

ITEM #	Project Information		
1	Address:	4225 N Bay Rd. Miami Beach, FL 33140	
2	Folio number(s):	02-3222-011-1490	
3	Board and file numbers :		
4	Year built:	N/A	Zoning District: RS-4
5	Base Flood Elevation:	8.00' NGVD	Grade value in NGVD: 3.22'
6	Adjusted grade (Flood+Grade/2):	5.61' NGVD	Free board: 1.00'
7	Lot Area:	6,296 S.F.	
8	Lot width:	65'	Lot Depth: 100'
9	Max Lot Coverage SF and %:	1,888 S.F (30%)	Proposed Lot Coverage SF and %: 2,056 S.F (32.6%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF: 0 S.F
11	Front Yard Open Space SF and %:	845 S.F (65%)	Rear Yard Open Space SF and %: 916 S.F (73%)
12	Max Unit Size SF and %:	3,148 S.F (50%)	Proposed Unit Size SF and %: 3,145 S.F (49%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size: 1,534 S.F
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval) N/A
15			Proposed Second Floor Unit Size SF and % : 1,611 S.F
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below): 0 S.F

Zoning Information / Calculations		Required	Existing	Proposed	Deficiencies
17	Height:	24'		24'	
18	Setbacks:				
19	Front First level:	20'		20'	
20	Front Second level:	40'		29'-6"	10'-6"
21	Side 1:	7'-6"		9'-3"	
22	Side 2 or (facing street):	8'-9"		9'-7"	
23	Rear:	20'		21'-8"	
	Accessory Structure Side 1:	N/A			
24	Accessory Structure Side 2 or (facing street) :	N/A			
25	Accessory Structure Rear:	N/A			
26	Sum of side yard :	16'-3"		18'-10"	
27	Located within a Local Historic District?			Yes or No	
28	Designated as an individual Historic Single Family Residence Site?			Yes or No	
29	Determined to be Architecturally Significant?			Yes or No	
	Additional data or information must be presented in the format outlined in this section				

Notes:
If not applicable write N/A

App/PlanRev1-16v.1

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AA26003029

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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

ZONING DATA SHEET

TOMA DESIGN GROUP
INC.

Tel: (305) 401-3223 Fax: (305) 468-4077
20900 NE 30th Ave. #1001 13875 E. Palmetto Drive
Aventura, FL 33180 Southwest Ranches, FL 33330

Date	09/07/2021
Drawn by	M.T.
Checked by	M.L
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Project:	NAUTILUS 4225 RESIDENCE 4225 N. Bay Rd. MIAMI BEACH, FL 33140
Sheet Title:	LOCATION CONTEXT PLAN

**TOMA DESIGN GROUP
INC.**

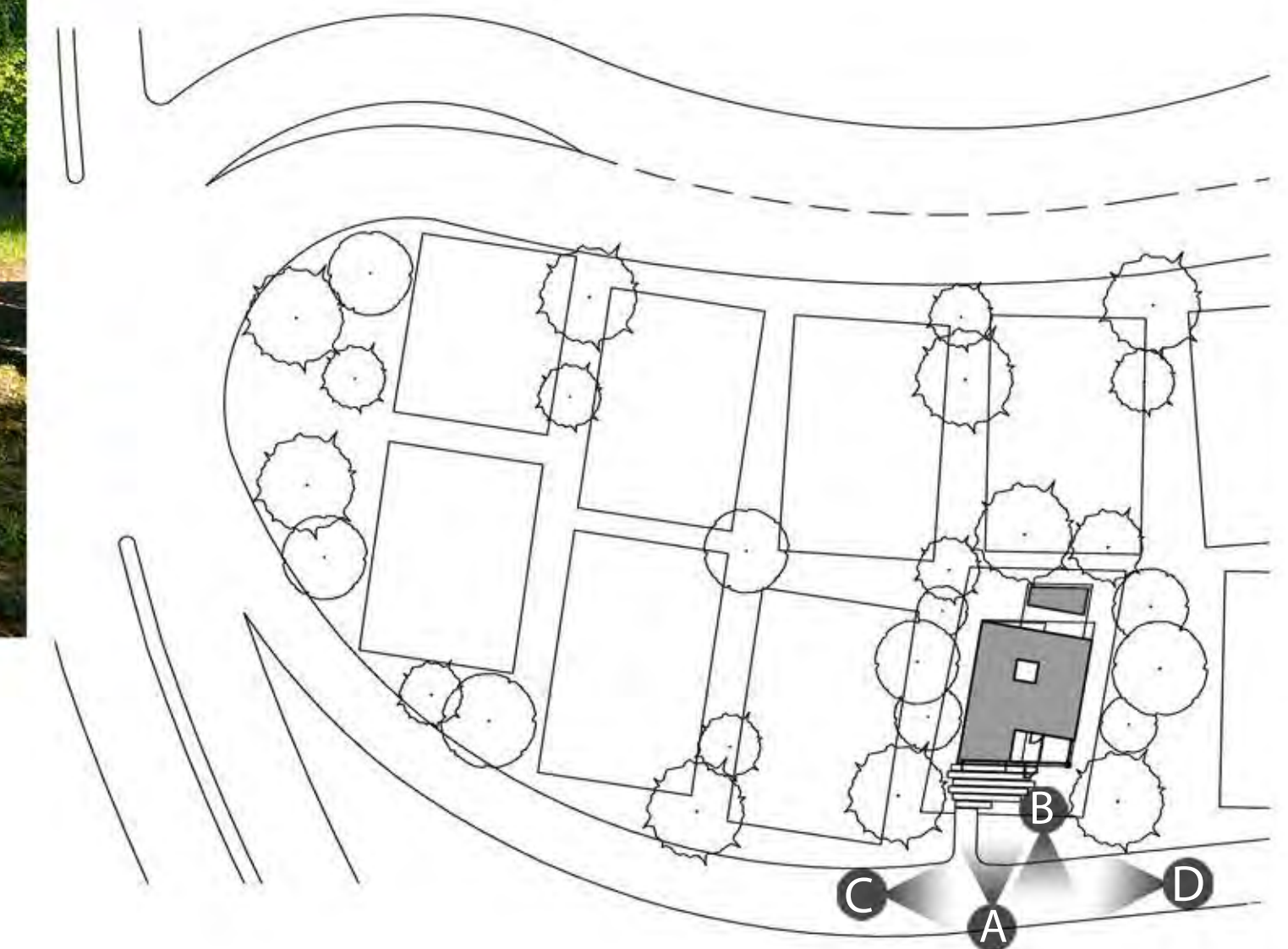
Tel (305) 401-2223
20960 NE 30th Ave. #101
Aventura, FL 33180

Fax (305) 466-4077
13075 E. Palomino Drive
Southwest Ranches, FL 33330

Date	06/09/2021
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4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

SURROUNDING PHOTOS

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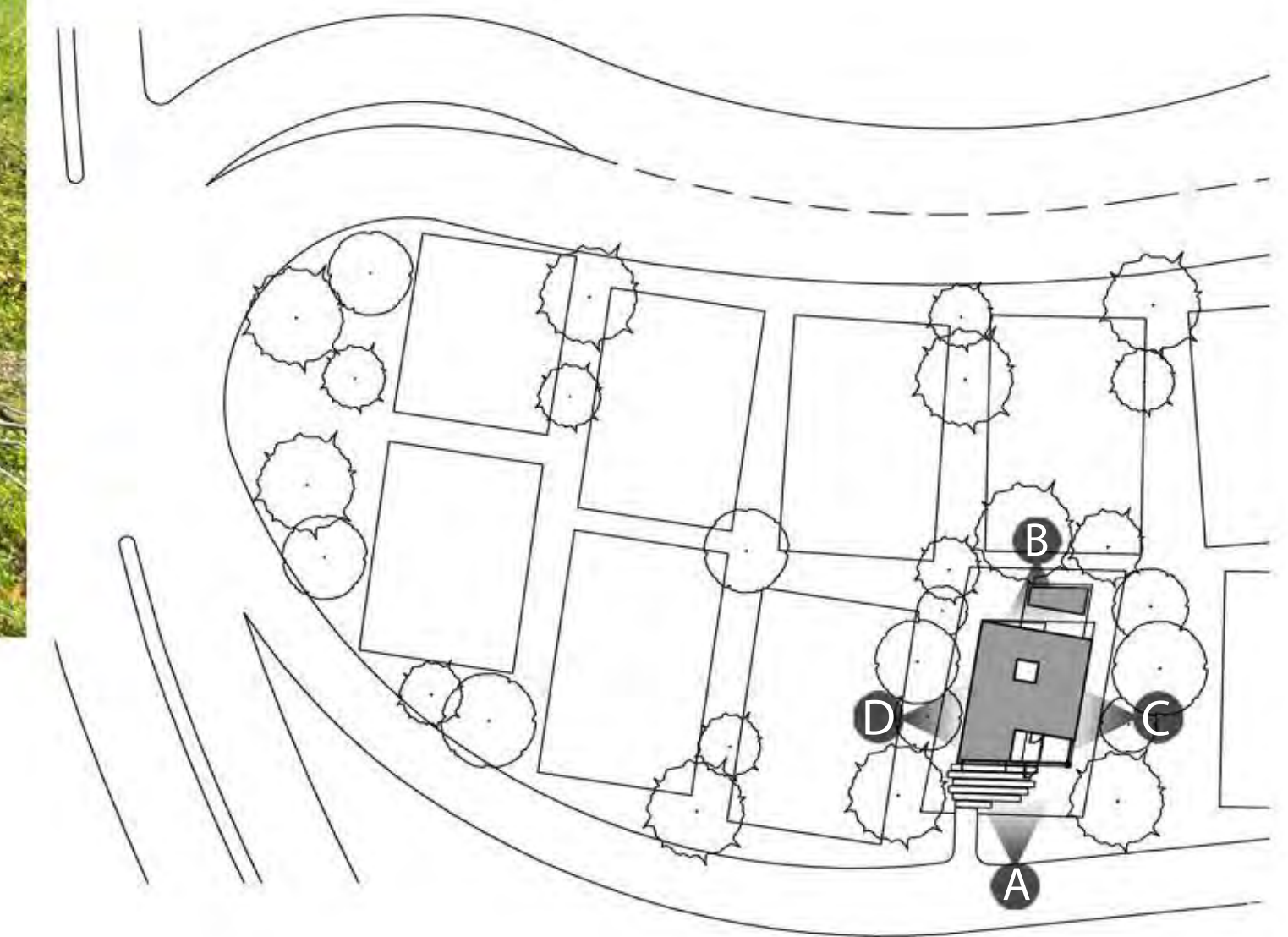
Tel: (305) 491-2223 Fax: (305) 496-4077
20960 NE 30th Ave. #101 13075 E. Palomino Drive
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Southwest Ranches, FL 33330

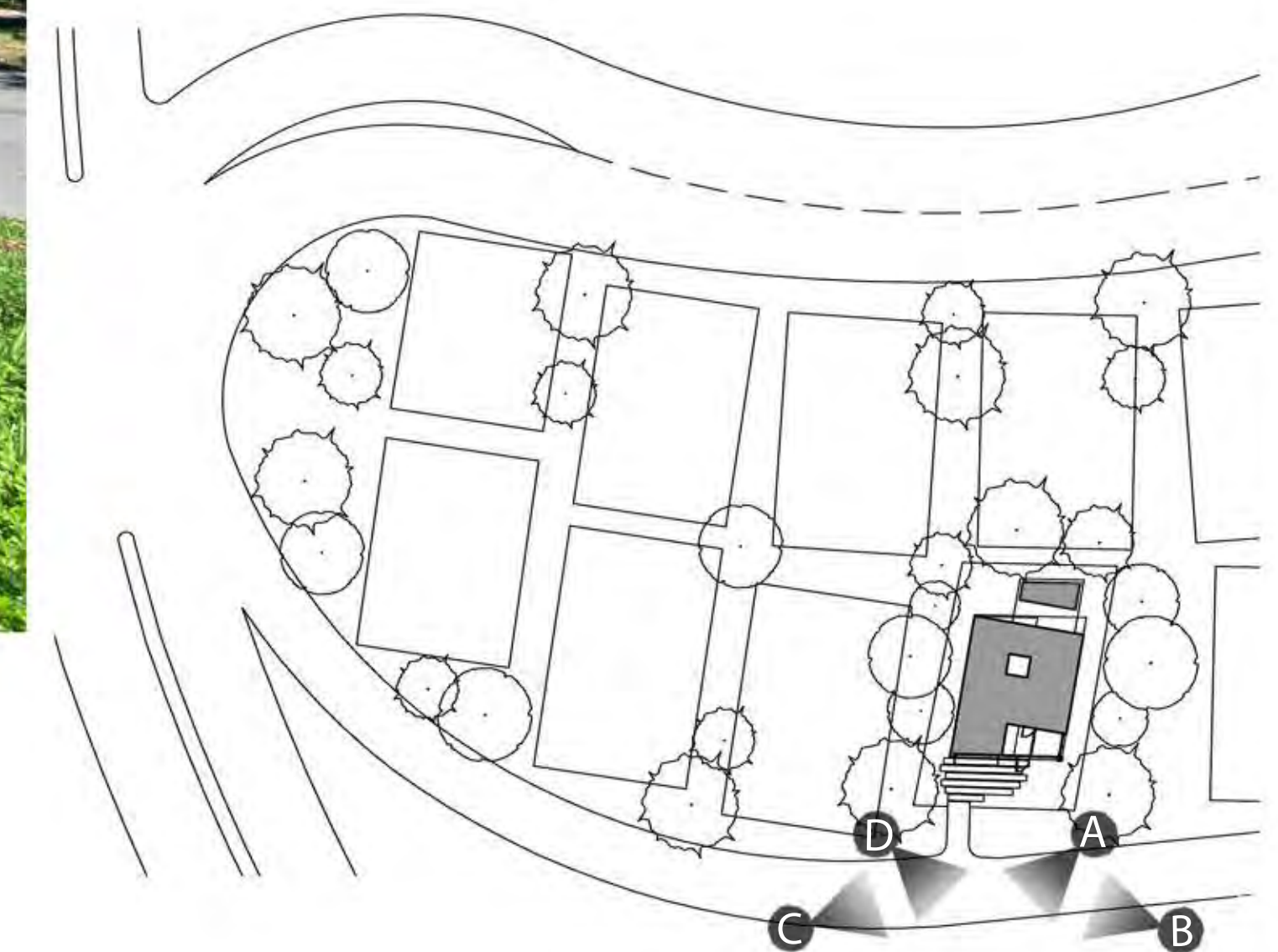
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4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

SURROUNDING PHOTOS

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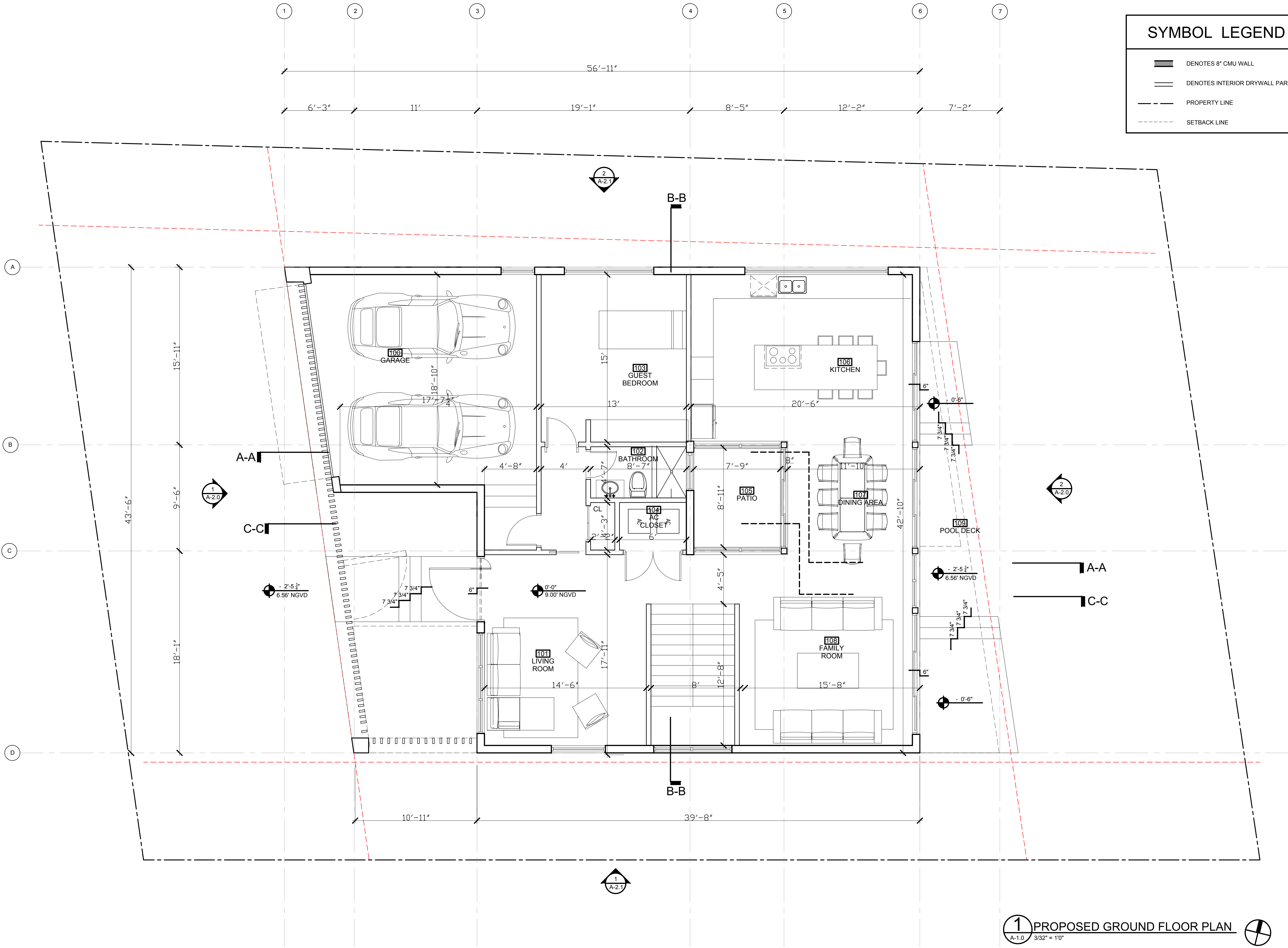
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CAD ID:



SYMBOL LEGEND		
	DENOTES 8" CMU WALL	
	DENOTES INTERIOR DRYWALL PARTITION	
	PROPERTY LINE	
	SETBACK LINE	

Revisions		
No.	Date	Description

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REC. # AR001952

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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

PROPOSED 1st FLOOR PLAN

Project: Sheet Title:

TOMA DESIGN GROUP
INC.

Tel: (305) 491-2223 Fax: (305) 498-4277
2000 NE 30th Ave, #1001 13875 E. Palmetto Drive
Aventura, FL 33150 Southwest Ranches, FL 33330

Date	09/07/2021
Drawn by	M.T.
Checked by	MLL
Scale	AS SHOWN

Sheet N:
A-1.0

CAD ID:

SYMBOL LEGEND

DENOTES 8" CMU WALL

DENOTES INTERIOR DRYWALL PARTITION

PROPERTY LINE

SETBACK LINE

Revisions		
No.	Date	Description

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ARCHITECT
P.C.
REG. # AR0015952

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Project:
NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL 33140

Sheet Title:
PROPOSED 2nd FLOOR PLAN

TOMA DESIGN GROUP
INC.

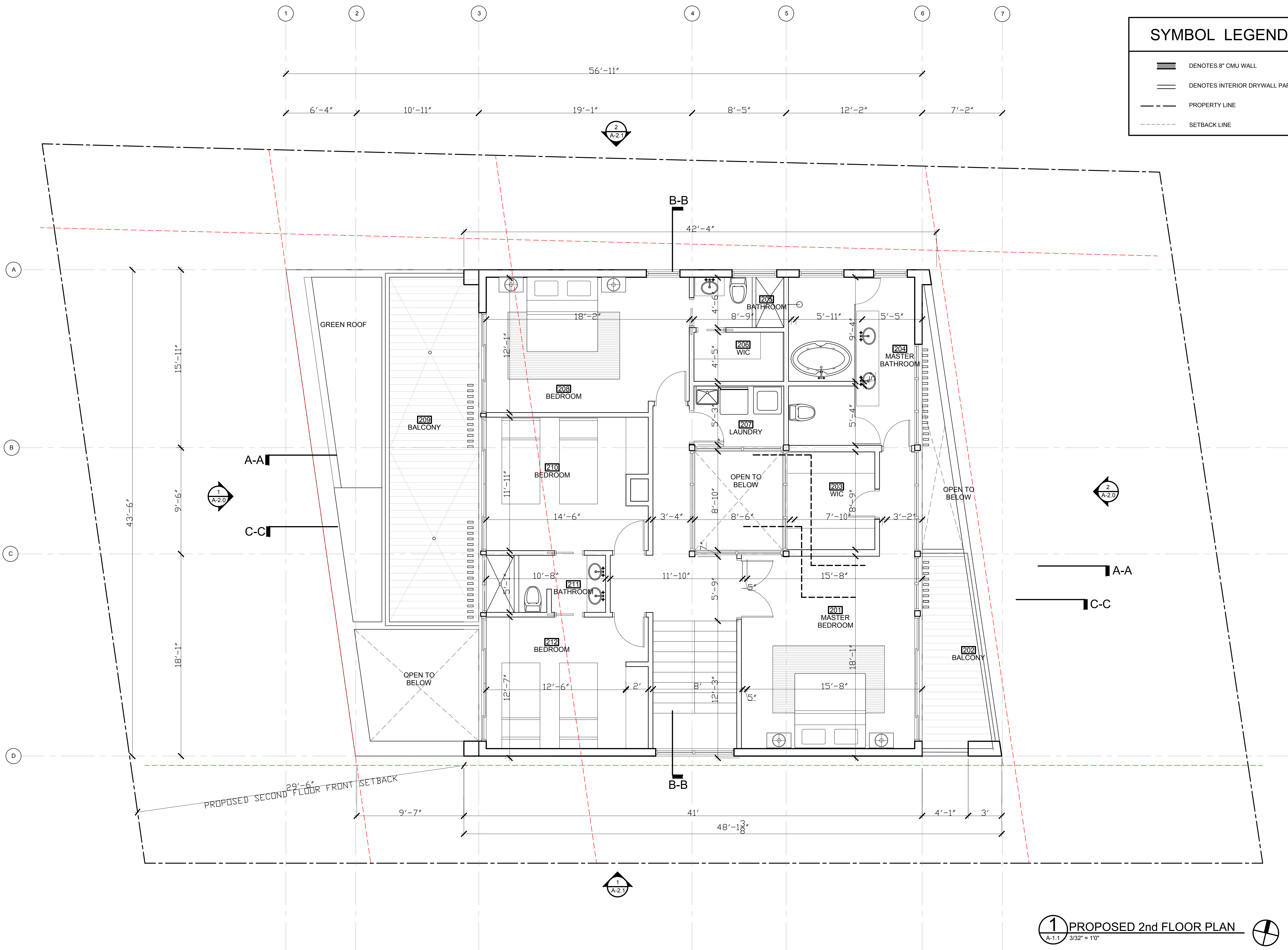
Tel: (305) 401-2223
20902 NE 30th Ave #101
Aventura, FL 33180

Fax: (305) 486-4077
13875 E. Palmetto Drive
Southwest Ranches, FL 33331

Date	09/07/2021
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Scale:	AS SHOWN

Sheet N°:
A-1.1

CAD ID:



1 PROPOSED 2nd FLOOR PLAN

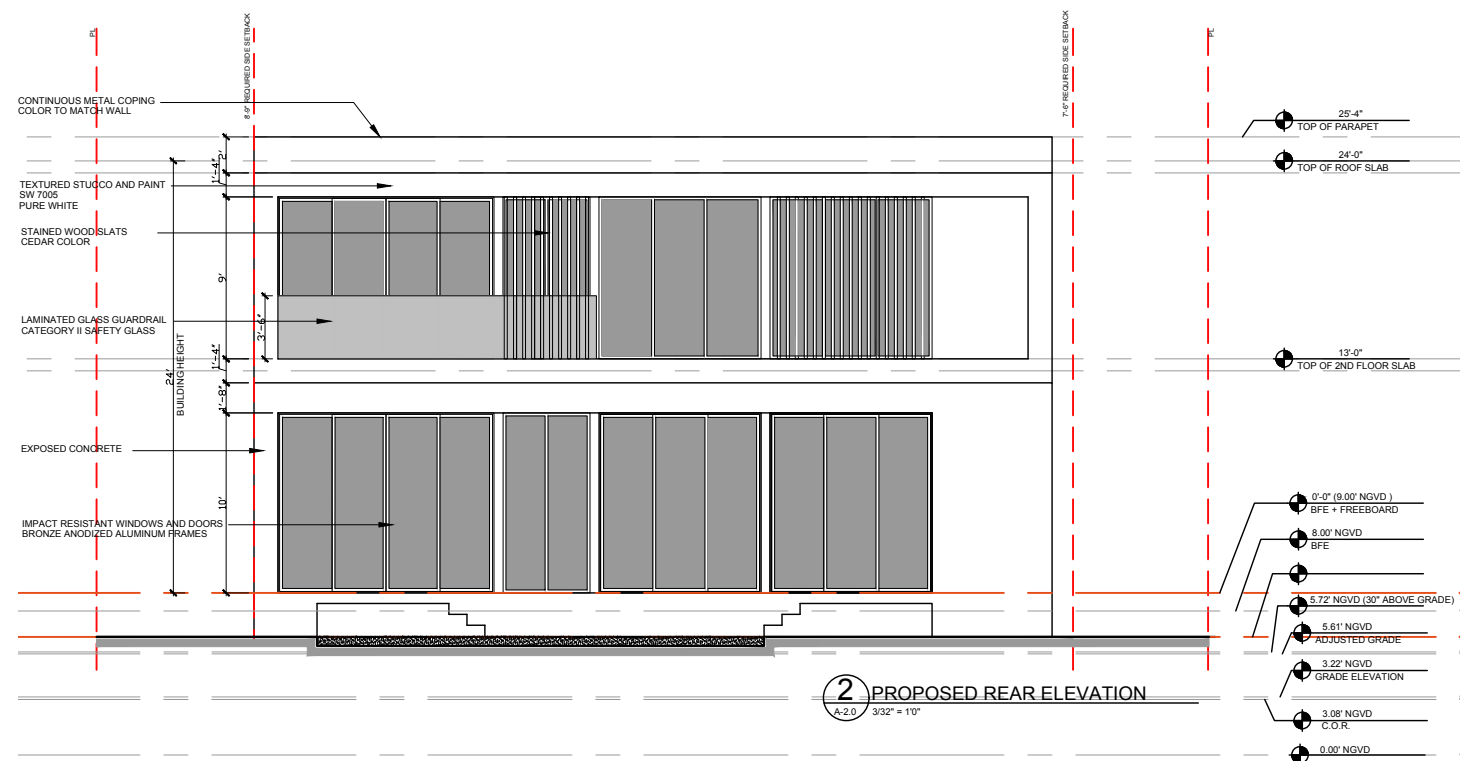
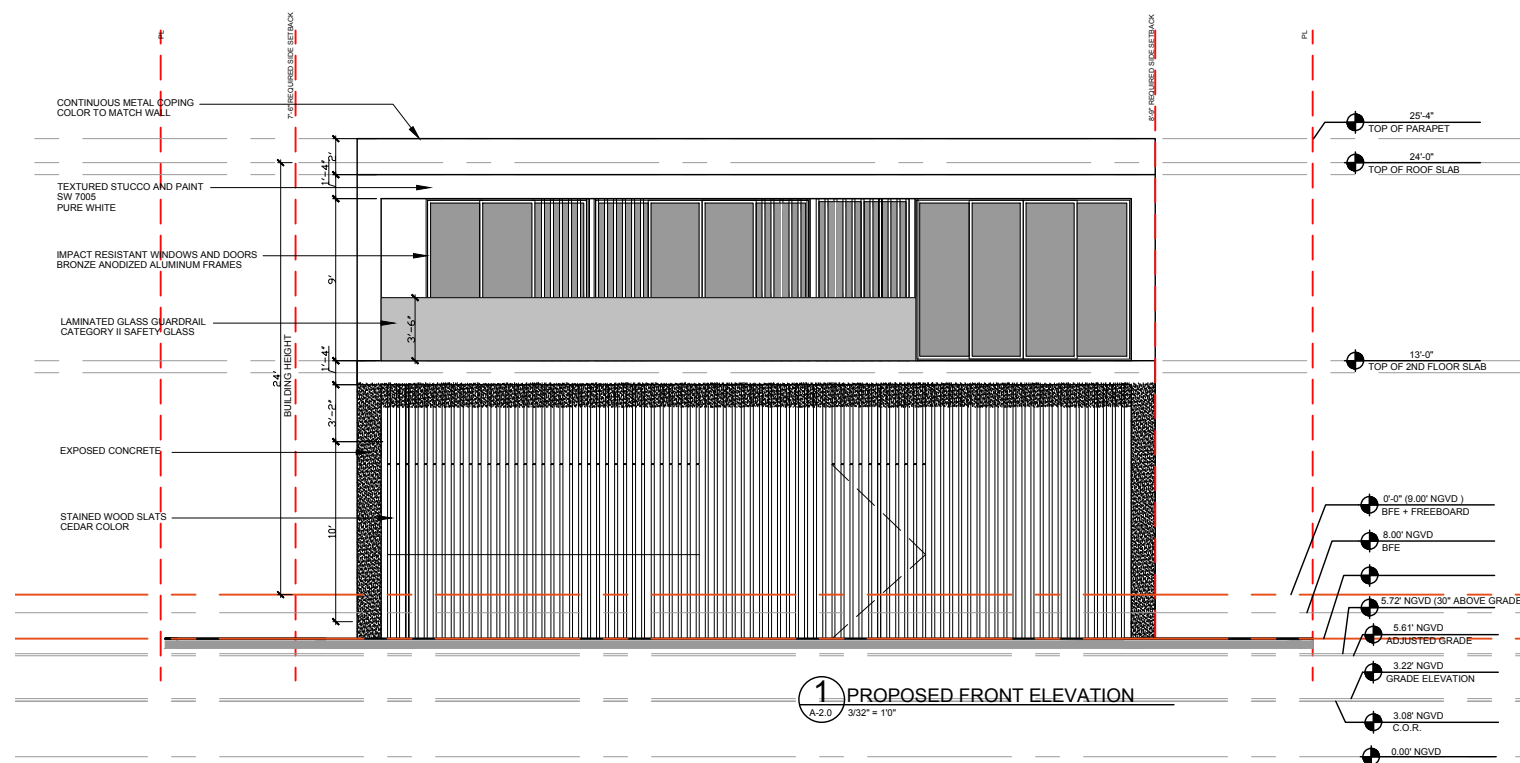
A-1.1 3/32" = 1'0"



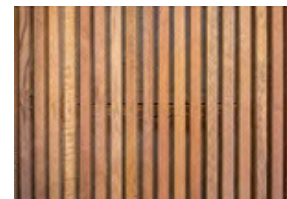
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TEXTURED STUCCO AND PAINT
SW 7005
PURE WHITE

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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

PROPOSED EXTERIOR ELEVATIONS

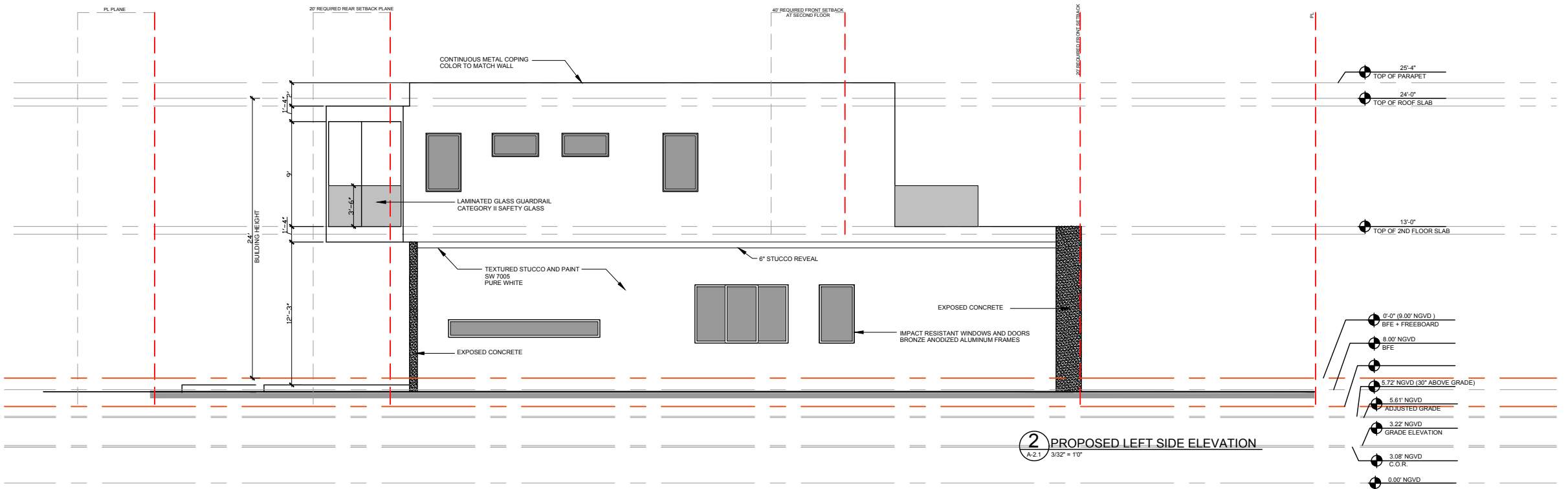
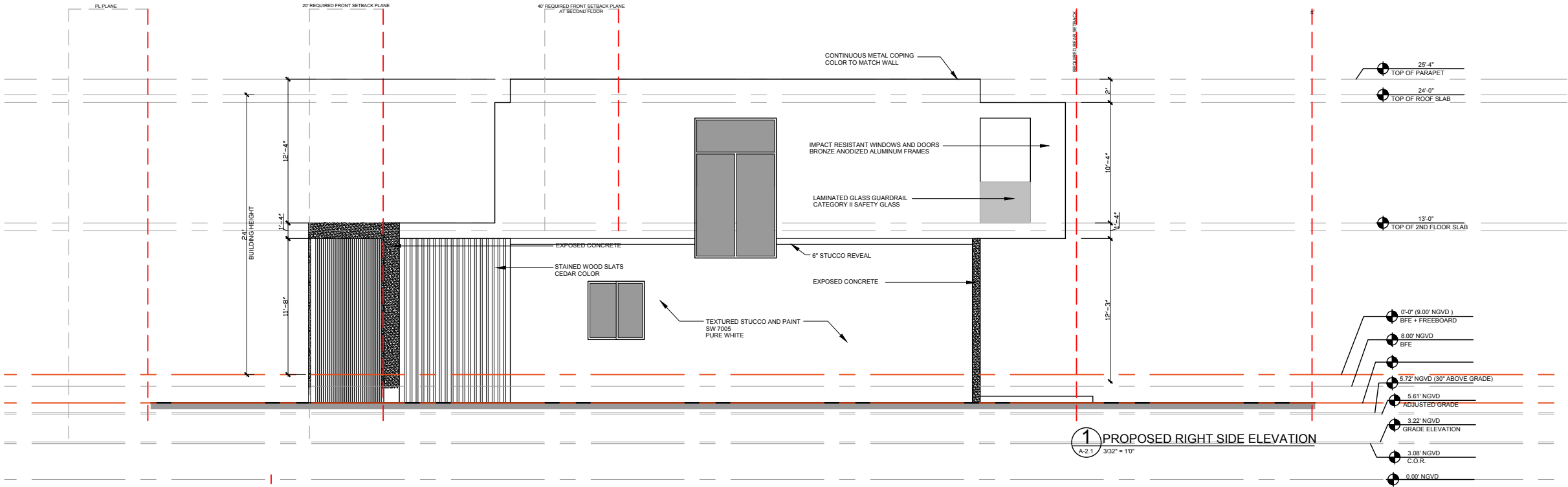
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20801 NE 30th Ave. #1001
Aventura, FL 33180

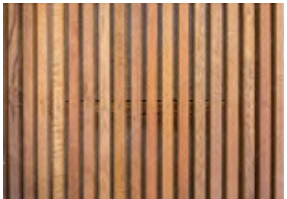
Fax: (305) 468-4077
13875 E. Palmview Drive
Southwest Ranches, FL 33330

Date	09/07/2021
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A-2.0
CAD ID:



TEXTURED STUCCO AND PAINT
SW 7005
PURE WHITE



STAINED WOOD SLATS
CEDAR COLOR



EXPOSED CONCRETE



IMPACT RESISTANT WINDOWS AND DOORS
BRONZE ANODIZED ALUMINUM FRAMES

Revisions		
No.	Date	Description

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ARCHITECT
IN FLORIDA
REG. # AR0015952

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STATUTES, CHAPTER 1105.13.4.4 OF
FLORIDA BUILDING CODE 2020.

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4225 N. Bay Rd.
MIAMI BEACH, FL 33140

Project:
Sheet Title:

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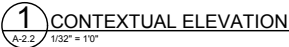
Tel: (305) 492-4225
2885 NE 28th Ave, Suite 402
Fort Lauderdale, FL 33304

Fax: (305) 492-4271
1385 E. Palmetto Drive
Buckhead, Florida, FL 33309

Date:	09/07/2021
Drawn by:	M.T.
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<p>Project:</p> <p>NAUTILUS 4225 RESIDENCE 4225 N Bay Rd MIAMI BEACH, FL, 33140</p>	<p>Sheet Title:</p> <p>PROPOSED CONTEXTUAL ELEVATION</p>
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INC.**

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20900 NE 30th Ave. #1001
Aventura, FL 33180

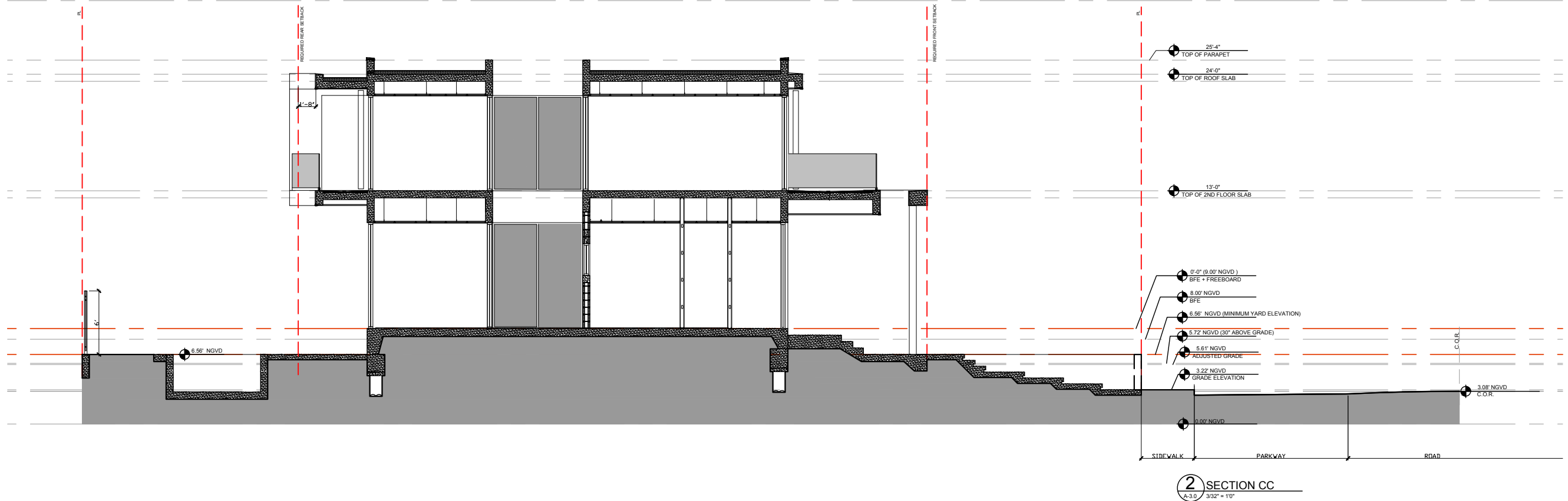
Fax: (305) 498-4077
13875 E. Palmetto Drive
Southwest Ranches, FL 33330

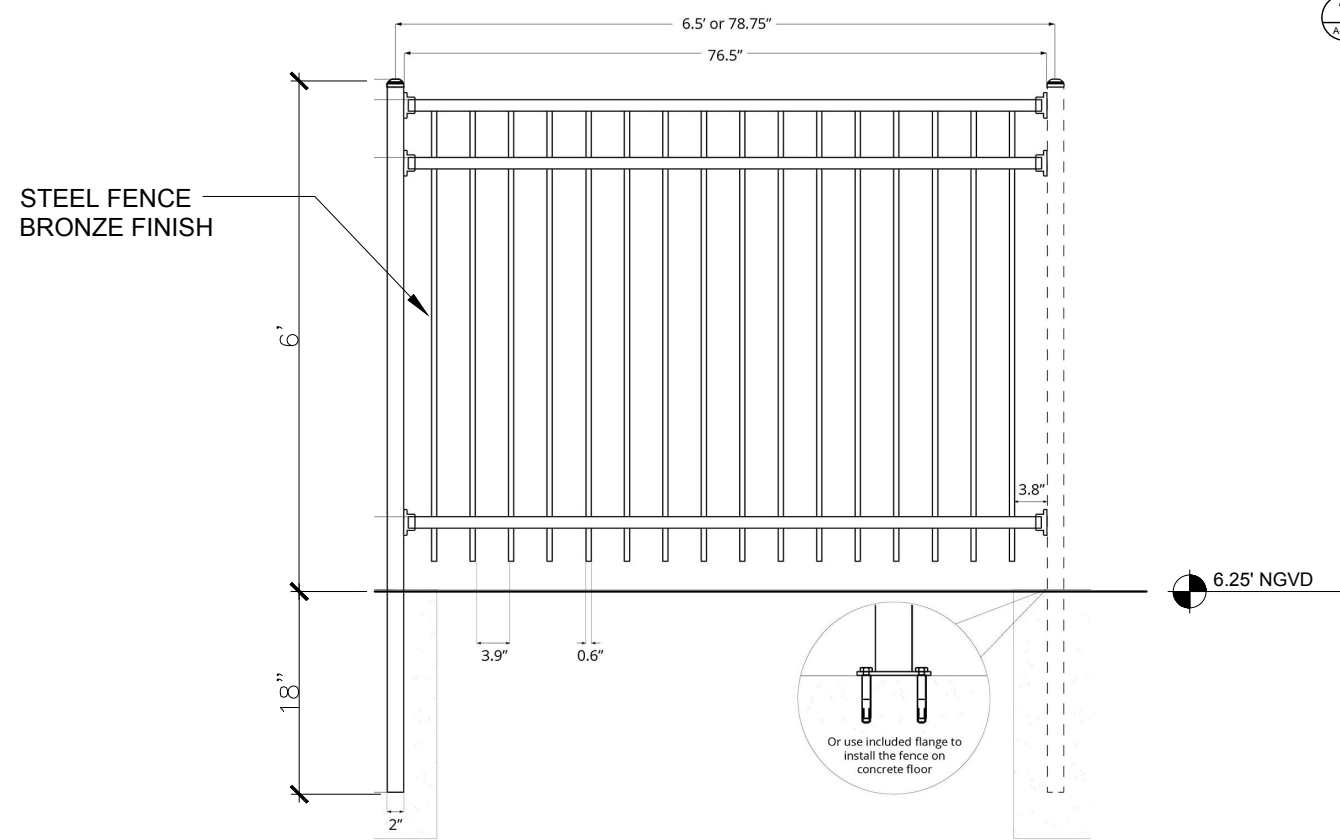
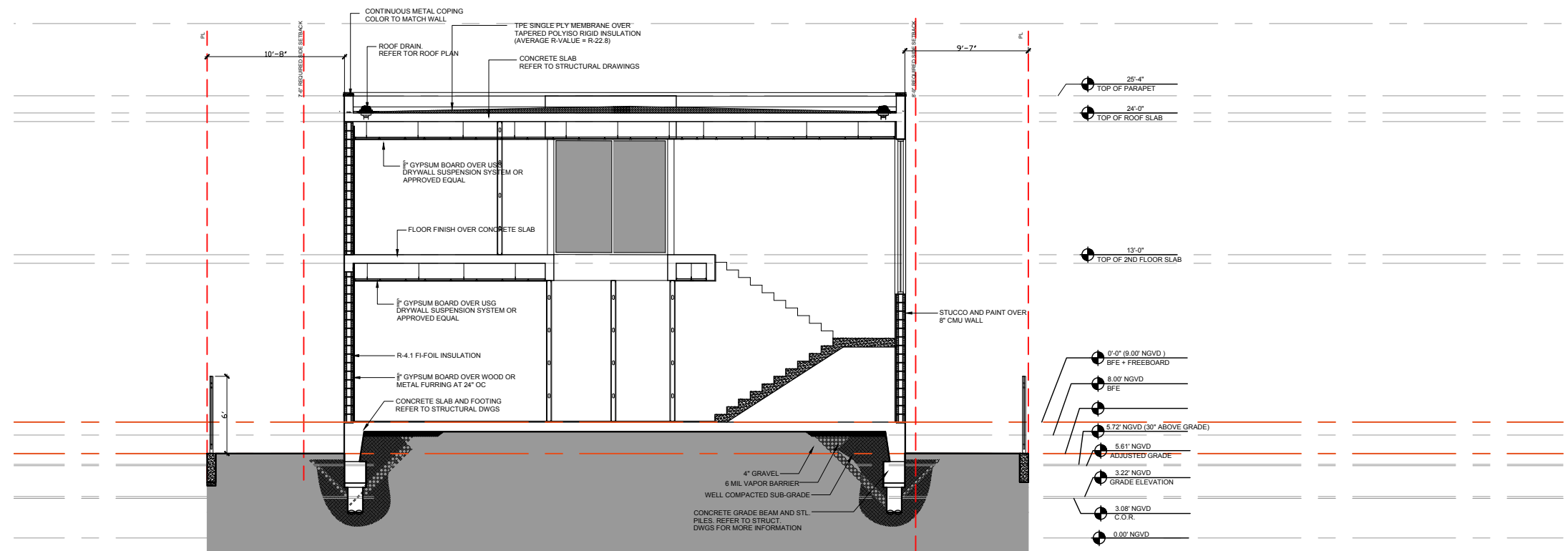
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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

PROPOSED BUILDING SECTION

**TOMA DESIGN GROUP
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20000 NE 30th Ave. #1001 13875 E. Palmetto Drive
Aventura, FL 33180 Southwest Ranches, FL 33330

Date	09/07/2021
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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

PROPOSED YARD SECTIONS

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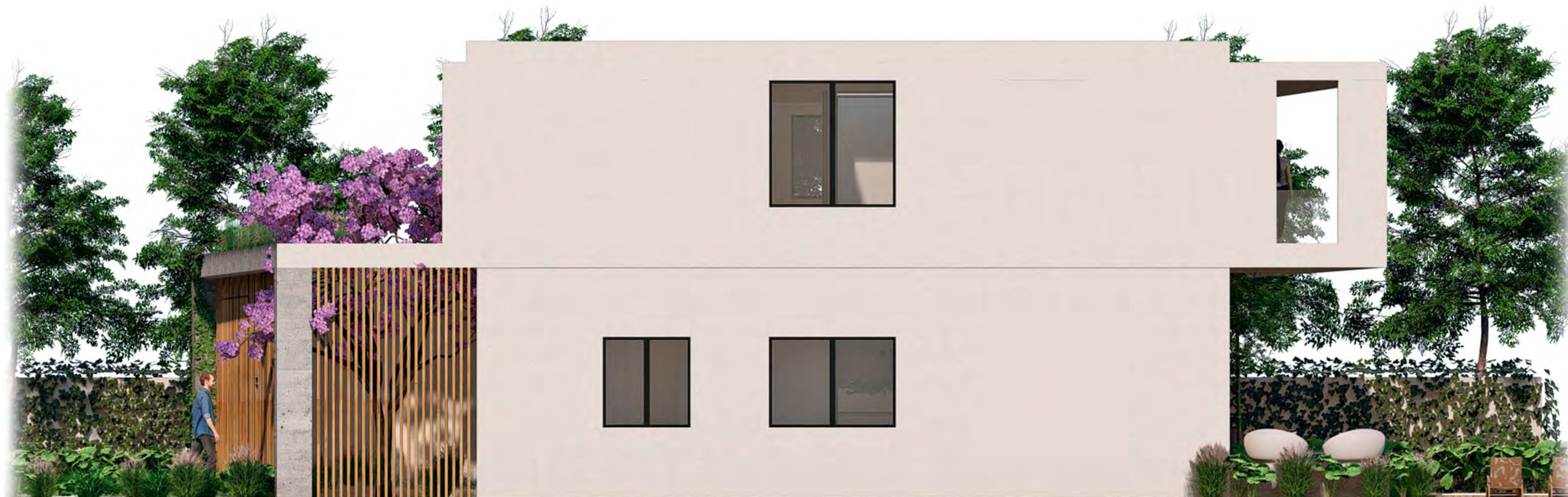
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Sheet N:

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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

3D ELEVATIONS

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22900 NE 30th Ave. #1001 13975 E. Palomino Drive
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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL. 33140

FRONT 3D RENDERS

TOMA DESIGN GROUP
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Tel (305) 491-2223 Fax (305) 496-4077
20900 NE 30th Ave. #1001 13075 E. Palomino Drive
Aventura, FL 33180 Southwest Ranches, FL 33330

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NAUTILUS 4225 RESIDENCE
4225 N. Bay Rd.
MIAMI BEACH, FL, 33140

FRONT 3D RENDERS

Project

TOMA DESIGN GROUP
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Tel (305) 451-2223 Fax (305) 466-4077
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Aventura, FL 33180 13975 E. Palomino Drive
Southwest Ranches, FL 33330

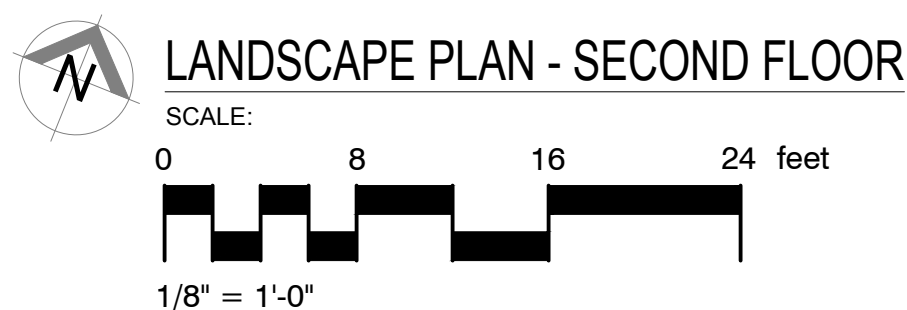
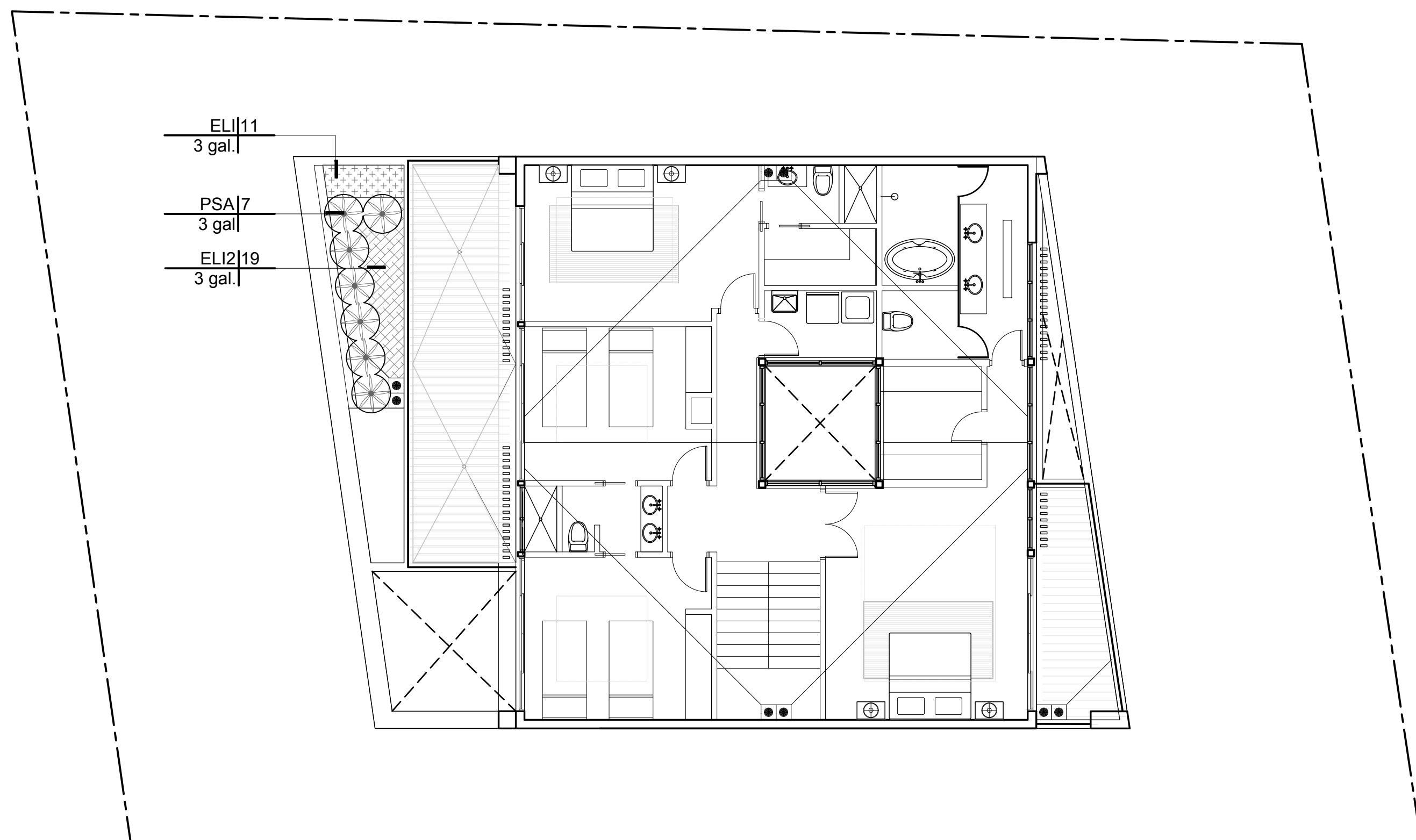
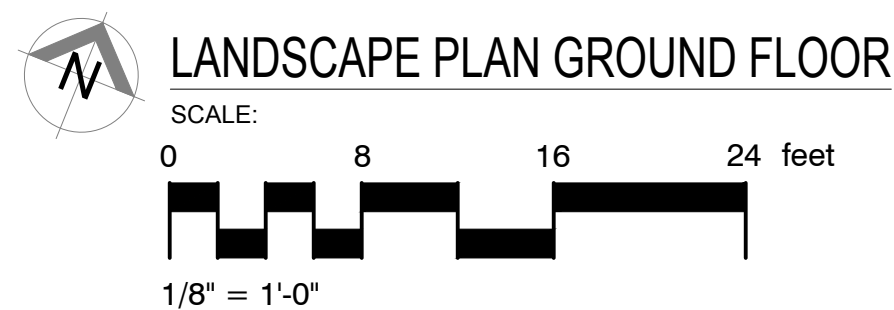
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The contractor will take all necessary and adequate precautions to protect the existing trees to avoid any damage that may occur due to storm water runoff and or the deposition of debris resulting from the work in relation to this procedure, in no case can place soil additional above the critical root zone of existing trees.

A. Number of large shrubs or small trees required: Number of required shrubs or small trees x 10% =

B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =



TO THE BEST OF MY KNOWLEDGE THE
PLANS AND APPLICABLE SPECIFICATIONS
COMPLY WITH THE MINIMUM BUILDING
CODES AND THE APPLICABLE FIRE-SAFETY
STANDARDS AS DETERMINED BY THE
LOCAL AUTHORITY IN ACCORDANCE WITH
THIS SECTION AND 633 FLORIDA
STATUTES, CHAPTER 1 105.13.4.4 OF
(FLORIDA BUILDING CODE 2017)

LANDSCAPE PLAN

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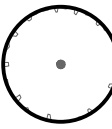





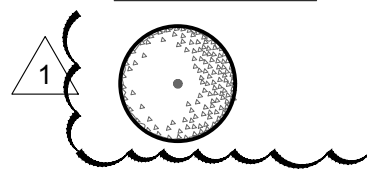


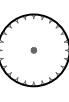





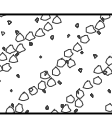
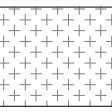
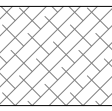
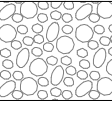
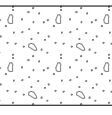
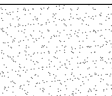
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COU - Sea Grape	BAR - Verawood	LFN - Japanese Crape Myrtle	TIM - Purple Trumpet Tree	PUT - Screw Pine
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VAR-Montgomery Palm (Single)	VAR - Montgomery Palm	COL - Green Taro	CRN - Dwarf Pitch Apple	CER - Green Buttonwood
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DIS - Mexican Cycad	ELI - Golden Creeper	ELI - Curtain Creeper	HLA - Spider Lily	PSA - White Fountain Grass
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PMM - Shrubby Yew	REX - Lady Palm	OJA - Mondo Grass	ZJE - Korean Grass	MBP - Mexican Black Pebbles
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PLANT SCHEDULE										
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS	
	COU	3	Coccoloba uvifera	Sea Grape	45 gal	3"	14' OA	6'	STD - Florida Native - Miami-Dade Landscape Manual - Very Drought Tolerant	
	LFN	3	Lagerstroemia x 'Natchez'	White Crape Myrtle	FG	4"	12' - 14' OA	6'	Standard - Drought Tolerant - Listed in the Miami-Dade Landscape Manual - Standard - 4' CT -	
	PUT	1	Pandanus utilis	Screw Pine	25 gal	2.5"	8' OA	4'	Miami-Dade Landscape Manual - Drought Tolerant	
	TIM	1	Tabebuia impetiginosa	Pink Trumpet Tree	45 gal	2"-3"	12'-14' OA	6'	STD - Miami-Dade Landscape Manual - Very Drought Tolerant	
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS	
	VAR2	1	Veitchia arecina	Montgomery Palm	25 gal.	4"	12' - 14' OA	10'	Triple	
	VAR	4	Veitchia arecina	Montgomery Palm	25 gal.	4"	12' - 14' OA	10'	Single	
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS	
	BAR	4	Bulnesia arborea	Verawood	45 gal	3"	12' OA	5'	Miami Beach Replacement Tree Category 2	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS	
	CRN	85	Clusia rosea 'Nana'	Dwarf Pitch Apple	3 gal.	1.5'	1.5'		Florida Native- Drought tolerant	
	COL	21	Colocasia gigantea	Giant Elephant Ear	7 gal	3'-4' OA	3'			
	CER	61	Conocarpus erectus	Buttonwood	7 gal	4' OA	2.5'		Florida Native - Drought Tolerant	
	DIS	2	Dioon spinulosum	Mexican Cycad	15 gal	5'	4'		Drought Tolerant - Miami-Dade Landscape Manual	
	PSA	27	Pennisetum setaceum 'Alba'	White Leaved Fountain Grass	3 gal	2'	2'		Drought Tolerant - Miami-Dade Landscape Manual	
	PMM	4	Podocarpus macrophyllus 'Maki'	Shrubby Yew	15 gal	5'-6' OA	2'			
	REX	10	Rhaps excelsa	Lady Palm	15 gal	3'-4'	5'		Shade Grown - Character Plant	
LARGE SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	REMARKS	
	CER2	26	Conocarpus erectus	Buttonwood	15 gal.	6' OA	4'		Florida Native - Drought Tolerant	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING		
	HLA	7	Hymenocallis latifolia	Spider Lily	3 gal	2'	2'	24" o.c.		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING		
	ELI	69	Ernodea littoralis	Golden Creeper Curtain	3 gal.	1'	1.5'	15" o.c.		
	ELI2	147	Ernodea littoralis	Golden Creeper	3 gal.	1'	1.5'	15" o.c.		
	MBP	487 sf	Mexican Black Pebbles	Black Pebbles 1"-3"	S.F.					
	OJA	950	Ophiopogon japonicus	Mondo Grass	1 gal	6" OA	12"	8" o.c.		
	ZJE	431 sf	Zoysia japonica 'Empire'	Korean Grass	Sod					

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ARCHITECT AM26003029
OSVALDO MARRERO
ARCHITECT
SM • NJA38
REG. # AR0015952

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TO THE BEST OF MY KNOWLEDGE THE PLANS AND APPLICABLE SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE SECTION 105.13.3.3 FLORIDA STATUTES, CHAPTER 1, 105.13.4.4 OF (FLORIDA BUILDING CODE 2017)

Project:	Nautilus 4225 N Bay Road
Sheet Title:	IMAGES OF LANDSCAPE

**TOMA DESIGN GROUP
INC.**

Tel: (305) 401-2223 Fax: (305) 466-4077
20900 NE 30th Ave. #1001 13975 E. Palomino Drive
Aventura, FL 33180 Southwest Ranches, FL
33330

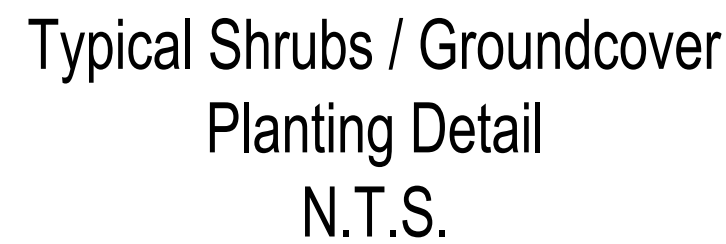
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1. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
2. Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bid. Failure to do so shall not be considered cause for future extras or complaints.
3. Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
4. No substitutions shall be made without prior consent of the Landscape Architect, City Urban Forester and or the Planning Department. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
5. All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
6. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
7. All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
8. Landscape contractor to provide finish grade 3" lower than FFE of all hardscapes, i.e. roads, walks, curbs, pavers, etc....., to accommodate 3" layer of mulch.
9. All tree and Palm relocations shall be performed in accordance with ANSI A-300 (Part 6) standards and industry accepted good horticultural practices by an ISA Certified Arborist or ASCA Consulting Arborist.

1. Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide and preemergence herbicide, seed, and mulch.
2. Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
3. All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
4. Material not meeting Florida #1 or better will not be accepted, Landscape Architect, City Urban Forester and or the Planning Department staff to approve ROW material before it is planted.
5. Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
6. The Landscape Contractor shall treat plant areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after preemergence treatment prior to planting.
7. Planting soil shall be a mix of 30% inland muck and 70% freshwater sand. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
8. All soil mix in plant beds for groundcovers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil.
9. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
10. All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burlap shall be removed or tucked into the plant pit before the trees are backfilled.
11. Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviro mulch immediately after planting. **In no case shall Cypress or red mulch be used.** Mulch shall not be applied within 6" of any tree or palm trunk that are installed or incorporated into the project.
12. All Trees/Palms in sod areas are to receive a 36"/48" diameter mulched saucer at the base of the trunk respectively.
13. Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting. Exceptions require written authorization from the City Urban Forester.
14. All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
15. All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to min. 5'-0" height clearance to the base of canopy. All tree and root pruning activities shall be performed by ISA Certified Arborist and or ASCA Consulting Arborist in accordance with ANSI A-300 standards and industry accepted good horticultural practices.
16. Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant:
Palms: 12-4-12 N-P-K, Slow Release Palm Special with micronutrients.
Shrubs, Groundcover and Trees: 6-6-6 N-P-K, with micronutrients.



SEAL : AR0015952
AM26003029

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Project:	Nautilus 4225 N Bay Road
Sheet Title:	LANDSCAPE DETAILS

L-102

CAD ID:

