



**4540 NORTH BAY ROAD** Miami Beach

# SAOTA

jungles



ORSINI DESIGN  
ASSOCIATES INC.

**US\_MIA\_BANSHO**



NORTH BAY ROAD



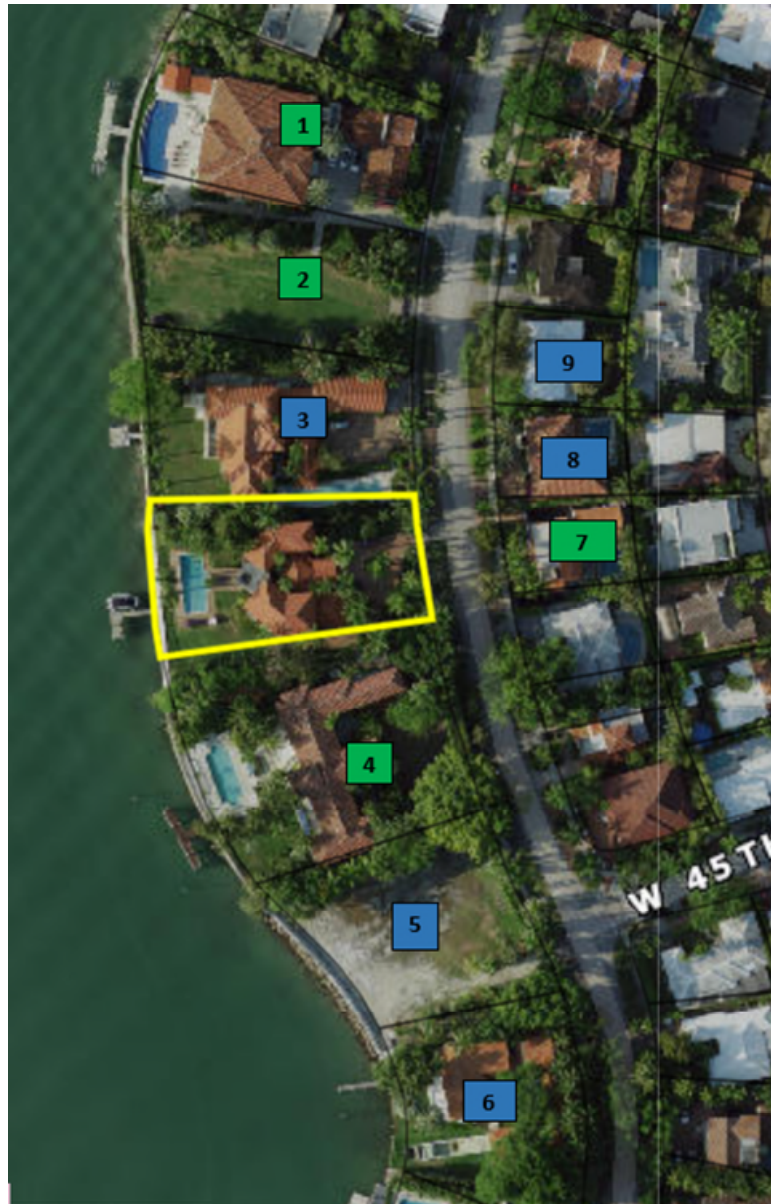


4540 NORTH BAY ROAD, MIAMI BEACH





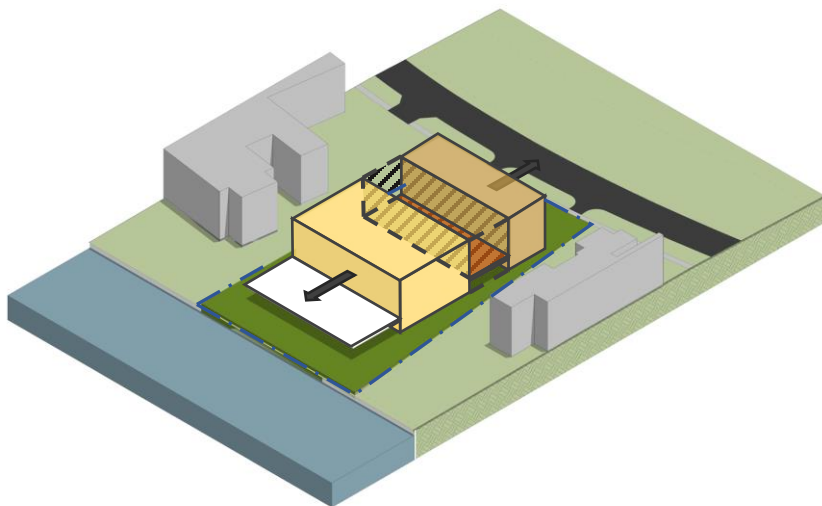
**Neighbor Outreach & Support**  
**4540 North Bay Road**  
**DRB File No. DRB21-0711**



NO.	Property Address	Owner
1.	4580 N BAY RD 8 WRIGHT STREET WESTPORT, CT 06880	MAG NBR LLC C/O Howard D Komisar Esq Berkowitz Trager And Trager LLC Howard D. Komisar (Manager per Sunbiz)
2.	(Vacant lot) 8 WRIGHT STREET WESTPORT, CT 06880	MAG NBR LLC C/O Howard D Komisar Esq Berkowitz Trager And Trager LLC Howard D. Komisar (Manager per Sunbiz)
3.	4550 N BAY RD	Craig W. & Judith E. Herman
4.	4520 N BAY RD 1701 L Street NW, Suite 400 Washington, DC 200036	North Bay LLC / David M. Schwarz (Manager)
5.	4462 N BAY RD 640 PARK AVENUE 6TH FLOOR NEW YORK, FL 1006	Bay Road 4462 LLC C/O Peggy Drexler Ph D Millard Drexler (Director)
6.	4452 N BAY RD 640 PARK AVENUE 6TH FLOOR NEW YORK, FL 10065	Millard S Drexler TRS C/O Peggy Drexler Ph D Drexler Family Rev TR Peggy Drexler TRS
7.	4541 N BAY RD	4541 NBR LLC
8.	4555 N BAY RD	Alexander P. & Tiffany Z. Heckler
9.	4565 N BAY RD 571 NW 28 ST MIAMI, FL 33127	4565 Nbr LLC Kobi & Nancy Karp
<b>Additional Support</b>		
10.	9 LA GORCE CIR	Michael N Baum & W Marianna F
11.	1740 W 25 ST	Andres Isaías
12.	3541 FLAMINGO DR	Oren Alexander
13.	4358 N BAY RD	Jonathan Oringer Talia Oringer
14.	5930 N BAY RD 118 LEE AVEROCKVILLE CENTER, NY 11570	Bay Road Property LLC
15.	6385 PINE TREE DRIVE CIR 1675 BROADWAY 20TH FL NEW YORK, NY 10019	Oscar J Rodriguez TRS C/O Richard Koenigsberg 6385 Klein Family Land Tr
16.	6401 PINE TREE DRIVE CIR	Carl Austin Rosen
17.	6431 ALLISON RD	6431 Allison Road LLC

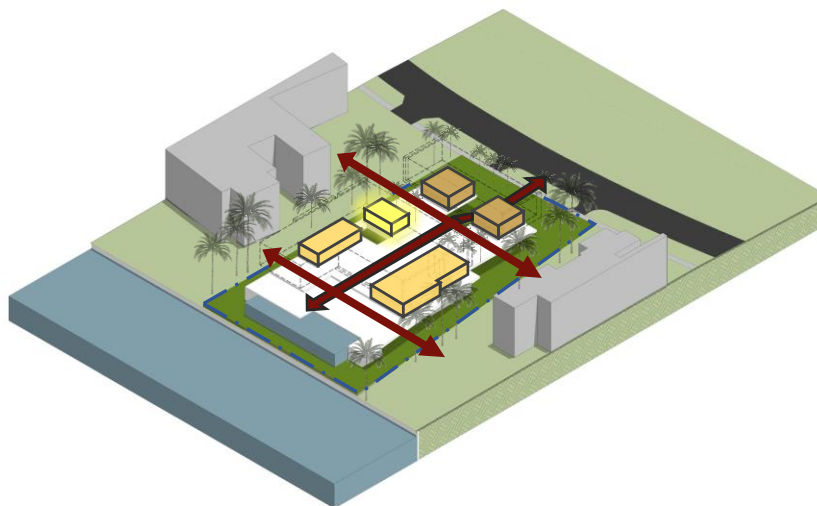


## LARGE CENTRAL COURTYARD



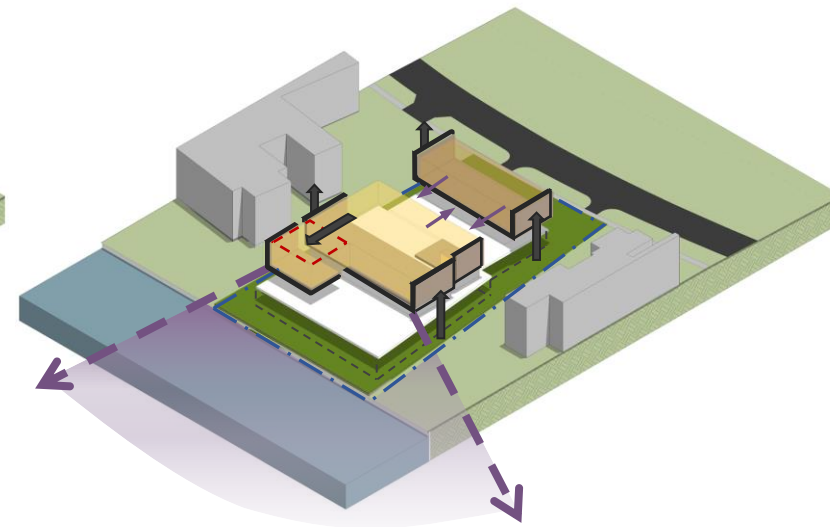
SET BUILDING MASS AWAY FROM STREET AT FRONT  
FORMS CREATING SPACE INBETWEEN  
OUTDOOR SPACE IN REAR TO LIVE OUTSIDE TO WATER

## COLLECTION OF MASS ELEMENTS



FLOW THROUGH BETWEEN STREET, COURTYARD  
AND WATERFRONT TERRACE  
AXIS TO SIDE CONNECTION DENSE WITH  
LANDSCAPING  
OVERALL MASS BROKEN INTO COLLECTION OF  
INTERNAL SPACES ALLOWING WEAVING OF  
LANDSCAPING

## FORMS LIFTED ON RAISED PLATE



BUILDING ELEVATED ABOVE BFE + 5  
POROUS UNDERSTORY  
VIEWS FROM INTERNAL SPACES DIRECTED TO INTERNAL WATER  
COURTYARD FOR NEIGHBOUR PRIVACY

OVERHANGS ON  
WESTERN  
ELEVATION

CENTRAL  
COURTYARD

DENSE  
LANDSCAPING  
AT PRINCIPAL  
FACADE

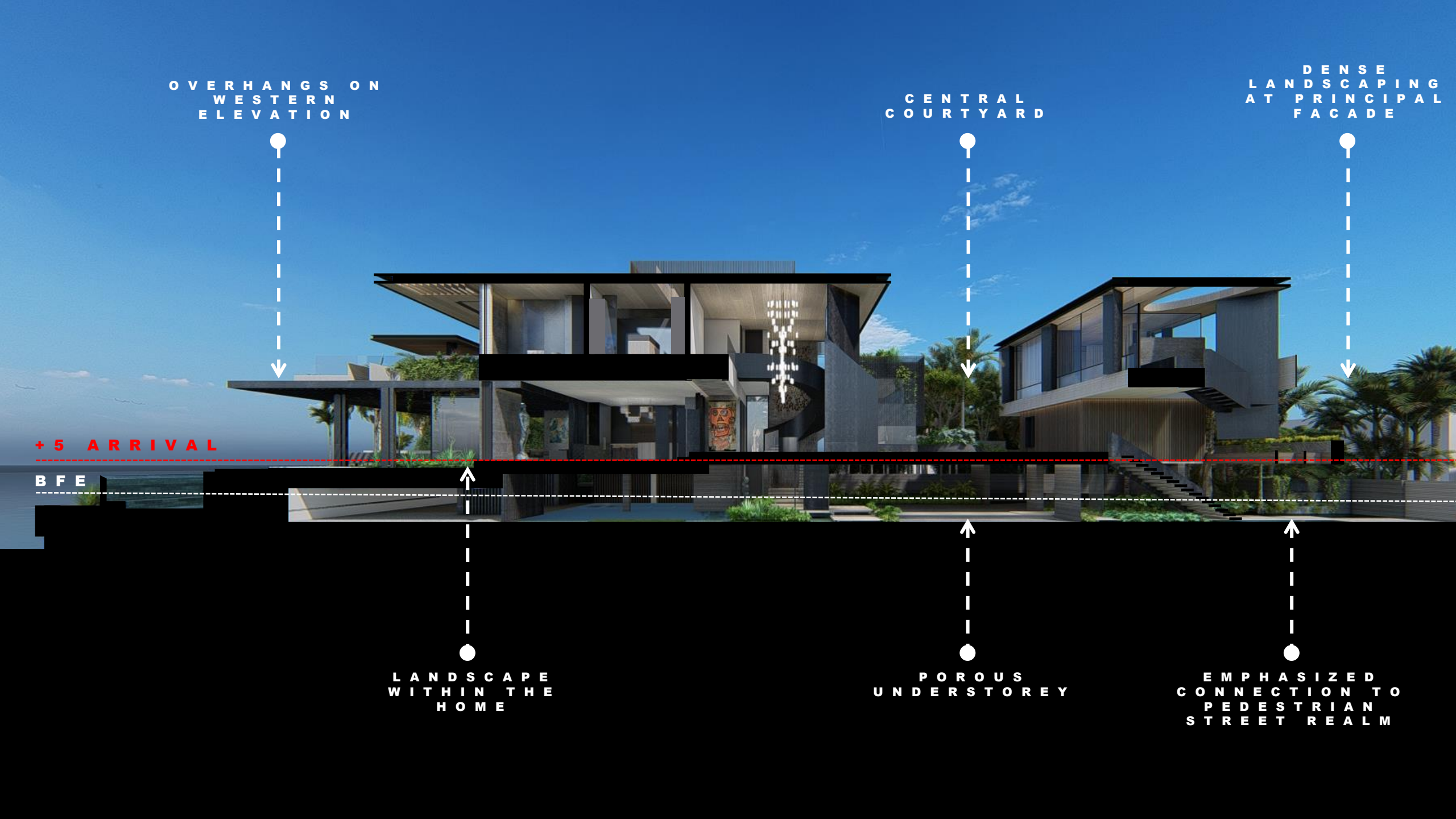
+ 5 ARRIVAL

B F E

LANDSCAPE  
WITHIN THE  
HOME

POROUS  
UNDERSTOREY

EMPHASIZED  
CONNECTION TO  
PEDESTRIAN  
STREET REALM



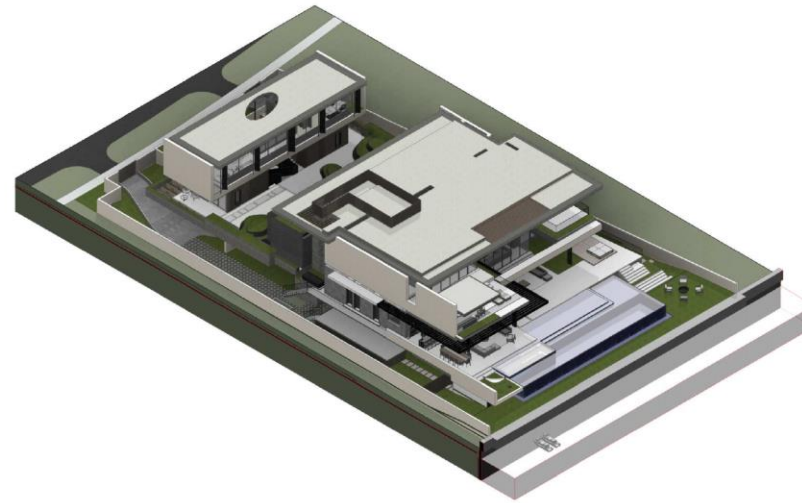




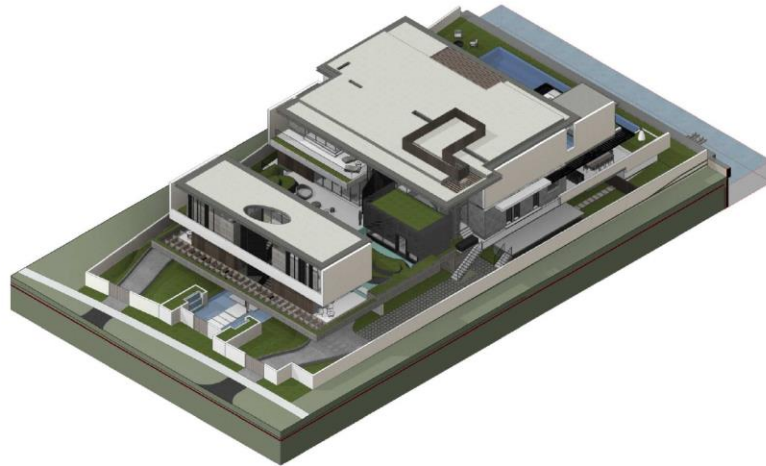




1 AXO 01



2 AXO 02



4 AXO 03



3 AXO 04

OWNER	REDAK, LLC 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
ARCHITECT	SAOTA COURTESY OF REDAK DEVELOPMENT LLC 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
LEAD DESIGNER	KURT DANWOLF KURT DANWOLF ARCHITECTS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
LANDSCAPE ARCHITECT	LANDSCAPE ARCHITECT LANDSCAPE ARCHITECTS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
CIVIL ENGINEER	CIVIL ENGINEER CIVIL ENGINEERS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
STRUCTURAL ENGINEER	STRUCTURAL ENGINEER STRUCTURAL ENGINEERS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
MERFP ENGINEER	MERFP ENGINEER MERFP ENGINEERS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149

KURT DANWOLF  
FL ARCHITECT REG. NO.  
APR0042

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**odp**  
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2402 HOLLYWOOD BOULEVARD  
FLORENCE, FLORIDA 32209  
TEL: 904.242.1111 | FAX: 904.242.1112  
WWW.ODPARCHITECT.COM

LEAD DESIGNER  
**SAOTA**  
100 W. FIELD STREET, SUITE 200, MIAMI, FL 33136  
TEL: 305.371.1111 | FAX: 305.371.1112  
WWW.SAOTA.COM

PROJECT  
4540 NORTH BAY RD.  
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS

08-02-21	0100 Final Submit

KEY PLAN

SCALE

DATE: 08/02/21  
DRAWN BY: [NAME]

AXOS  
SHEET NO.  
A\_6102





PROPOSED STREET MONTAGE VIEW



EXISTING STREET VIEW

<b>OWNER</b>	
KURT DANWOLF 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149	
<b>ARCHITECT</b>	
COTONWELL, DANWOLF AND PARTNERS ARCHITECTS, INC. 100 HAYFIELD STREET, GARDENS, FL 33455 T: 561.938.0000 F: 561.938.0000	
<b>LEAD DESIGNER</b>	
KURT DANWOLF 100 HAYFIELD STREET, GARDENS, FL 33455 T: 561.938.0000 F: 561.938.0000	
<b>LANDSCAPE ARCHITECT</b>	
BONNARD LANDSCAPE, INC. 2000 AIRPORT AVENUE, SUITE 100, MIAMI, FL 33136 T: 305.688.8777 F: 305.688.8777	
<b>CIVIL ENGINEER</b>	
BONNARD LANDSCAPE, INC. 4011 N. FLORISSANT, SUITE 404, MIAMI, FL 33154 T: 305.688.8777 F: 305.688.8777	
<b>STRUCTURAL ENGINEER</b>	
NAME ADDRESS TELEPHONE	
<b>MEP/FP ENGINEER</b>	
NAME ADDRESS TELEPHONE	
	
<p>KURT DANWOLF FL ARCHITECT REG. NO. AR00042</p> <p>THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KURT DANWOLF, LICENSE NUMBER AR00042. VERIFICATION OF THIS DOCUMENT AND NOT COPIES OF THIS DOCUMENT ARE NOT REQUIRED. VERIFICATION OF THIS DOCUMENT AND NOT COPIES OF THIS DOCUMENT ARE NOT REQUIRED. VERIFICATION OF THIS DOCUMENT AND NOT COPIES OF THIS DOCUMENT ARE NOT REQUIRED.</p> <p>COTONWELL, DANWOLF AND PARTNERS ARCHITECTS, INC. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF COTONWELL, DANWOLF AND PARTNERS ARCHITECTS, INC. ANY USE, DUPLICATION, MODIFICATION OR CHANGE WILL SUBJECT THE USER AND ITS AGENTS TO LIABILITY OF SUCH ACTS.</p>	
 <p>ARCHITECTURE AND DESIGN 3402 HOLLYWOOD BOULEVARD HOLLYWOOD, FLORIDA 33020 T: 954.918.0000 F: 954.918.0100 WWW.ODPDESIGN.COM</p>	
<b>PROJECT</b>	
4540 NORTH BAY RD. 4540 NORTH BAY ROAD, MIAMI BEACH, FL 33149	
<b>REVISIONS</b>	
08-02-21	01B Final Submitted
<b>KEY PLAN</b>	
SCALE	
DATE: 08/02/21	
DRAWN BY:	
<b>EXISTING &amp; PROPOSED STREET VIEWS</b>	
SHEET NO. A-030	









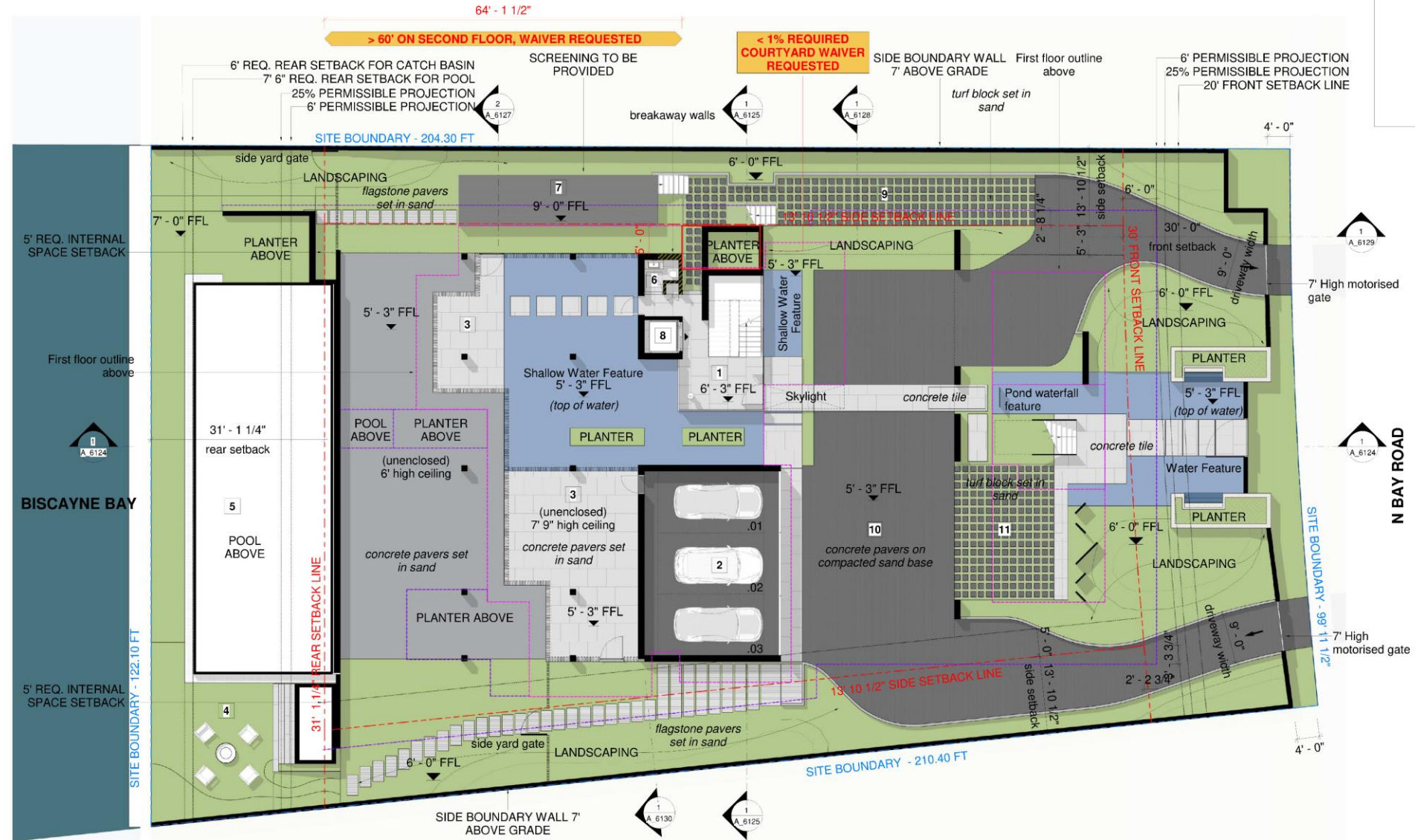












**1 UNDERSTORY PLAN**  
1/8" = 1'-0"

**KEY**

1 Lobby	6 Powder Room 01	11 Guest Parking
2 Garage	7 Pool Equipment	
3 Store Room	8 Elevator	
4 Fire Pit Seating	9 Service Driveway	
5 Pool	10 Motor Court	

OWNER  
MICHAEL J. LEE  
4540 NORTH BAY ROAD  
MIAMI, FL 33149

ARCHITECT  
SAOTA  
190 HAY STREET, SUITE 200, MIAMI, FL 33136  
TEL: 305.375.1111 FAX: 305.375.1112  
WWW.SAOTA.COM

LEAD DESIGNER  
MICHAEL J. LEE  
SAOTA

LANDSCAPE ARCHITECT  
MICHAEL J. LEE  
SAOTA

CIVIL ENGINEER  
MICHAEL J. LEE  
SAOTA

STRUCTURAL ENGINEER  
MICHAEL J. LEE  
SAOTA

MERIT ENGINEER  
MICHAEL J. LEE  
SAOTA

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PROJECT  
4540 NORTH BAY RD.

REVISIONS

NO.	DATE	DESCRIPTION
01	08-02-21	DRG Final Submit

KEY PLAN

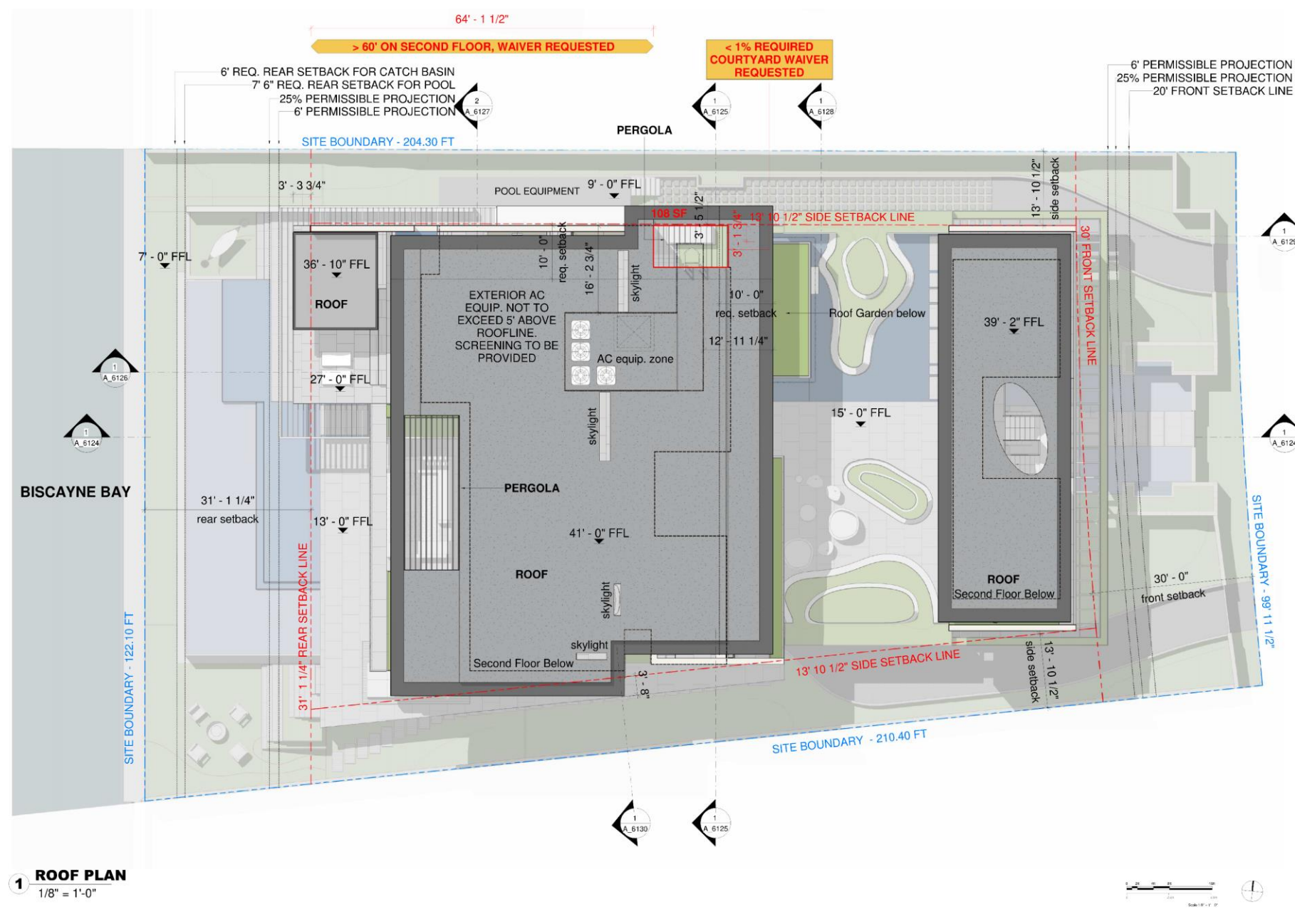
SCALE  
1/8" = 1'-0"

UNDERSTORY PLAN  
SHEET NO.  
A\_6109









**1 ROOF PLAN**  
1/8" = 1'-0"

N BAY ROAD

OWNER	REDAK, LLC 4540 NORTH BAY ROAD BISCAYNE, FL 33103
ARCHITECT	SAOTA 100 W. FIELD STREET, SUITE 200, MIAMI, FL 33139 TEL: 305.371.1111 FAX: 305.371.1112 WWW.SAOTA.COM
LEAD DESIGNER	DAVID L. SAOTA DAVID@SAOTA.COM
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MERFP ENGINEER	MERFP ENGINEER 100 W. FIELD STREET, SUITE 200, MIAMI, FL 33139 TEL: 305.371.1111 FAX: 305.371.1112 WWW.SAOTA.COM

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WWW.SAOTA.COM

PROJECT  
4540 NORTH BAY RD.

REVISIONS

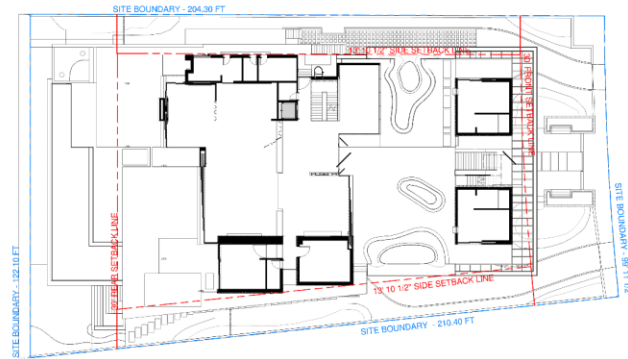
08-03-21	DRP Final Submittal
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KEY PLAN

SCALE  
DATE: 08/03/21  
DRAWN BY: DAVID L. SAOTA

FIRST FLOOR PLAN  
SHEET NO.  
A\_6112





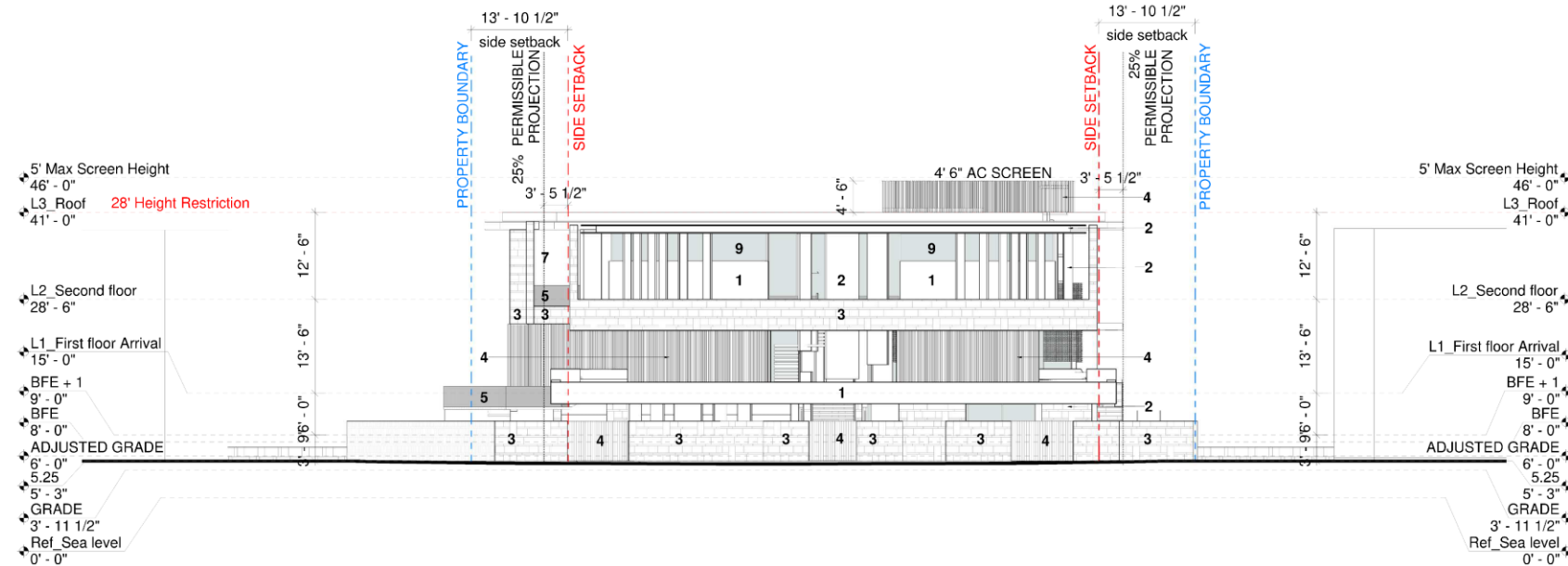
**2 KEY PLAN**  
3/64" = 1'-0"

## MATERIAL PALLETTE



## KEY

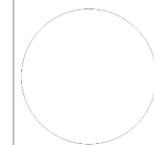
1 Basalt Stone	6 Concrete
2 Blackened Steel	7 Light Grey Venetian Plaster
3 Tiled Limestone	8 Lava Stone
4 Timber Slats	9 Matt Black Alu. Frame & Clear Glazing
5 Toughened Clear Glass	



**1 FRONT (EAST) ELEVATION**  
1/8" = 1'-0"



<b>OWNER</b>	WILLIAM J. JACOBSON JR. 4540 NORTH BAY ROAD FORT MYERS, FL 33901
<b>ARCHITECT</b>	SAOTA 150 W. FIELD STREET, SUITE 100, FORT MYERS, FL 33901 TEL: 941.336.1111 FAX: 941.336.1112 WWW.SAOTA.COM
<b>LEAD DESIGNER</b>	KURT DANWOLF FL ARCHITECT REG. NO. 100000000
<b>LANDSCAPE ARCHITECT</b>	LANDSCAPE ARCHITECT 150 W. FIELD STREET, SUITE 100, FORT MYERS, FL 33901 TEL: 941.336.1111 FAX: 941.336.1112 WWW.SAOTA.COM
<b>CIVIL ENGINEER</b>	SAOTA 150 W. FIELD STREET, SUITE 100, FORT MYERS, FL 33901 TEL: 941.336.1111 FAX: 941.336.1112 WWW.SAOTA.COM
<b>STRUCTURAL ENGINEER</b>	SAOTA 150 W. FIELD STREET, SUITE 100, FORT MYERS, FL 33901 TEL: 941.336.1111 FAX: 941.336.1112 WWW.SAOTA.COM
<b>MERFP ENGINEER</b>	SAOTA 150 W. FIELD STREET, SUITE 100, FORT MYERS, FL 33901 TEL: 941.336.1111 FAX: 941.336.1112 WWW.SAOTA.COM



KURT DANWOLF  
FL ARCHITECT REG. NO. 100000000

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**PROJECT**  
4540 NORTH BAY RD.

REVISIONS
08-02-21 0101 Final Submit

KEY PLAN

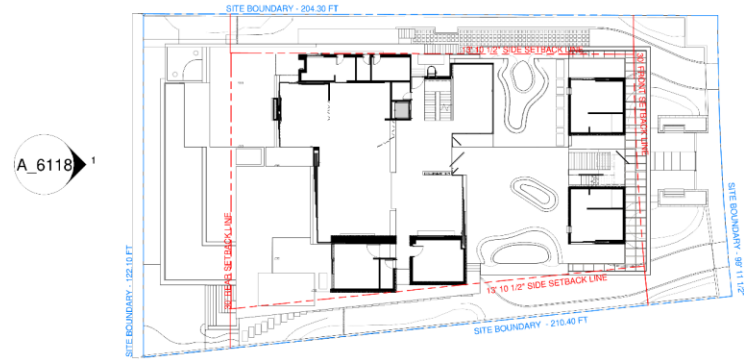
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DRAWN BY: [Name]  
CHECKED BY: [Name]

**EAST ELEVATION**

SHEET NO.  
A\_6116

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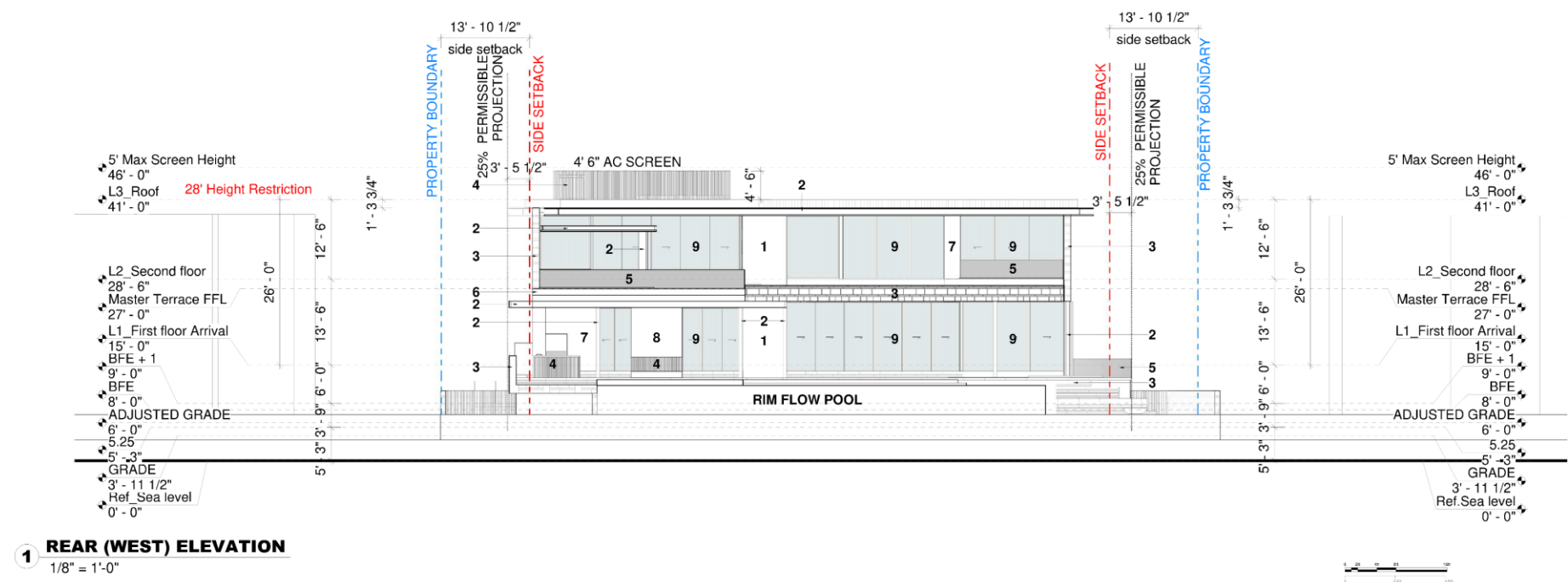
**2 KEY PLAN**  
3/64" = 1'-0"

## MATERIAL PALLETTE



## KEY

1 Basalt Stone	6 Concrete
2 Blackened Steel	7 Light Grey Venetian Plaster
3 Tiled Limestone	8 Lava Stone
4 Timber Slats	9 Matt Black Alu. Frame & Clear Glazing
5 Toughened Clear Glass	



**1 REAR (WEST) ELEVATION**  
1/8" = 1'-0"

**OWNER**  
KURT DANNHOLF  
4540 NORTH BAY RD.  
FORT LAUDERDALE, FL 33309

**ARCHITECT**  
C/O O'DONNEL DANNHOLF F AND PARTNERS  
ARCHITECTS INC.  
150 W. FIELD STREET, SUITE 200, FORT LAUDERDALE, FL 33301  
TEL: 772.222.1111 FAX: 772.222.1112  
WWW.ODFPA.COM

**LEAD DESIGNER**  
KURT DANNHOLF  
ARCHITECT

**LANDSCAPE ARCHITECT**  
KURT DANNHOLF  
ARCHITECT

**CIVIL ENGINEER**  
KURT DANNHOLF  
ARCHITECT

**STRUCTURAL ENGINEER**  
KURT DANNHOLF  
ARCHITECT

**MERFP ENGINEER**  
KURT DANNHOLF  
ARCHITECT

**SAOTA**  
150 W. FIELD STREET, SUITE 200, FORT LAUDERDALE, FL 33301  
TEL: 772.222.1111 FAX: 772.222.1112  
WWW.SAOTA.COM

**PROJECT**  
4540 NORTH BAY RD.

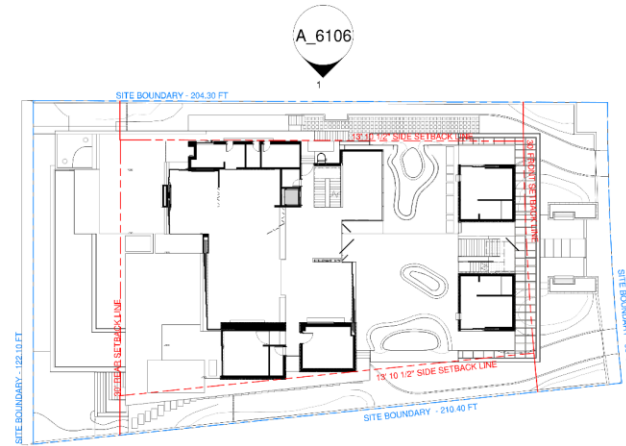
**REVISIONS**

**KEY PLAN**

**SCALE**  
DATE: 08/22/21  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**WEST ELEVATION**

**SHEET NO.**  
A\_6118



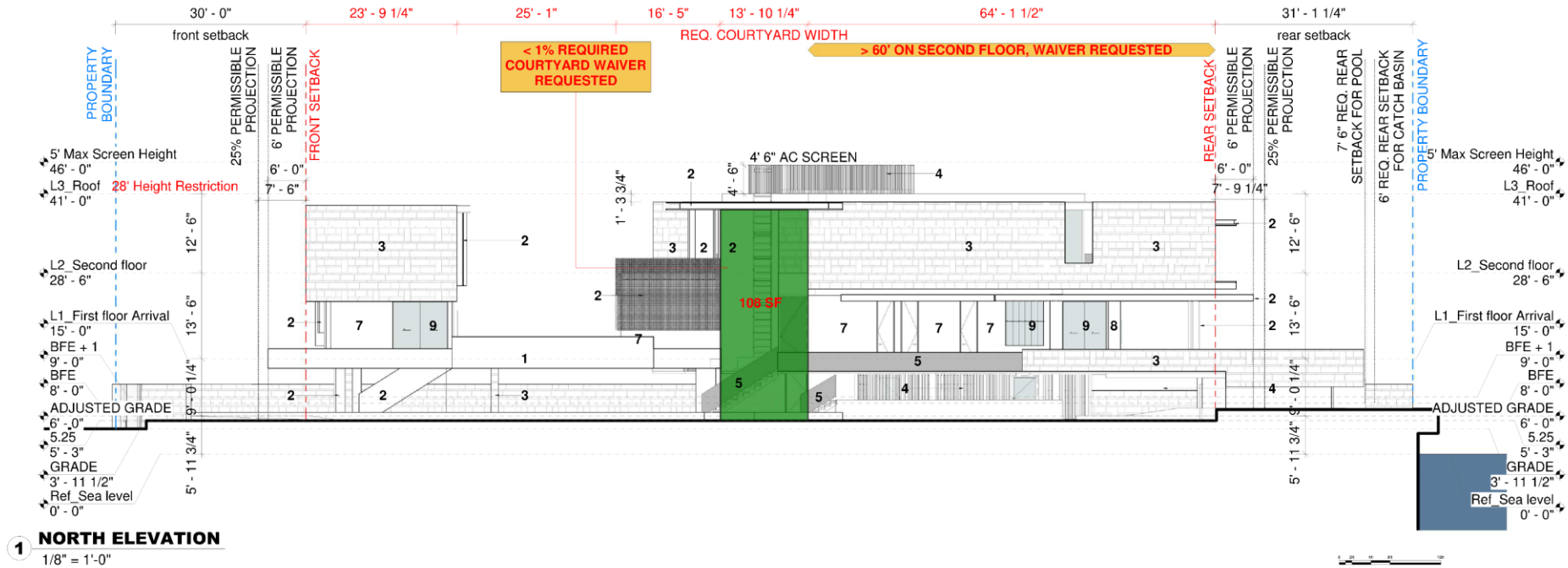
**2 KEY PLAN**  
3/64" = 1'-0"

## MATERIAL PALLETTE



## KEY

1 Basalt Stone	6 Concrete
2 Blackened Steel	7 Light Grey Venetian Plaster
3 Tiled Limestone	8 Lava Stone
4 Timber Slats	9 Matt Black Alu. Frame & Clear Glazing
5 Toughened Clear Glass	



**1 NORTH ELEVATION**  
1/8" = 1'-0"

**OWNER**  
MICHAEL J. LEE  
4540 NORTH BAY RD.  
SUITE 100  
FORT LAUDERDALE, FL 33309

**ARCHITECT**  
C/O O'DONNEL DANIEL F. AND PARTNERS  
ARCHITECTS INC.  
100 W. FIELD STREET, SUITE 100, FORT LAUDERDALE, FL 33304  
TEL: 771-0101 FAX: 771-0102  
WWW.ODPARCHITECT.COM

**LEAD DESIGNER**  
MICHAEL J. LEE

**LANDSCAPE ARCHITECT**  
MICHAEL J. LEE  
100 W. FIELD STREET, SUITE 100, FORT LAUDERDALE, FL 33304  
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WWW.ODPARCHITECT.COM

**CIVIL ENGINEER**  
MICHAEL J. LEE  
100 W. FIELD STREET, SUITE 100, FORT LAUDERDALE, FL 33304  
TEL: 771-0101 FAX: 771-0102  
WWW.ODPARCHITECT.COM

**STRUCTURAL ENGINEER**  
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100 W. FIELD STREET, SUITE 100, FORT LAUDERDALE, FL 33304  
TEL: 771-0101 FAX: 771-0102  
WWW.ODPARCHITECT.COM

**MERFP ENGINEER**  
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TEL: 771-0101 FAX: 771-0102  
WWW.ODPARCHITECT.COM

**PROJECT**  
4540 NORTH BAY RD.

**REVISIONS**

NO.	DATE	DESCRIPTION
01	08-02-21	DRP Final Submit

**KEY PLAN**

**SCALE**  
DATE: 08/02/21  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**NORTH ELEVATION**

**SHEET NO.**  
A\_6119











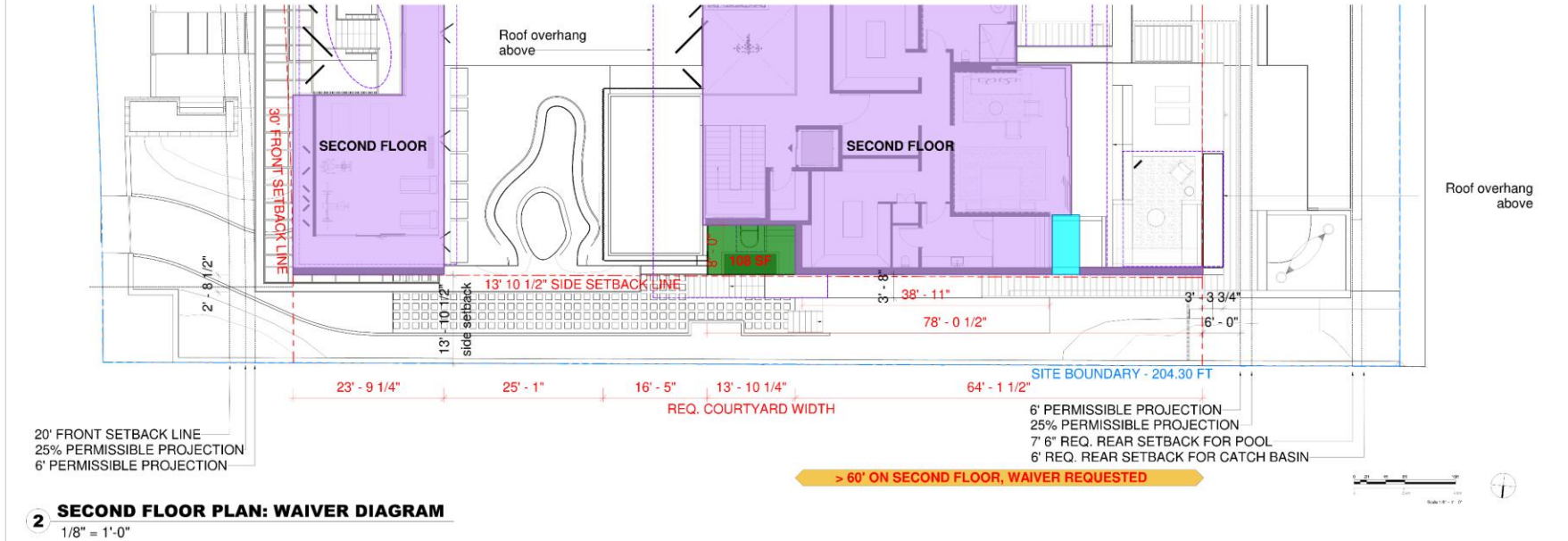
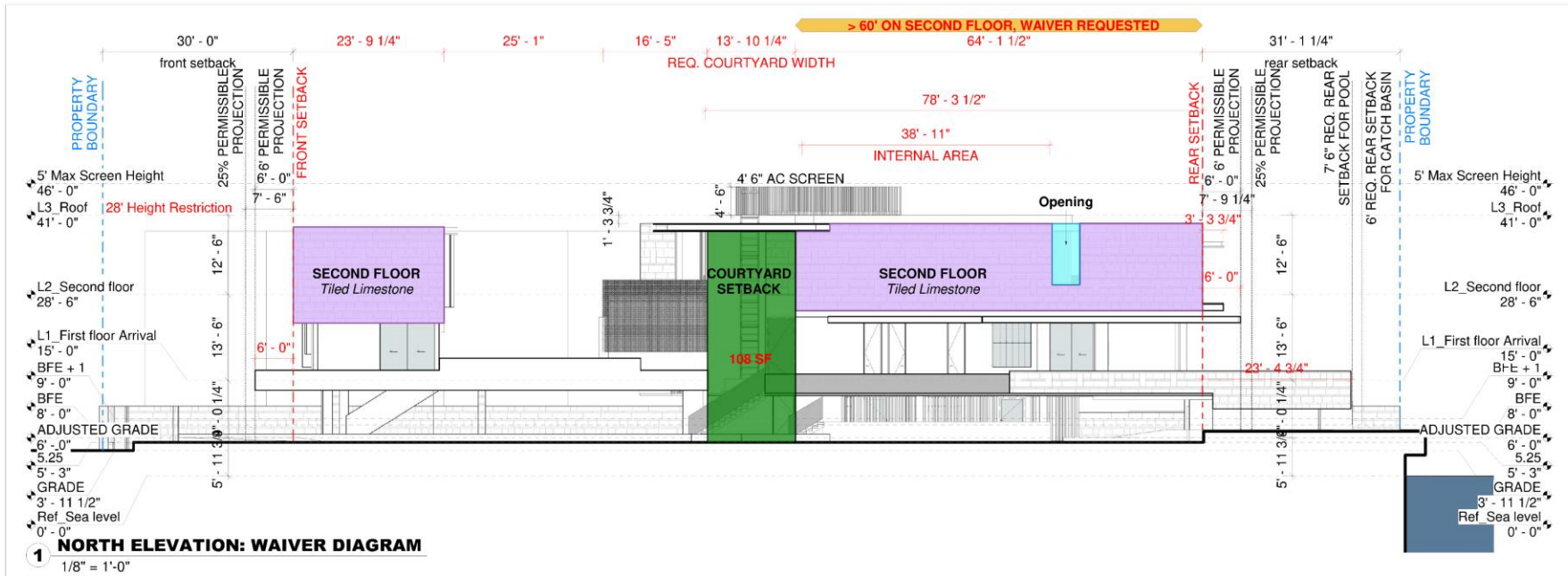




**WAIVER**



# WAIVER #1 – NORTH ELEVATION



**OWNER**  
SAOTA  
4540 NORTH BAY RD.  
FORT MYERS, FL 33901

**ARCHITECT**  
KURT DANWOLF  
FL ARCHITECT REG. NO. 1400042

**LEAD DESIGNER**  
KURT DANWOLF  
FL ARCHITECT REG. NO. 1400042

**LANDSCAPE ARCHITECT**  
KURT DANWOLF  
FL LANDSCAPE ARCHITECT REG. NO. 1400042

**CIVIL ENGINEER**  
KURT DANWOLF  
FL CIVIL ENGINEER REG. NO. 1400042

**STRUCTURAL ENGINEER**  
KURT DANWOLF  
FL STRUCTURAL ENGINEER REG. NO. 1400042

**MECHANICAL ENGINEER**  
KURT DANWOLF  
FL MECHANICAL ENGINEER REG. NO. 1400042

**ELECTRICAL ENGINEER**  
KURT DANWOLF  
FL ELECTRICAL ENGINEER REG. NO. 1400042

**SAOTA**  
ARCHITECTURE AND DESIGN  
4540 NORTH BAY RD.  
FORT MYERS, FL 33901  
T 941.333.1111 F 941.333.1112  
WWW.SAOTA.COM

**PROJECT**  
4540 NORTH BAY RD.

**REVISIONS**

NO.	DATE	DESCRIPTION
01	08-02-21	DRB Final Submission

**KEY PLAN**

**SCALE**  
1/8" = 1'-0"

**DATE**  
08-02-21

**DRAWN BY**  
KURT DANWOLF

**NORTH ELEV. WAIVER**

**SHEET NO.**  
A.6106































4540 NORTH BAY ROAD  
MIAMI BEACH, FLORIDA 33140

**SAOTA**



**jungles**

CLIENT

4540 NBR LLC  
ADDRESS: 655 MADISON AVE 11 FL  
NEW YORK, NY 10065

DESIGN ARCHITECT

SAOTA  
ADDRESS: 109 HATFIELD STREET, GARDENS, CAPETOWN, 8001 SOUTH AFRICA  
PHONE: +27(0)21.468.4400

ARCHITECT OF RECORD

O'DONNELL DANNWOLF AND PARTNERS ARCHITECTS INC  
ADDRESS: 2432 HOLLYWOOD BOULEVARD, HOLLYWOOD, FL 33020  
PHONE: 954.518.0833

LANDSCAPE ARCHITECT

RAYMOND JUNGLES, INC.  
ADDRESS: 2964 AVIATION AVENUE, COCONUT GROVE, FL 33133  
PHONE: 305.858.6777

**DESIGN REVIEW BOARD APPLICATION: DRB21-0711**  
**FINAL SUBMITTAL 08-02-21**



**MAP OF BOUNDARY SURVEY**

4540 NORTH BAY ROAD, MIAMI BEACH, 33140



### LOCATION SKETCH

SCALE = N.T.S.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE EVIDENCE RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATION OF THE ABSTRACT OF TITLE MAY HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING THE COMPANY.
- BOUNDARY SURVEY MEASUREMENTS BY A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A GIVEN SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE EXAGGERATED FOR GRAPHIC PURPOSES.
- EXAGGERATIONS SHOWN ARE THE FIELD MEASUREMENTS DETERMINED.
- THE THIN TRANSPARENT MATERIALS USED AND ABOVE-GROUND MEASUREMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, ATTACHMENTS AND ALL OF REQUIREMENTS FOR SUBMITTALS.
- FLOOD PLANS WITH CORRECT INFORMATION FOR APPROVAL FOR AUTHORIZATION TO THE RELEVANT AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THE PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES JOINED HEREON. THIS CONTRACT IS NOT TO BE REPRODUCED OR COPIED FOR ANY OTHER PURPOSE.
- DOES NOT EXTEND TO ANY UNPAID FEE.

**FLOOD ZONE INFORMATION:**

THE NFP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
FLOOD ZONE: "AE"  
BASE FLOOD ELEVATION: 7 FEET.  
COMMUNITY: 120694  
PARCEL: 0309  
SUFFIX: L  
DATE OF FIRM: 09/11/2000  
THE SUBJECT PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA.

**SURVEYOR'S NOTES:**

1. ALL STATION, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, 27 DEG 14' IN THE DESCRIPTION OF THE PROPERTY. IF MDI, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 17500 FT.
3. CERTIFICATE OF AUTHORIZATION LVA 7506.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. CITY OF MAYA DITCH BENCH MARK #4: 47.00' ELEVATION IS 3.52 FEET N.A.S.D. OF 1985, CONVERTED TO NGVD (29) USING CORRECTION BY ADDING 1.56 FEET FROM 3.52 FEET N.A.S.D. (BY CONVERSION FORMULA =  $3.52 + 1.59 = 5.07$ ) RESULTS = 5.07 FEET NGVD 29.

**SURVEYOR'S CERTIFICATION:**

HEREBY CERTIFY: THIS BOUNDARY SURVEY OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

**LEGAL DESCRIPTION:**

LOT 22, BLOCK 1, NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**CERTIFICATION:**

**CERTIFICATION:**  
4540 NBR LLC, A DELAWARE LIMITED LIABILITY COMPANY  
STACI J. RUTMAN, P.A. D/B/A RUTMAN LAW  
FIRST AMERICAN TITLE INSURANCE COMPANY

TREE TABLE				
Seq.	Name	Conversion (%)	Height (ft)	Diameter (in.)
1	APRICA CUSP-TR	11.0	30.0	20.0
2	APRICA CUSP-TR	11.0	30.0	20.0
3	APRICA CUSP-TR	8.0	30.0	20.0
4	APRICA CUSP-TR	1.8	30.0	20.0
5	APRICA CUSP-TR	6.0	30.0	20.0
6	PALM	1.5	35.0	12.0
7	PALM	0.5	35.0	12.0
8	PALM	0.2	35.0	8.0
9	AVICADADA DATE	0.8	24.0	10.0
10	AVICADADA DATE	0.5	24.0	10.0
11	PALM CUSP-TR	3.0	35.0	8.0
12	PALM CUSP-TR	3.0	35.0	8.0
13	PALM CUSP-TR	2.0	40.0	8.0
14	PALM CUSP-TR	22.0	35.0	30.0
15	PALM CUSP-TR	22.0	35.0	30.0
16	PALM	0.7	30.0	10.0
17	PALM	0.4	30.0	10.0
18	PALM	3.5	45.0	32.0
19	PALM	0.7	30.0	10.0
20	HYPER CUSP-TR	10.0	30.0	20.0
21	PALM	0.8	30.0	20.0
22	PALM	0.5	30.0	20.0
23	PALM	0.5	30.0	20.0
24	PALM CUSP-TR	30.0	30.0	8.0
25	PALM	2.0	40.0	3.0
26	PALM	4.0	40.0	3.0
27	PALM	4.0	35.0	20.0
28	PALM	0.7	30.0	10.0
29	PALM	1.8	40.0	12.0
30	PALM	0.5	30.0	10.0
31	PALM	0.5	30.0	10.0
32	PALM CUSP-TR	10.0	32.0	20.0
33	PALM CUSP-TR	10.0	32.0	20.0
34	PALM	0.4	30.0	10.0
35	FREE	0.3	10.0	8.0
36	FREE	0.3	10.0	8.0
37	FREE	0.8	20.0	8.0
38	FREE	0.8	20.0	8.0



3. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER.
4. PREVENT THE USE OF FIRST RESPONDER DECONTAMINATION FOR ALL FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER.
5. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER. MINIMIZE THE USE OF HOT OR VERY HOT TEMPERATURES WHEN FIRST AID IS PLACED BY THE FIRST RESPONDER AND/OR SUBSEQUENT LEVEL OF DECONTAMINATION OF THE FIRST RESPONDER.

SURVEYOR'S NOTE:

AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES.  
LAND SURVEYORS ARE NOT ARBORIST.

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ADDITIONAL SURVEYOR'S

NOTES:

FOR SCAMMILL, NCVD (PRL) AND NCVD (BA)

For Journal Web 1231-4472/00

REFERS TO NATIONAL  
CRIMINAL RECORDS

X —————> GEODETIC VERTICAL  
DATUM 1929 (MVDZS)

44

REFERS TO NORTH  
AMERICAN VERTICAL

DATUM 1988 (NAD83)

CONVERSION NOTE:

NGVD(29)-1.55'=NAVD (88)

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**CONVERSION NOTE:**

NCUR/2011-1-551-N412 (88)

NGVD29-1 55°NAD (88)

### LEGEND

**LEGEND**

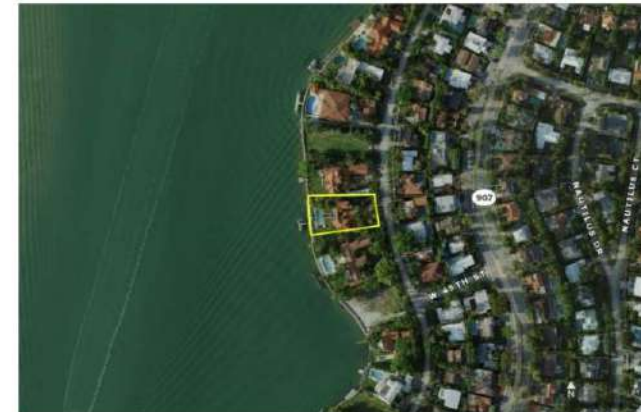
	= OVERHEAD UTILITY LINES
	= CONCRETE BLOCK WALL
	= CHAIN LINK FENCE
	= IRON FENCE
	= WOOD FENCE
	= BUILDING SETBACK LINE
	= UTILITY EASEMENT
	= LIMITED ACCESS R/W
	= NON-VEHICULAR ACCESS R/W
	= EXISTING ELEVATIONS



Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, [www.miamibeachfl.gov](http://www.miamibeachfl.gov)  
305.673.7550

ITEM #	Zoning Information			
1	Address:	4540 NORTH BAY ROAD, MIAMI BEACH, FL 33140		
2	Folio number(s):	02-3222-011-0190		
3	Board and file numbers :	DESIGN REVIEW BOARD - DRB21-0711		
4	Year built:	1990	Zoning District:	R-2
5	Base Flood Elevation:	+8' NGVD (per 54-35)	Grade value in NGVD:	+4.00' NGVD
6	Adjusted grade (Flood+Grade/2):	+6.00' NGVD	Free board:	5'-0"
7	Lot Area:	22,885.40 SF		
8	Lot width:	111.05 FT (average)	Lot Depth:	207.35' (average)
9	Max Lot Coverage SF and %:	6,865 SF / 30%	Proposed Lot Coverage SF and %:	6,862.30 SF / 29.98%
10	Existing Lot Coverage SF and %:	6,378 SF / 27.87%	Lot coverage deducted (garage-storage) SF:	1,644.69 SF
11	Front Yard Open Space SF and %:	2,142.36 SF / 70.26%	Rear Yard Open Space SF and %:	2,645.12 SF / 70.81%
12	Max Unit Size SF and %:	11,442.70 SF / 50%	Proposed Unit Size SF and %:	11,369 SF / 49.68%
13	Existing First Floor Unit Size:	2,811 SF	Proposed First Floor Unit Size:	5,551 SF
14	Existing Second Floor Unit Size:		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	62,425 CF / 47.36%
15		2,085 SF	Proposed Second Floor Unit Size SF and %:	4,994 SF / 43.65%
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A
		Required	Existing	Proposed
17	Height:	28 FT	28 FT	28'-0"
18	Setbacks:			
19	Front First level:	30 FT	69.25'	30'-0"
20	Front Second level:	30 FT	69.25'	30'-0"
21	Side 1:	11.11 FT	8.14'	13'-10 1/2"
22	Side 2 or (facing street):	11.11 FT	22.45'	13'-10 1/2"
23	Rear:	31.10 FT	62.39'	31'-1 1/4"
24	Accessory Structure Side 1:	N/A	N/A	N/A
24	Accessory Structure Side 2 or (facing street):	N/A	N/A	N/A
25	Accessory Structure Rear:	N/A	N/A	N/A
26	Sum of Side yard:	27.775'	30.59'	27'-9"
27	Located within a Local Historic District?			NO
28	Designated as an individual Historic Single Family Residence Site?			NO
29	Determined to be Architecturally Significant?			NO

All other data information should be presented like the above format



PROPERTY ADDRESS:	4540 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140
FOLIO NUMBER:	02-3222-011-0190
SUB-DIVISION:	NAUTILUS
LEGAL DESCRIPTION:	LOT 22, OF BLOCK 1, OF NAUTILUS SUBDIVISION, PLATBOOK 8, PAGE 95.
LOT DISTRICT:	R-2
FLOOD ZONE:	ZONE AE-7

OWNER	
BANK OF AMERICA BANK BRANCH, 100 N. 1ST ST. ANN ARBOR, MI 48106	
ARCHITECT	
CONCRETE DEVELOPMENT AND PRACTICE, INC. 100 N. 1ST ST., SUITE 200 ANN ARBOR, MI 48106	
LEAD DESIGNER	
JACQUES DUBOIS MANUFACTURING ENGINEER CAPABILITY AND SUPPORT ENGINEER	
LANDSCAPE ARCHITECT	
MANUSCRIPT DRAFTER BIOGRAPHIC ARCHITECTURAL GROUP, INC. 100 N. 1ST ST., SUITE 200 ANN ARBOR, MI 48106	
CIVIL ENGINEER	
100 N. 1ST ST., SUITE 200 ANN ARBOR, MI 48106	
STRUCTURAL ENGINEER	
JOHN KIMBLE ANN ARBOR, MI 48106	
MECHANICAL ENGINEER	
ANN ARBOR, MI 48106	
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ANN ARBOR, MI 48106	
PLUMBING ENGINEER	
ANN ARBOR, MI 48106	
MECHANICAL ENGINEER	







4540 NORTH BAY ROAD 3



4520 NORTH BAY ROAD 2



4462 NORTH BAY ROAD 1



**OWNER**  
 4540 NORTH BAY ROAD  
 MIAMI BEACH, FL 33149

**ARCHITECT**  
 O'DONOGHUE ARCHITECTURAL ASSOCIATES, INC.  
 1400 WEST PALM BLVD., SUITE 100  
 MIAMI BEACH, FL 33139

**LEAD DESIGNER**  
 JAMES P. O'DONOGHUE  
 1400 WEST PALM BLVD., SUITE 100  
 MIAMI BEACH, FL 33139

**LANDSCAPE ARCHITECT**  
 JAMES P. O'DONOGHUE  
 1400 WEST PALM BLVD., SUITE 100  
 MIAMI BEACH, FL 33139

**CIVIL ENGINEER**  
 JAMES P. O'DONOGHUE  
 1400 WEST PALM BLVD., SUITE 100  
 MIAMI BEACH, FL 33139

**STRUCTURAL ENGINEER**  
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 1400 WEST PALM BLVD., SUITE 100  
 MIAMI BEACH, FL 33139

**PLUMBING ENGINEER**  
 JAMES P. O'DONOGHUE  
 1400 WEST PALM BLVD., SUITE 100  
 MIAMI BEACH, FL 33139

**SAOTA**  
 1400 WEST PALM BLVD., SUITE 100  
 MIAMI BEACH, FL 33139

**PROJECT**  
 4540 NORTH BAY ROAD

**REVISIONS**

NO.	DATE	DESCRIPTION
1	08/11/11	PRELIMINARY
2	08/11/11	REVISED
3	08/11/11	REVISED
4	08/11/11	REVISED
5	08/11/11	REVISED
6	08/11/11	REVISED
7	08/11/11	REVISED
8	08/11/11	REVISED
9	08/11/11	REVISED
10	08/11/11	REVISED

**KEY PLAN**

**SCALE**  
 1" = 10'

**DATE**  
 08/11/11

**PROJECT**  
 4540 NORTH BAY ROAD

**EXISTING SOUTH NEIGHBOR PHOTOS**

**SHEET NO.**  
 A-010





4580 NORTH BAY ROAD 6



VACANT LOT 5



4550 NORTH BAY ROAD 4



4540 NORTH BAY ROAD 3



**OWNER**  
 4540 NORTH BAY ROAD  
 MIAMI BEACH, FL 33149

**ARCHITECT**  
 ODDP CONSULTING ARCHITECTS, LLC  
 1100 S. MIAMI AVENUE, SUITE 100  
 MIAMI BEACH, FL 33133

**LEAD DESIGNER**  
 ODDP CONSULTING ARCHITECTS, LLC  
 1100 S. MIAMI AVENUE, SUITE 100  
 MIAMI BEACH, FL 33133

**LEADSCAPE ARCHITECT**  
 ODDP CONSULTING ARCHITECTS, LLC  
 1100 S. MIAMI AVENUE, SUITE 100  
 MIAMI BEACH, FL 33133

**CIVIL ENGINEER**  
 ODDP CONSULTING ARCHITECTS, LLC  
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 MIAMI BEACH, FL 33133

**PLUMBING ENGINEER**  
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 MIAMI BEACH, FL 33133

**ODDP**  
 ODDP CONSULTING ARCHITECTS, LLC  
 1100 S. MIAMI AVENUE, SUITE 100  
 MIAMI BEACH, FL 33133

**SAOTA**  
 1100 S. MIAMI AVENUE, SUITE 100  
 MIAMI BEACH, FL 33133

**PROJECT**  
 4540 NORTH BAY RD.

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	08/21/21	SPR	Final Submittal

**KEY PLAN**

**SCALE** 1" = 10'

**DATE** 08/21/21

**PROJECT** 4540 NORTH BAY RD.

**EXISTING NORTH**

**NEIGHBOR PHOTOS**

**SHEET NO.**  
 A-011



[illegible]





4591 NORTH BAY ROAD 8



4575 NORTH BAY ROAD 7



4565 NORTH BAY ROAD 6



4555 NORTH BAY ROAD 5



**OWNER**  
 4540 NORTH BAY RD  
 MIAMI, FL 33149

**ARCHITECT**  
 SAOTA  
 1511 FIELD STREET, SUITE 1000, MIAMI, FL 33132  
 (305) 371-1111  
 WWW.SAOTA.COM

**LEAD DESIGNER**  
 JEFFREY L. SAOTA  
 JEFFREY@SAOTA.COM

**LEAD ENGINEER**  
 JEFFREY L. SAOTA  
 JEFFREY@SAOTA.COM

**STRUCTURAL ENGINEER**  
 JEFFREY L. SAOTA  
 JEFFREY@SAOTA.COM

**MECHANICAL ENGINEER**  
 JEFFREY L. SAOTA  
 JEFFREY@SAOTA.COM

**ELECTRICAL ENGINEER**  
 JEFFREY L. SAOTA  
 JEFFREY@SAOTA.COM

**PLUMBING ENGINEER**  
 JEFFREY L. SAOTA  
 JEFFREY@SAOTA.COM

**LANDSCAPE ARCHITECT**  
 JEFFREY L. SAOTA  
 JEFFREY@SAOTA.COM

**PROJECT LOCATION**  
 4540 NORTH BAY RD  
 MIAMI, FL 33149

**PROJECT DESCRIPTION**  
 EXISTING NORTH BAY RD. PROJECT

**REVISIONS**

NO.	DATE	DESCRIPTION
1	08/21/21	0101 Final Submittal

**KEY PLAN**

**SCALE**  
 1" = 10'

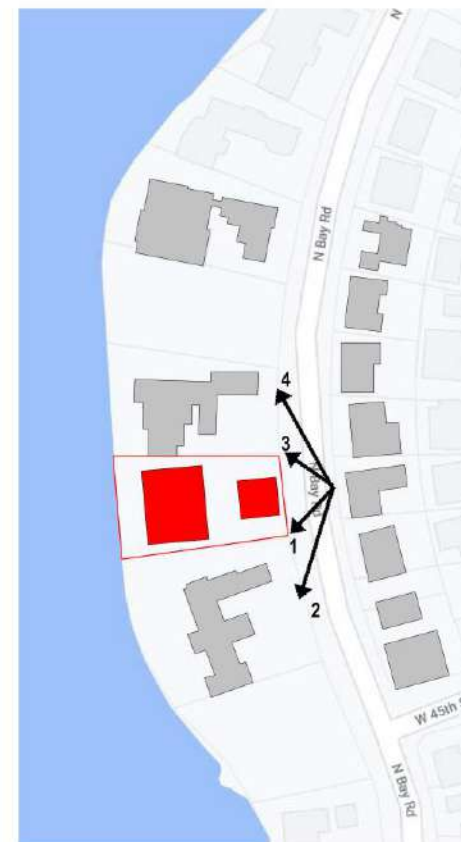
**DATE**  
 08/21/21

**PROJECT**  
 EXISTING NORTH BAY RD. PROJECT

**NEIGHBOR PHOTOS**

**SHEET NO.**  
 A-013



[illegible]





LOOKING EASTERLY FROM BOAT DOCK 4



LOOKING NORTHEASTERLY FROM SW CORNER OF PROPERTY 3



LOOKING NORTHWESTERLY FROM SE CORNER OF PROPERTY 2



LOOKING WESTERLY FROM DRIVEWAY ENTRANCE GATE 1

<b>OWNER</b>			
MAYOR & SONS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149			
<b>ARCHITECT</b>			
O'DONNELL, O'BRIEN & PARTNERS, ARCHITECTS, P.A. 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154			
<b>LEAD DESIGNER</b>			
DAVID L. O'DONNELL 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154			
<b>LANDSCAPE ARCHITECT</b>			
SAOTA 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154			
<b>CIVIL ENGINEER</b>			
TERRY W. HARRINGTON 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154			
<b>STRUCTURAL ENGINEER</b>			
JOHN J. HARRINGTON 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154			
<b>MECHANICAL ENGINEER</b>			
JOHN J. HARRINGTON 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154			
<p>THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT AND ENGINEER AND ARE TO BE USED IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND THE PROFESSIONAL CODE OF ETHICS. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE RESULTS OF THE CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR THE RESULTS OF THE CONSTRUCTION.</p>			
<p>SAOTA 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154 www.saota.com</p>			
<p><b>PROJECT</b> 4540 NORTH BAY RD. MIAMI BEACH, FL 33154</p>			
<p><b>REVISIONS</b></p>			
NO. 1	DATE 01/15/11	BY DLO	DESCRIPTION
2	01/15/11	DLO	Final Submittal
3			
4			
5			
<b>KEY PLAN</b>			
<p>SAOTA 10000 W. BAYVIEW BLVD., SUITE 1000 MIAMI BEACH, FL 33154 www.saota.com</p>			
<b>EXISTING SITE PHOTOS</b>			
SHEET NO. A-020			



[illegible]





2 PROPOSED 3D CONTEXT AERIAL LOOKING NE



1 PROPOSED 3D CONTEXT AERIAL LOOKING SW



3 PROPOSED 3D CONTEXT EAST ELEVATION



4 PROPOSED 3D CONTEXT WEST ELEVATION

OWNER  
BRIAN J. JONES  
BRIAN J. JONES & SONS  
BRIAN J. JONES & SONS  
BRIAN J. JONES & SONS

ARCHITECT  
KURT BANNING  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.

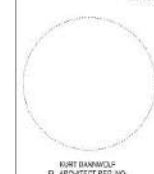
LEAD DESIGNER  
KURT BANNING  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.

LANDSCAPE ARCHITECT  
KURT BANNING  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.

CIVIL ENGINEER  
KURT BANNING  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.

STRUCTURAL ENGINEER  
KURT BANNING  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.

MECHANICAL ENGINEER  
KURT BANNING  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.



KURT BANNING  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.  
KURT BANNING ARCHITECTS, INC.



SAOTA  
SAOTA ARCHITECTS, INC.  
SAOTA ARCHITECTS, INC.  
SAOTA ARCHITECTS, INC.

PROJECT  
4540 NORTH BAY RD.  
4540 NORTH BAY RD. DUNEDIN, FL 33511

REVISIONS	DATE	BY	CHKD BY
1	08/11/11	SPR	SPR
2	08/11/11	SPR	SPR
3	08/11/11	SPR	SPR
4	08/11/11	SPR	SPR
5	08/11/11	SPR	SPR
6	08/11/11	SPR	SPR
7	08/11/11	SPR	SPR
8	08/11/11	SPR	SPR
9	08/11/11	SPR	SPR
10	08/11/11	SPR	SPR

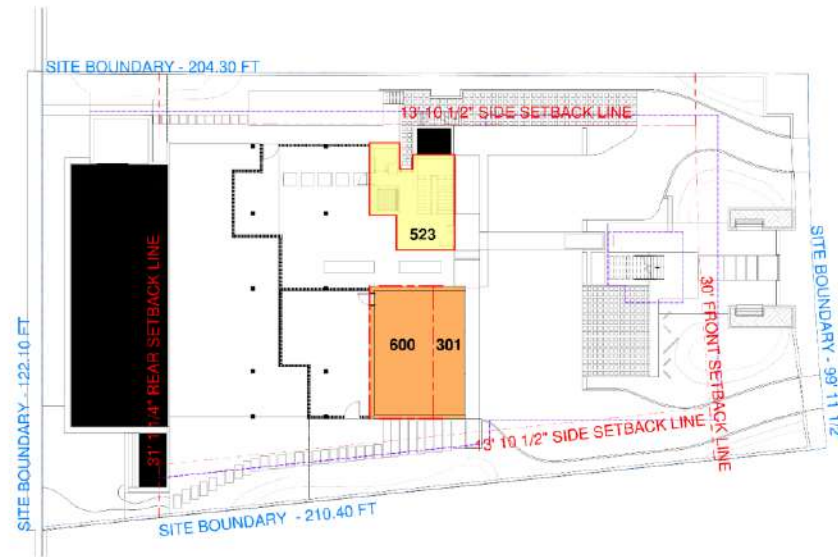
KEY PLAN

DATE: 08/11/11  
DRAWN BY: SPR  
CHECKED BY: SPR

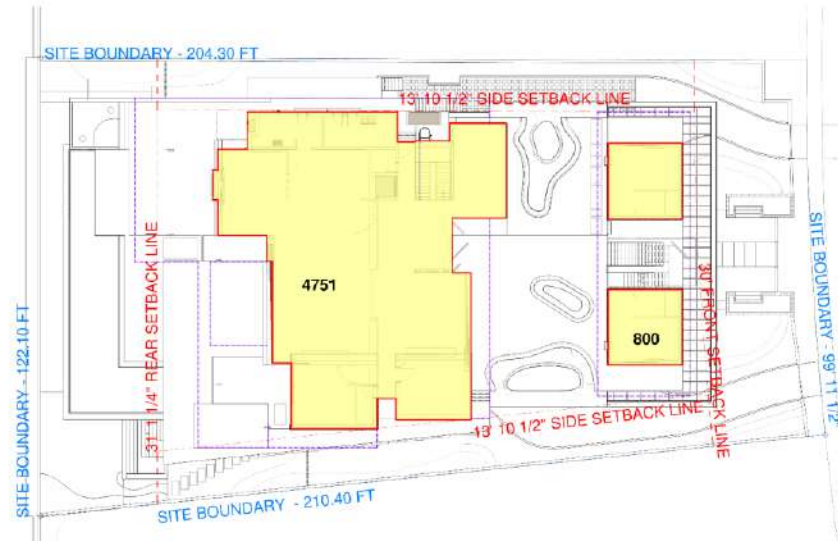
3D CONTEXT VIEWS

SHEET NO.  
A-031

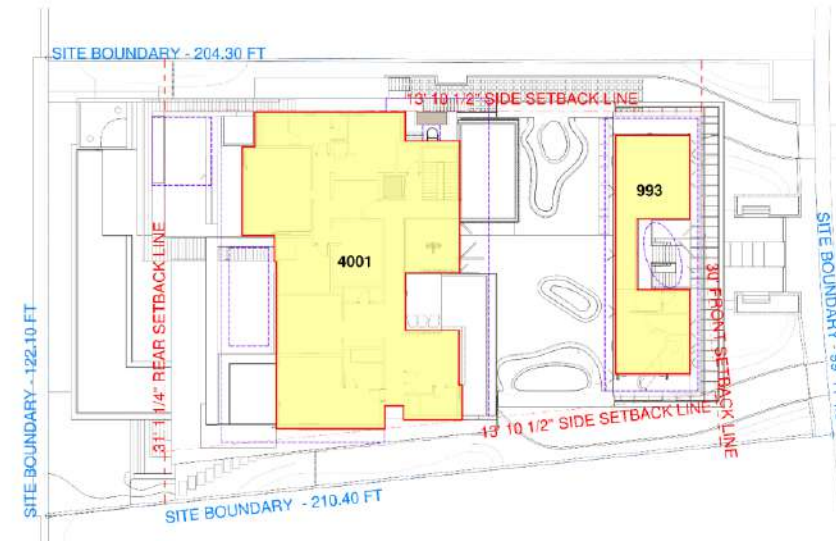
SAOTA ARCHITECTS, INC. 1101 WEST 10TH AVENUE, SUITE 100, DUNEDIN, FL 33511. TEL: 813.255.1101. FAX: 813.255.1102. WWW.SAOTA.COM



**1 UNIT SIZE: UNDERSTORY**  
1/16" = 1'-0"



**2 UNIT SIZE: FIRST FLOOR**  
1/16" = 1'-0"



**3 UNIT SIZE: SECOND FLOOR**  
1/16" = 1'-0"

UNIT SIZE ALLOWANCE (For CITY Compliance)		ALLOWABLE UNIT SIZE = LOT AREA X 50% 22 885 SF X 50%	
<b>ALLOWABLE UNIT SIZE</b>		<b>11 442 SF</b>	
<div style="display: inline-block; width: 10px; height: 10px; background-color: yellow; border: 1px solid black;"></div> GROSS INTERNAL AREA (Air Conditioned)	<b>B1 UNDERSTORY</b>	<b>523 SF</b>	
	<b>L1 FIRST FLOOR</b>	<b>5 551 SF</b>	
	<b>L2 SECOND FLOOR</b>	<b>4 994 SF</b>	
<div style="display: inline-block; width: 10px; height: 10px; background-color: orange; border: 1px solid black;"></div> GARAGE (Not Air Conditioned)	600 SF EXEMPT	(901 - 600)	<b>301 SF</b>
<b>TOTAL UNIT SIZE</b>		<b>11 369 SF</b>	

\* UNDERSTORY INT AC ALLOWANCE:  
5% OF 22 885 SF (LOT AREA) = 1 144 SF

**OWNER**  
BAYVIEW REAL ESTATE  
BAYVIEW REAL ESTATE, LLC  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**ARCHITECT**  
SAOTA  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**LEAD DESIGNER**  
ARCHITECT  
SAOTA  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**LANDSCAPE ARCHITECT**  
SAOTA  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**CIVIL ENGINEER**  
SAOTA  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**STRUCTURAL ENGINEER**  
SAOTA  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**MET-PP ENGINEER**  
SAOTA  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**PLANNING**  
SAOTA  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**SAOTA**  
11111 BAYVIEW BLVD, SUITE 100  
BAYVIEW, FL 33154

**PROJECT**  
4540 NORTH BAY RD.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	01/11/2024	ISSUED FOR PERMIT

**KEY PLAN**

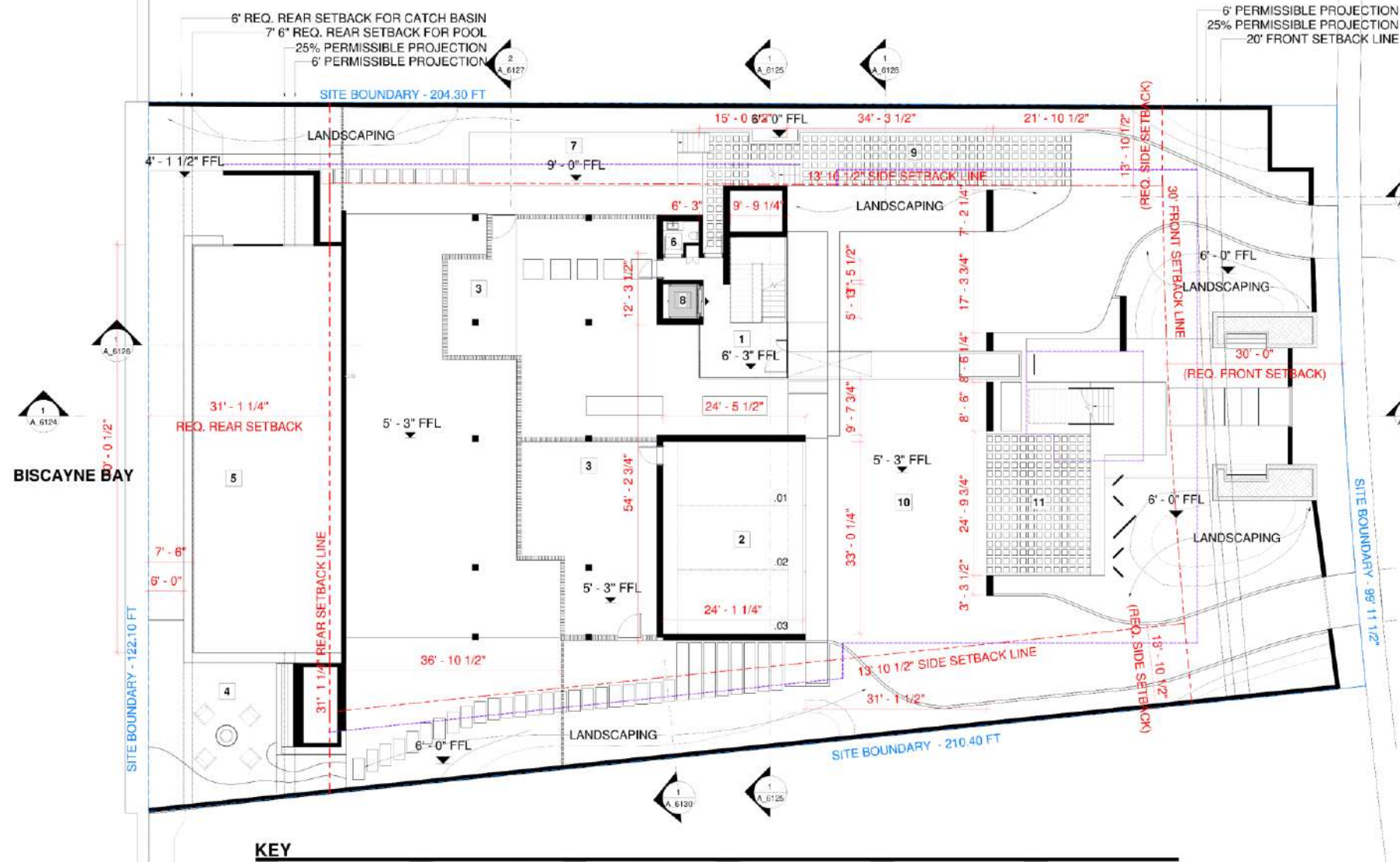
**UNIT SIZE**  
SHEET NO. A\_6103





[illegible]





**1 UNDERSTORY: DIM PLAN**  
1/8" = 1'-0"

**KEY**

1 Lobby	6 Powder Room D1	11 Guest Parking
2 Garage	7 Pool Equipment	
3 Store Room	8 Elevator	
4 Fire Pit Seating	9 Service Driveway	
5 Pool	10 Motor Court	

**OWNER**  
BAYVIEW 20  
4540 NORTH BAY RD.  
BAYVIEW, FL 33154

**ARCHITECT**  
SAOTA  
1814 N. W. 10TH AVE., SUITE 200  
MIAMI, FL 33136  
TEL: 305.575.1234  
WWW.SAOTA.COM

**LEAD ARCHITECT**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD DESIGNER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD ENGINEER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD ELECTRICAL ENGINEER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD MECHANICAL ENGINEER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD PLUMBING ENGINEER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD CIVIL ENGINEER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD LANDSCAPE ARCHITECT**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD STRUCTURAL ENGINEER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**LEAD MEP ENGINEER**  
JAMES J. SAOTA  
JESSE J. SAOTA  
JAMES J. SAOTA  
JESSE J. SAOTA

**SAOTA**  
1814 N. W. 10TH AVE., SUITE 200  
MIAMI, FL 33136  
TEL: 305.575.1234  
WWW.SAOTA.COM

**PROJECT**  
4540 NORTH BAY RD.

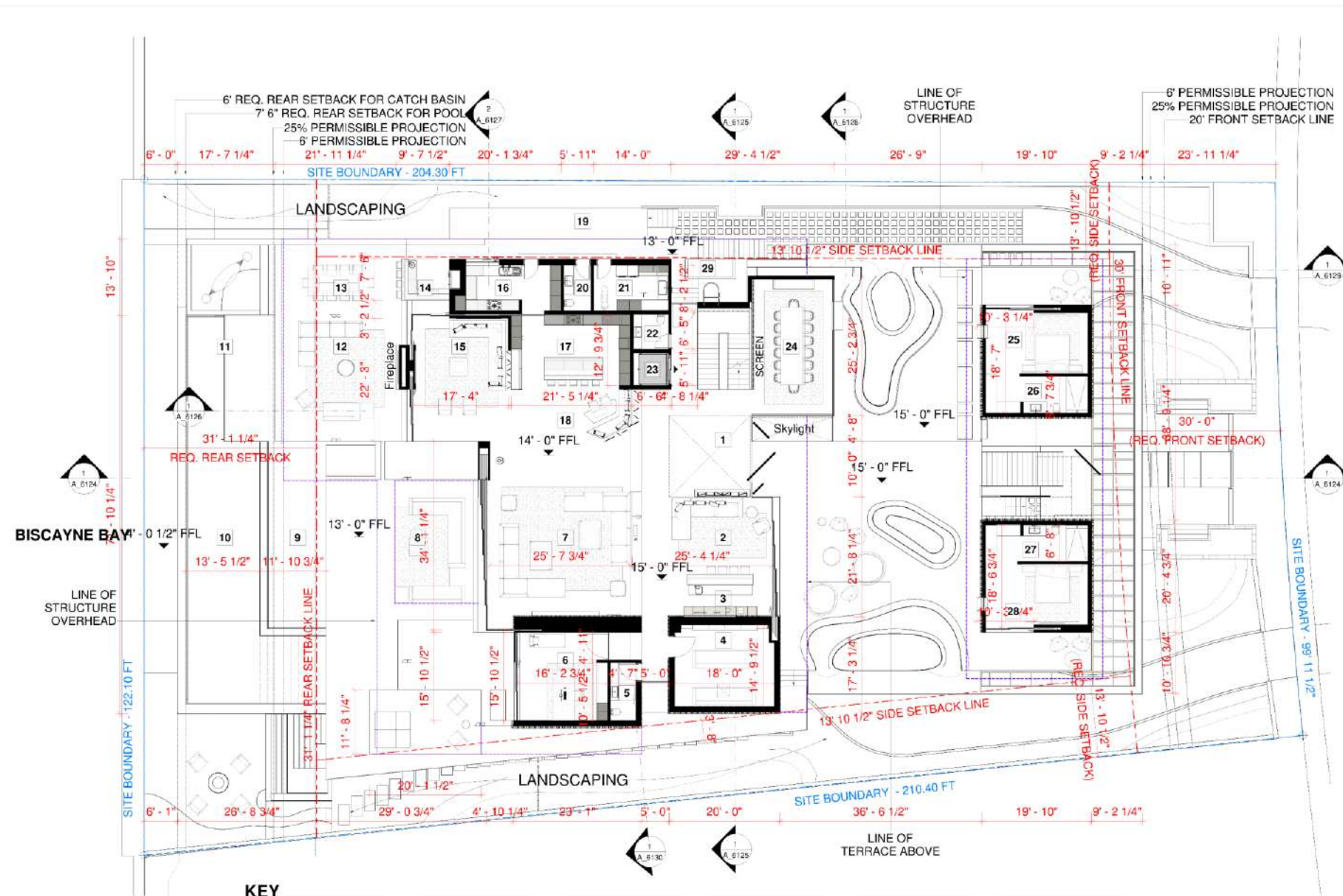
**REVISIONS**

NO.	DATE	DESCRIPTION
1	08-27-2018	001 Final Submit

**KEY PLAN**

**SCALE**  
1/8" = 1'-0"

**B1 DIM PLAN**  
SHEET NO.  
A.6113



**1 FIRST FLOOR: DIM PLAN**  
1/8" = 1'-0"

**KEY**

1 Entry	6 Office	11 Hot Tub	16 BOH Kitchen	21 Laundry	26 Guest ES 01
2 Bar Lounge	7 Great Room	12 Outdoor Lounge 02	17 FOH Kitchen	22 Powder Room 04	27 Guest ES 02
3 Bar	8 Outdoor Lounge 01	13 Outdoor Dining	18 Breakfast Dining	23 Elevator	28 VIP Guest 02
4 Media Room	9 Baja Shelf	14 Outdoor Bar	19 Pool Equipment	24 Dining Room	
5 Powder Room 02	10 Pool	15 Family Room	20 Powder Room 03	25 VIP Guest 01	

**OWNER**  
SAOTA

**ARCHITECT**  
SAOTA

**LEADER/DESIGNER**  
SAOTA

**LANDSCAPE ARCHITECT**  
SAOTA

**CIVIL ENGINEER**  
SAOTA

**STRUCTURAL ENGINEER**  
SAOTA

**MET/FP ENGINEER**  
SAOTA

**SAOTA**  
1814 N. HAVEN DRIVE, SUITE 100, MIAMI, FL 33136  
P: 305.555.1234 F: 305.555.1235  
www.saota.com

**PROJECT**  
4540 NORTH BAY RD.

**REVISIONS**

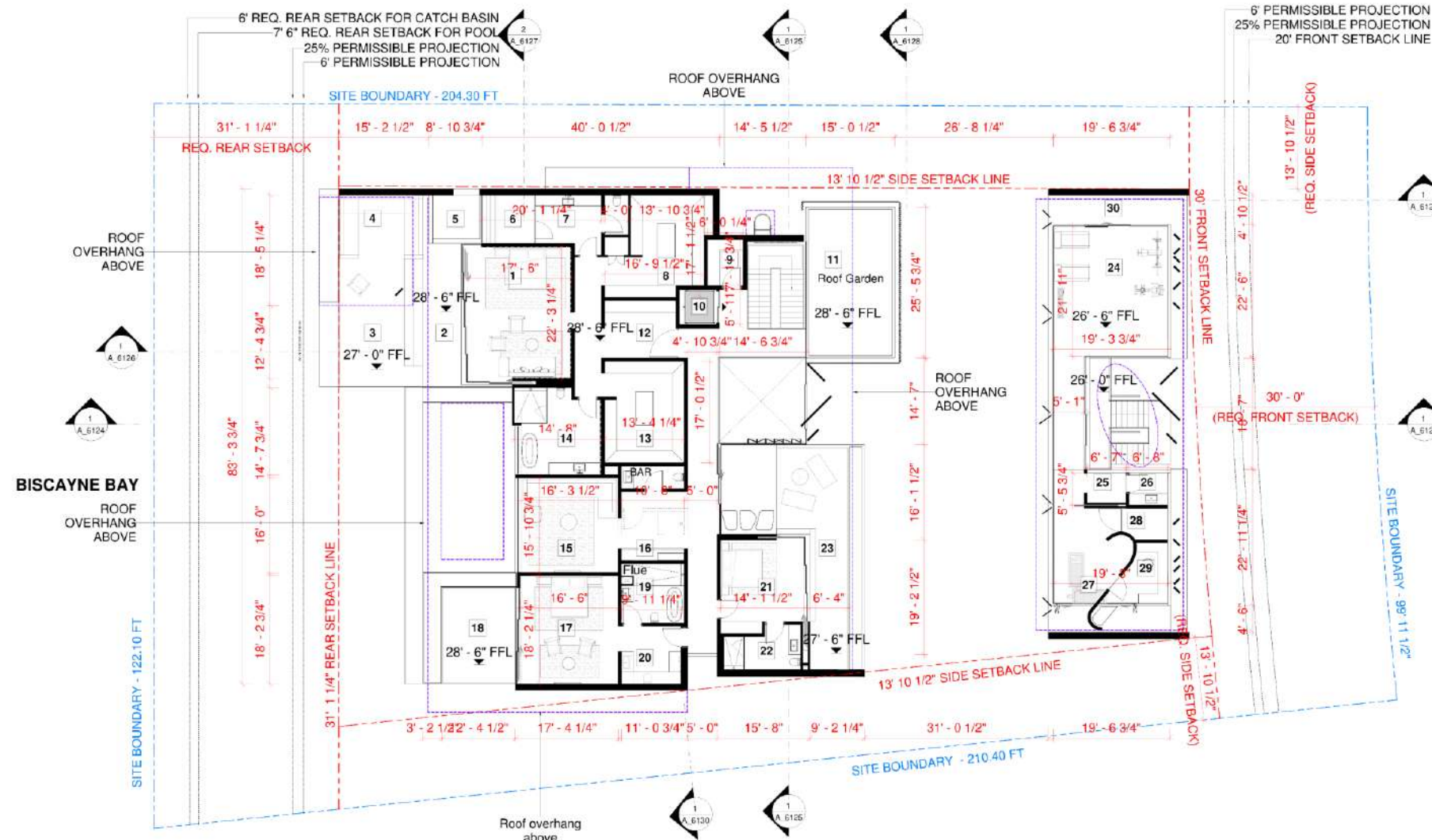
**KEY PLAN**

**DATE**  
10/1/2019

**BY**  
SAOTA

**L1 DIM PLAN**  
SHEET NO.  
A\_6114





**1 SECOND FLOOR: DIM PLAN**  
1/8" = 1'-0"

**KEY**

1 Master Bedroom	6 Shower Wet Room	11 Roof Garden	16 Powder Room 05	21 Guest Bedroom 04	26 Powder Room 06
2 Covered Terrace	7 En Suite 01	12 Entry	17 VIP Guest 03	22 En Suite 04	27 Massage
3 Terrace	8 Walk-in Closet 01	13 Walk-in Closet 02	18 Covered Terrace	23 Sunrise Deck	28 Sauna
4 Covered Terrace	9 Store Room	14 En Suite 02	19 Walk-in Closet 03	24 Gym	29 Steam Shower
5 Hot Tub	10 Elevator	15 Lounge	20 En Suite 03	25 Change Room	30 Covered Terrace

**OWNER**  
SAOTA

**ARCHITECT**  
SAOTA

**LEADER/DESIGNER**  
SAOTA

**LANDSCAPE ARCHITECT**  
SAOTA

**CIVIL ENGINEER**  
SAOTA

**STRUCTURAL ENGINEER**  
SAOTA

**METRIC ENGINEER**  
SAOTA

**SAOTA**  
18141 HAVENWOOD DRIVE, SUITE 100, NORTH BAY, FL 33414  
TEL: 561.850.1234 FAX: 561.850.1235  
WWW.SAOTA.COM

**PROJECT**  
4540 NORTH BAY RD.

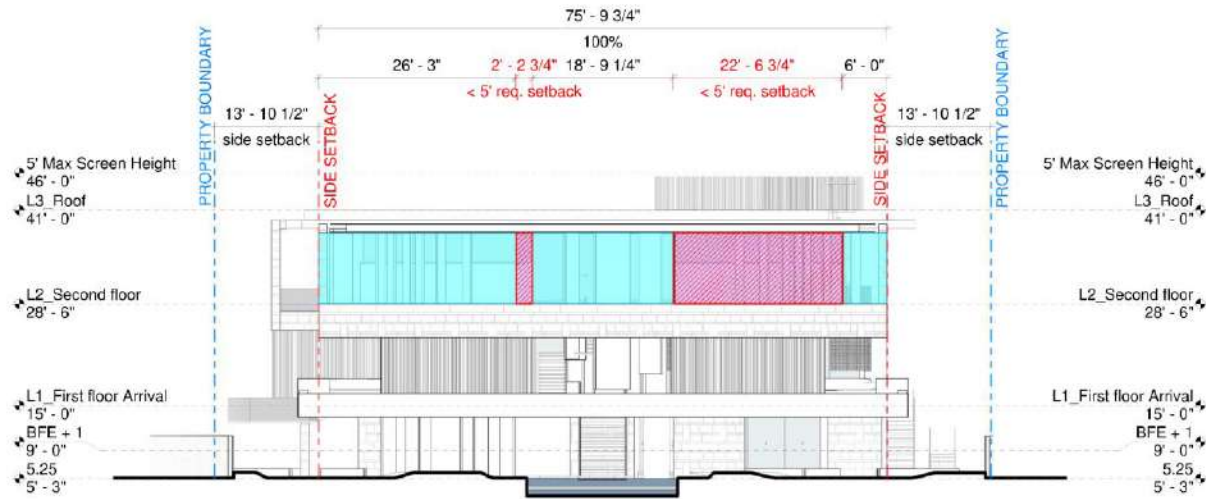
**REVISIONS**

NO.	DATE	DESCRIPTION
1	08/11/2011	ISSUED FOR PERMIT

**KEY PLAN**

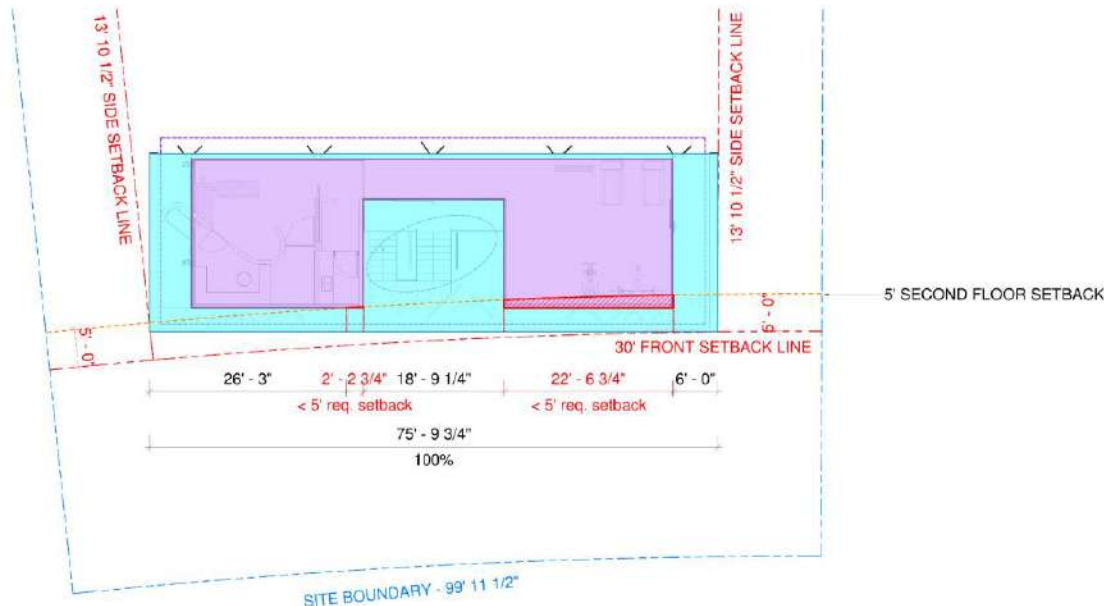
**SCALE**  
1/8" = 1'-0"

**L2 DIM PLAN**  
SHEET NO. A.6115



35% SECOND FLOOR SETBACK (For CITY Compliance) (5' Setback from required front setback line)	
<b>MIN REQUIRED SETBACK</b>	<b>35%</b>
EXTERNAL AREA	51.02 F
INTERNAL AREA ( $< 5'$ req. setback)	24.79 F
TOTAL LENGTH	75.82 F
<b><math>&gt; 5'</math> REQUIRED SETBACK</b>	<b>67.29%</b>

**2 SECOND FLOOR: 35% SETBACK ELEVATION**  
1/8" = 1'-0"



**1 SECOND FLOOR: 35% SETBACK PLAN**  
1/8" = 1'-0"



OWNER  
PROJECT NO.  
ADDRESS  
CITY/STATE/ZIP

ARCHITECT  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

LEAD DESIGNER  
NAME  
TITLE

LANDSCAPE ARCHITECT  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

CIVIL ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

STRUCTURAL ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

MECHANICAL ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

ELECTRICAL ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

PLUMBING ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

HAZARDOUS WASTE ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

SOIL REMEDIATION ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

WATER QUALITY ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

WIND ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

SEISMIC ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

ENVIRONMENTAL ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

TRANSPORTATION ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

AVIATION ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

SAFETY ENGINEER  
FIRM NAME  
ADDRESS  
CITY/STATE/ZIP

PROJECT NO.  
PROJECT NAME  
PROJECT ADDRESS  
PROJECT CITY/STATE/ZIP

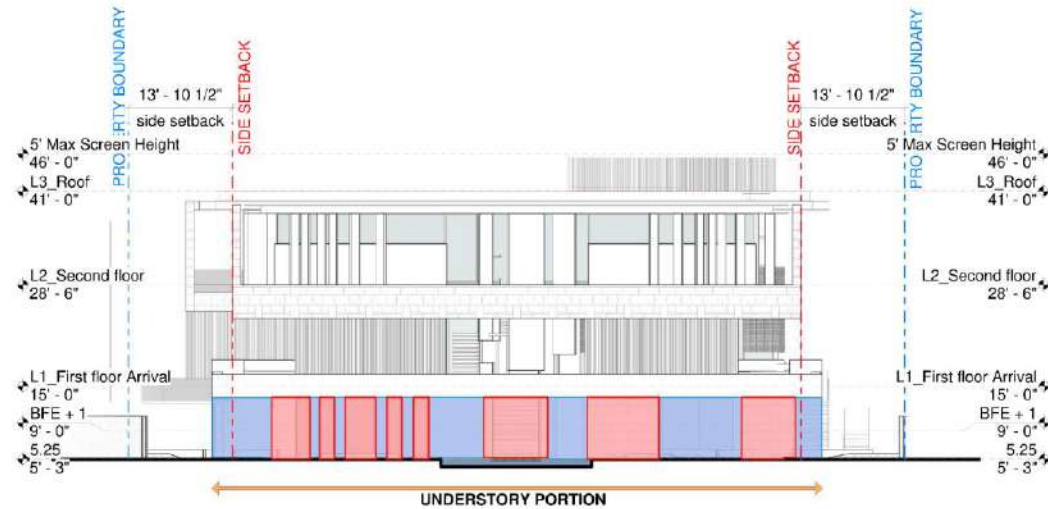
DATE  
DRAWN BY  
CHECKED BY  
APPROVED BY

35% FRONT SETBACK  
SHEET NO.  
A.6117

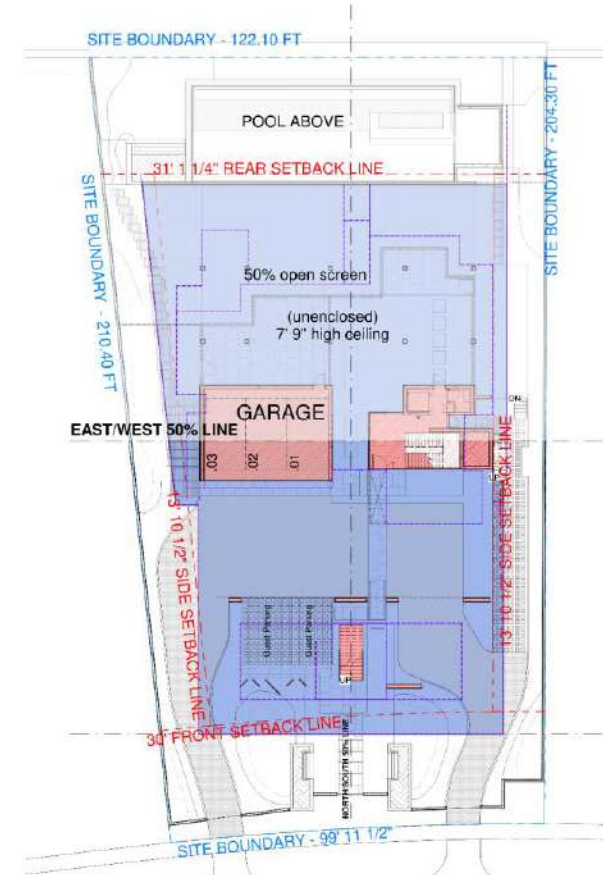
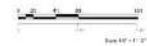


UNDERSTORY OPEN-AIR CALCULATION  
(For City Compliance)

MINIMUM OPENNESS		50%
OPEN		333.37 SF
CLOSED		331.06 SF
TOTAL AREA		664.43 SF
PERCENTAGE ACHIEVED		333.37 (OPEN) / 664.43 (TOTAL) X 100
		50.17 %



2 50% OPEN UNDERSTORY: EAST ELEVATION  
1/8" = 1'-0"



1 50% OPEN UNDERSTORY: EAST PLAN  
1/16" = 1'-0"



OWNER  
PROJECT NO.  
SUBMITTER'S NAME  
SUBMITTER'S ADDRESS

ARCHITECT  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

LANDSCAPE ARCHITECT  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

CIVIL ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

STRUCTURAL ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

MECHANICAL ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

ELECTRICAL ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

PLUMBING ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

HEAVY CONSTRUCTION ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL

SAOTA  
1400 NORTH BAY RD.  
SUITE 100  
DALLAS, TEXAS 75201  
TEL: 214.750.1000  
FAX: 214.750.1001  
WWW.SAOTA.COM

PROJECT  
4540 NORTH BAY RD.

REVISIONS

KEY PLAN

DATE  
DRAWN BY  
CHECKED BY  
APPROVED BY

50% OPEN EAST  
SHEET NO.  
A.6121

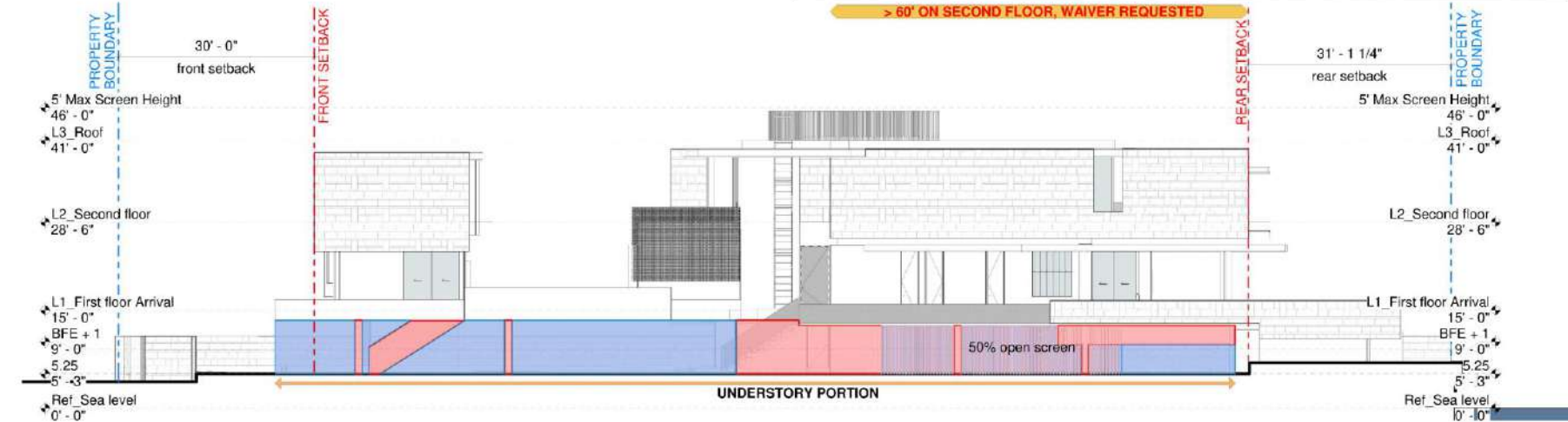
UNDERSTORY OPEN-AIR CALCULATION  
(For CITY Compliance)

MINIMUM OPENNESS

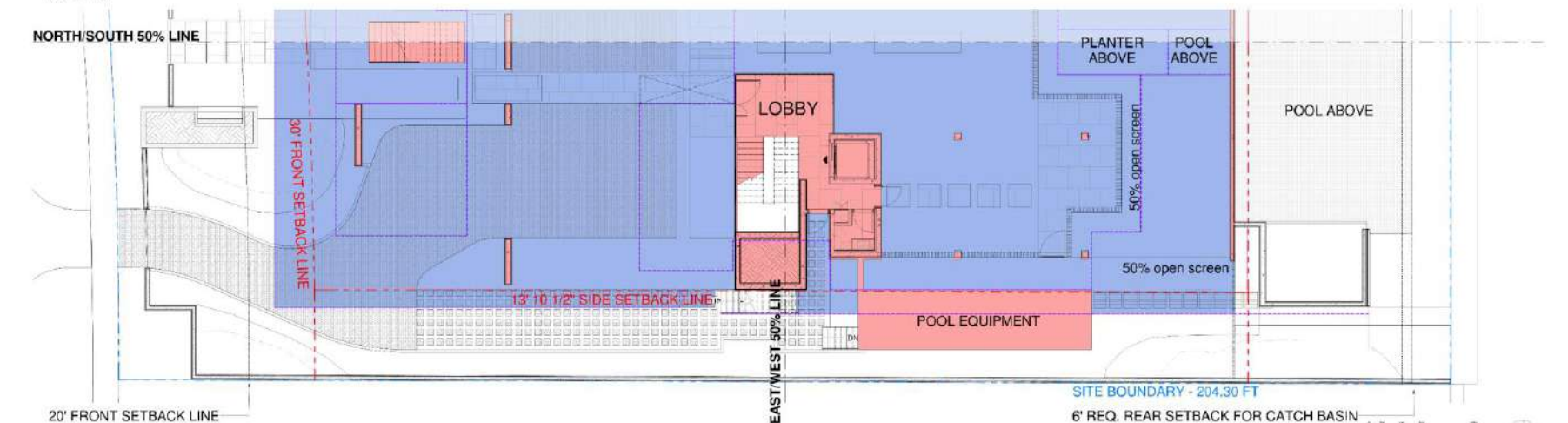
50%

OPEN		585.41 SF
50% OPEN	(50% = 115.85)	231.70 SF
CLOSED		338.10 SF
TOTAL AREA		1155.21 SF
PERCENTAGE ACHIEVED		$[585.41 (OPEN) + 115.85 (50\% OPEN)] / 1155.21 (TOTAL) \times 100$
		60.70 %

> 60' ON SECOND FLOOR, WAIVER REQUESTED



2 50% OPEN UNDERSTORY: NORTH ELEVATION  
1/8" = 1'-0"



1 50% OPEN UNDERSTORY: NORTH PLAN  
1/8" = 1'-0"

OWNER  
PROJECT NO.  
SUBMITTER'S NAME  
SUBMITTER'S ADDRESS  
SUBMITTER'S PHONE  
SUBMITTER'S EMAIL

ARCHITECT  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM EMAIL

LANDSCAPE ARCHITECT  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM EMAIL

CIVIL ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM EMAIL

STRUCTURAL ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM EMAIL

METEOROLOGICAL ENGINEER  
FIRM NAME  
FIRM ADDRESS  
FIRM PHONE  
FIRM EMAIL

WATER MAINS  
PLANNING  
DESIGN  
CONSTRUCTION

SAOTA  
1000 NORTH BAY RD.  
SUITE 100  
DALLAS, TX 75201  
PHONE: 214.760.1000  
FAX: 214.760.1001  
WWW.SAOTA.COM

PROJECT  
4540 NORTH BAY RD.

REVISIONS

KEY PLAN

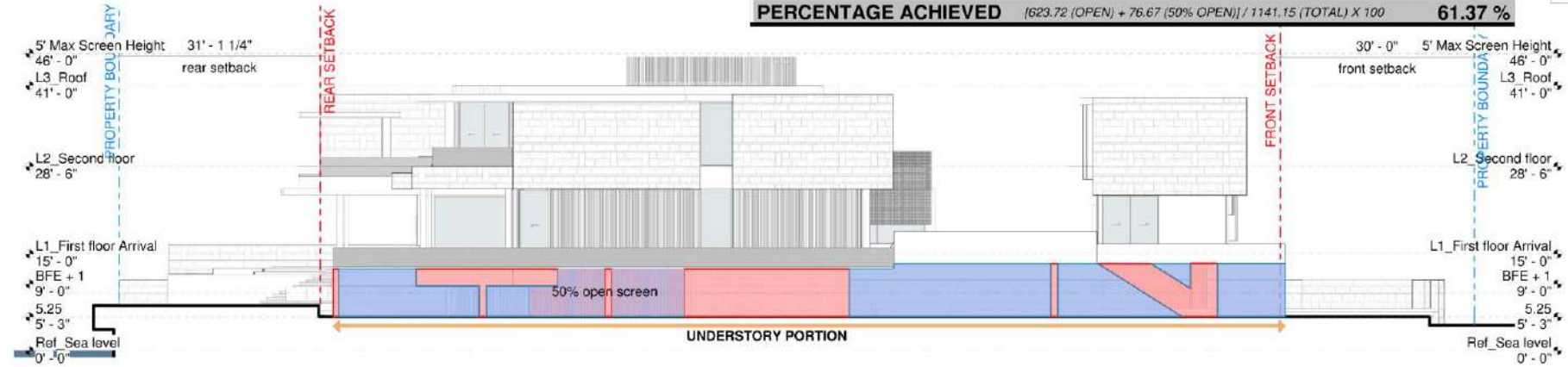
DATE  
BY  
CHECKED  
DATE

50% OPEN NORTH  
SHEET NO.  
A.6122

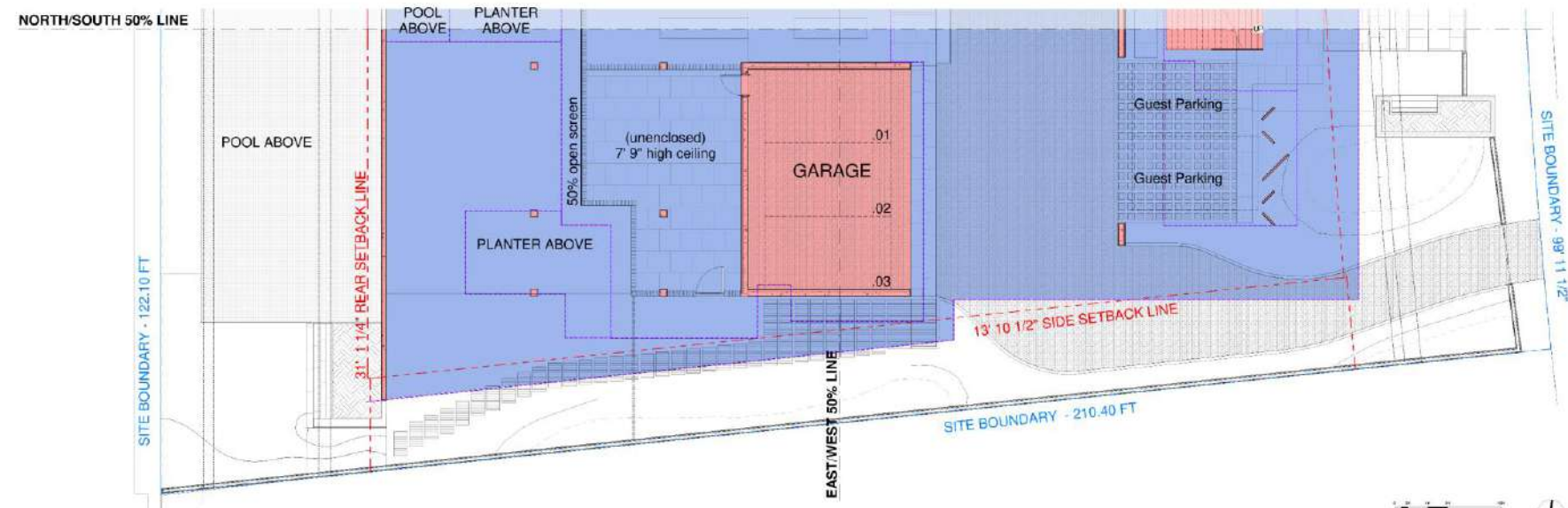


# UNDERSTORY OPEN-AIR CALCULATION (For CITY Compliance)

MINIMUM OPENNESS		50%
OPEN	623.72 SF	
50% OPEN	(50% = 76.67 SF) 153.35 SF	
CLOSED	364.08 SF	
TOTAL AREA		1141.15 SF
PERCENTAGE ACHIEVED		$[623.72 \text{ (OPEN)} + 76.67 \text{ (50% OPEN)}] / 1141.15 \text{ (TOTAL)} \times 100$ 61.37 %



**2 50% OPEN UNDERSTORY: SOUTH ELEVATION**  
1/8" = 1'-0"



**1 50% OPEN UNDERSTORY: SOUTH PLAN**  
1/8" = 1'-0"

**OWNER**  
SAOTA

**ARCHITECT**  
SAOTA

**LANDSCAPE ARCHITECT**  
SAOTA

**CIVIL ENGINEER**  
SAOTA

**STRUCTURAL ENGINEER**  
SAOTA

**METEOROLOGICAL ENGINEER**  
SAOTA

**SAOTA**  
1840 NORTH BAY RD.  
SUITE 100  
DALLAS, TEXAS 75201  
TEL: 214.750.1000  
WWW.SAOTA.COM

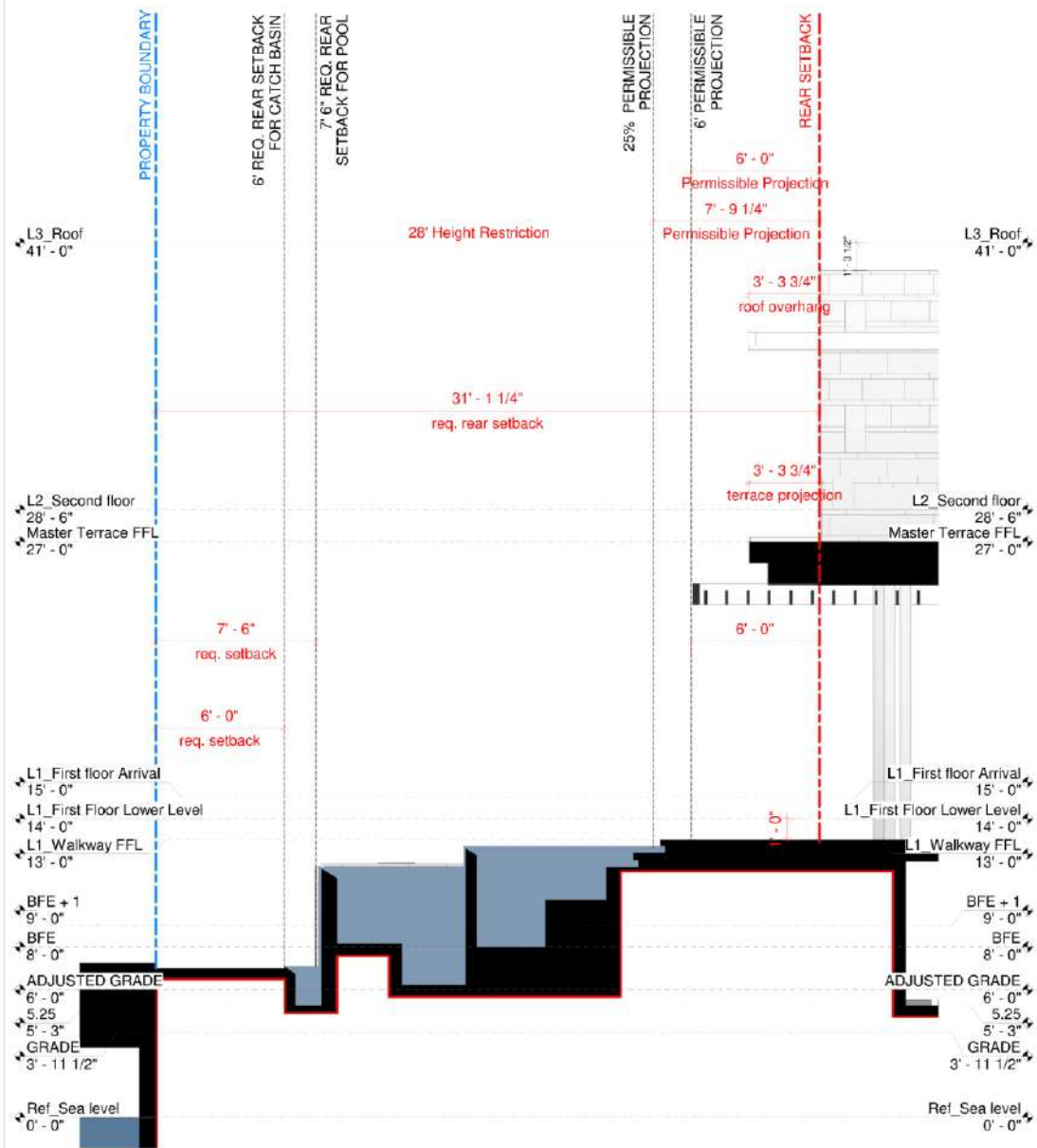
**PROJECT**  
4540 NORTH BAY RD.

**REVISIONS**

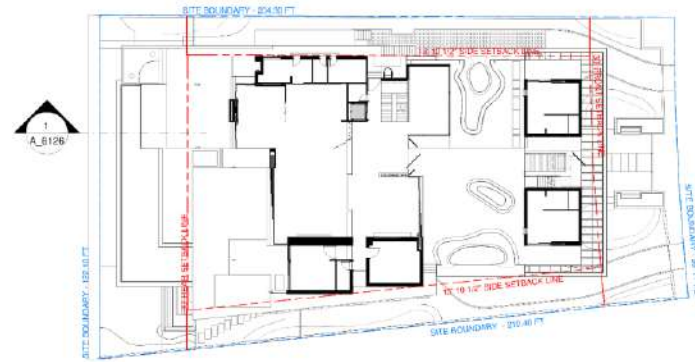
**KEY PLAN**

**SCALE**  
1/8" = 1'-0"

**50% OPEN SOUTH**  
SHEET NO.  
A.6123



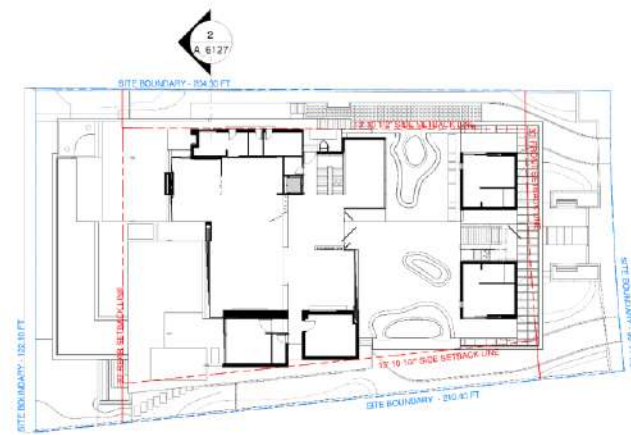
**1 SECTION CC**  
3/8" = 1'-0"



**2 KEY PLAN**  
3/64" = 1'-0"

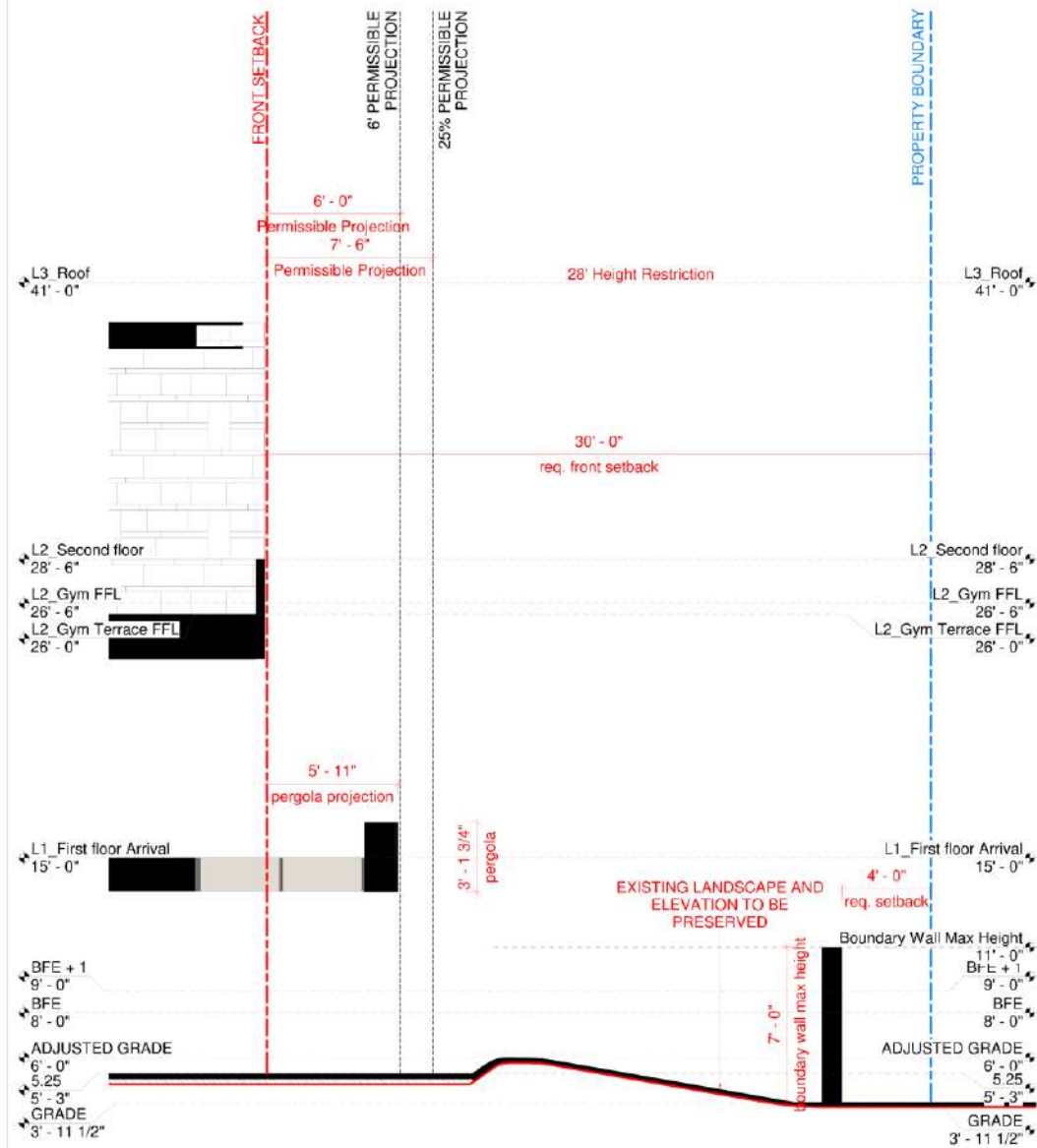
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<b>ARCHITECT</b>	SAOTA
<b>LEAD ARCHITECT</b>	SAOTA
<b>LANDSCAPE ARCHITECT</b>	SAOTA
<b>CIVIL ENGINEER</b>	SAOTA
<b>STRUCTURAL ENGINEER</b>	SAOTA
<b>METRIC ENGINEER</b>	SAOTA
<b>REVISIONS</b>	
<b>REVISION NO.</b>	
<b>REVISION DESCRIPTION</b>	
<b>DATE</b>	
<b>BY</b>	
<b>CHECKED BY</b>	
<b>DATE</b>	
<b>PROJECT</b>	4540 NORTH BAY RD.
<b>LOCATION</b>	4540 NORTH BAY RD., SAN ANTONIO, TX 78209
<b>SECTION</b>	SECTION CC
<b>SHEET NO.</b>	A_6126



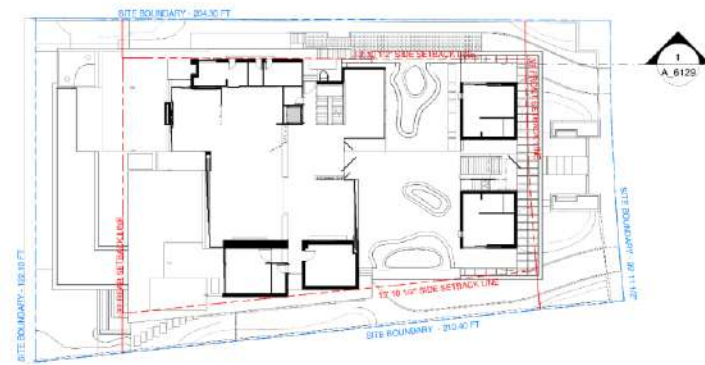
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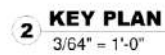


**1 SECTION FF**  
3/8" = 1'-0"



**2 KEY PLAN**  
3/64" = 1'-0"

<b>OWNER</b>	
4540 NORTH BAY RD.	
<b>ARCHITECT</b>	
SAOTA	
<b>LEAD DESIGNER</b>	
SAOTA	
<b>LANDSCAPE ARCHITECT</b>	
SAOTA	
<b>CIVIL ENGINEER</b>	
SAOTA	
<b>STRUCTURAL ENGINEER</b>	
SAOTA	
<b>METRIC ENGINEER</b>	
SAOTA	
<b>REVISIONS</b>	
NO.	DESCRIPTION
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<b>SECTION FF</b>	
SHEET NO.	
A_6129	

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4540 NORTH BAY ROAD GARDEN

4540 North Bay Road, Miami Beach, FL 33140

DRB21-0711 - FINAL SUBMITTAL 08-02-21

Prepared for:

4540 NBR LLC  
655 Madison Ave, 11th Floor  
New York, NY 10065

Prepared by:

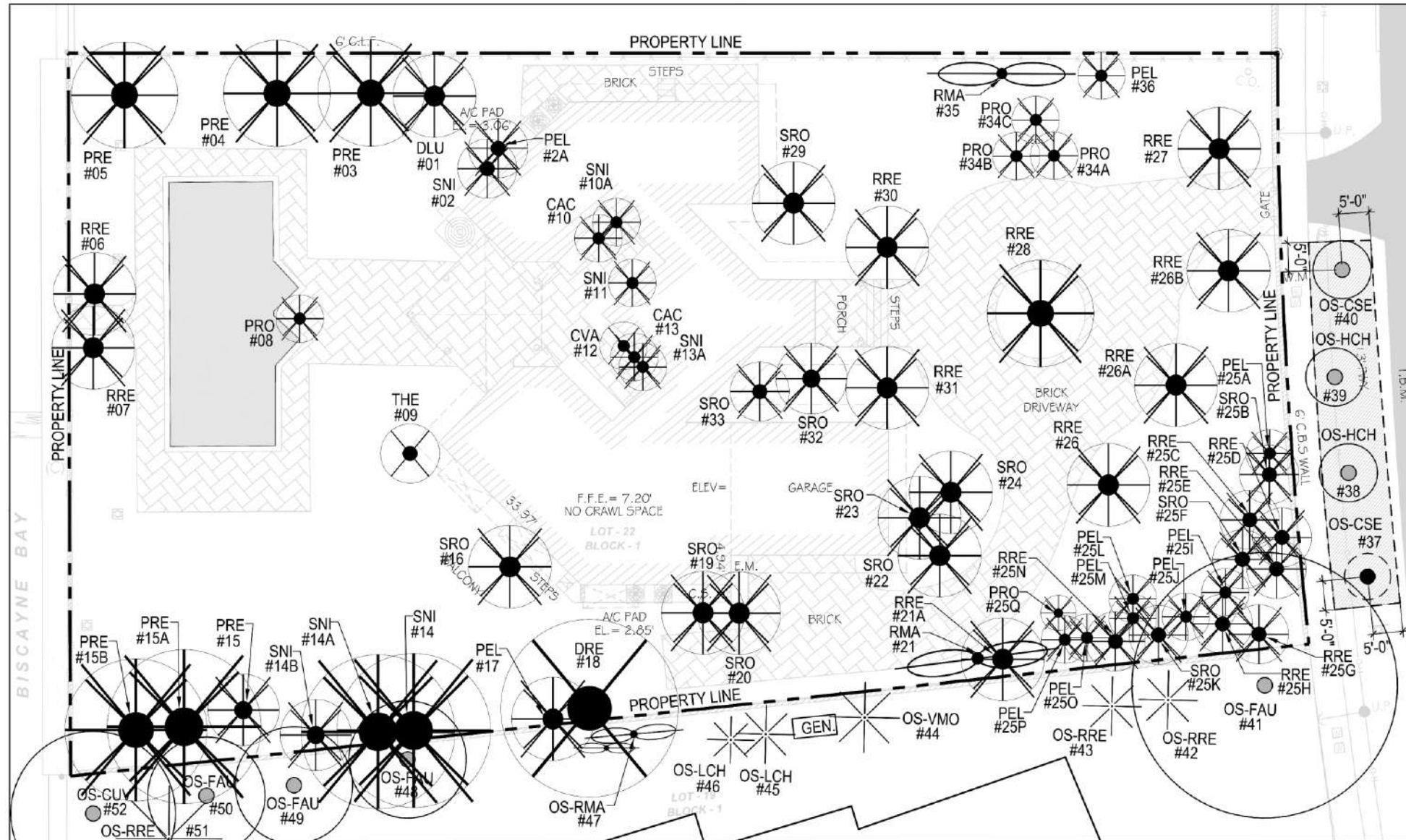
jungles

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Florida License No. LC 000258

Sheet #	Drawing Index	DRB21-0711 FIRST SUBMITTAL (07-12-21)	DRB21-0711 FINAL SUBMITTAL (08-02-21)
L-000	COVER	*	*
L-100	TREE DISPOSITION PLAN	*	*
L-101	TREE DISPOSITION SCHEDULE	*	*
L-102	TREE DISPOSITION NOTES & DETAILS	*	*
L-103	HARDSCAPE PLAN - GROUND FLOOR	*	*
L-104	HARDSCAPE PLAN - FIRST FLOOR	*	*
L-105	(not included in set)		
L-106	CANOPY PLANTING PLAN - GROUND LEVEL	*	*
L-107	CANOPY PLANTING PLAN - FIRST FLOOR	*	*
L-108	UNDERSTORY PLANTING PLAN - GROUND LEVEL	*	*
L-109	UNDERSTORY PLANTING PLAN - FIRST FLOOR	*	*
L-110	UNDERSTORY PLANTING PLAN - SECOND FLOOR	*	*
L-111	PLANT LIST & MITIGATION CHART	*	*
L-112	LANDSCAPE LEGEND	*	*
L-113	PLANTING DETAILS	*	*
L-114	PLANTING NOTES & SPECIFICATIONS	*	*
L-115	LANDSCAPE LIGHTING SPECIFICATIONS	*	*

REVISION	DATE	BY	DESCRIPTION



**LEGEND**

PROPERTY LINE	TREE	N/A	N/A	EXISTING TO BE REMOVED	EXISTING OFF-SITE TO BE REMOVED
TREE PROTECTION BARRIER	PALM	N/A	N/A	EXISTING TO BE RELOCATED	EXISTING OFF-SITE TO BE RELOCATED
TREE PROTECTION ZONE	TRAVELERS TREE	N/A	N/A	EXISTING TO REMAIN	EXISTING OFF-SITE TO REMAIN

EXISTING TO REMAIN	EXISTING TO BE RELOCATED	EXISTING TO BE REMOVED	EXISTING OFF-SITE TO REMAIN	EXISTING OFF-SITE TO BE REMOVED

**GENERAL NOTES:**

1. TREE SURVEY BASED ON ALL AVAILABLE INFORMATION. CONTRACTOR TO REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION. RAYMOND JUNGLES, INC. (RJ) MAY ASSIST WITH THE TAGGING OF ALL TREES IN THE FIELD.
2. ALL TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF 60 DAYS PRIOR TO THEIR RELOCATION AND SHOULD BE SET UP ON A CONTROLLED IRRIGATION SYSTEM DURING THIS TIME. RJ WILL ALSO OVERSEE ANY RECOMMENDATIONS FOR FURTHER MODIFICATIONS TO ANY EXISTING MATERIAL.
3. ALL FIRTS TO BE FILLED THE SAME DAY OF REMOVAL OF TREES. RESTORE SURFACE WITH SOD OR MULCH TO MATCH EXISTING CONDITIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING ABOVE AND UNDERGROUND UTILITIES 48 HOURS PRIOR TO ANY ON SITE EXCAVATION.
5. REVIEW ADDITIONAL NOTES AND DETAILS ON SHEET L-102 FOR RELOCATED MATERIAL.
6. SEE SHEET L-101 FOR TREE DISPOSITION SCHEDULE.
7. REFER TO LANDSCAPE PLANS FOR FINAL LOCATION OF RELOCATED TREES.
8. ALL WORK AND/OR IMPROVEMENTS WITHIN THE RIGHT-OF-WAY, INCLUDING LANDSCAPING AND IRRIGATION, REQUIRES A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.



















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- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO SUBMITTING A BID.
- LANDSCAPE CONTRACTOR SHALL PROVIDE AN INSTALLATION SCHEDULE TO THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- LANDSCAPE CONTRACTOR SHOULD VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE LANDSCAPE ARCHITECT'S DRAWINGS PRIOR TO SUBMITTING A BID.
- PLANT PLAN SHALL TAKE PRECEDENCE OVER PLANTING LIST IN CASE OF DISCREPANCIES.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLANS SHALL BE CONSIDERED DIAGNOSTIC AND SHOULD BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR TO AVOID UTILITIES AND ALL OTHER OBSTRUCTIONS, AFTER CONSULTING THE LANDSCAPE ARCHITECT.
- ALL SIZES SPECIFIED FOR PLANT MATERIAL ON THE PLAN AND PLANT LIST SHALL BE CONSIDERED MINIMUM.
- ALL PLANT MATERIAL MUST MEET OR EXCEED THE SPECIFIED MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. MEASURE ALL INSTALLED PLANTS AND COMPARE AGAINST SPECIFICATIONS.
- ANY SPECIFIC REQUIREMENTS SUCH AS SPECIFIC SHAPE, CHARACTER, NUMBER OF TREE TRUNKS, PLANT SOURCE, TRANSPORTING, AND OR SPECIAL BRACING NOTED ON THE PLAN OR PLANT LIST, WILL REQUIRE APPROVAL AND OR COORDINATION WITH THE LANDSCAPE ARCHITECT.
- NO CHANGE OR SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT.
- ALL TREES, PALMS, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS FROM DATE OF FINAL ACCEPTANCE.
- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE IGNORED. ANY CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGES TO UNDERGROUND UTILITIES, AND OR CONSTRUCTION CAUSED BY LANDSCAPE INSTALLATION, AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR. THE REMOVAL OF ALL BUILDING CONSTRUCTION DEBRIS AND FOREIGN MATERIAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- SITE PREPARATION SHOULD INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS OR GRASS. REMOVAL AND CLEAN UP OF ANY DEAD MATERIAL AND ROUGH AND FINISH GRADING PER SPECS AND OR LANDSCAPE PLANS.
- FOR PLANT MATERIAL, DESIGNATED TO BE REMOVED, THE ENTIRE ROOT SYSTEM SHALL BE DUG AND REMOVED FROM THE SITE.
- ALL PLANTING AREAS SHALL BE EXCAVATED TO A MINIMUM OF 6" FOR GROUND COVERS AND MORE THAN 12" FOR SHRUBS, TREES, AND PALMS AND SHOULD RECEIVE: PLANTING SOIL TYPE I (REFER TO SOIL SPECIFICATIONS UP-402) (COARSE SAND 70%, FLORIDA PEAT 20%, PINE BARK 10% FINAL TESTED ORGANIC MATTER BETWEEN 1.5% & 2.5% (BY DRY WEIGHT). SUBMIT ALL TESTING DATA FOR APPROVAL BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
- ALL TREES SHALL BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING PERMITTED. (REFER TO BRACING NOTES AND PLANTING DETAILS).
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, ALL REMAINING HOLES SHALL BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. SOO DISTURBED AREA, IF REQUIRED, ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND. (SEE SPEC).

- GENERAL TREE BRACING NOTES AND SPECIFICATIONS:

1. CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT) TIMBER BAMBOO (GUADUA ANGUSTIFOLIA) 3" DIA.)
2. ALL (PRESSURE TREATED (PT) 2"x4", 4"x6"), STAKES SHOULD BE PAINTED AS SPECIFIED BY THE LANDSCAPE ARCHITECT. WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/3 OF THE DISTANCE FROM GROUND TO THE CENTER TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER. ALL PAINT COLORS TO BE APPROVED BY LANDSCAPE ARCHITECT.
3. SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12'-16')
4. USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
5. PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
6. SECURE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. DO NOT NAIL TREE.
7. WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKE. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. NOTE: ON STRAIGHT TREES OR PALMS OR TREES, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM ON CURVED (CHARACTER) PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM.
8. CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. DO NOT PENETRATE TREE OR PALM WITH NAILS.
9. IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN THE VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARLY LABELED WITH THE STATEMENT, "DO NOT REMOVE."
10. PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

1. CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
2. CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
3. SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO THE GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
4. PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
5. THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
6. TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE.
7. PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
8. THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES.
9. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
10. FLAG THE GUY WIRES WITH SURVEYOR'S FLAGGING OR APPROVED EQUAL FOR SAFETY.
11. ANY WIRES ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE ARCHITECT.

1. LANDSCAPE: SUBMIT PHOTOGRAPHS OF ALL MATERIALS WITH SCALE REFERENCE. INDICATE GROWER'S LOCATION AND ANY LEAD TIME FOR ROOT PRUNING OR PREPARATION.