

4136 ALTON ROAD

MIAMI BEACH, FLORIDA

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LANDSCAPE ARCHITECT:



**GEOMANTIC
DESIGNS, INC.**
LANDSCAPE ARCHITECTURE

ROBERT PARSLEY A.S.L.A.

6800 S.W. 81 STREET MIAMI, FL. 33143
PHONE: 305-665-9088 FAX: 305-668-9426

OWNER / DEVELOPER:

SUNNY BAY INVESTORS, LLC
1111 KANE CONCOURSE, SUITE 217
BAY HARBOR ISLANDS, FLORIDA 33154

ARCHITECT:

**FRANKEL BENAYOUN
ARCHITECTS INC**
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-C001494
MARKUS A. FRANKEL
IFHAT BENAYOUN FISHMAN.

LICENSE NO. AR0007143
LICENSE NO. AR0017273

1166 KANE CONCOURSE STE. 200, BAY HARBOR ISLANDS, FL 33154
PH: (305) 868.3665 FAX: (305) 868.3650
E-MAIL: INFO@FRANKELBENAYOUN.COM

FINAL DRB SUBMITTAL
JULY 5, 2021

FIRST DRB SUBMITTAL
JUNE 14, 2021

Ifhat
Benayoun
Fishman

Digitally signed by
Ifhat Benayoun
Fishman
Date: 2021.07.02
10:24:53 -04'00'

MIAMI BEACH					
Planning Department, 1700 Convention Center Drive					
Miami Beach, Florida 33139, www.miamibeachfl.gov					
305.673.7550					
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	4136 ALTON ROAD			
2	Folio number(s):	02-3222-011-1550			
3	Board and file numbers :	DRB 21-0656			
4	Year built:	Zoning District:	RS 4 SINGLE FAMILY		
5	Based Flood Elevation:	8.0 NGVD	Grade value in NGVD: 3.36' NGVD		
6	Adjusted grade (Flood+Grade/2):	5.68' NGVD	Free board: 1' = 9'-0" NGVD		
7	Lot Area:		6,000 SF		
8	Lot width:	60'	Lot Depth: 100'		
9	Max Lot Coverage SF and %:	1,800 SF/30%	Proposed Lot Coverage SF and %: 1,685 SF/28 %		
10	Existing Lot Coverage SF and %:	NA	Lot coverage deducted (garage-storage) SF: NA		
11	Front Yard Open Space SF and %:	1,800 SF/898 SF = 50%	Rear Yard Open Space SF and %: 1,183 SF/892 SF=75%		
12	Max Unit Size SF and %:	3,000 SF	Proposed Unit Size SF and %: 2,991 SF		
13	Existing First Floor Unit Size:	NA	Proposed First Floor Unit Size: 1,450 SF		
14	Existing Second Floor Unit Size	NA	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) 1,541 SF		
15			Proposed Second Floor Unit Size SF and % :		
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below): NA		
		Required	Existing	Proposed	Deficiencies
17	Height:	24'	NA	24'	0
18	Setbacks:				
19	Front First level:	30'-0"	NA	30'-0"	0
20	Front Second level:	30'-0"	NA	30'-0"	0
21	Side 1:	7'-6"	NA	7'-6"	0
22	Side 2 or (facing street):	7'-6"	NA	7'-6"	0
23	Rear:	20'-0"	NA	20'-0"	0
	Accessory Structure Side 1: CU	5'-0"	NA	5'-0"	0
24	Accessory Structure Side 2 or (facing street) :POOL EQUIPMENT	5'-0"	NA	5'-0"	0
25	Accessory Structure Rear: POOL	6'-0"	NA	6'-0"	0
26	Sum of Side yard :	15'-0"	NA	15'-0"	0
27	Located within a Local Historic District?			NO	
28	Designated as an individual Historic Single Family Residence Site?			NO	
29	Determined to be Architecturally Significant?			NO	

Notes:

If not applicable write N/A

All other data information should be presented like the above format

NOTE THAT THE SITE IS CURRENTLY VACANT

SINGLE FAMILY RESIDENTIAL - ZONING CHECK LIST		
CHECK LIST of required Items	Included	PAGE # (s)
Survey (signed and sealed in the last 6 months)	Yes	Survey
Final Recorded Order to be delivered to our department	N/A	
ZONING DATA SHEET	Yes	A-0.01
Site plan showing:		
Required setbacks with dimensions	Yes	A-1.01
Accessory structures with setbacks with dimensions	Yes	A-1.01
Mechanical/pool equipment setbacks with dimensions	Yes	A-1.01
Projections into required setbacks with dimensions	Yes	A-1.01 - A-1.03
Driveways, walkways, decks with setbacks and dimensions	Yes	A-1.01
Swimming pool, decks with setbacks and dimensions	Yes	A-1.01
Docks with setbacks and dimensions	NA	
Elevations showing dimensions from flood to maximum height	Yes	A-2.01 - A-2.02
Section showing dimensions from flood to maximum height	Yes	A-3.01
Shaded diagram for existing and or proposed lot coverage	Yes	A-0.07
Shaded diagrams for existing and or proposed unit size (all levels)	Yes	A-0.08 - A-0.10
Shaded diagram for required front yard open space	Yes	A-0.06
Shaded diagram for required rear yard open space	Yes	A-0.06
Fences height	Yes	A-2.01 - A-2.03
Landscape plan	Yes	LD1, L0, L1
Irrigation plan	No	
Notes:		
If not applicable write N/A		
This check list is only a part of all Items and plans that are required for permit approval		
A complete set of plans shall be submitted for permit approval		
Upon review of the submitted material it may be deemed that further information be required		

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MARKUS A. FRANKEL LICENSE NO. AR0007143
IFHAT BENAYOUN FISHMAN LICENSE NO. AR0017273

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4136 ALTON ROAD
NEW SINGLE FAMILY
4136 ALTON ROAD
MIAMI BEACH, FLORIDA

Ifhat Benayoun Fishman
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Date: 2021.07.02 10:25:15 -04'00'

NO.	REVISION	DATE	BY

DRAWING TITLE
PROJECT DATA

SCALE DATE: JUNE 14, 2021

SHEET NUMBER
A-0.01
FIRST SUBMITTAL



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DRAWING TITLE
RENDERING

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1 STREET VIEW RENDERING



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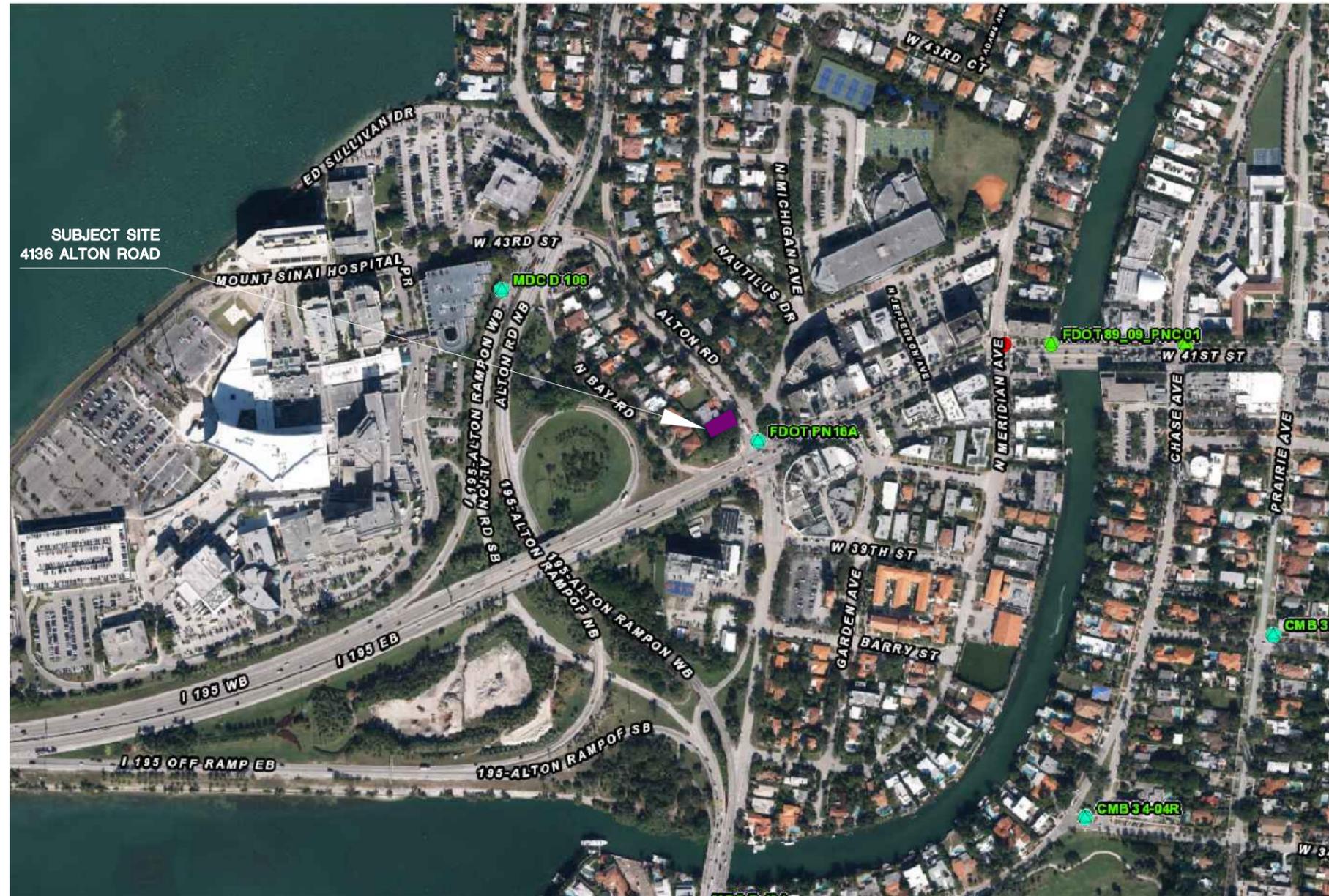
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DRAWING TITLE
ELEVATION

SCALE DATE JUNE 14, 2021

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A-0.02A
 FIRST SUBMITTAL

1 ELEVATION



SUBJECT SITE
4136 ALTON ROAD

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DRAWING TITLE
LOCATION MAP

SCALE: DATE: JUNE 14, 2021

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A-0.03
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DRAWING TITLE:
CONTEXT LOCATION PLAN

SCALE: DATE: JUNE 14, 2021

SHEET NUMBER:
A-0.04

FIRST SUBMITTAL



1
 SUBJECT SITE

1 CONTEXT LOCATION ELEVATION VIEW



1
 SUBJECT SITE

2 CONTEXT LOCATION PLAN VIEW





CORNER/ALTON ROAD & 41 STREET



SUBJECT SITE



HOUSE/W. SIDE ALTON ROAD



LOT/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



N.E.CORNER / ALTON & 41 STREET



EAST SIDE / ALTON & 41 STREET



EAST SIDE / ALTON & 41 STREET



EAST SIDE / PARKING LOT AREA



EAST SIDE / ALTON HOUSE

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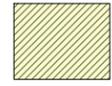
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CONTEXT PHOTOS

SCALE: DATE: JUNE 14, 2021

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A-0.05

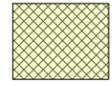
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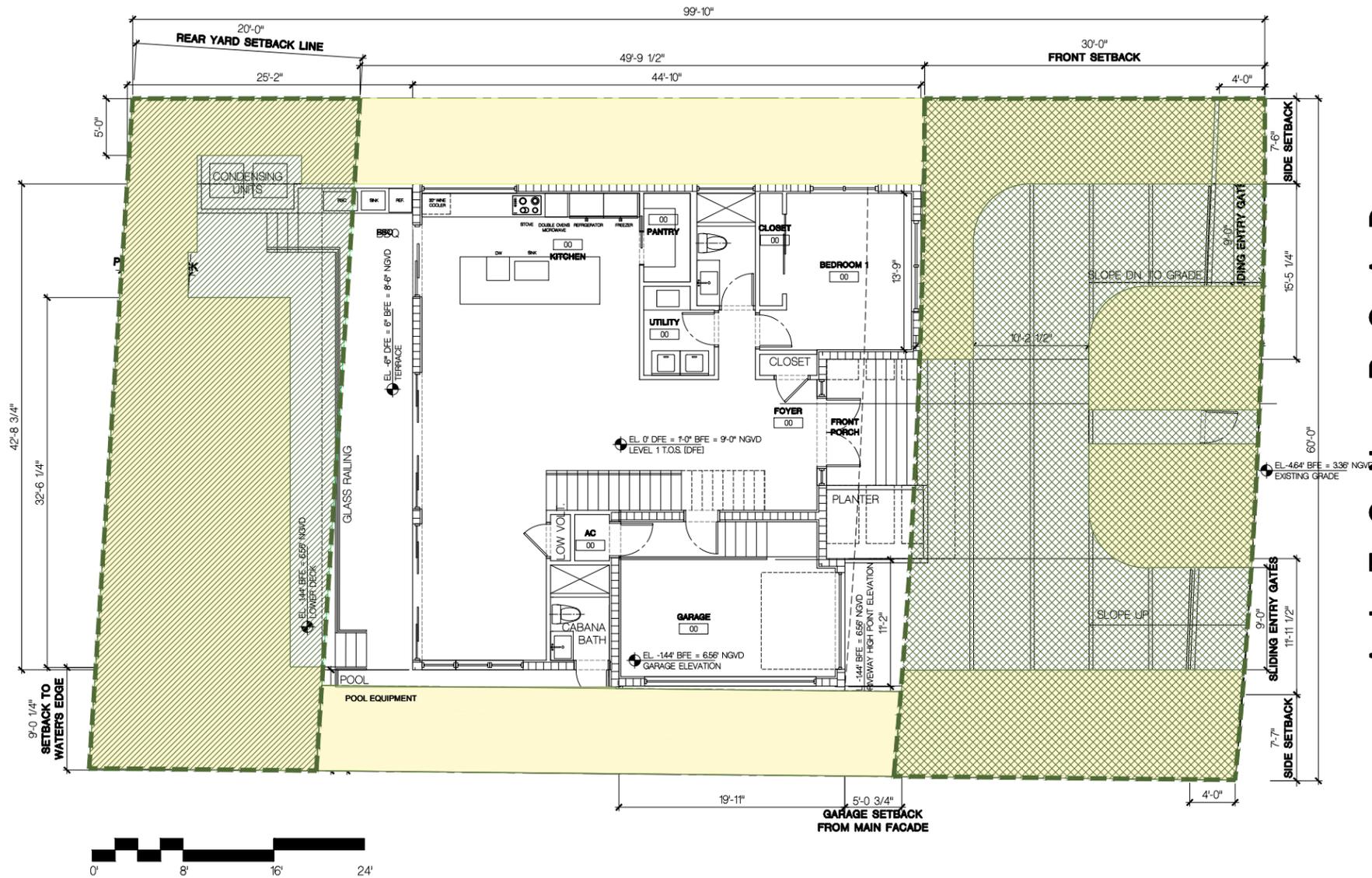
 REQUIRED REAR YARD SETBACK 20'-0" 1,183 SF

 LANDSCAPE AREA IN REAR YARD SETBACK COUNTING THE AREA OF POOL WATER, BELOW ADJUSTED GRADE ELEVATION 892 SF = 75% OF REAR YARD SETBACK AREA

 REQUIRED SIDE YARD SETBACK 7'-6"

 REQUIRED FRONT YARD SETBACK 30'-0" 1,800 SF

 LANDSCAPE AREA IN FRONT YARD SETBACK 898 SF = 50% OF FRONT YARD SETBACK AREA



ALTON ROAD

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NO.	REVISION	DATE	BY

DRAWING TITLE
REQUIRED YARD DIAGRAM
 SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
 SHEET NUMBER
A-0.06
 FIRST SUBMITTAL



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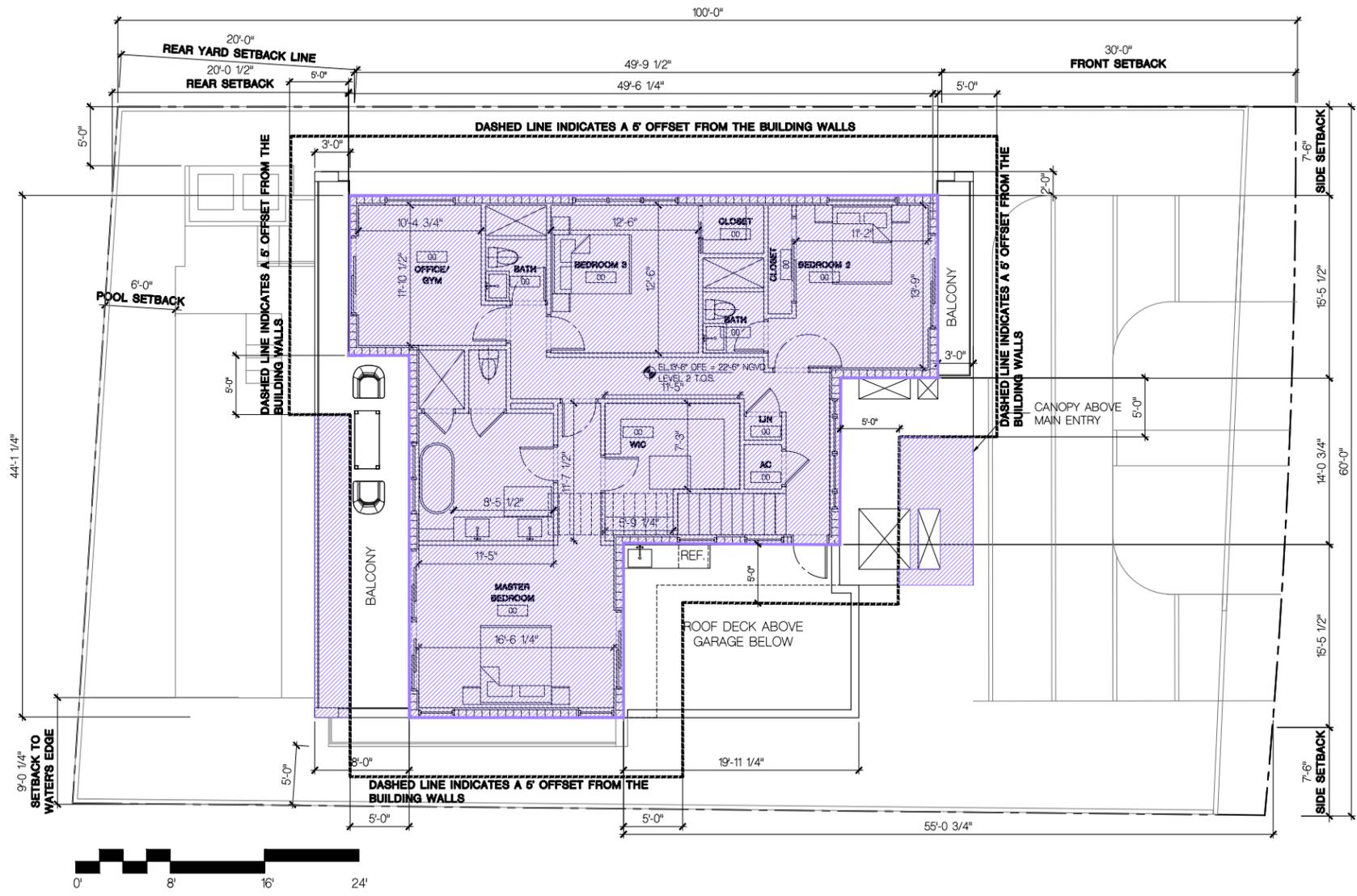
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1 LEVEL 1 FLOOR PLAN
 3/16" = 1'-0"

NO.	REVISION	DATE	BY

DRAWING TITLE
LOT COVERAGE DIAGRAM
 SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
 SHEET NUMBER
A-0.07
 FIRST SUBMITTAL

LOT AREA = 6,000 SF
 ALLOWABLE LOT COVERAGE = 1,800 SF/30% OF LOT AREA
 PROPOSED LOT COVERAGE EXCLUDING 287 SF GARAGE = 1,686 SF = 28% OF LOT AREA



ALTON ROAD



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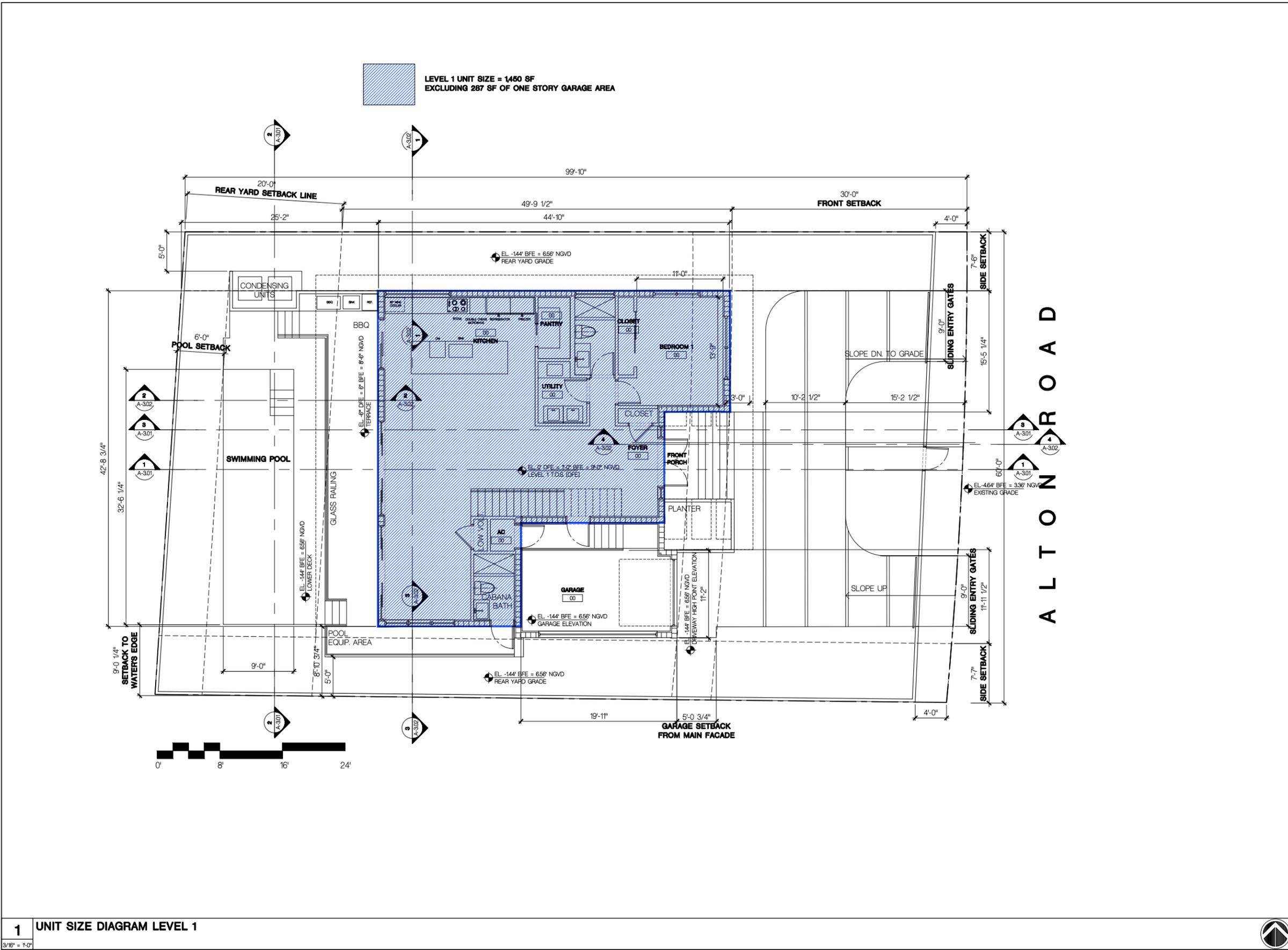
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 Date: 2021.07.02 10:27:53 -0400'

Signature: _____ Date: _____

NO.	REVISION	DATE	BY

DRAWING TITLE
UNIT SIZE LEVEL 1 DIAGRAM

SCALE: 3/16" = 1'-0"
 DATE: JUNE 14, 2021
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A-0.08
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1 UNIT SIZE DIAGRAM LEVEL 1
 3/16" = 1'-0"

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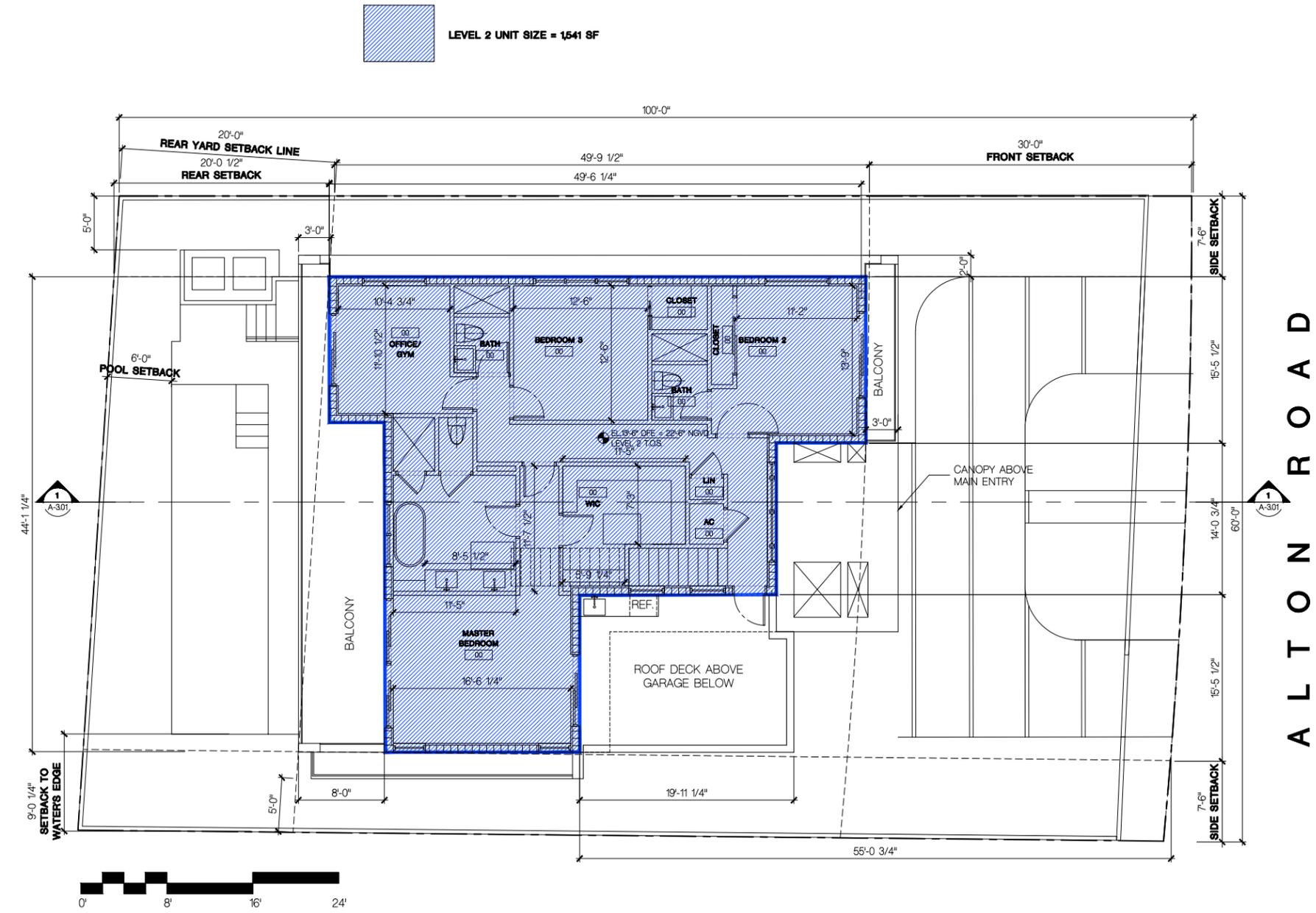
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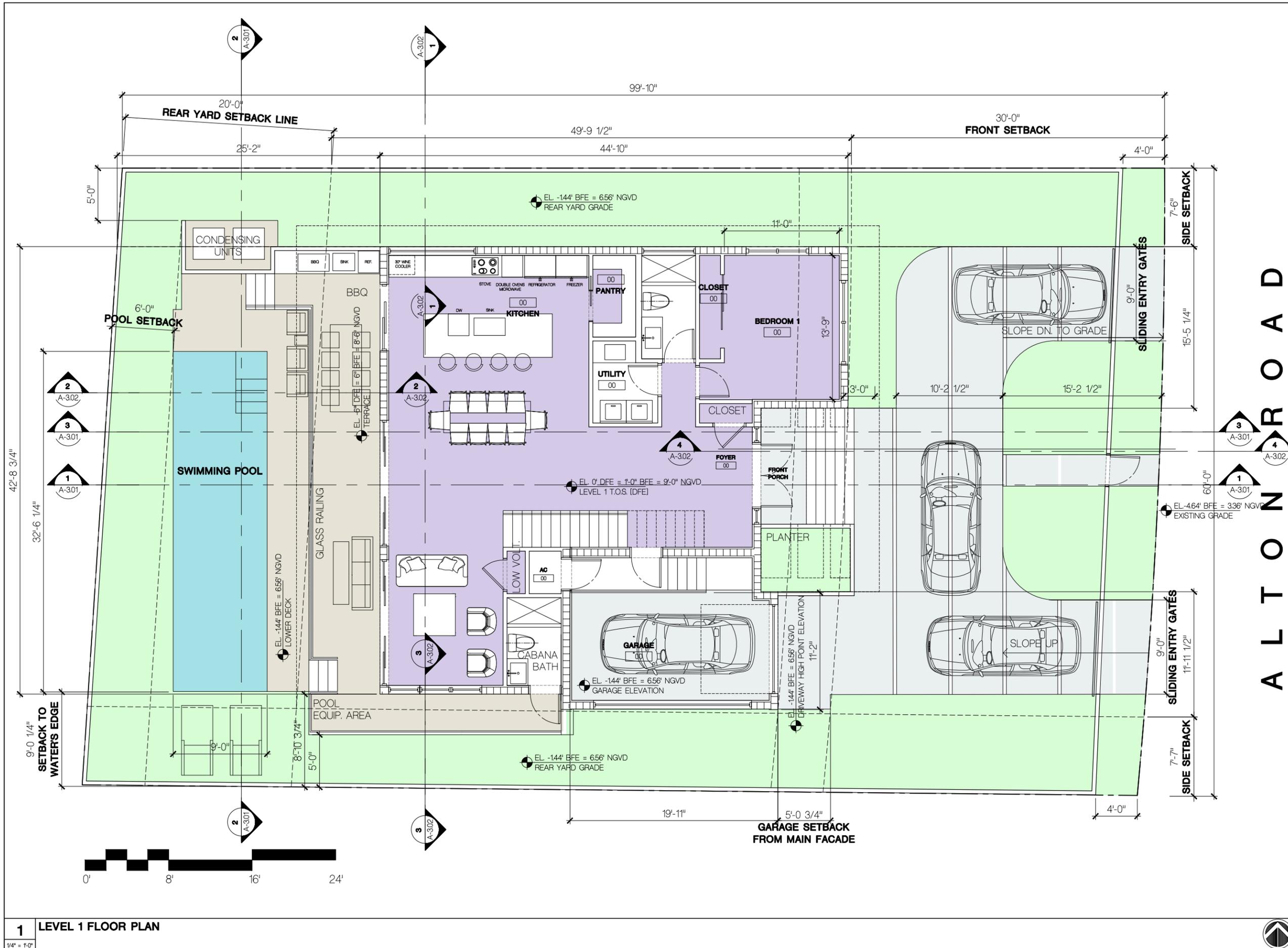
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DRAWING TITLE
UNIT SIZE LEVEL 2 DIAGRAM

SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
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 SIGNATURE DATE
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DRAWING TITLE
LEVEL 1 FLOOR PLAN
 SCALE: 1/4" = 1'-0" DATE: JUNE 14, 2021
 SHEET NUMBER
A-101
 FIRST SUBMITTAL

ALTON ROAD

1 LEVEL 1 FLOOR PLAN
 1/4" = 1'-0"



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 PH: (305) 868.3665 FAX: (305) 868.3650
 E-MAIL: INFO@FRANKELBENAYOUN.COM

STRUCTURAL ENG.
 MEP ENG.

LANDSCAPE ARCH.
GEOMANTIC DESIGNS, INC.
 LANDSCAPE ARCHITECTURE
 ROBERT PARKLEY A.S.L.A.

OWNER / DEVELOPER
SUNNY BAY INVESTORS, LLC
 1111 KANE CONCOURSE, SUITE
 BAY HARBOR ISLANDS, FLORIDA 33154
 PHONE: 305-XXX-XXXX

4136 ALTON ROAD
 NEW SINGLE FAMILY
4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

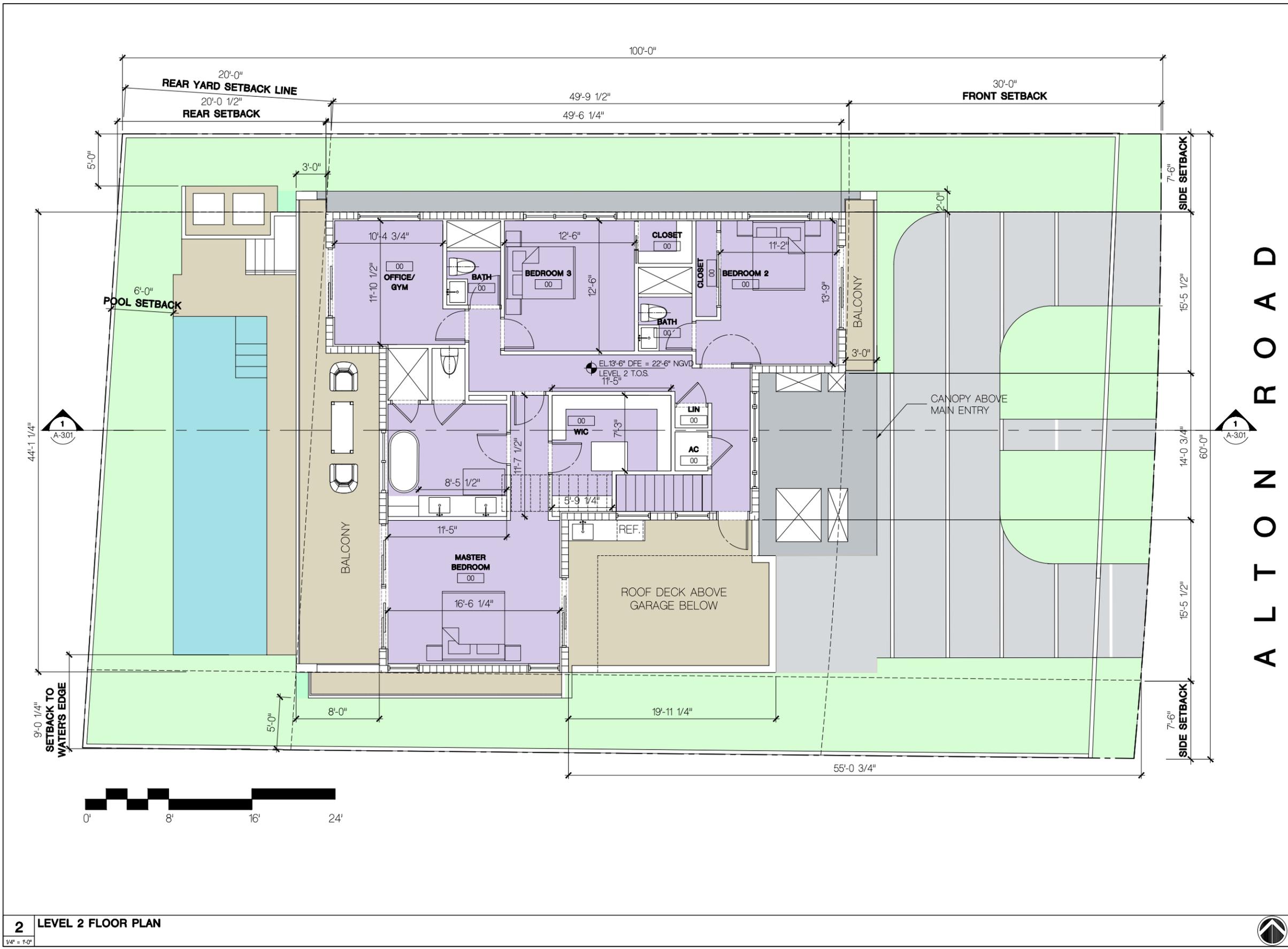
Digitally signed
 by Ifhat Benayoun Fishman
 Date: 2021.07.02 10:28:55 -0400

Signature: _____ Date: _____

NO.	REVISION	DATE	BY

DRAWING TITLE
LEVEL 2 FLOOR PLAN
 SCALE: 1/4" = 1'-0" DATE: JUNE 14, 2021
 SHEET NUMBER
A-102
 FIRST SUBMITTAL

ALTON ROAD



2 LEVEL 2 FLOOR PLAN
 1/4" = 1'-0"

FRANKEL BENAYOUN ARCHITECTS INC.
 ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-C001494
 MARKUS A. FRANKEL
 LICENSE NO. AR0007143
 IFHAT BENAYOUN FISHMAN
 LICENSE NO. AR0017273

1177 KANE CONCOURSE, SUITE 120
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 1111 KANE CONCOURSE, SUITE
 BAY HARBOR ISLANDS, FLORIDA 33154
 PHONE: 305-XXX-XXXX

4136 ALTON ROAD
 NEW SINGLE FAMILY
 4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

Digitally signed by Ifhat Benayoun Fishman
 Date: 2021.07.02 10:29:18 -04'00'

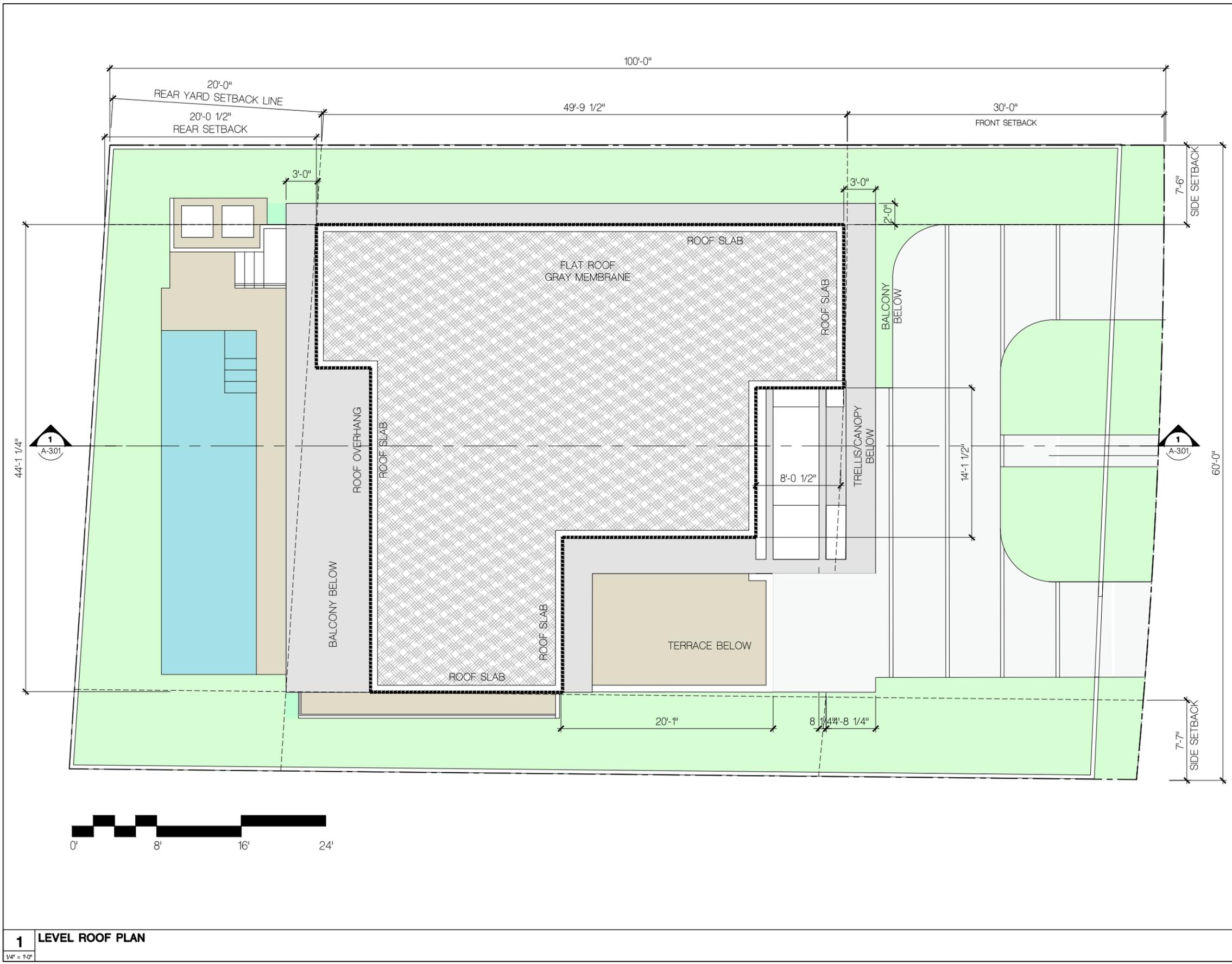
Signature _____ Date _____
 NO. REVISION DATE BY

DRAWING TITLE
ROOF PLAN

SCALE: 1/4" = 1'-0" DATE: JUNE 14, 2021
 SHEET NUMBER
A-103

FIRST SUBMITTAL

ALTON ROAD



1 LEVEL ROOF PLAN
 1/4" = 1'-0"

FRANKEL BENAYOUN ARCHITECTS INC.
 ARCHITECTS PLANNERS INTERIOR DESIGN
 LICENSE NO. AA-0001494
 MARKUS A. FRANKEL
 LICENSE NO. AR0007143
 IFHAT BENAYOUN FISHMAN
 LICENSE NO. AR0017273

1177 KANE CONCOURSE, SUITE 120
 BAY HARBOR ISLANDS, FLORIDA 33154
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 E. MAIL: INFO@FRANKELBENAYOUN.COM

STRUCTURAL ENG.
 MEP ENG.

LANDSCAPE ARCH.
GEOMANTIC DESIGNS, INC.
 LANDSCAPE ARCHITECTS
 ROBERT PARSLEY A.S.L.A.

OWNER / DEVELOPER
SUNNY BAY INVESTORS, LLC
 1111 KANE CONCOURSE, SUITE
 BAY HARBOR ISLANDS, FLORIDA 33564
 PHONE: 305-XXX-XXXX

4136 ALTON ROAD
 NEW SINGLE FAMILY
 4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

4136 ALTON ROAD
 NEW SINGLE FAMILY
 4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

4136 ALTON ROAD
 NEW SINGLE FAMILY
 4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

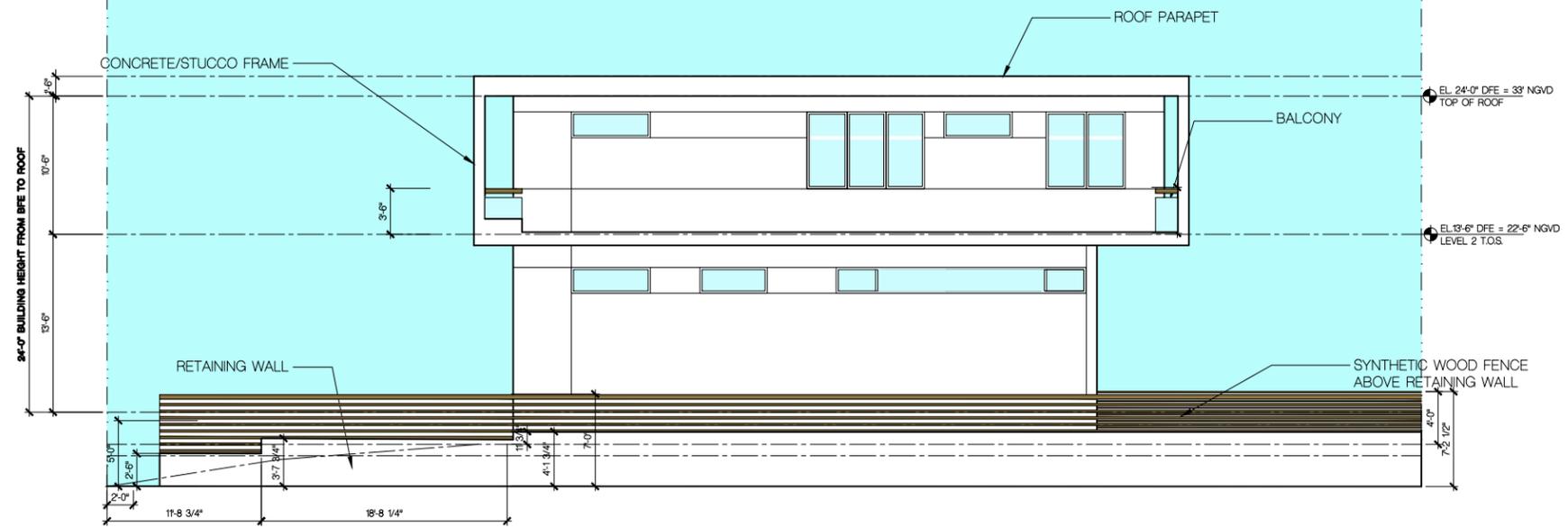
Ifhat Benayoun Fishman
 Digitally signed by Ifhat Benayoun Fishman
 Date: 2021.07.02 10:29:40 -04'00'

NO.	REVISION	DATE	BY

DRAWING TITLE
NORTH & EAST ELEVATIONS
 SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
 SHEET NUMBER
A-2.01
 FIRST SUBMITTAL



1 EAST ELEVATION



2 NORTH ELEVATION



FRANKEL BENAYOUN ARCHITECTS INC.
 ARCHITECTS PLANNERS INTERIOR DESIGN

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 IFHAT BENAYOUN FISHMAN
 LICENSE NO. AR0017273

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LANDSCAPE ARCH.
GEOMANTIC DESIGNS, INC.
 LANDSCAPE ARCHITECTURE
 ROBERT PARSLEY A.S.L.A.

6800 S.W. 41 STREET MIAMI, FL. 33143
 PHONE: 305-467-7400 FAX: 305-468-8420

OWNER / DEVELOPER
SUNNY BAY INVESTORS, LLC
 1111 KANE CONCOURSE, SUITE
 BAY HARBOR ISLANDS, FLORIDA 33154
 PHONE: 305-XXX-XXXX

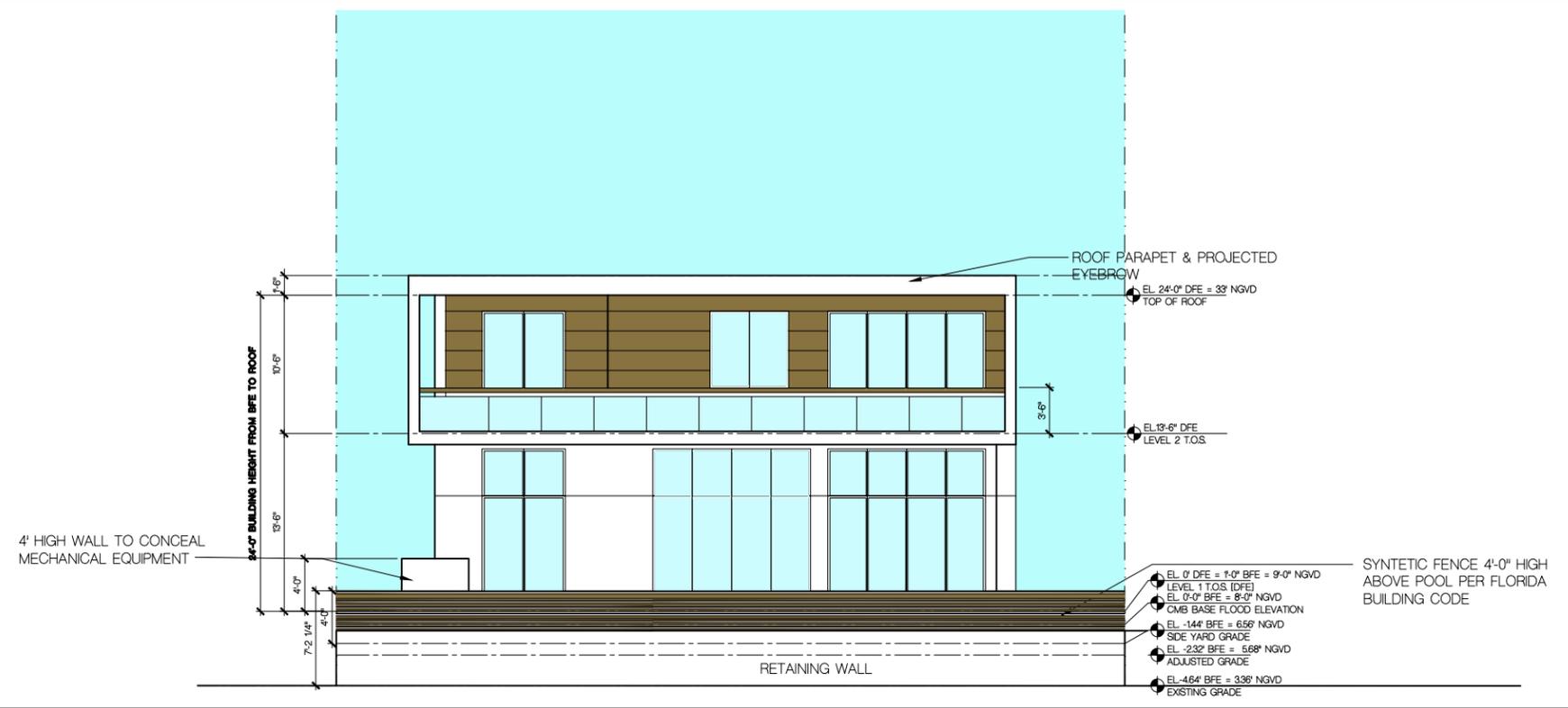
4136 ALTON ROAD
 NEW SINGLE FAMILY
4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

lfhat Benayoun Fishman
 Digitally signed by lfhat Benayoun Fishman
 Date: 2021.07.02 10:30:01 -04'00'

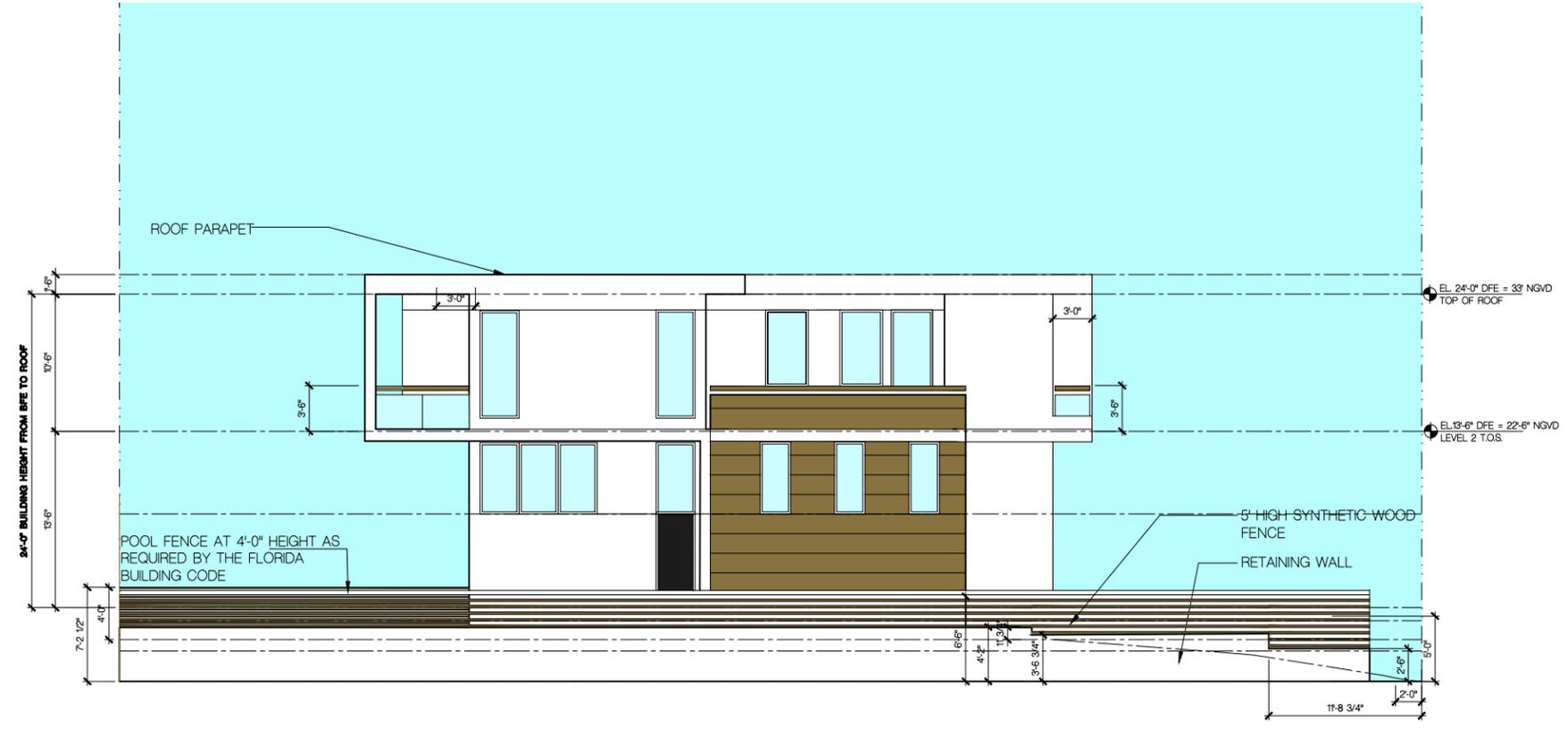
NO.	REVISION	DATE	BY

DRAWING TITLE
SOUTH & WEST ELEVATIONS

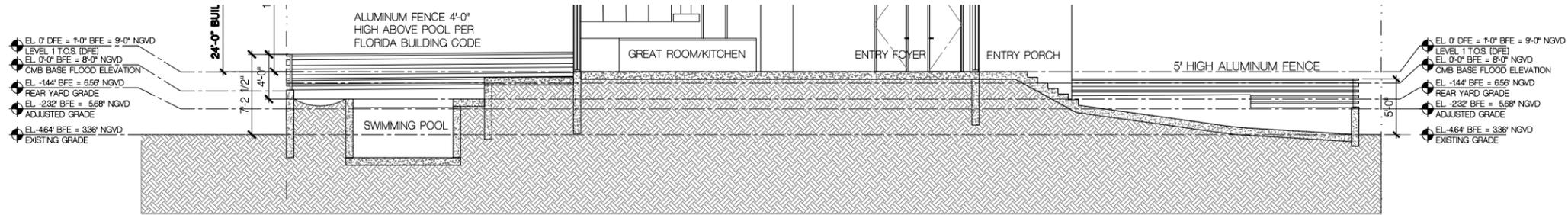
SCALE: # JUNE 14, 2021
 SHEET NUMBER
A-2.02
 FIRST SUBMITTAL



1 WEST ELEVATION
 3/16" = 1'-0"
 0' 8' 16' 24'



2 SOUTH ELEVATION
 3/16" = 1'-0"
 0' 8' 16' 24'



FRANKEL BENAYOUN ARCHITECTS INC.
 ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-0001494
 MARKUS A. FRANKEL
 LICENSE NO. AR0007143
 IFHAT BENAYOUN FISHMAN
 LICENSE NO. AR0017273

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MEP ENG.

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 ROBERT PARKLEY A.S.L.A.

6800 N.W. 41 STREET MIAMI, FL. 33147
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 1111 KANE CONCOURSE, SUITE
 BAY HARBOR ISLANDS, FLORIDA 33154
 PHONE: 305-XXX-XXXX

4136 ALTON ROAD
 NEW SINGLE FAMILY
4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

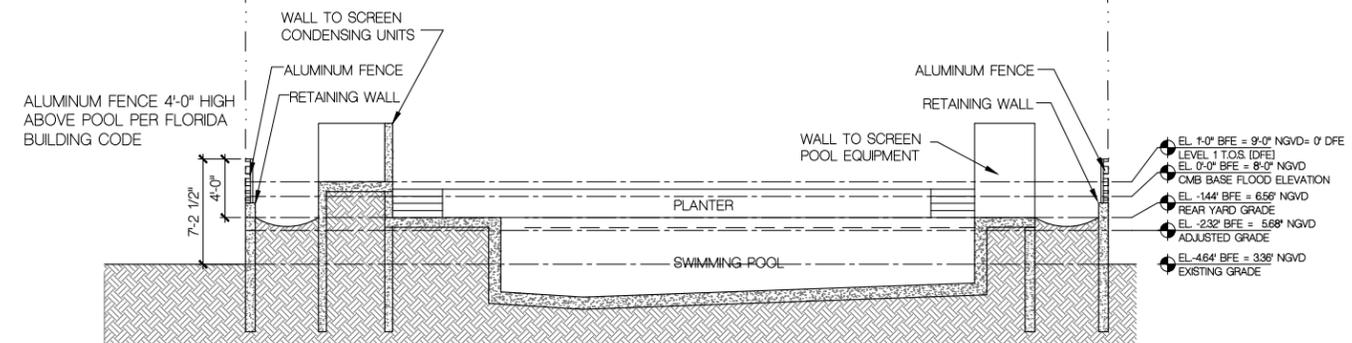
lfhat Benayoun Fishman
 Digitally signed by lfhat Benayoun Fishman
 Date: 2021.07.02 10:30:26 -04'00'

NO.	REVISION	DATE	BY

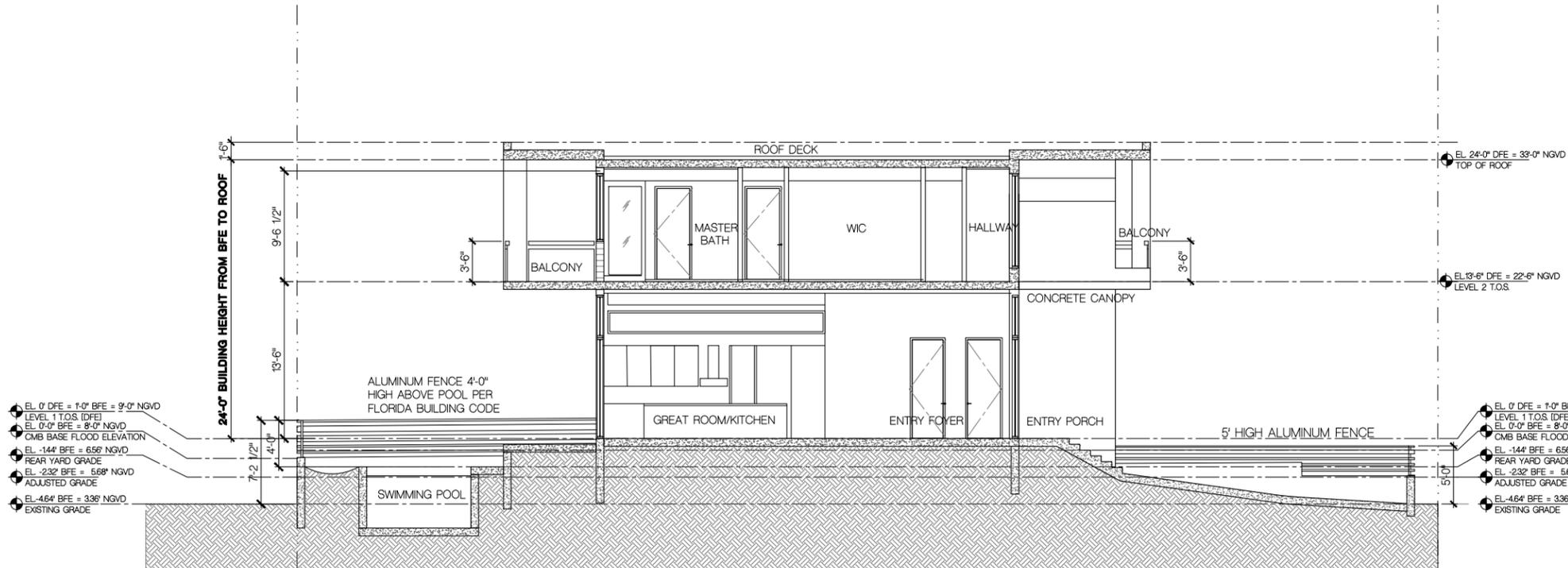
DRAWING TITLE
SECTIONS

SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
 SHEET NUMBER
A-3.01
 FIRST SUBMITTAL

3 EAST - WEST YARD SECTION

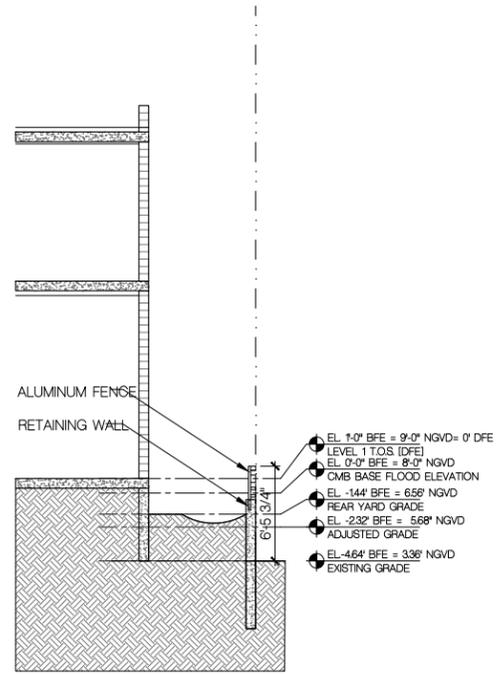


2 NORTH-SOUTH YARD SECTION



1 BUILDING SECTION

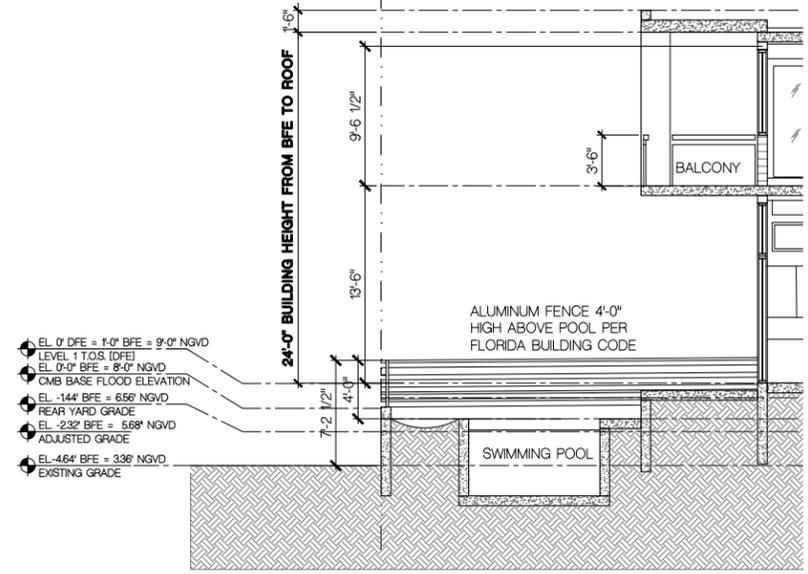




1 SIDE YARD SECTION - NORTH



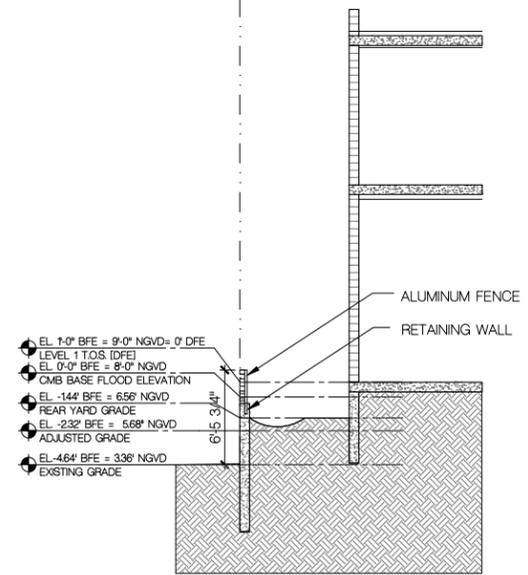
3/16" = 1'-0"



2 REAR YARD SECTION - WEST



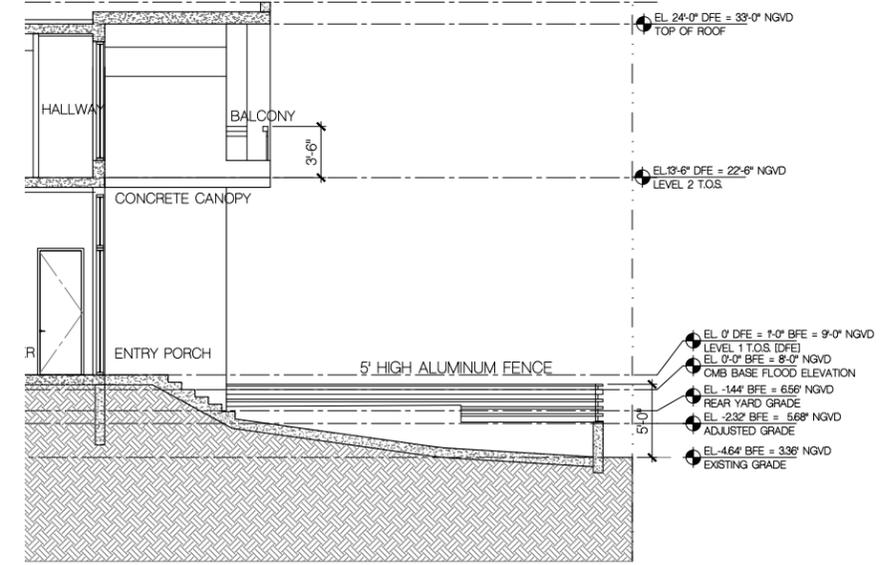
3/16" = 1'-0"



3 SIDE YARD SECTION - SOUTH



3/16" = 1'-0"



4 FRONT YARD SECTION - EAST



3/16" = 1'-0"

FRANKEL BENAYOUN
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-0001494
MARKUS A. FRANKEL
LICENSE NO. AR0007143
IFHAT BENAYOUN FISHMAN
LICENSE NO. AR0017273

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MEP ENG.

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DESIGNS, INC.
LANDSCAPE ARCHITECTURE
ROBERT PARSLEY A.S.L.A.

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1111 KANE CONCOURSE, SUITE
BAY HARBOR ISLANDS, FLORIDA 33564
PHONE: 305-XXX-XXXX

4136 ALTON ROAD
NEW SINGLE FAMILY
4136 ALTON ROAD
MIAMI BEACH, FLORIDA

Ifhat Benayoun n Fishman
Digitally signed by Ifhat Benayoun Fishman
Date: 2021.07.02 10:30:49 -04'00'

NO.	REVISION	DATE	BY

DRAWING TITLE
SIDE YARD SECTIONS

SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021

SHEET NUMBER
A-3.02

FIRST SUBMITTAL



DRIVEWAY: CONCRETE WITH RIVER ROCK INSERTS



DRIVEWAY & STEPPING STONES: CONCRETE WITH RIVER ROCK INSERTS



ALUMINUM GATE AND FENCE ABOVE RETAINING WALL



WOOD TRELLIS & BUILT IN BBQ



WOOD CEILING UNDER ROOF OVERHANGS



SYNTHETIC WOOD CLADDING

FRANKEL BENAYOUN ARCHITECTS INC.
 ARCHITECTS PLANNERS INTERIOR DESIGN
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 IFHAT BENAYOUN FISHMAN
 LICENSE NO. AR0017273

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 PHONE: 305-XXX-XXXX

4136 ALTON ROAD
 NEW SINGLE FAMILY
4136 ALTON ROAD
 MIAMI BEACH, FLORIDA

Ifhat Benayoun Fishman
 Digitally signed by Ifhat Benayoun Fishman
 Date: 2021.07.02 10:31:17 -04'00'

NO.	REVISION	DATE	BY

DRAWING TITLE
SAMPLE BOARD

SCALE DATE
 JUNE 14, 2021

SHEET NUMBER
A-4.01
 FIRST SUBMITTAL

