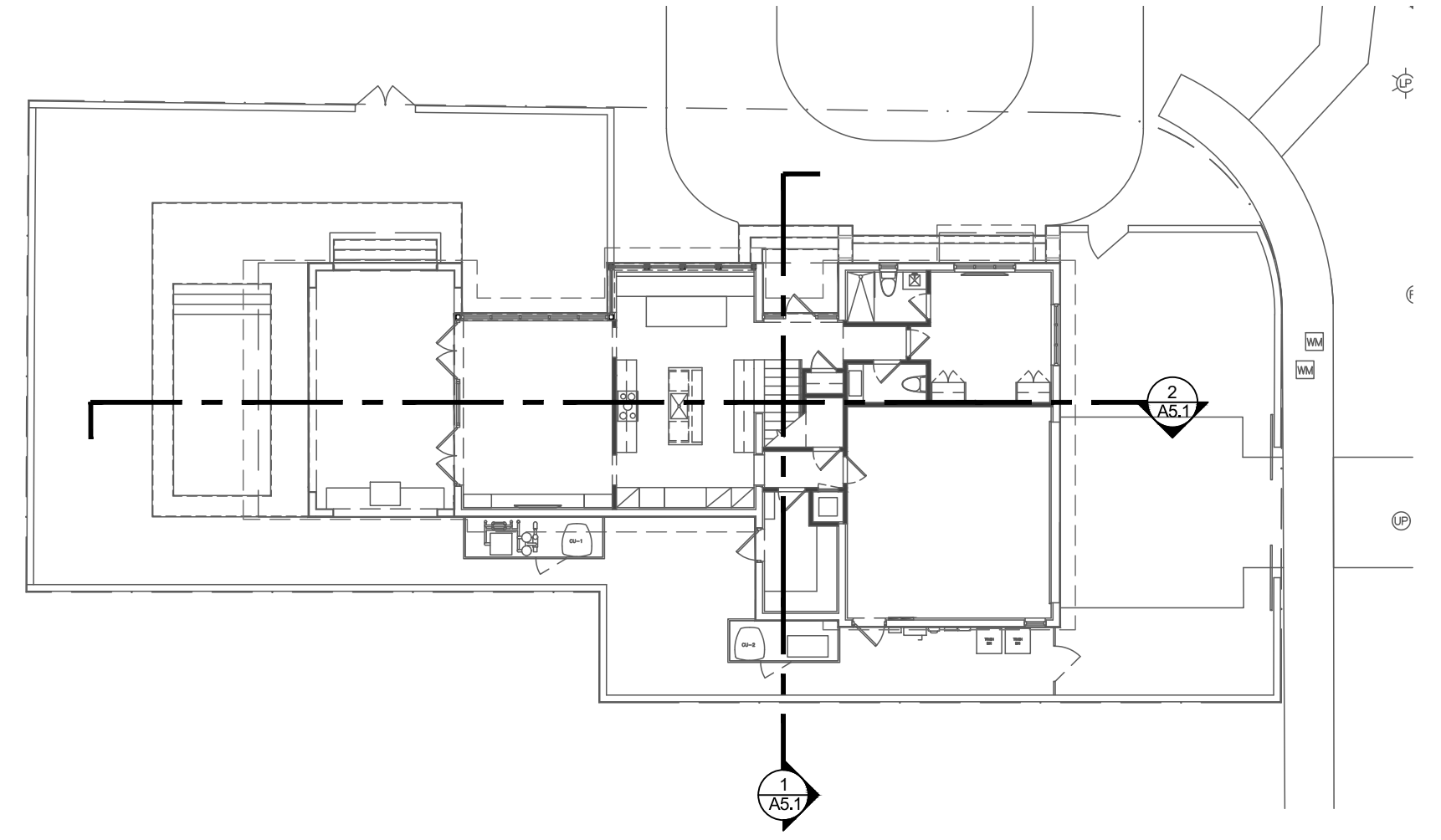
SHEET TITLE.
CONCEPT
IMAGES

SHEET No.

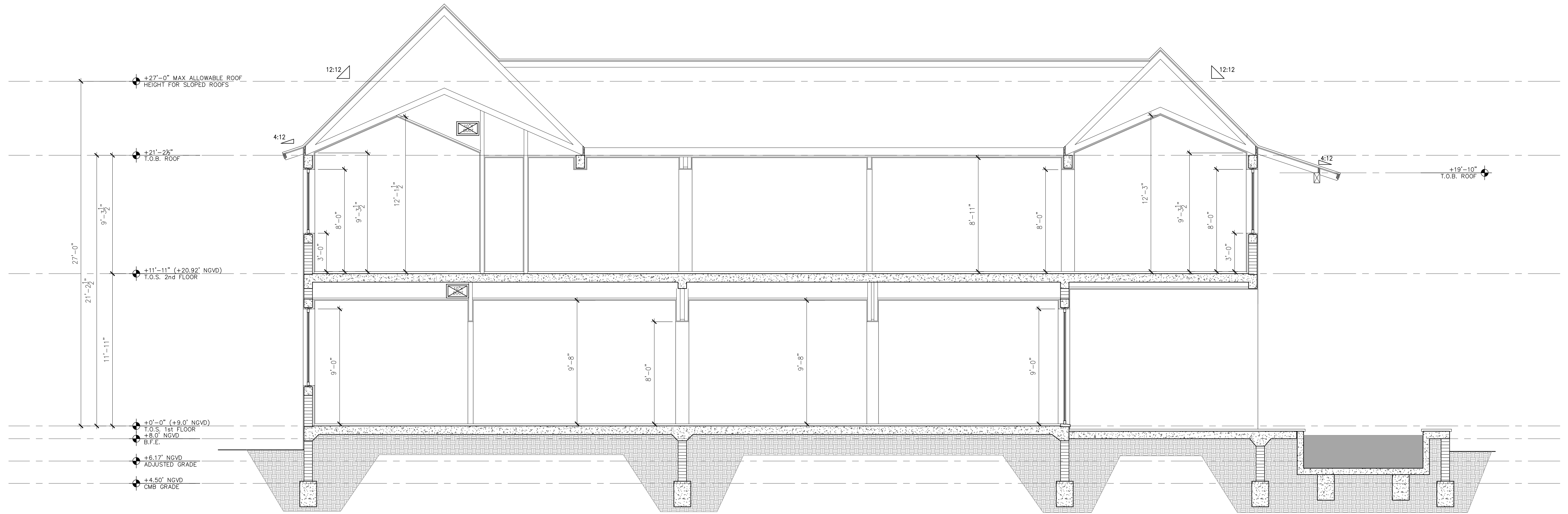
A4.4



1 SECTION # 1
A5.1 3/16" = 1'-0"



KEY PLAN
1/16



2 SECTION # 2
A5.1 3/16" = 1'-0"

THOMAS F. WEBER
ARCHITECT
AIA#1372

THE WEBER STUDIO
13366 DGS
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
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PROPOSED SINGLE FAMILY RESIDENCE

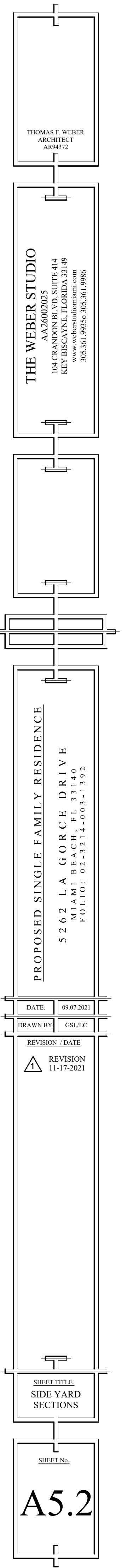
5262 LA GORCE DRIVE
801 AMT B ACH, FL 33149
P 305.521.4403 F 305.521.4402

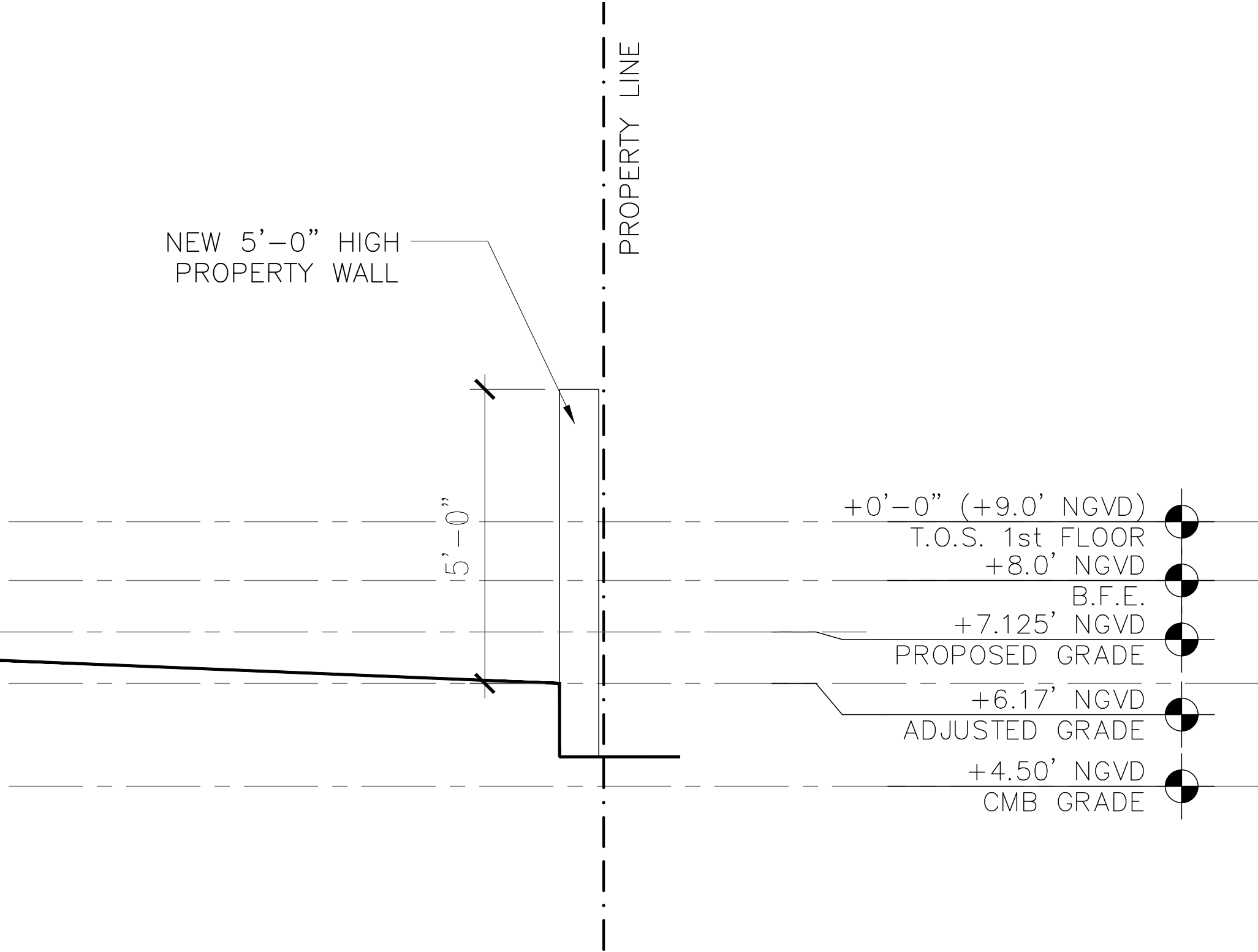
DATE: 09.07.2021
DRAWN BY: GRL/LC

REVISION / DATE
11-17-2021

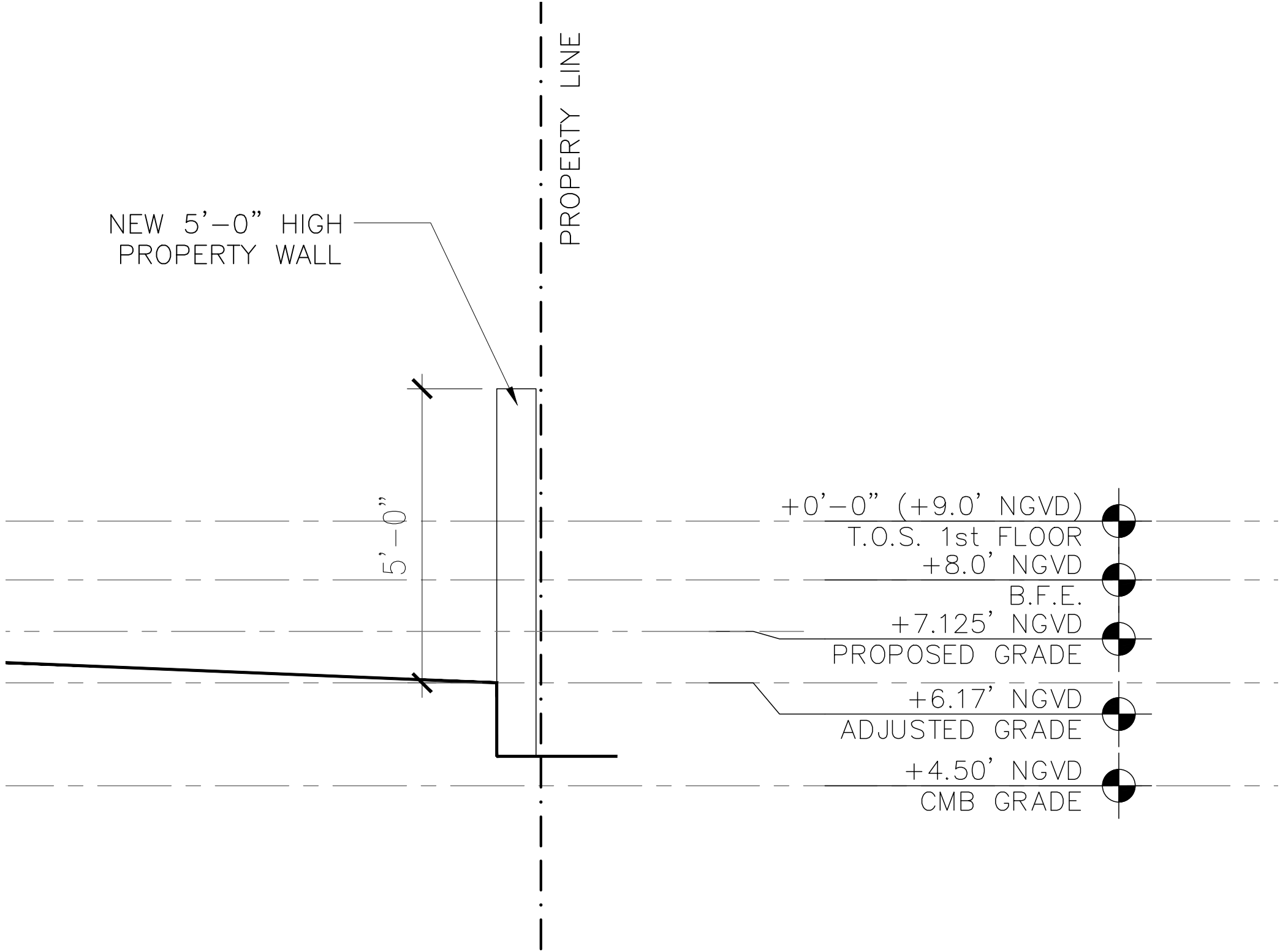
SHEET TITLE
BUILDING SECTIONS

SHEET No.
A5.1

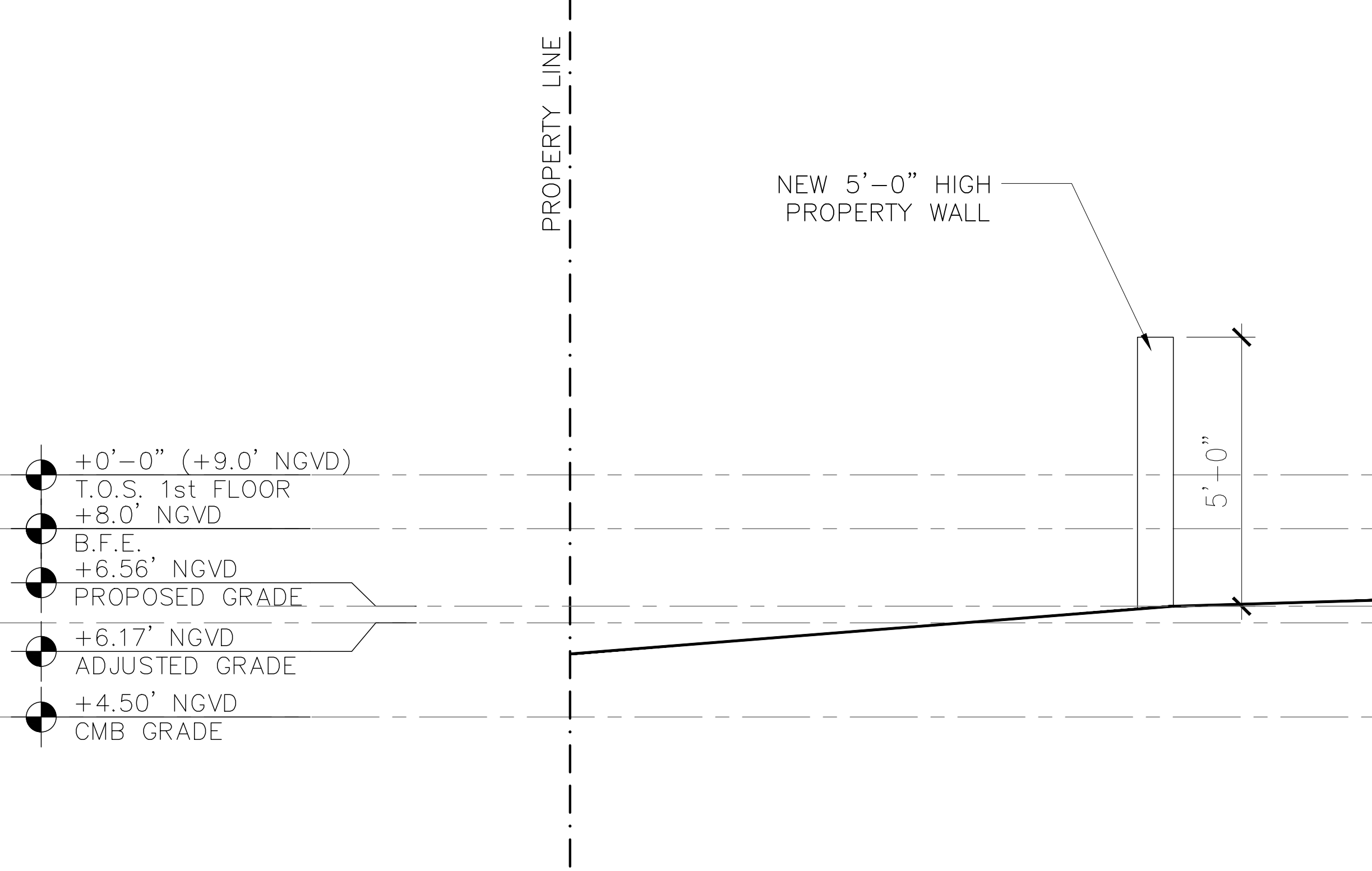




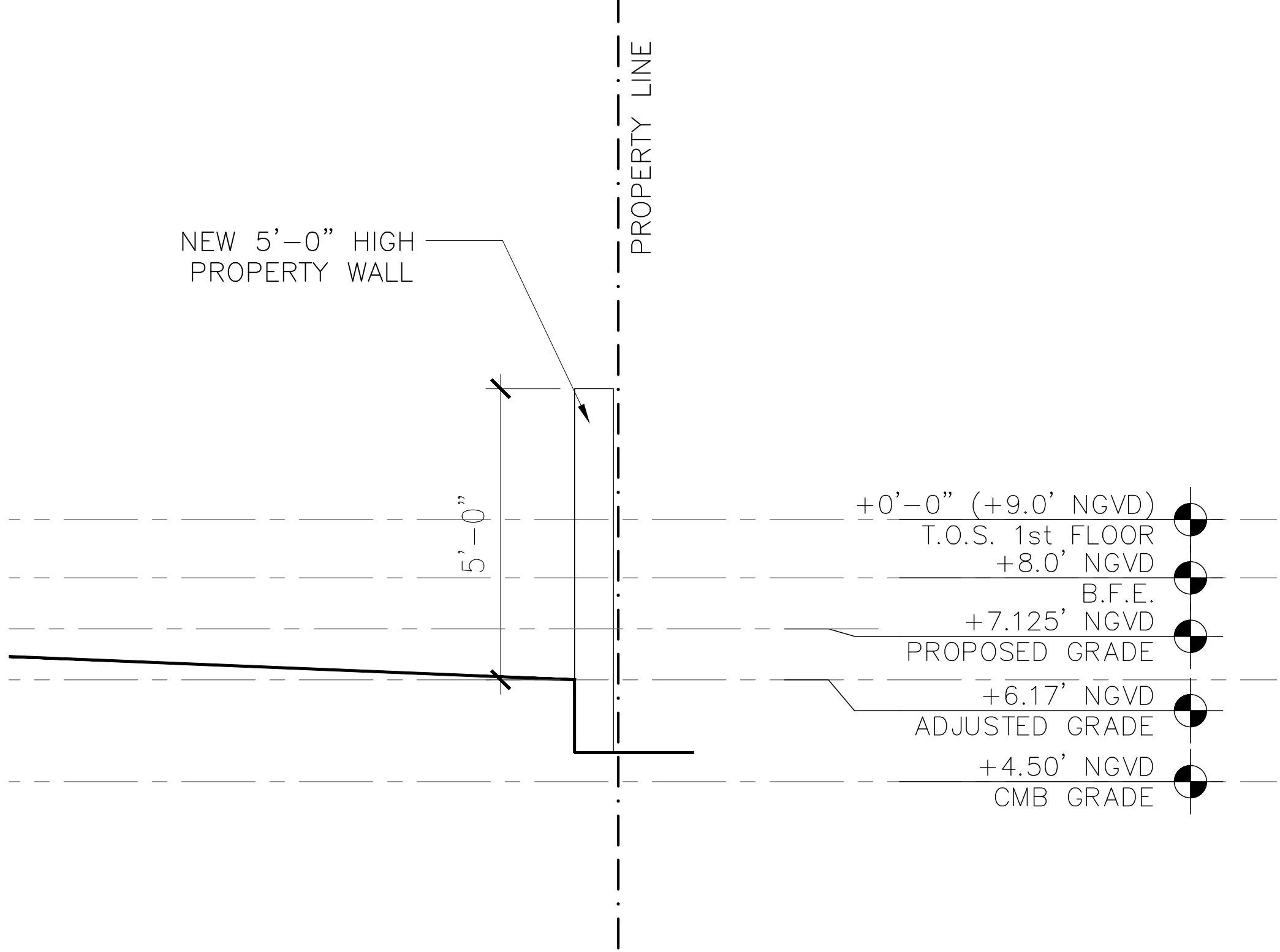
1 SE SIDE YARD
A5.3 1/2" = 1'-0"



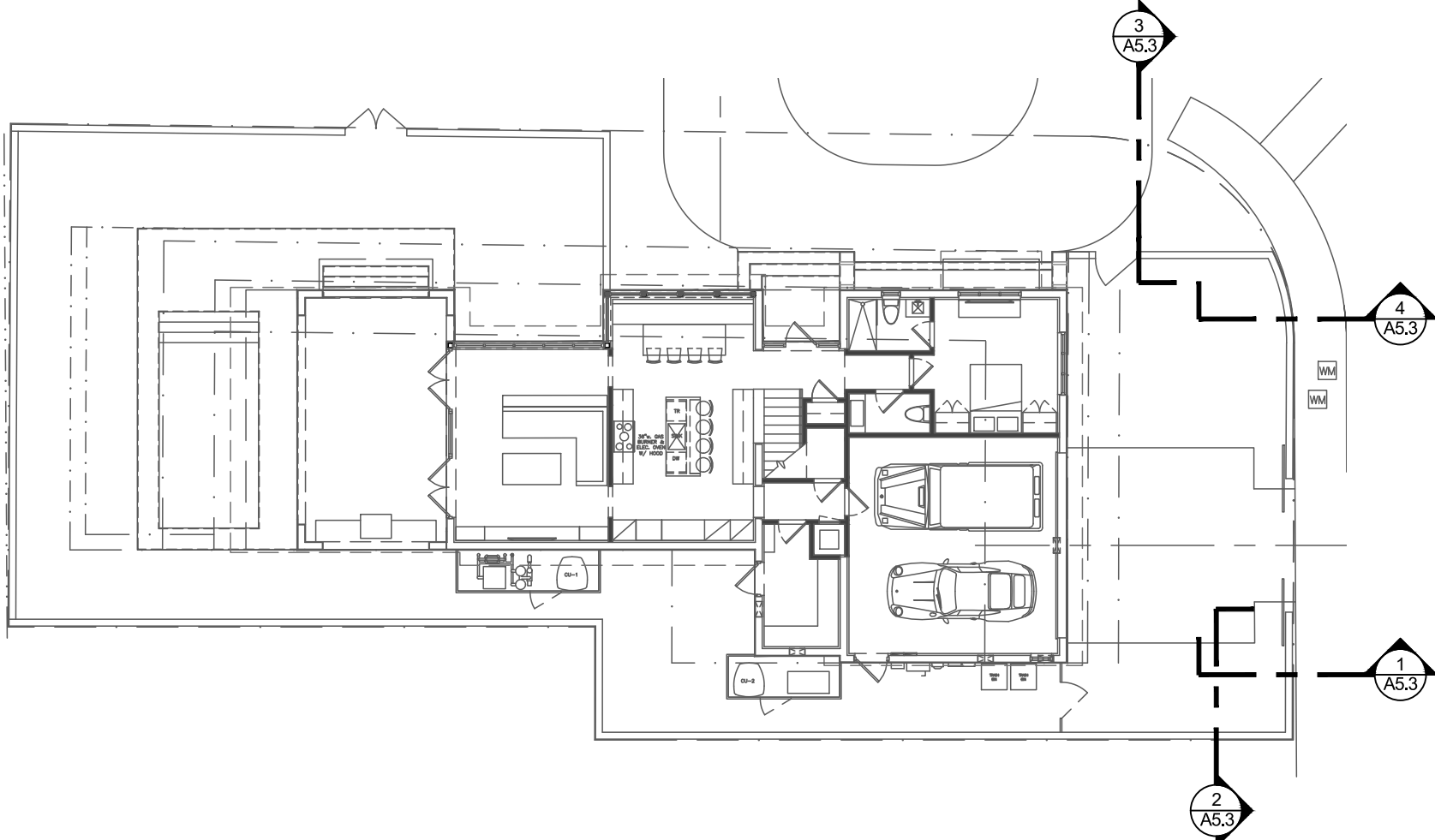
2 SE SIDE YARD
A5.3 1/2" = 1'-0"



3 NE SIDE YARD
A5.3 1/2" = 1'-0"



4 NE SIDE YARD
A5.3 1/2" = 1'-0"



KEY PLAN
1/32" = 1'-0"

THOMAS F. WEBER
ARCHITECT
A5.3.172

THE WEBER STUDIO
A5.3.600.003
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
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305.561.9795 305.561.9786

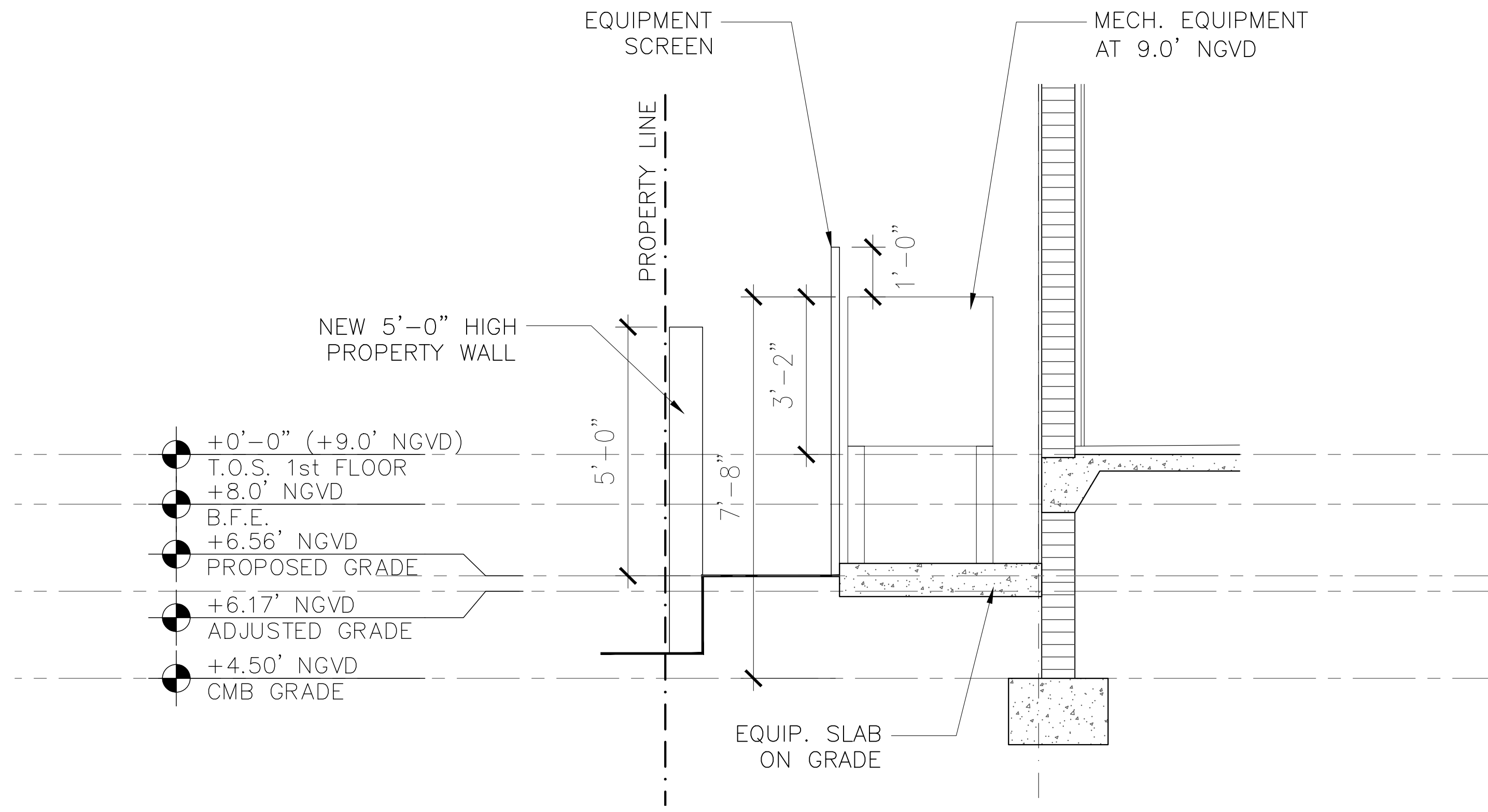
PROPOSED SINGLE FAMILY RESIDENCE
5262 LA GORCE DRIVE
801A.M.T. B.F.A.C.H., FL 33149
P.O. 1101, 02-5214-003-11952

DATE: 09.07.2021
DRAWN BY: GSL/LC

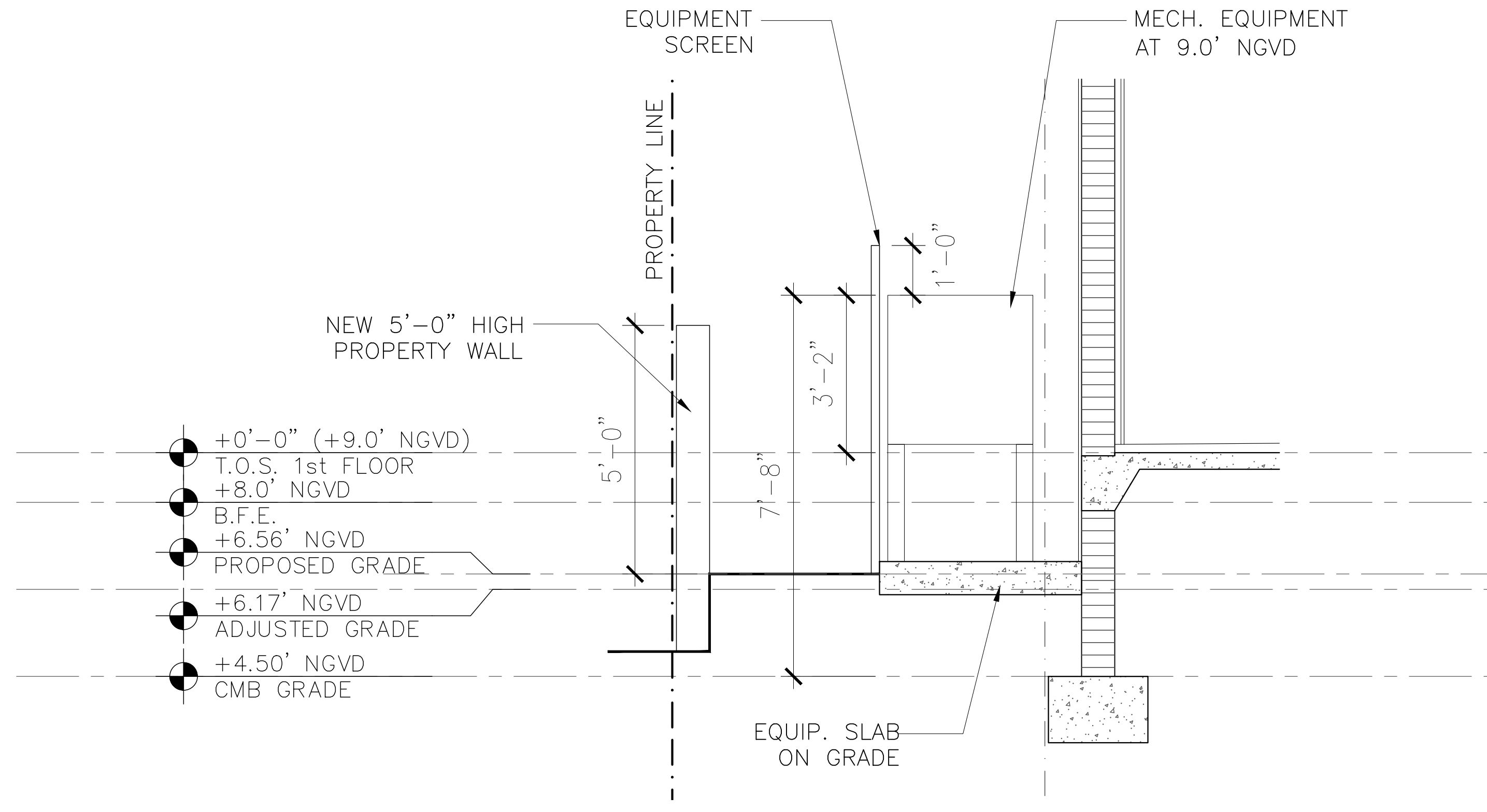
REVISION / DATE
11-17-2021

SHEET TITLE
SIDE YARD SECTIONS

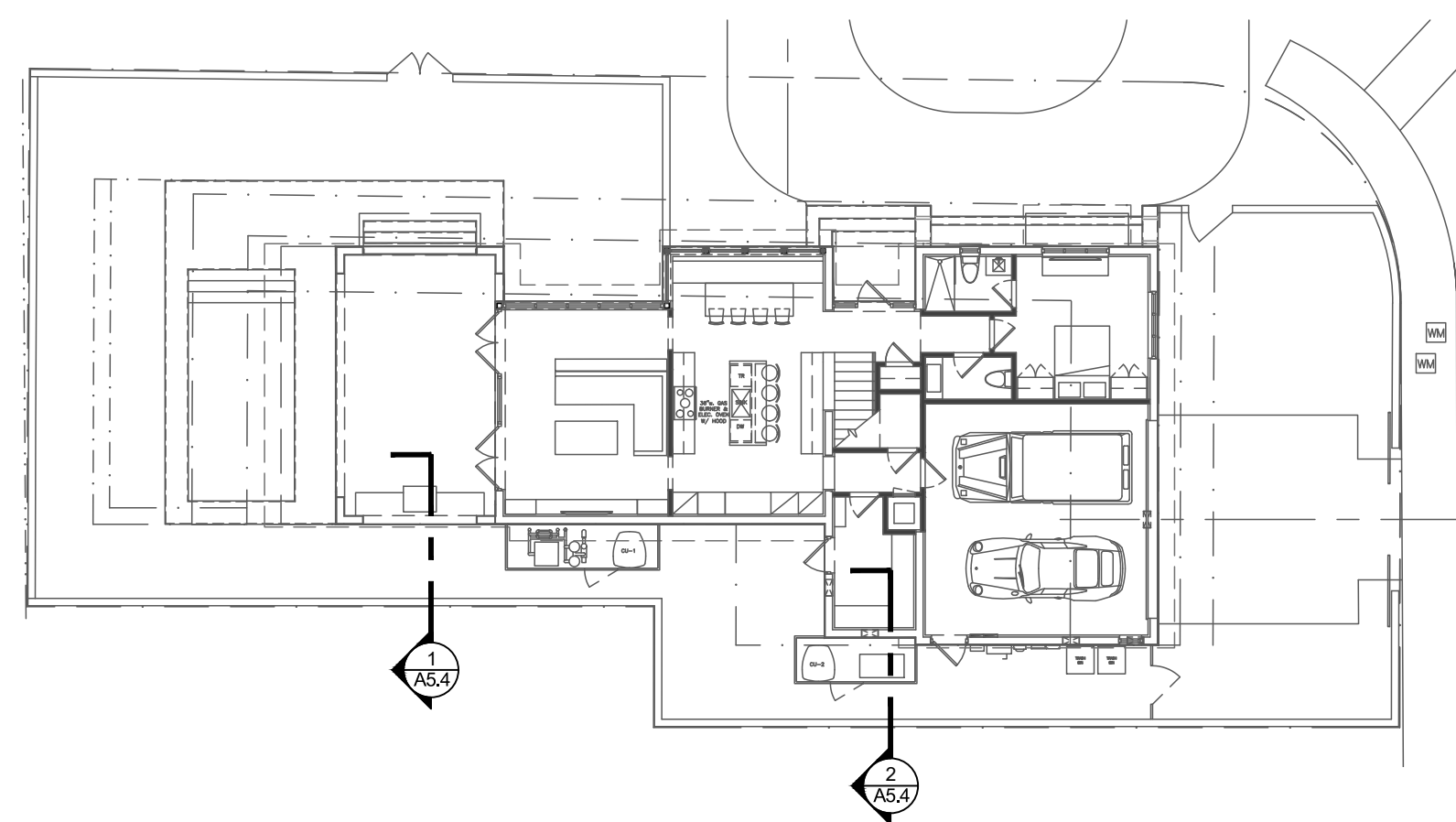
SHEET No.
A5.3



1
SOUTH SIDE YARD
EQUIPMENT AREA
A5.4 1/2" = 1'-0"



2
SOUTH SIDE YARD
EQUIPMENT AREA
A5.4 1/2" = 1'-0"



KEY PLAN
1/32" = 1'-0"

THOMAS F. WEBER ARCHITECT ARCHITECT	
THE WEBER STUDIO ARCHITECTS 104 CRANDON BLVD, SUITE 414 KEY BISCAYNE, FLORIDA 33149 www.weberstudio.com 305.561.9786	
PROPOSED SINGLE FAMILY RESIDENCE 5262 LA GORCE DRIVE SUITE 101 KEY BISCAYNE, FL 33149 TEL: 305.561.9786	
DATE:	09.07.2021
DRAWN BY:	GSL/LC
REVISION / DATE	REVISION 11-17-2021
SHEET TITLE SECTIONS AT EQUIPMENT AREAS	
SHEET No. A5.4	