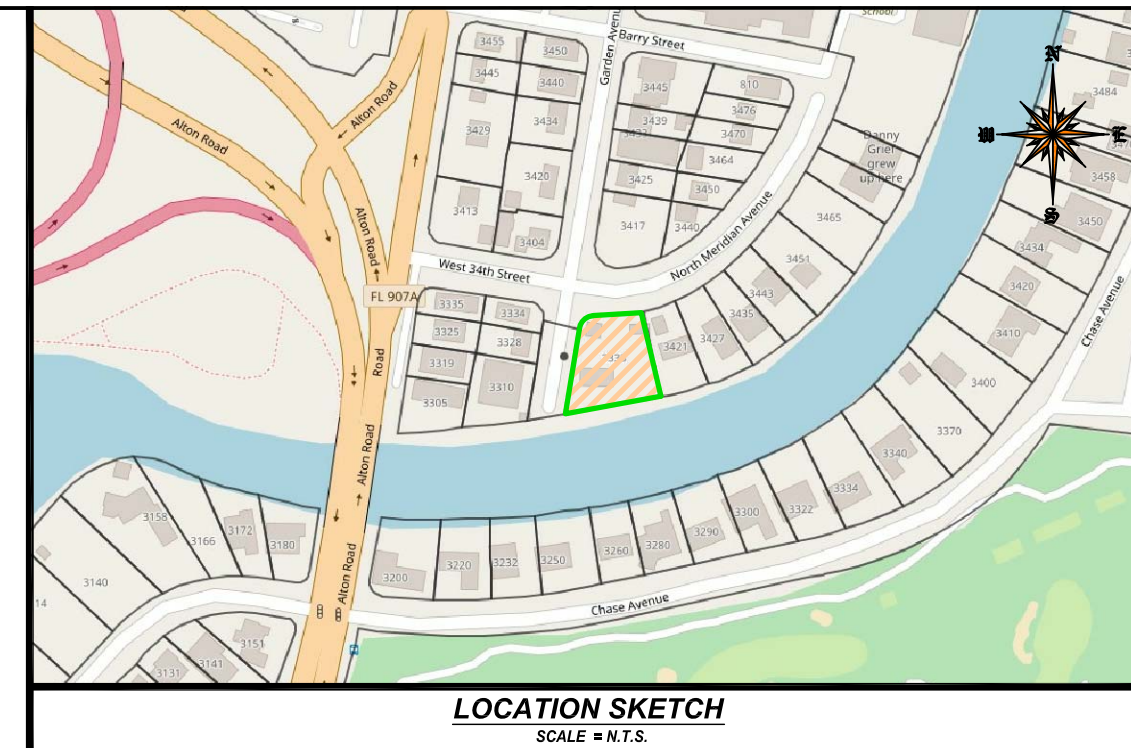
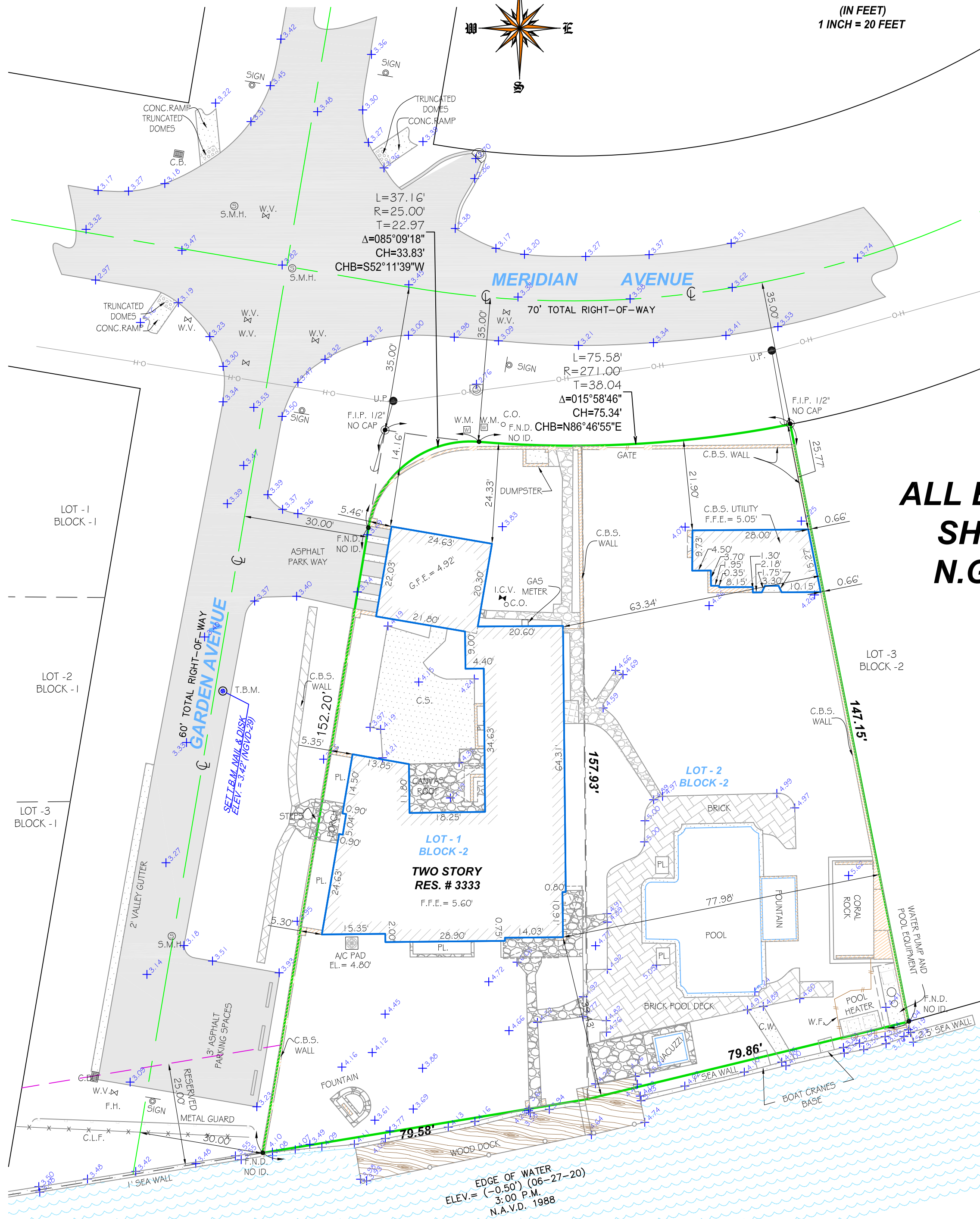




GRAPHIC SCALE

(IN FEET)
1 INCH = 20 FEET



LEGAL DESCRIPTION:
LOT 1 AND 2, BLOCK 2 OF GARDEN SUBDIVISION ACCORDING TO THE PLAT THEREOF,
AS RECORDED IN PLAT BOOK 31, PAGE 9 OF THE PUBLIC RECORDS OF MIAMI-DADE
COUNTY, FLORIDA.

PROPERTY ADDRESS:
3333 GARDEN AVENUE
MIAMI BEACH, FLORIDA 33140

CERTIFICATION:
ELAINE R. LEVINE LIVING TRUST

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- * THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
 * EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
 * THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF ANY KIND.
 * LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
 * BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
 * EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
 * THE SURVEY DOES NOT INCLUDE ANY ABOVE GROUND ENCROACHMENTS.
 * ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
 * UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
 * **FENCE OWNERSHIP NOT DETERMINED.**
 * THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 8FT
COMMUNITY: 120651
PANEL: 0317
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 MIAMI-DADE COUNTY BENCH MARK #D-131 LOCATOR NO. 3234 NE @ CHASE AVE-.56' NORTH OF C/L & ALTON RD 3' WEST OF WEST EDGE OF PAVEMENT ELEVATION IS 8.73 FEET OF N.G.V.D. OF 1929 , CONVERSION FORMULA= N.G.V.D. 1929 1.55 = N.A.V.D. 88.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

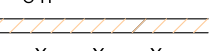
BY: John Ibarra **06/30/2020**
JOHN IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____

REVISED ON: _____

LEGEND


 = OVERHEAD UTILITY LINES

 = CONCRETE BLOCK WALL

 = CHAIN LINK FENCE

 = IRON FENCE

 = WOOD FENCE

 = BUILDING SETBACK LINE

 = UTILITY EASEMENT

 = LIMITED ACCESS R/W

 = NON-VEHICULAR ACCESS R/W

 = EXISTING ELEVATIONS

DRAWN BY:	LK
FIELD DATE:	06/30/2020
SURVEY NO:	20-002265
SHEET:	1 OF 1

