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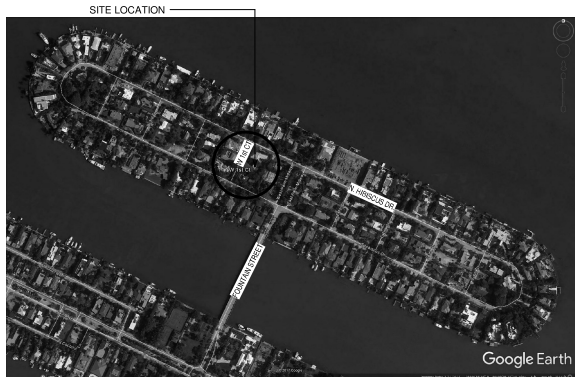
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#### 2 SITE AERIAL

N.T.S.

#### TERMITE STATEMENT:

TERMITE PROTECTION SHOULD BE APPLIED TO SOIL A PER FBC 9409.13.5 AND R318. UPON COMPLETION OF THE APPLICATION, OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

#### 3 TERMITE STATEMENT

N.T.S.

#### FOLIO:

02-3232-005-0300

#### LEGAL DESCRIPTION

HIBISCUS ISLAND RESUB PB 34-87 LOT 3 BLK N  
SIZE 78.00 X 125.00

#### CURRENT OCCUPANCY - NOT AFFECTED BY SCOPE OF WORK

R-3 - SINGLE FAMILY RESIDENCE

#### CURRENT USE - NOT AFFECTED BY SCOPE OF WORK

RESIDENTIAL - SINGLE FAMILY RESIDENCE

#### ZONING DESIGNATION:

RS-4

#### BASE FLOOD ELEVATION:

10.00 FEET NGVD

#### DESIGN FLOOD ELEVATION:

15.00 FEET NGVD

#### PROPOSED RESIDENCE FIN. FLOOR:

16.00 FEET NGVD

#### GRADE:

ESTABLISHED GRADE: 5.42 FEET NGVD (CROWN OF ROAD AVERAGE - NO SIDEWALK)  
ADJUSTED GRADE: 7.71 FEET NGVD

#### EXISTING LOT AREA - NOT AFFECTED BY SCOPE OF WORK:

EXISTING..... 9,750 S.F. (0.224 ACRES)

#### LOT COVERAGE:

ALLOWED..... 2,925.00 S.F. (30.0% OF TOTAL SITE)  
PROVIDED..... 2,837.00 S.F. (29.10% OF TOTAL SITE)  
(INCLUDES 2ND FLOOR PROJECTIONS, COURTYARDS)

#### FIRST FLOOR TO SECOND FLOOR RATIO:

ALLOWED..... TOTAL AREA OF SECOND FLOOR VOLUME NOT TO EXCEED 70.0% OF TOTAL AREA OF FIRST FLOOR VOLUME PROVIDED

TOTAL FIRST FLOOR VOLUME..... 3,673.00 S.F.  
TOTAL SECOND FLOOR VOLUME..... 2,303.00 S.F. (62.7% OF FIRST FLOOR)  
TOTAL VOLUME..... 5,976.00 S.F.  
(INCLUDES COVERED PATIOS UNDER ROOF)

#### UNIT SIZE:

ALLOWED..... 4,875.00 S.F. (50.0% OF TOTAL SITE)  
PROVIDED UNIT SIZE..... 4,871.00 S.F. (49.96% OF TOTAL SITE)  
(INCLUDES COURTYARDS; EXCLUDES COVERED TERRACES WITH LESS THAN 10' PROJECTIONS)

#### No. OF STORIES:

2 - STORY

#### BUILDING HEIGHT:

ALLOWED..... 24'-0" TO TOP OF STRUCTURAL SLAB FROM D.F.E.  
PROVIDED..... 24'-0" TO TOP OF STRUCTURAL SLAB FROM D.F.E.

#### 4 SITE INFORMATION

N.T.S.

- 1- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 723. FBCR 302.9
- 2- FOAM PLASTIC TO HAVE A FLAME-SPREAD INDEX NOT MORE THAN 75, SMOKE-DEVELOPED INDEX NOT MORE THAN 450 AS PER ASTM E-84 OR UL 723. FBCR 316
- 3- FOAM PLASTIC INSULATION SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER AS PER FBCR 314.4 THRU 314.5.4 AND FBCR 316.4.
- 4- INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 723. FBCR 302.10
- 5- A 6 MIL POLYETHYLENE (OR APPROVED EQUAL) VAPOR RETARDER SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE OR SUB GRADE. FBCR 506.2.3
- 6- ALL FOAM PLASTIC ELEMENTS SHALL COMPLY WITH FBCR 316.
- 7- AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE AT OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS BETWEEN AND 1/4" AND 1/2" AS PER FBCR 303.5.

#### PROJECT REQUIREMENTS

N.T.S.

- THE OWNERS ARE PROPOSING A NEW GROUND UP 2-STORY RESIDENCE:

- 3 BEDROOM
- 4 1/2 BATH
- FRONT AND REAR COVERED PATIOS
- DEN
- FAMILY ROOM
- POOL
- NEW RESIDENTIAL ELEVATOR
- NEW SPIRAL STAIR FROM GRADE TO ROOFTOP DECK

TOTAL PROPOSED GROSS CONSTRUCTION AREA: 9,947 S.F.

#### APPLICABLE CODES:

WORK PERFORMED SHALL COMPLY WITH THE 2014 FLORIDA BUILDING CODE, 5TH EDITION & 2014 FLORIDA BUILDING CODE RESIDENTIAL, INCLUDING ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.

#### SCOPE OF WORK

N.T.S.

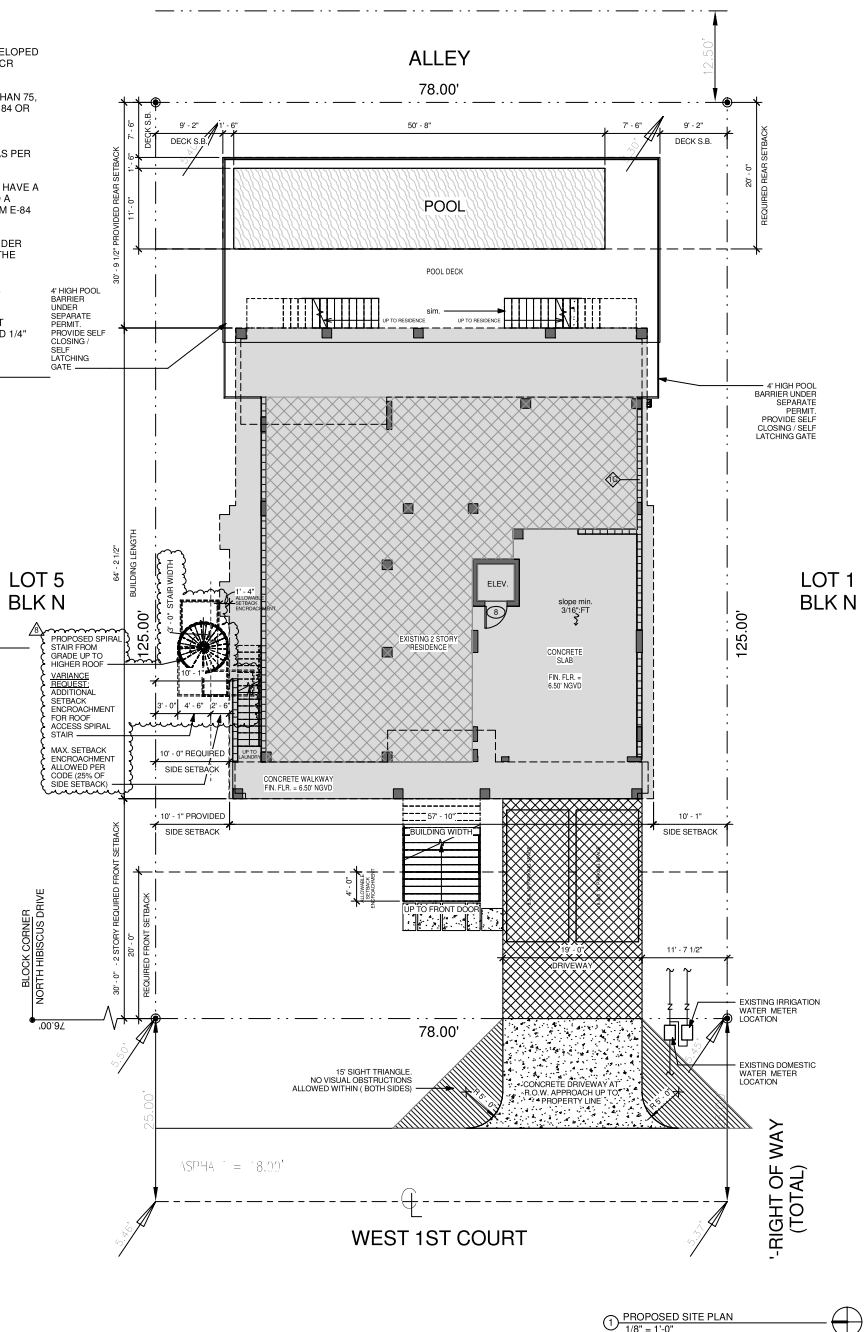
A. FLOOD ZONE.....	AE
B. BASE FLOOD ELEVATION (BFE).....	10.00' NGVD
C. DESIGN FLOOD ELEVATION (DFE).....	15.00' NGVD
D. LOWEST F.F.E. PROVIDED (HABITABLE SPACE).....	16.00' NGVD
E. LOWEST F.F.E. PROVIDED (STAIRS - NON HABITABLE).....	6.50' NGVD
F. LOWEST GRADE ELEV. ADJ. TO BLDG.....	5.30' NGVD
G. HIGHEST GRADE ELEV. ADJ. TO BLDG.....	5.50' NGVD
H. LOWEST ELEVATION OF EQUIPMENT.....	ON ROOF
I. CROWN OF ROAD ELEVATION.....	5.42' NGVD
J. ADJUSTED GRADE ELEVATION.....	7.71' NGVD
K. FIRM MAP No.....	12085C0316L

#### FLOOD MANAGEMENT NOTES:

1. ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION (BFE + 5.00' 15.00' NGVD) SHALL BE FLOOD-DAMAGE RESISTANT MATERIAL.
2. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION (BFE + 5.00' 15.00' NGVD).  
2A. ALL ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS; HEATING, VENTILATION, AIR CONDITIONING; PLUMBING APPLIANCES AND PLUMBING FIXTURES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ETC.) SHALL BE LOCATED AT OR ABOVE DESIGN FLOOD ELEVATION (+15.00' NGVD)
3. UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AND ELEVATION CERTIFICATE SHALL BE SUBMITTED.
4. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE BEING ISSUED A CO. TOO OR PCO.
5. ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATION (+15.00' NGVD) SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE.

#### FLOOD MANAGEMENT INFORMATION

N.T.S.



**rmethod**  
r-method, inc. #A4280002053  
residential + retail  
architecture  
1522 SW 13th Court  
Pompano Beach, Florida 33069  
einfo@r-method.net p | 305.914.5355

Architect Seal



Designed by  
Jose Ruben Jimenez  
2022-04-2021.08.16  
12:12:53 -0400'  
FLORIDA REGISTERED ARCHITECT  
No. AR-84863

Submittal / Revision No.	Date
FOR PERMITTING	11/15/17
▲ Bldg Dept. Comments	01/19/18
▲ Bldg Dept. Comments	03/13/18
▲ Owner Revisions	07/30/19
▲ Const. Coord/Owner Revisions	1/29/20
▲ Const. Coord/Owner Revisions	3/26/20
▲ PW Comments for Revisions	6/23/20
▲ Owner for Revisions	2/04/21
▲ Special Star Variance Submittal (08/18/21)	

NEW SINGLE FAMILY RESIDENCE AT:  
**117 W. 1st COURT**  
**MIAMI BEACH, FL.**

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Project Number

17-0701

Date

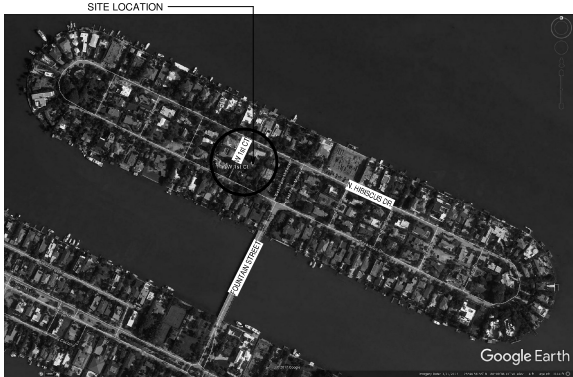
11-15-17

Drawing Name

Proposed Site Plan

Sheet Number

SP 100



2 SITE AERIAL  
N.T.S.

**FOIAD:**  
02-3532-005-0300

**LEGAL DESCRIPTION**  
HIBISCUS ISLAND RESUB PB 34-87 LOT 3 BLK N  
SIZE 78.00 X 125.00

**CURRENT OCCUPANCY:** - NOT AFFECTED BY SCOPE OF WORK  
R-3 - SINGLE FAMILY RESIDENCE

**CURRENT USE:** - NOT AFFECTED BY SCOPE OF WORK  
RESIDENTIAL - SINGLE FAMILY RESIDENCE

**ZONING DESIGNATION:**  
RS-4

**BASE FLOOD ELEVATION:**  
10.00 FEET NGVD

**DESIGN FLOOD ELEVATION:**  
15.00 FEET NGVD

**PROPOSED RESIDENCE FIN. FLOOR:**  
16.00 FEET NGVD

**PROPOSED PARKING AREA FIN. FLOOR:**  
6.50 FEET NGVD

**GRADE:**  
ESTABLISHED GRADE: 5.42 FEET NGVD ( CROWN OF ROAD AVERAGE -NO SIDEWALK)  
ADJUSTED GRADE: 7.71 FEET NGVD

**EXISTING LOT AREA - NOT AFFECTED BY SCOPE OF WORK:**  
EXISTING..... 9,750 S.F. ( 0.224 ACRES )

**LOT COVERAGE:**  
ALLOWED..... 2,925.00 S.F. ( 30.0% OF TOTAL SITE)  
PROVIDED..... 2,865.00 S.F. ( 29.4% OF TOTAL SITE)  
( INCLUDES 2ND FLOOR PROJECTIONS, COURTYARDS )

**FIRST FLOOR TO SECOND FLOOR RATIO:**  
ALLOWED..... TOTAL AREA OF SECOND FLOOR VOLUME NOT TO EXCEED 70.0% OF TOTAL  
AREA OF FIRST FLOOR VOLUME PROVIDED

TOTAL FIRST FLOOR VOLUME ..... 3,673.00 S.F.  
TOTAL SECOND FLOOR VOLUME ..... 2,303.00 S.F. ( 62.7% OF FIRST FLOOR)  
TOTAL VOLUME ..... 5,976.00 S.F.  
( INCLUDES COVERED PATIOS UNDER ROOF )

**UNIT SIZE:**  
ALLOWED..... 4,875.00 S.F. ( 50.0% OF TOTAL SITE)  
PROVIDED UNIT SIZE ..... 4,867.00 S.F. ( 49.92% OF TOTAL SITE)  
( INCLUDES COURTYARDS; EXCLUDES COVERED TERRACES WITH LESS THAN 10'  
PROJECTIONS )

**No. OF STORIES:**  
2 - STORY

**BUILDING HEIGHT:**  
ALLOWED..... 24'-0" TO TOP OF STRUCTURAL SLAB FROM D.F.E.  
PROVIDED..... 24'-0" TO TOP OF STRUCTURAL SLAB FROM D.F.E.

1 SITE INFORMATION  
N.T.S.

- THE OWNERS ARE PROPOSING A NEW GROUND UP 2-STORY RESIDENCE:  
3 BEDROOM  
4 1/2 BATH  
FRONT AND REAR COVERED PATIOS  
DEN  
FAMILY ROOM  
POOL  
POOL DECK

PROPOSED TOTAL AREA OF NEW CONSTRUCTION: 5,687 S.F.

- WORK PERFORMED SHALL COMPLY WITH THE 2014 FLORIDA BUILDING CODE, 5TH EDITION INCLUDING ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.

3 SCOPE OF WORK  
N.T.S.

#### TERMITE STATEMENT

TERMITE PROTECTION SHOULD BE APPLIED TO SOIL A PER FBC R4409.13.5 AND R318. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

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5 TERMITE STATEMENT  
N.T.S.

A.	FLOOD ZONE.....	AE
B.	BASE FLOOD ELEVATION (BFE).....	10.00' NGVD
C.	DESIGN FLOOD ELEVATION (DFE).....	15.00' NGVD
D.	LOWEST F.F.E. PROVIDED (HABITABLE SPACE).....	16.00' NGVD
E.	LOWEST GRADE ELEV. ADJ. TO BLDG.....	5.30' NGVD
F.	HIGHEST GRADE ELEV. ADJ. TO BLDG.....	5.50' NGVD
G.	LOWEST ELEVATION OF EQUIPMENT.....	ON ROOF
H.	CROWN OF ROAD ELEVATION.....	5.42' NGVD
I.	ADJUSTED GRADE ELEVATION.....	7.71' NGVD
J.	FIRM MAP NO.....	1206510317L

CLASSIFICATION OF STRUCTURE PER ASCE TABLE 1-1.....CATEGORY II

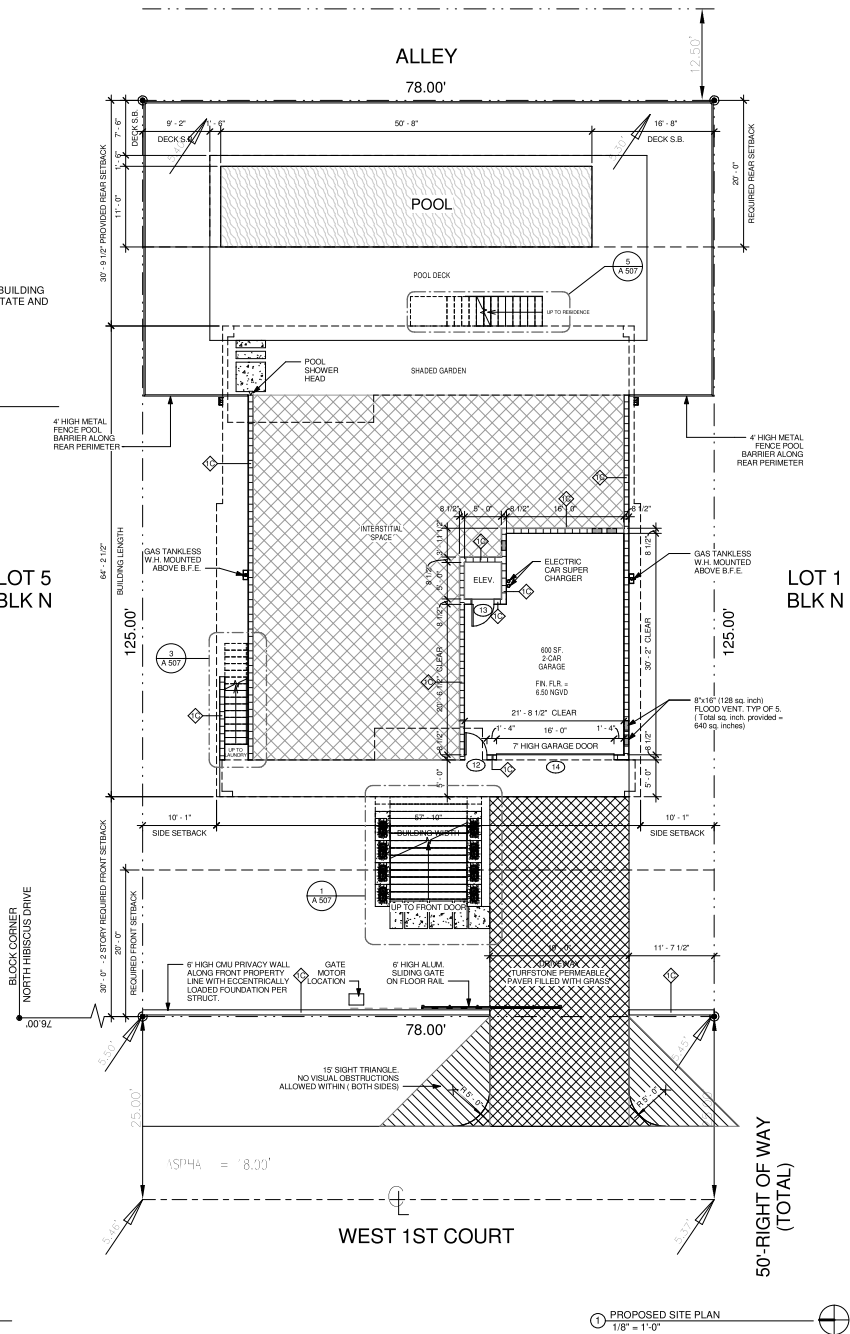
#### FLOOD MANAGEMENT NOTES:

1. ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION ( BFE + 5.00'-15.00' NGVD ) SHALL BE FLOOD-DAMAGE RESISTANT MATERIAL.
2. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION ( BFE + 5.00'-15.00' NGVD ).
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4. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE BEING ISSUED A CO, TOO OR PCO.
5. ENCLOSED AREAS BELOW THE BFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE.

6 FLOOD MANAGEMENT INFORMATION  
N.T.S.

LOT 5  
BLK N

LOT 1  
BLK N



7 PROPOSED SITE PLAN  
1/8" = 1'-0"

NEW SINGLE FAMILY RESIDENCE AT:  
**117 W. 1st COURT  
MIAMI BEACH, FL.**

Project Number  
17-0701  
Date  
11-15-17  
Drawing Name  
Proposed Site Plan

Sheet Number

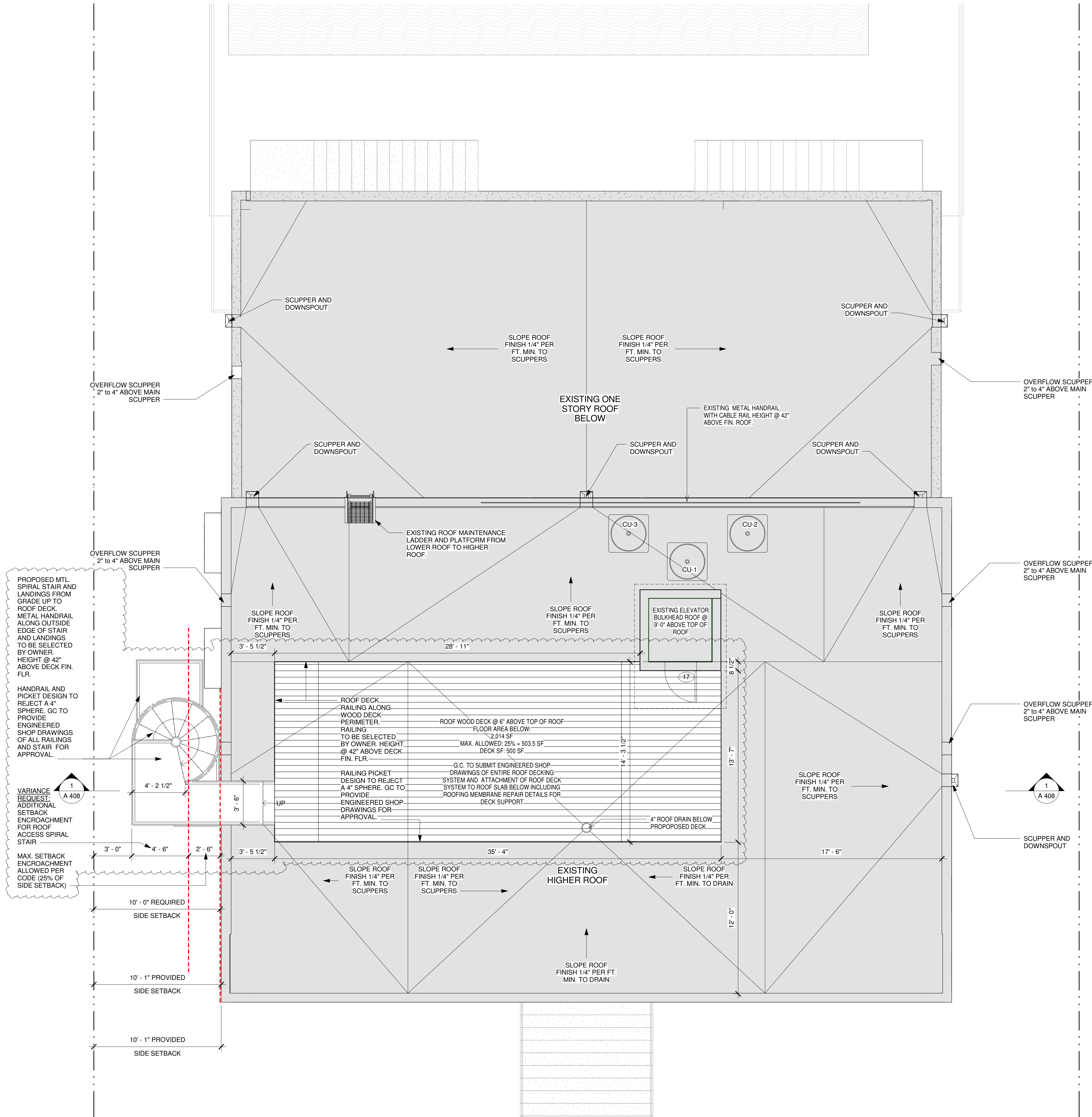
**SP 100**

**rmethod**  
rmethod, inc. #A2680053  
residential + retail  
architecture  
300 Oakwood Lane Suite 100  
Hollywood, Florida 33020  
e info@r-method.net p 305.914.5355

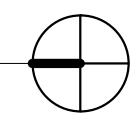
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ORIGINAL SIGNED AND  
EMBOSSED SEAL

POST BUREAU ARCHITECT  
FLORIDA ARCHITECT  
No. AR-16660

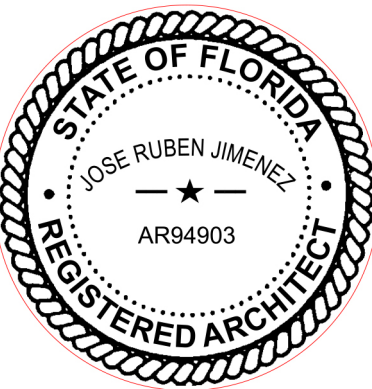
Submit / Revision No. date  
FINAL 00 09 / 12 / 17  
FOR PERMITTING 11 / 15 / 17



1 ROOF PLAN  
1/4" = 1'-0"



Architect Seal



JOSE RUBEN JIMENEZ FLORIDA REGISTERED ARCHITECT No. AR 94903 NOT VALID UNLESS IT BEARS SEAL AND ORIGINAL SIGNATURE	
Submittal / Revision No.	Date
FOR PERMITTING	11 / 15 / 17
1 Bldg Dept. Comments	01 / 19 / 18
2 Bldg Dept. Comments	03 / 13 / 18
3 Owner Revisions	07 / 30 / 19
4 Constr. Coord/Owner Revisions	1 / 29 / 20
5 Constr. Coord/Owner Revisions	3 / 26 / 20
6 PW Comments for Revisions	6 / 23 / 20
7 Owner for Revisions	2 / 04 / 21
8 Spiral Stair Variance Submittal	08 / 16 / 21

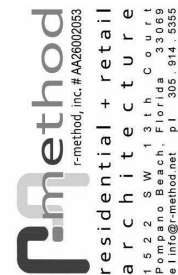
NEW SINGLE FAMILY RESIDENCE AT:  
**117 W. 1st COURT**  
**MIAMI BEACH, FL.**

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Project Number	17-0701
Date	11-15-17
Drawing Name	

**Proposed Roof Plan**

Sheet Number



JOSE RUBEN JIMENEZ FLORIDA REGISTERED ARCHITECT No. RA 94803		
NOT VALID UNLESS IT BEARS SEAL AND ORIGINAL SIGNATURE		
Submital / Revision No.	Date	
FOR PERMITTING	11 / 15 / 17	
Bidg Dept. Comments	01 / 19 / 18	
Bidg Dept. Comments	03 / 13 / 18	
Owner Revisions	07 / 30 / 19	
Const. Coord/Owner Revisions	1 / 29 / 20	
Const. Coord/Owner Revisions	3 / 26 / 20	
PW Comments for Revisions	6 / 23 / 20	
Owner for Revisions	2 / 04 / 21	
Spiral Stair Variance Submittal	06 / 16 / 21	

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Project Number  
17-0701

Date 11.15.17

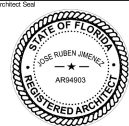
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Drawing Name

## Building Elevations

Sheet Number

A 301



JOSE RUBEN JIMENEZ FLORIDA REGISTERED ARCHITECT NO. AR 94903		
I HAVE UNDERSIGNED THIS SEAL AND ORIGINAL SIGNATURE		
Submittal / Revision No.	Date	
FOR PERMITTING	11 / 15 / 17	
1 Bldg Dept. Comments	01 / 19 / 18	
2 Bldg Dept. Comments	03 / 13 / 18	
3 Owner Revisions	07 / 30 / 19	
4 Constr. Coord/Owner Revisions	1 / 29 / 20	
5 Constr. Coord/Owner Revisions	3 / 26 / 20	
6 PW Comments for Revisions	6 / 23 / 20	
7 Owner for Revisions	2 / 04 / 21	
8 Spiral Stair Variance Submittal	08 / 16 / 21	

**NEW SINGLE FAMILY RESIDENCE AT:  
117 W. 1st COURT  
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APPLICABLE BY THE LAW.

Project Number

Date 11.16.17

## Building Elevations

Sheet Number

A 302

Architect Seal



JOSE RUBEN JIMENEZ  
FLORIDA REGISTERED ARCHITECT  
No. AR-548603

Submital / Revision No.	Date
FOR PERMITTING	11 / 15 / 17
▲ Bldg Dept. Comments	01 / 19 / 18
▲ Bldg Dept. Comments	03 / 13 / 18
▲ Owner Revisions	07 / 30 / 19
▲ Const. Coord/Owner Revisions	1 / 29 / 20
▲ Const. Coord/Owner Revisions	3 / 26 / 20
▲ PW Comments for Revisions	6 / 23 / 20
▲ Owner for Revisions	2 / 04 / 21
▲ Digital Sign Variance Submittal	08 / 16 / 21

NEW SINGLE FAMILY RESIDENCE AT:  
**117 W. 1st COURT  
MIAMI BEACH, FL.**

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Project Number 17-0701

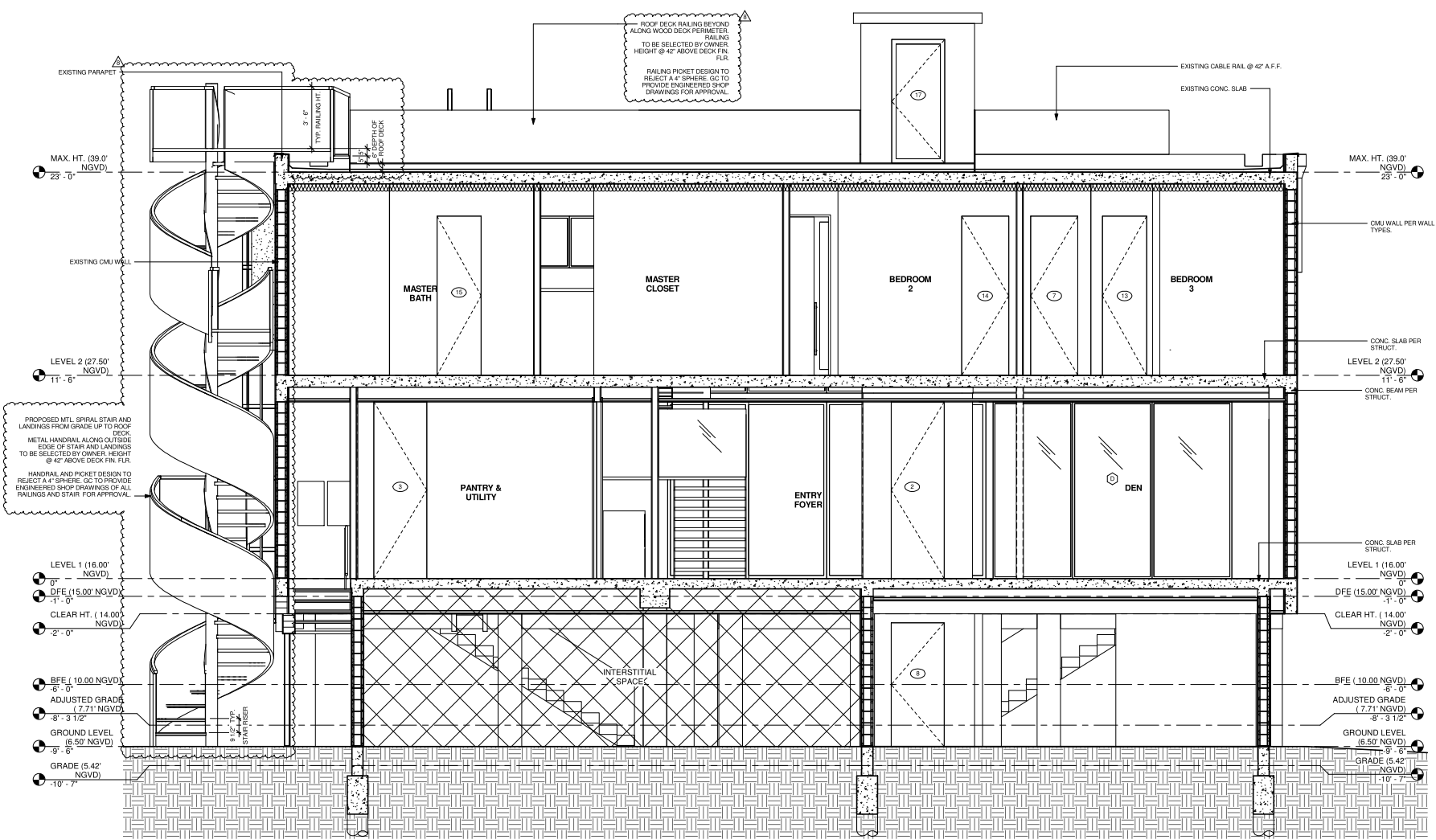
Date 11-15-17

Drawing Name

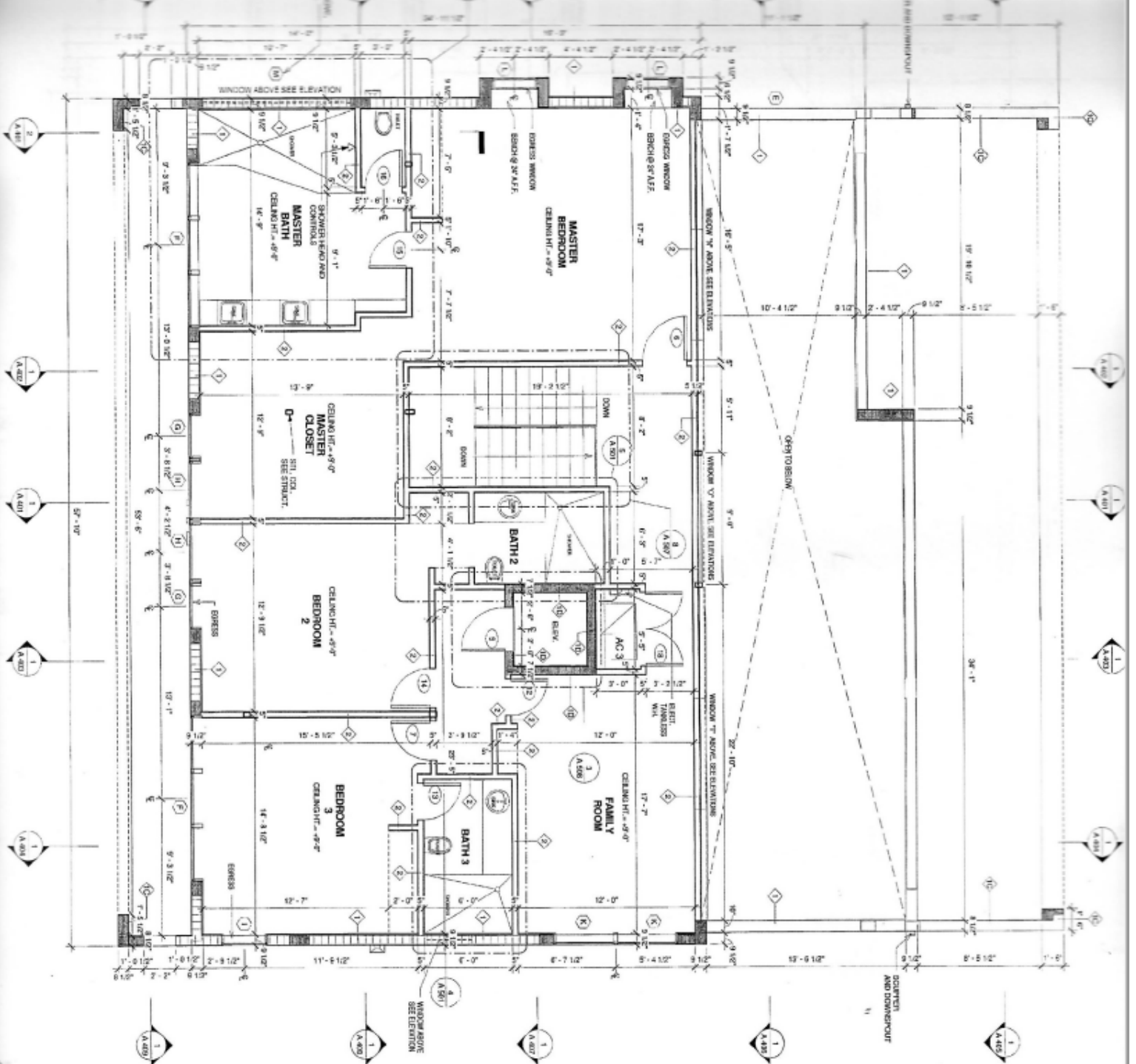
Building Section

Sheet Number

**A 408**



Section 6  
3/8" = 1'-0"



OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
DATE: 07/11/19  
CC: 8-21-19

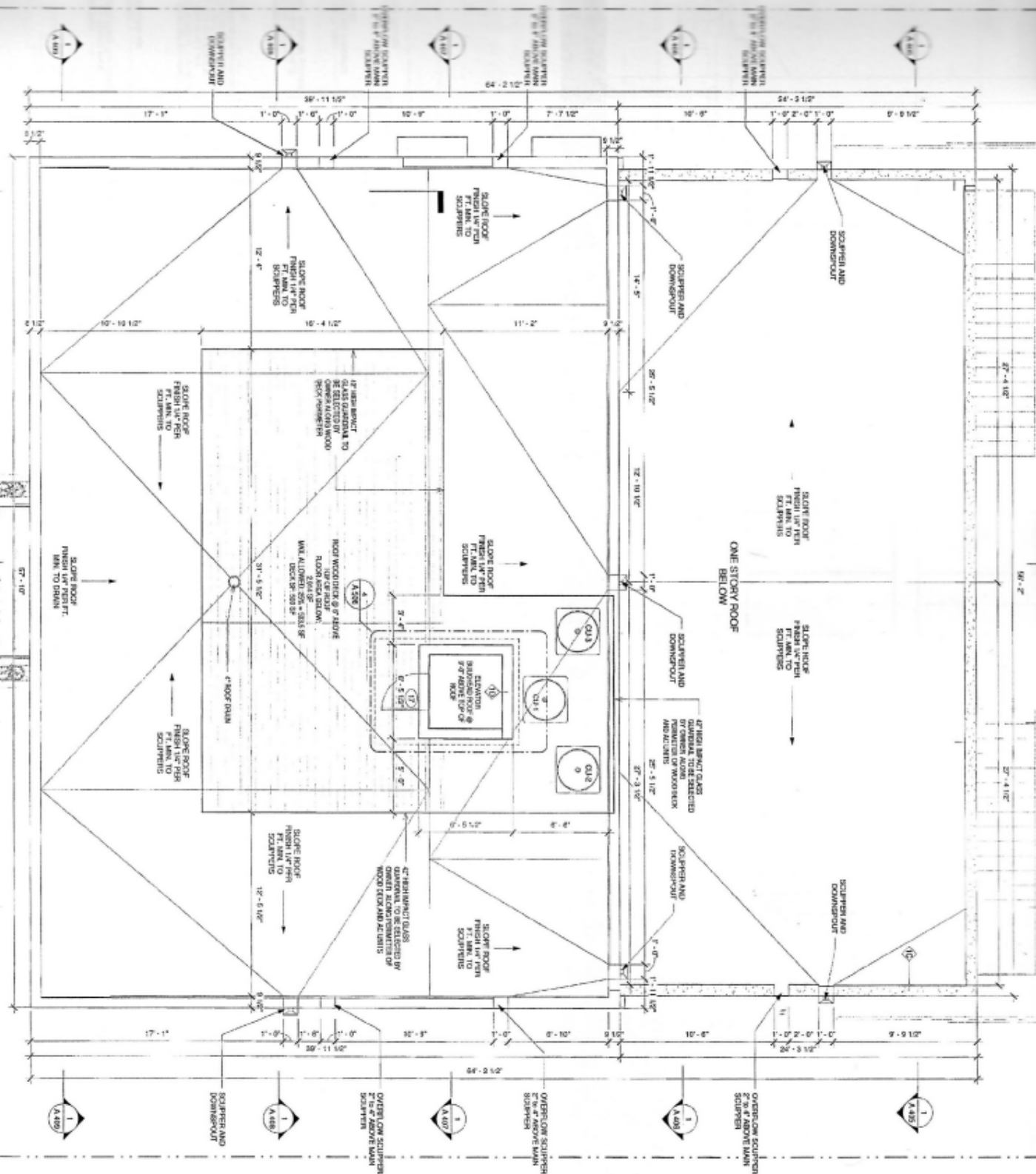
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ZONING: [Signature]  
PLUMBING: [Signature]  
ELECTRICAL: [Signature]  
MECHANICAL: [Signature]  
FIRE PREVENTION: [Signature]  
FLOOD: [Signature]  
HYDRAULIC: [Signature]  
SEWER: [Signature]  
ROADWAYS: [Signature]

NEW SINGLE FAMILY RESIDENCE AT:  
**117 W. 1st COURT**

Architect Seal  
NOT VALID UNLESS IT BEARS AN  
ORIGINAL SIGNATURE AND A  
RADIO  
ENCOMPASSED SEAL

SEAL: [Signature]  
DATE: [Signature]  
FIRM: [Signature]  
FIRM: [Signature]  
FIRM: [Signature]  
FIRM: [Signature]  
FIRM: [Signature]





OFFICE COPY  
 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT 84  
 THE FOLLOWING  
 BUILDING: 23-17-119 CC-8-2-19  
 ZONING: 23-17-119 CC-8-2-19  
 PLUMBING: 23-17-119 CC-8-2-19  
 ELECTRICAL: 23-17-119 CC-8-2-19  
 MECHANICAL: 23-17-119 CC-8-2-19  
 FIRE PROTECTION: 23-17-119 CC-8-2-19  
 FLOOD: 23-17-119 CC-8-2-19  
 PUBLIC WORKS: 23-17-119 CC-8-2-19  
 SIGNAGE: 23-17-119 CC-8-2-19  
 RECORDS: 23-17-119 CC-8-2-19

THIS ROOF PLAN/ANNOTATION  
 WAS REVISIONED  
 11/1/2019

REVIEW IN ALL



