

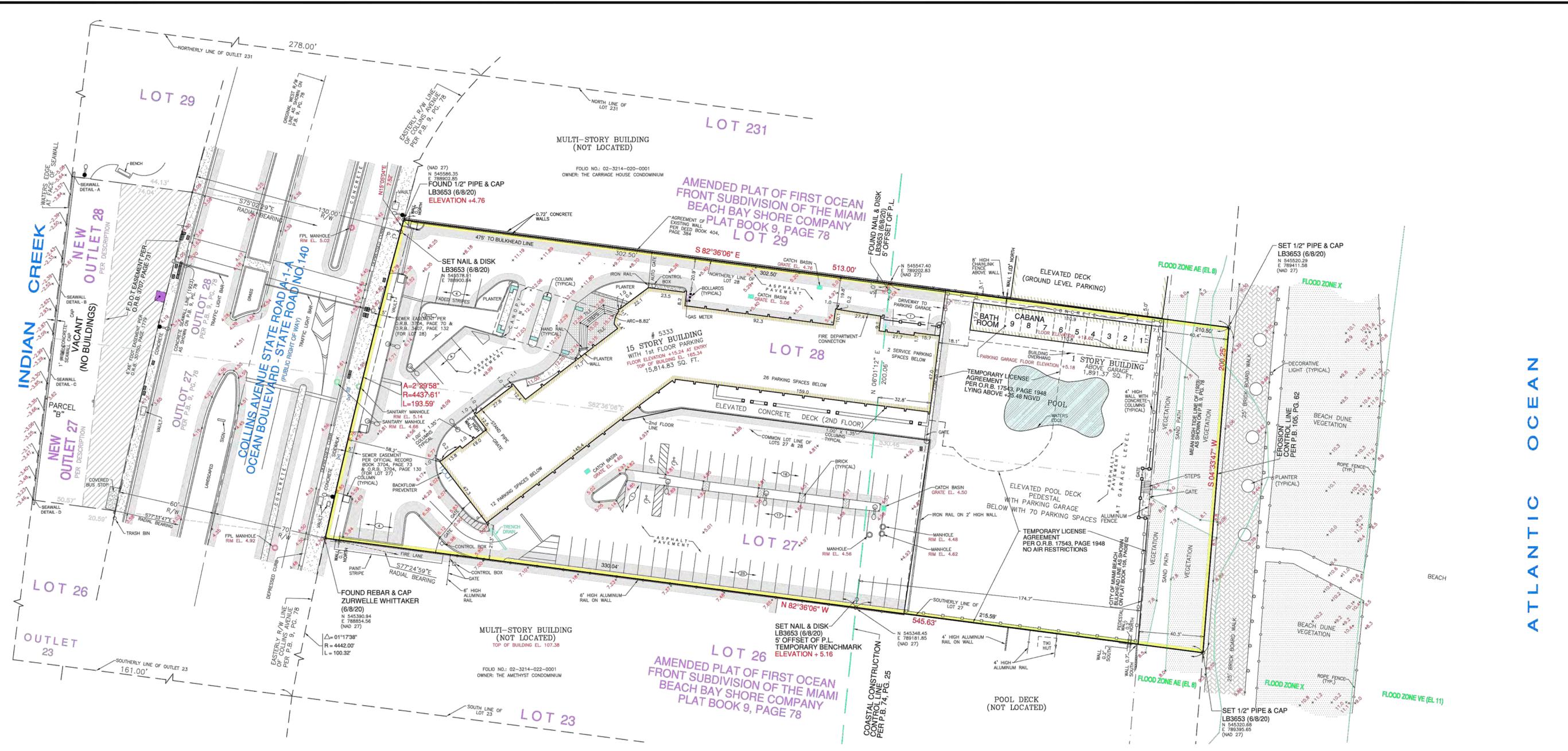
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No.	O.N.	Revision Description

FORTIN, LEAVY, SKILES, INC.
 CONSULTING ENGINEERS, SURVEYORS & MAPPERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
 180 Northeast 168th Street / North Miami Beach, Florida, 33162
 Phone: 305-653-4493 / Fax: 305-651-7152 / Email: fls@flsurvey.com

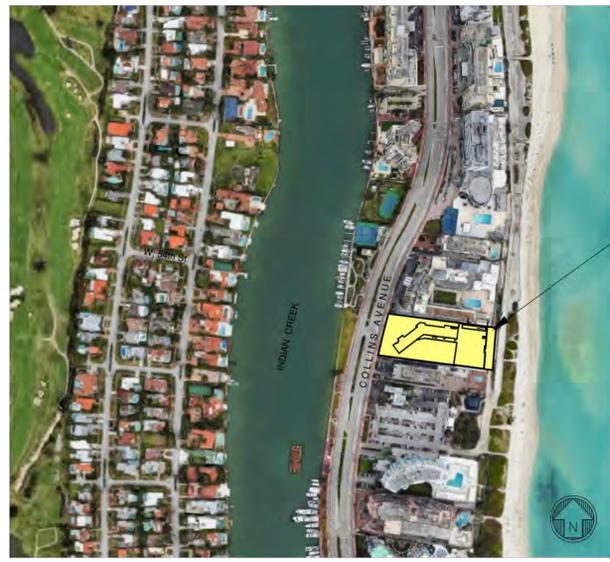
BOUNDARY & TOPOGRAPHIC SURVEY
 5333 COLLINS AVENUE - LA COSTA
 CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date	5/5/21
Scale	1"=30'
Drawn By	DWF
CAD No.	981365
Plotted	5/19/21 2:18p
Ref. Dwg.	2020-068
Field Book	F.S. - TMC
Job No.	210382
Dwg. No.	2020-068-NGVD
Sheet	1 of 1



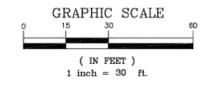
LEGEND

	— CHW —	OVERHEAD UTILITY WIRE
	— X —	CHAIN LINK FENCE
	— L —	LIMITED ACCESS RIGHT-OF-WAY LINE
	— C —	0.5' CURB
	— 2.00' —	CURB & GUTTER
	EL.	ELEVATION
	INV.	INVERT
	B.O.S.	BOTTOM OF STRUCTURE
	T.O.B.	TOP OF BAFFLE
	P.B.	PLAT BOOK PG. = PAGE
	O.R.B.	OFFICIAL RECORDS BOOK
	CONC.	CONCRETE
	ASP.	ASPHALT PAVEMENT
	R/W	RIGHT-OF-WAY
	C.L.	CENTER LINE
	M	MONUMENT LINE
	— S —	SIGN



LOCATION SKETCH
 NOT TO SCALE

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SURVEYOR'S NOTES:

- This site lies in Section 14, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- Miami-Dade County, Florida was formerly known as Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of S82°36'06"E for the Northerly line of Lot 28, and evidenced by a found 1/2" pipe and cap and set 1/2" pipe & cap.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. E-313-R, Elevation +4.04 Located at 53 Street and Highway A-1-A.
- Lands shown hereon are located within an area having a Zone Designation AE (EL 8) & X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0328L for Community No. 12051, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon contains 106,015 square feet, or 2.434 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Pursuant to Florida State Statutes in Chapter 161.181, it designates that an upland property landward of the established Erosion Control Line shall remain the property of the upland owner.
- Legal description shown hereon based on information furnished by client and no claims as to ownership are made or implied.

LEGAL DESCRIPTION:
PARCEL A:
 Lots 27 and 28, of Amended Plat of First Ocean Front Subdivision of the Miami Beach Bay Shore Company, according to the Plat thereof, as recorded in Plat Book 9, Page 78, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S CERTIFICATION:
 I hereby certify that this "Boundary and Topographic Survey" was made under my responsible charge on May 5, 2021, and meets the applicable codes as set forth in the Florida Instrument Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on May 5, 2021.

Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below

FORTIN, LEAVY, SKILES, INC., LB3653
 Digitally signed by Daniel C Fortin
 DN: c=US, o=Unaffiliated, ou=A01410D000017402A2Bf42000429
 5B, cn=Daniel C Fortin
 Date: 2021.05.26 21:02:54 -04'00'

PROJECT DATA

5333 COLLINS
PROJECT ADDRESS: 5333 COLLINS AVE
MIAMI BEACH, FL 33140

LEGAL DESCRIPTION

LOTS 27 AND 28, OF AMENDED PLAT OF FIRST OCEAN FRONT SUBDIVISION OF THE MIAMI BEACH BAY SHORE COMPANY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 78, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING/LOT INFORMATION

JURISDICTION: CITY OF MIAMI BEACH
ZONING DESIGNATION: RM-3 RESIDENTIAL MULTIFAMILY, HIGH INTENSITY
FLOOD ZONE: ZONE "AE" (EL 8 FEET NGVD) = (EL 6.44 FEET NAVD)
PARKING DISTRICT: PARKING DISTRICT NO.1
EXISTING LAND USE: HIGH DENSITY MULTI FAMILY RESIDENTIAL (RM-3);
LOT SIZE: 2.434 ACRES (106,015 SF)

SCOPE OF WORK

FULL DEMOLITION OF EXISTING BUILDING AND PARKING LOT.
PROPOSED NEW CONSTRUCTION: 19-STORY MULTI-USE RESIDENTIAL TOWER, GARAGE AND PRIVATE CLUBHOUSE.

BLDG. DATA

Table with 3 columns: BLDG. DATA, REQUIRED/ALLOWED, PROVIDED. Rows include: NUMBER OF STORIES, PROPOSED BUILDING HEIGHT, FREEBOARD, ESTABLISHED B.F.E., DESIGN FLOOD ELEVATION, LOBBY FINISHED FLOOR ELEVATION, NUMBER OF UNITS PROPOSED, MINIMUM UNIT SIZE.

LOT DATA

Table with 3 columns: LOT DATA, REQUIRED/ALLOWED, PROVIDED. Rows include: MINIMUM LOT AREA, MINIMUM LOT WIDTH, MAX F.A.R.

SETBACK REQUIREMENTS

Table with 3 columns: SETBACK REQUIREMENTS, REQUIRED/ALLOWED, PROVIDED. Rows include: AT-GRADE PARKING SETBACKS, SUBTERRANEAN AND PEDESTAL SETBACKS, TOWER SETBACKS.

PARKING DATA

Table with 3 columns: PARKING DATA, REQUIRED/ALLOWED, PROVIDED. Rows include: RESIDENTIAL PARKING REQUIREMENTS, COMMERCIAL PARKING REQUIREMENTS, OFF-STREET LOADING, TOTAL # OF SPACES BEFORE REDUCTION, PARKING REDUCTION, TOTAL # OF SPACES AFTER REDUCTION, ACCESSIBLE, ELECTRIC VEHICLE, PARKING SPACE DIMENSIONS.

F.A.R. SCHEDULE

Large table with columns: Floor, Program, FLOOR AREA (FAR), GROSS AREA (GSA), CORE AREA (CA), Amenities, Lobby & BOH, Studio, 1BD, 2BD, 3BD, 4BD/5BD, UNIT #, SUB TOTAL, UNITS, TOTAL PROVIDED.

OCEANFRONT OVERLAY REQUIREMENTS

Table with 3 columns: OCEANFRONT OVERLAY REQUIREMENTS, REQUIRED/ALLOWED, PROVIDED. Rows include: ADDITIONAL REGULATIONS FOR OCEANFRONT LOTS, LOT COVERAGE, REAR YARD SETBACK, SIDE SETBACK, MAXIMUM HEIGHT, BULKHEAD LINE SETBACK, PERMITTED ENCLOSED STRUCTURE, FINISHED FLOOR ELEVATION.

DUNE PRESERVATION OVERLAY

Table with 3 columns: DUNE PRESERVATION OVERLAY, REQUIRED/ALLOWED, PROVIDED. Rows include: SIZE AND SPACING, LOT COVERAGE, MINIMUM YARDS, MINIMUM SIDE YARD, MINIMUM YARD FROM EROSION CONTROL LINE, MAXIMUM HEIGHT, MAXIMUM DENSITY, PARKING REGULATION, FINISH FLOOR ELEVATION.

OWNER: 5333 COLLINS ACQUISITIONS, LLC
ARCHITECT OF RECORD: O'DONNELL, DANWOLF AND PARTNERS ARCHITECTS INC.
DESIGN ARCHITECT: O'DONNELL ARCHITECTURE



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KURT DANWOLF LICENSE NUMBER AR50442. USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



PROJECT: 5333 COLLINS

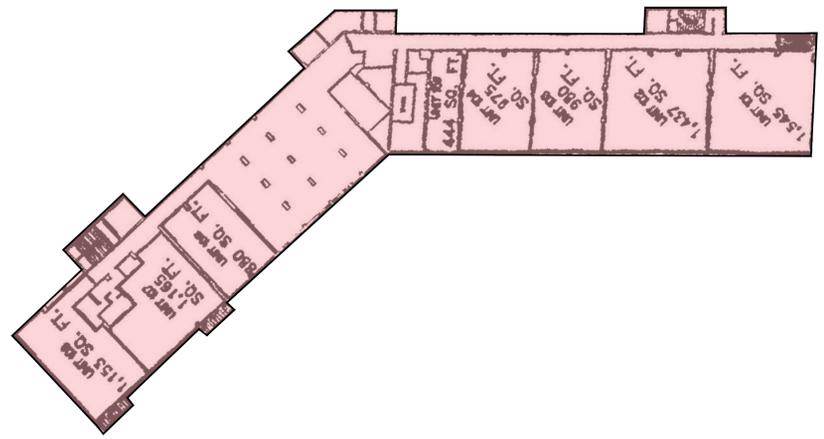
Table with 3 columns: REVISIONS, NO, DATE, DESCRIPTION. Rows include: 06/10/21 DRB - FIRST SUBMITTAL, 07/02/21 DRB - FINAL SUBMITTAL.



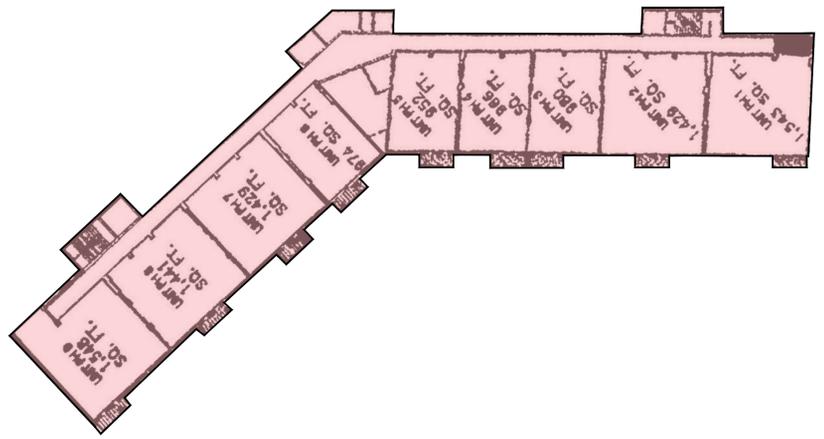
SCALE: 1/8" = 1'-0"
SHEET SIZE: ARCH D (24x36) DO NOT SCALE DRAWINGS.
DATE: 06/11/21
STARTED BY: ODP
DRAWING TITLE:

ZONING DATA SHEET

SHEET NO. A-004



GROUND FLOOR
 FAR LOBBY/BOH = 8,360 SF
 FAR RESIDENCES = 7,569 SF



LEVEL 2 - PH
 FAR RESIDENCES = 16,424 SF

EXISTING F.A.R

F.A.R RESIDENTIAL BUILDING	
LEVEL	AREA (SF)
GROUND LEVEL	15,929 SF
LEVEL 2	16,424 SF
LEVEL 3	16,424 SF
LEVEL 4	16,424 SF
LEVEL 5	16,424 SF
LEVEL 6	16,424 SF
LEVEL 7	16,424 SF
LEVEL 8	16,424 SF
LEVEL 9	16,424 SF
LEVEL 10	16,424 SF
LEVEL 11	16,424 SF
LEVEL 12	16,424 SF
LEVEL 13	16,424 SF
LEVEL 14	16,424 SF
LEVEL PH	16,424 SF
TOTAL F.A.R	229,441 SF



SITE AERIAL
 TOTAL FAR = 229,441 SF

OWNER
 3333 ACQUISITIONS, LLC
 2601 SOUTH BAYWINDS DRIVE, SUITE 600
 COCONUT GROVE, FL 33133
 T: 305.531.2426

ARCHITECT OF RECORD
 O'DONNELL, DANWOLF AND PARTNERS ARCHITECTS INC.
 2432 HOLLYWOOD BOULEVARD
 HOLLYWOOD, FL 33020
 T: 954.938.9833

DESIGN ARCHITECT
 OMAIYAMO ARCHITECTURE
 4896824
 180 VARICK STREET, SUITE 1328
 NEW YORK, NY 10014
 T: +1 212 337 0770



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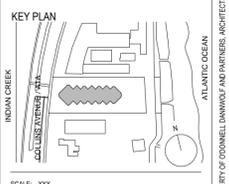


PROJECT
 5333 COLLINS

5333 COLLINS AVE
 MIAMI BEACH, FL 33140

REVISIONS

NO	DATE	DESCRIPTION
06/11/21	DRB - FIRST SUBMITTAL	
07/02/21	DRB - FINAL SUBMITTAL	



SCALE: XXX
 SHEET SIZE: ARCH D (24x36) DO NOT SCALE DRAWINGS.
 DATE: 07/02/2021
 STARTED BY: ODP
 DRAWING TITLE:
EXISTING CONDITIONS & EXISTING FAR DIAGRAMS
 SHEET NO.
A-008

