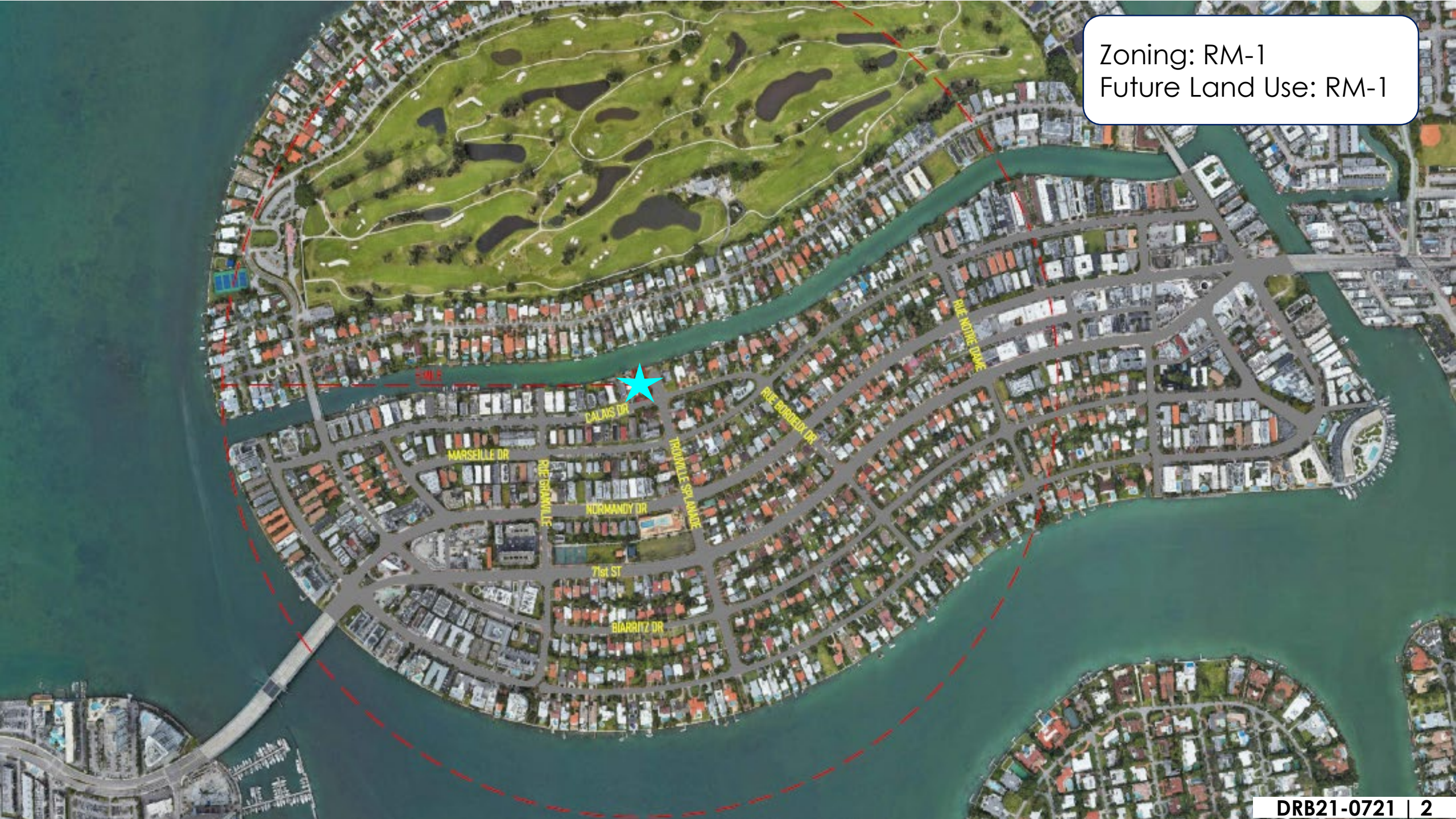


7300 TROUVILLE ESPLANADE



DESIGN REVIEW BOARD MEETING
NOVEMBER 2, 2021

Zoning: RM-1
Future Land Use: RM-1





① 7300 TROUVILLE ESPLANADE



② 7300 TROUVILLE ESPLANADE



③ 7300 TROUVILLE ESPLANADE



④ 7300 TROUVILLE ESPLANADE



⑤ 7300 TROUVILLE ESPLANADE



⑥ 7300 TROUVILLE ESPLANADE



⑦ 7300 TROUVILLE ESPLANADE



⑧ 7300 TROUVILLE ESPLANADE



PHOTOGRAPHS TAKEN 09/01/2021



- | | | | | | | | |
|----------------------|----------------------|------------------------|----------------------|------------------------|------------------------|----------------------|---------------------------|
| ① 1575 CALAIS DR. | ② 1580 CALAIS DR. | ③ 7215 TROUVILLE ESPL. | ④ 1565 MARSEILLE DR. | ⑤ 7218 TROUVILLE ESPL. | ⑥ 7222 TROUVILLE ESPL. | ⑦ 1725 MARSEILLE DR. | ⑧ 1735 MARSEILLE DR. |
| ⑨ 1745 MARSEILLE DR. | ⑩ 1763 MARSEILLE DR. | ⑪ 1760 MARSEILLE DR. | ⑫ 1779 MARSEILLE DR. | ⑬ 1785 MARSEILLE DR. | ⑭ 1791 MARSEILLE DR. | ⑮ 1797 MARSEILLE DR. | ⑯ 1785-1795 MARSEILLE DR. |
| ⑰ 1775 CALAIS DR. | ⑱ 1765 CALAIS DR. | ⑲ 1745 CALAIS DR. | ⑳ 1725 CALAIS DR. | ㉑ 1715 CALAIS DR. | | | |

PHOTOGRAPHS TAKEN 09/13/2021

REQUESTS

- **NON-USE VARIANCE** of Sec. 142.156 - **Front Setback**
- **WAIVER** of Section 142-155(a)(3)e. - **Lot coverage**

MODIFICATION OF VARIANCE REQUEST:

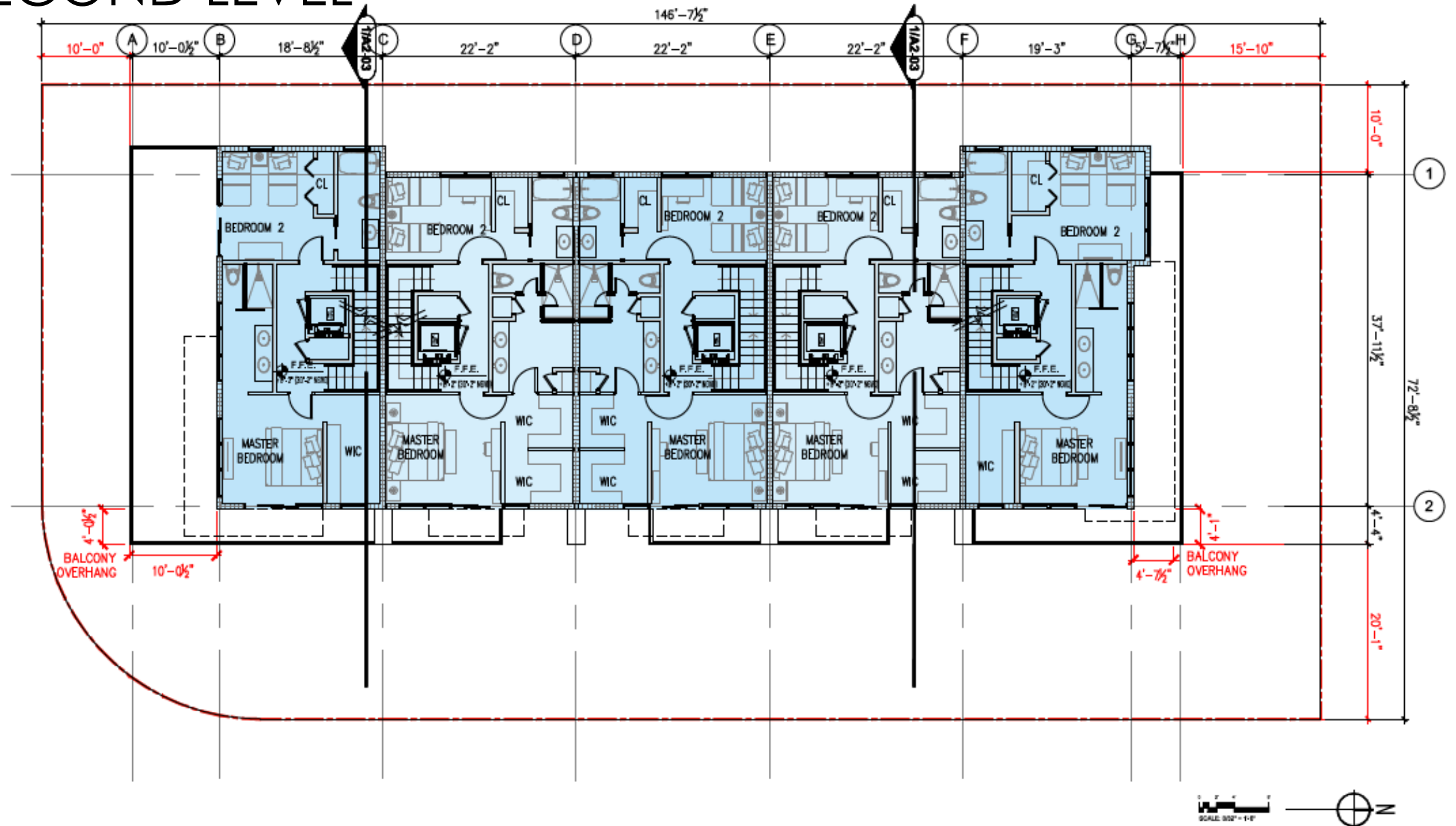
- **WAIVER** of Section 142-155(a)(3)f. - **Ground floor requirements**

This site plan illustrates a five-unit residential building layout. The plan includes setbacks of 10'-0" front, 15'-10" rear, 10'-0" side, and 20'-1" side. The building is divided into five units, each with a garage, foyer, trash room, and F.F.E. (Fire, Flood, and Erosion) area. The plan also shows existing features like a 3" concrete wall, wood deck, and sidewalk. Dimensions for setbacks and building footprint are provided in feet and inches. A north arrow and scale bar (1" = 10') are included.

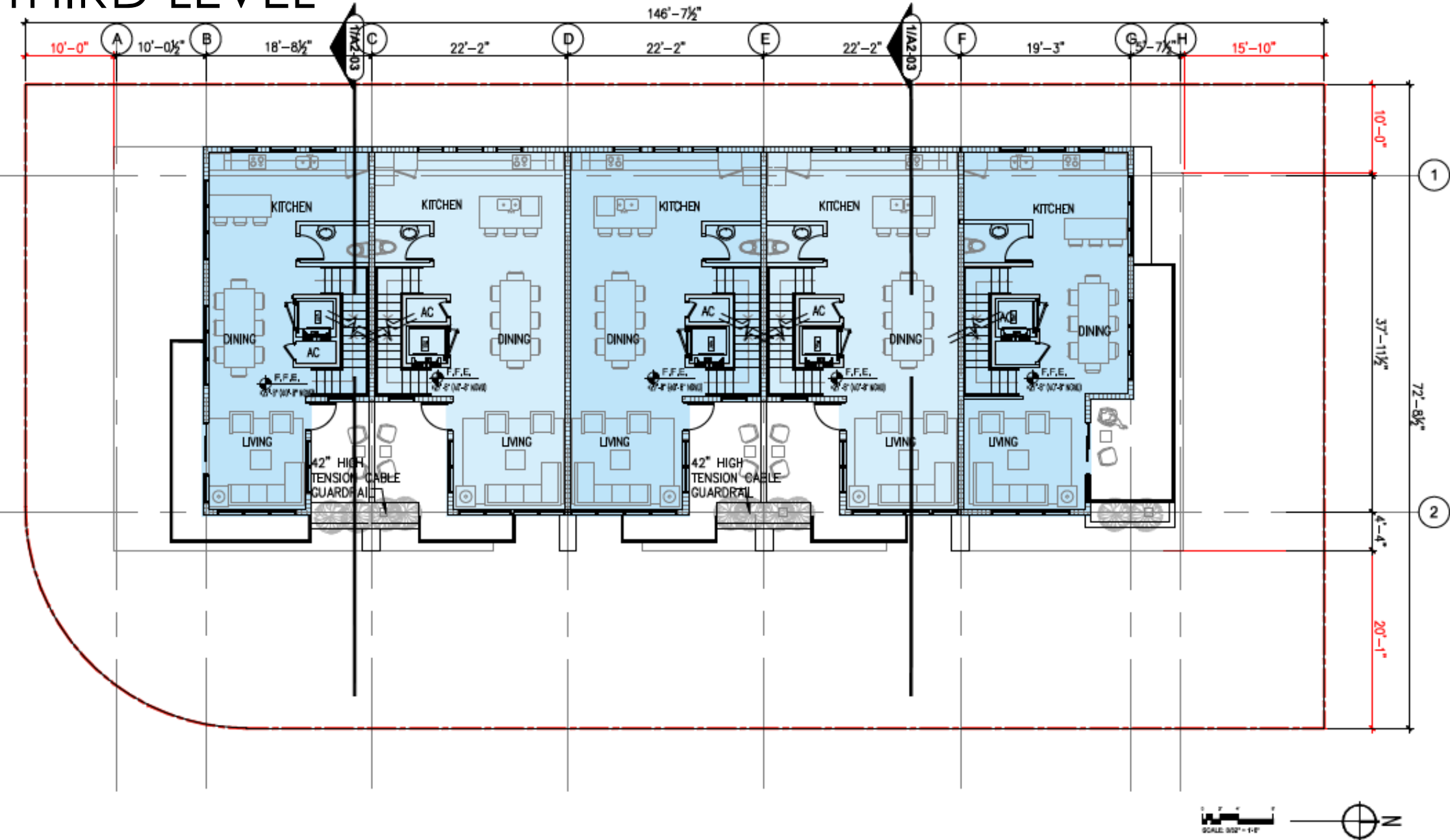
DRB21-0721 | 6



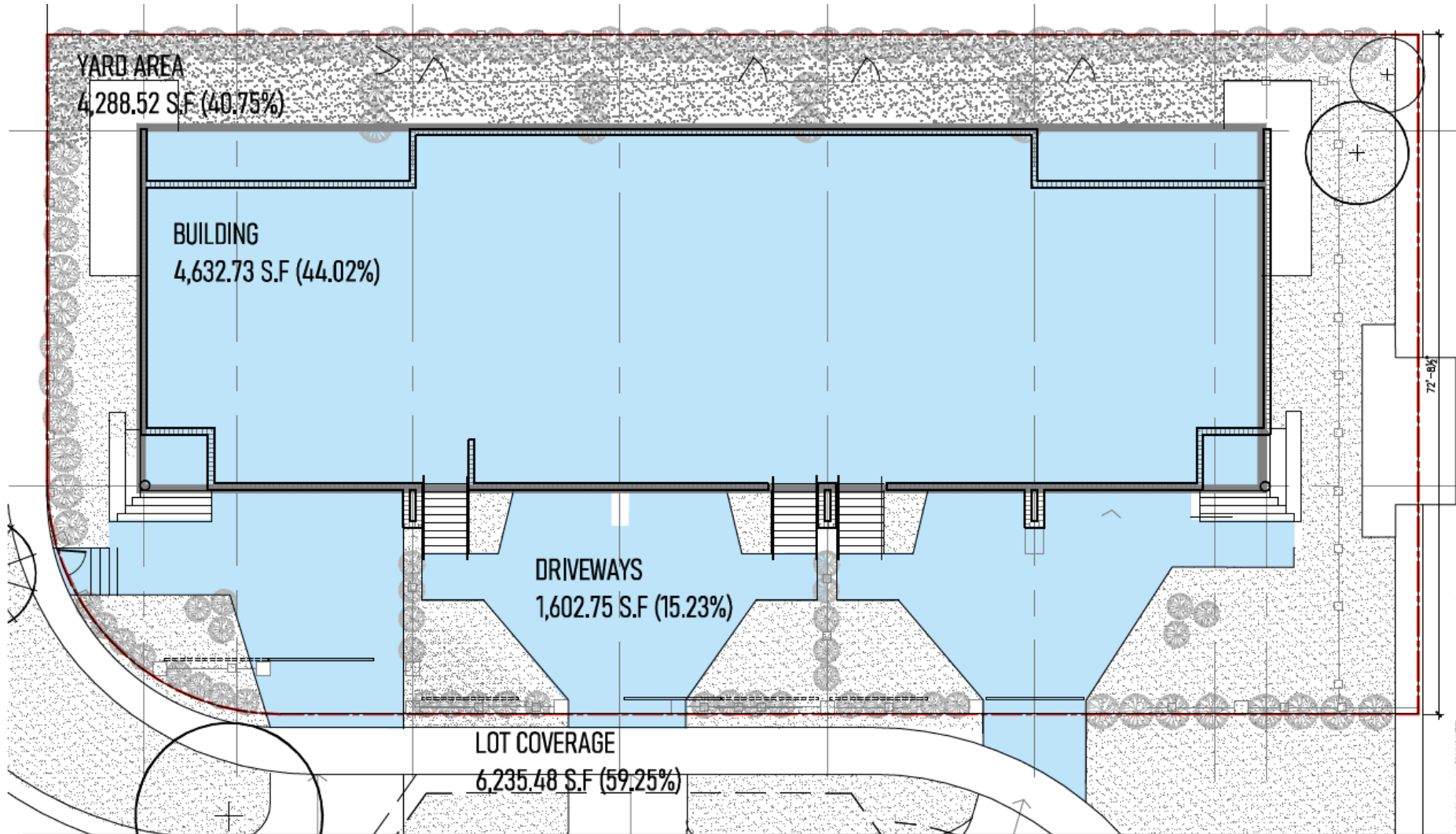
SECOND LEVEL



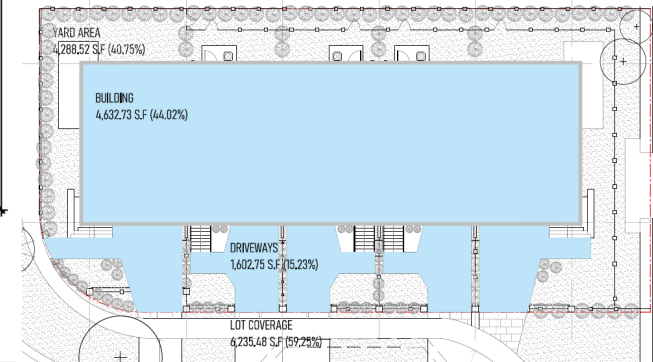
THIRD LEVEL



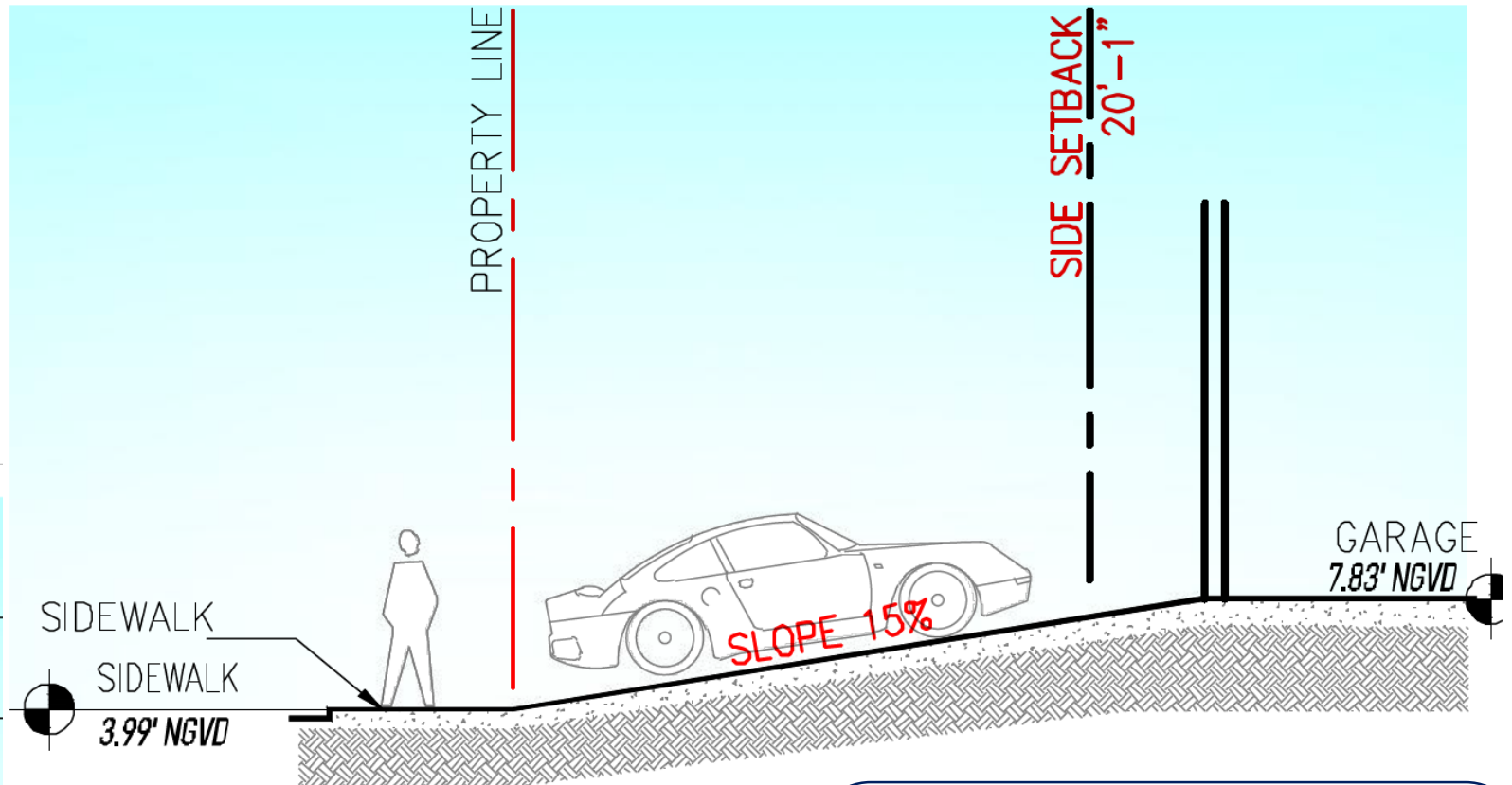
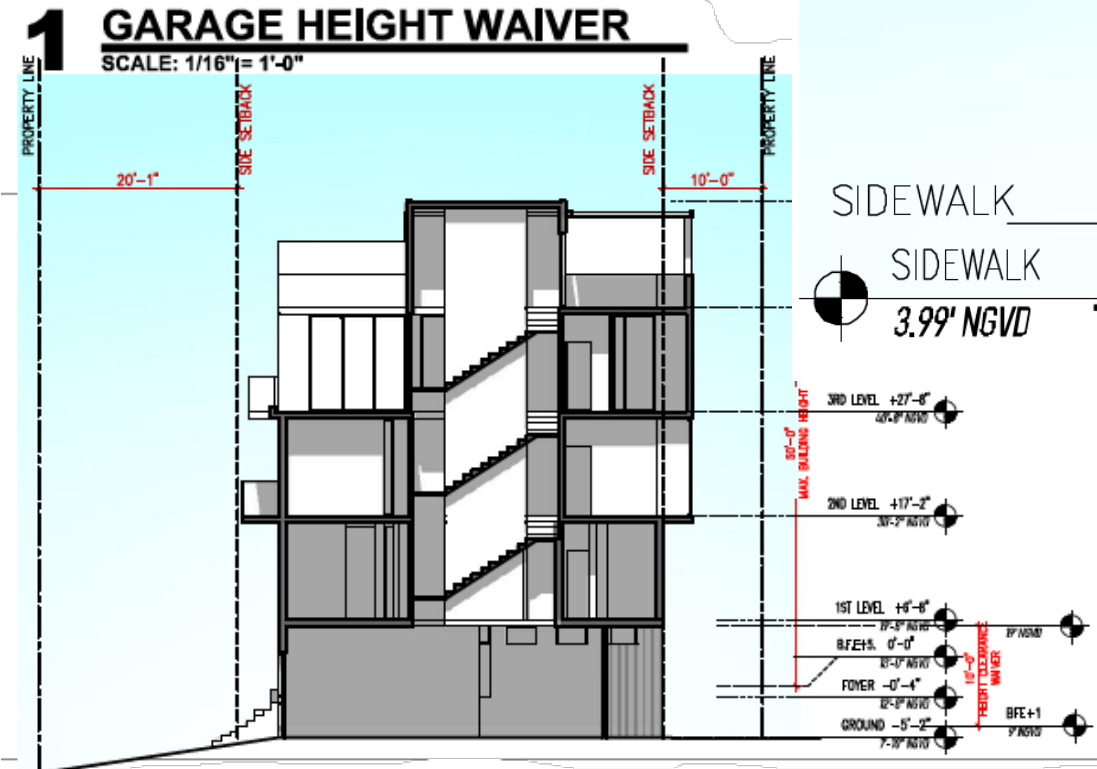
LOT COVERAGE WAIVER



PREVIOUSLY
PROPOSED:



GROUND FLOOR PARKING GARAGE WAIVER



PREVIOUSLY PROPOSED
HEIGHT (VARIANCE): 7'-7"

CURRENTLY PROPOSED
HEIGHT (WAIVER): 10'-0"

