



4540 NORTH BAY ROAD Miami Beach

SAOTA

jungles



ORSINI DESIGN
ASSOCIATES INC.

US_MIA_BANSHO

NORTH BAY ROAD



4540 NORTH BAY ROAD, MIAMI BEACH

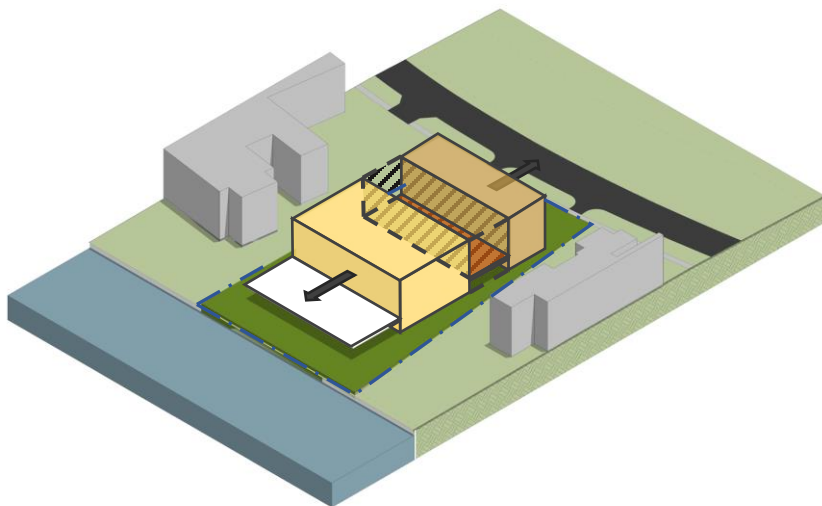


Neighbor Outreach & Support
4540 North Bay Road
DRB File No. DRB21-0711



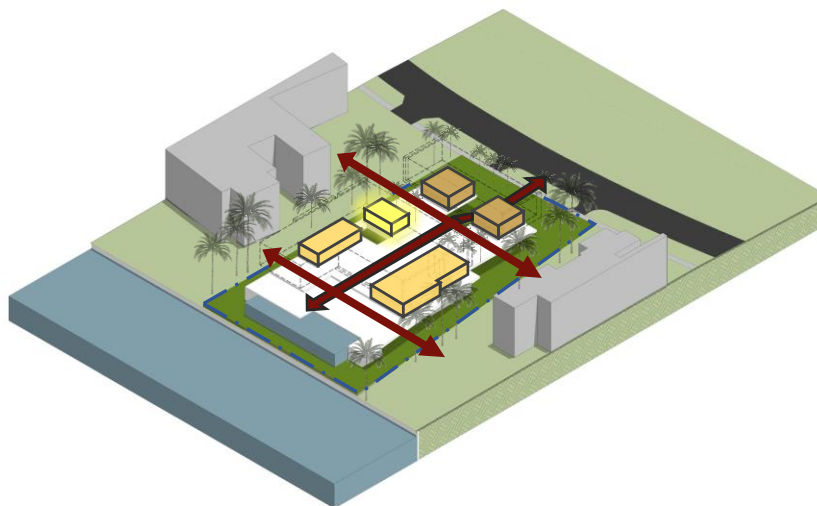
NO.	Property Address	Owner
1.	4580 N BAY RD 8 WRIGHT STREET WESTPORT, CT 06880	MAG NBR LLC C/O Howard D Komisar Esq Berkowitz Trager And Trager LLC Howard D. Komisar (Manager per Sunbiz)
2.	(Vacant lot) 8 WRIGHT STREET WESTPORT, CT 06880	MAG NBR LLC C/O Howard D Komisar Esq Berkowitz Trager And Trager LLC Howard D. Komisar (Manager per Sunbiz)
3.	4550 N BAY RD	Craig W. & Judith E. Herman
4.	4520 N BAY RD 1701 L Street NW, Suite 400 Washington, DC 200036	North Bay LLC / David M. Schwarz (Manager)
5.	4462 N BAY RD 640 PARK AVENUE 6TH FLOOR NEW YORK, FL 1006	Bay Road 4462 LLC C/O Peggy Drexler Ph D Millard Drexler (Director)
6.	4452 N BAY RD 640 PARK AVENUE 6TH FLOOR NEW YORK, FL 10065	Millard S Drexler TRS C/O Peggy Drexler Ph D Drexler Family Rev TR Peggy Drexler TRS
7.	4541 N BAY RD	Jonathan & Abby Rubin
8.	4555 N BAY RD	Alexander P. & Tiffany Z. Heckler
9.	4565 N BAY RD 571 NW 28 ST MIAMI, FL 33127	4565 Nbr LLC Kobi & Nancy Karp
Additional Support		
10.	9 LA GORCE CIR	Michael N Baum & W Marianna F
11.	1740 W 25 ST	Andres Isaías
12.	3541 FLAMINGO DR	Oren Alexander
13.	4358 N BAY RD	Jonathan Oringer Talia Oringer
14.	5930 N BAY RD 118 LEE AVEROCKVILLE CENTER, NY 11570	Bay Road Property LLC
15.	6385 PINE TREE DRIVE CIR 1675 BROADWAY 20TH FL NEW YORK, NY 10019	Oscar J Rodriguez TRS C/O Richard Koenigsberg 6385 Klein Family Land Tr
16.	6401 PINE TREE DRIVE CIR	Carl Austin Rosen
17.	6431 ALLISON RD	6431 Allison Road LLC

LARGE CENTRAL COURTYARD



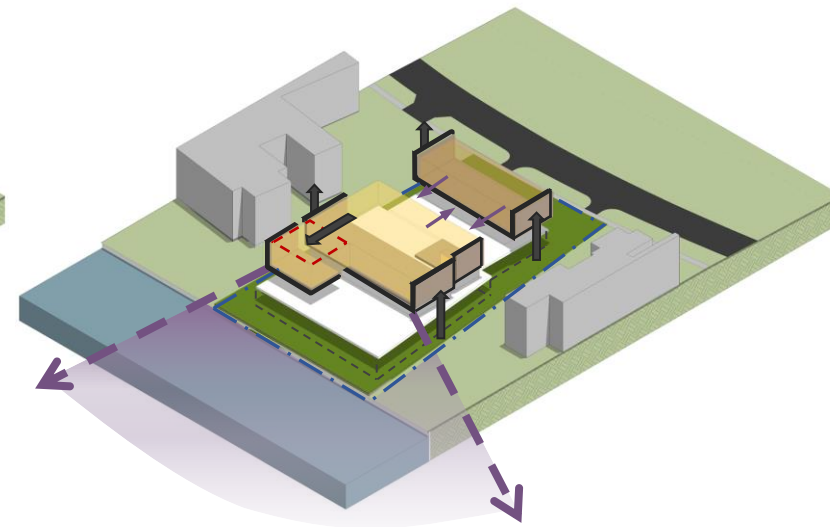
SET BUILDING MASS AWAY FROM STREET AT FRONT
FORMS CREATING SPACE INBETWEEN
OUTDOOR SPACE IN REAR TO LIVE OUTSIDE TO WATER

COLLECTION OF MASS ELEMENTS



FLOW THROUGH BETWEEN STREET, COURTYARD
AND WATERFRONT TERRACE
AXIS TO SIDE CONNECTION DENSE WITH
LANDSCAPING
OVERALL MASS BROKEN INTO COLLECTION OF
INTERNAL SPACES ALLOWING WEAVING OF
LANDSCAPING

FORMS LIFTED ON RAISED PLATE



BUILDING ELEVATED ABOVE BFE + 5
POROUS UNDERSTORY
VIEWS FROM INTERNAL SPACES DIRECTED TO INTERNAL WATER
COURTYARD FOR NEIGHBOUR PRIVACY

OVERHANGS ON
WESTERN
ELEVATION

CENTRAL
COURTYARD

DENSE
LANDSCAPING
AT PRINCIPAL
FACADE

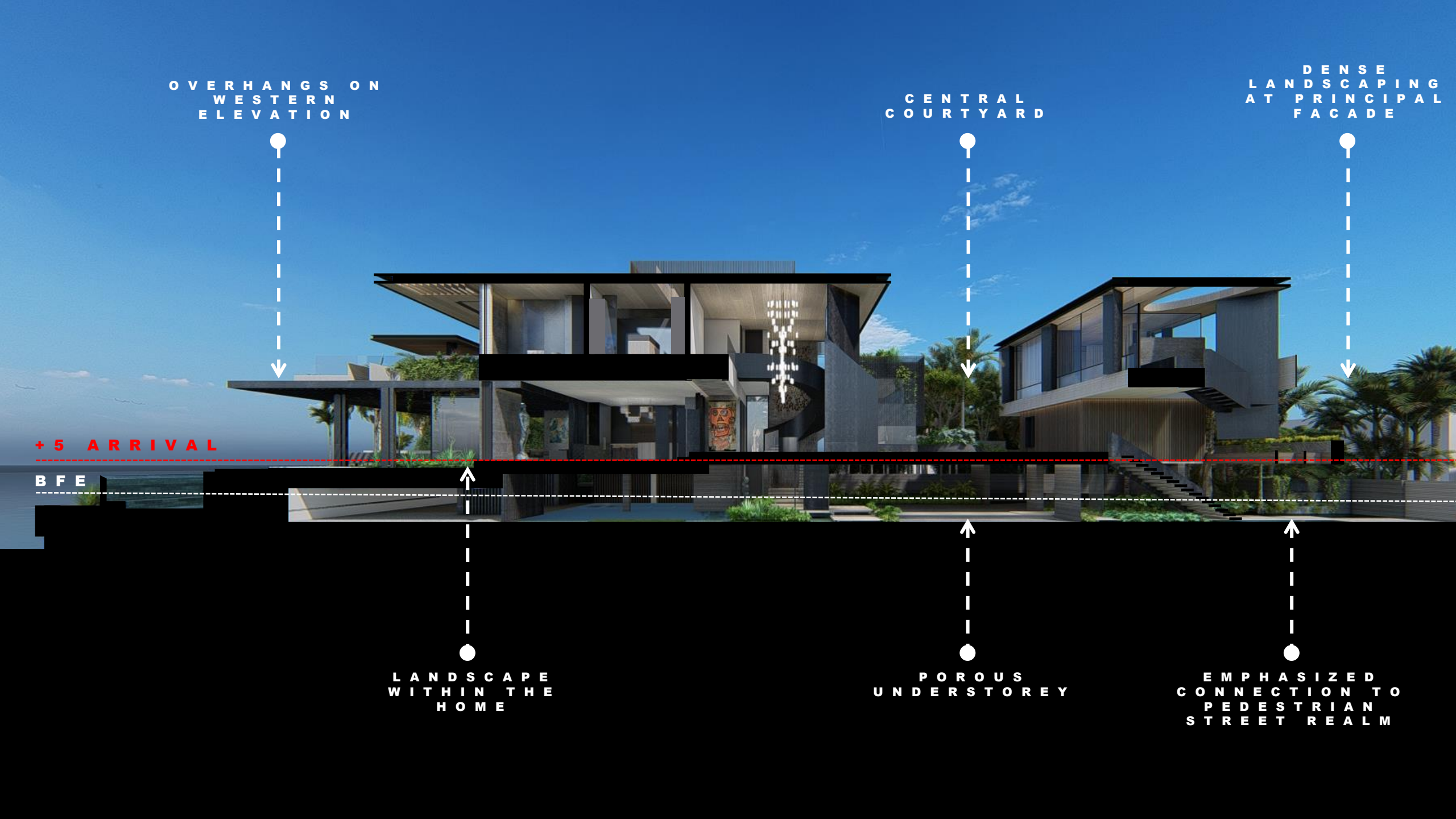
+ 5 ARRIVAL

B F E

LANDSCAPE
WITHIN THE
HOME

POROUS
UNDERSTOREY

EMPHASIZED
CONNECTION TO
PEDESTRIAN
STREET REALM





INTERNAL TIMBER FLOORS + CEILINGS
European Oak- brushed + gray wash

TIMBER SLATS
Ipe hardwood

FEATURE ACCENT METAL
blackened steel / patina steel

EXTERNAL TIMBER DECKING
Ipe hardwood – weathered to gray

STONE FLOORS + FEATURE WALLS
Limestone

Lava Stone

FEATURE STONE WALLS
Basalt Stone

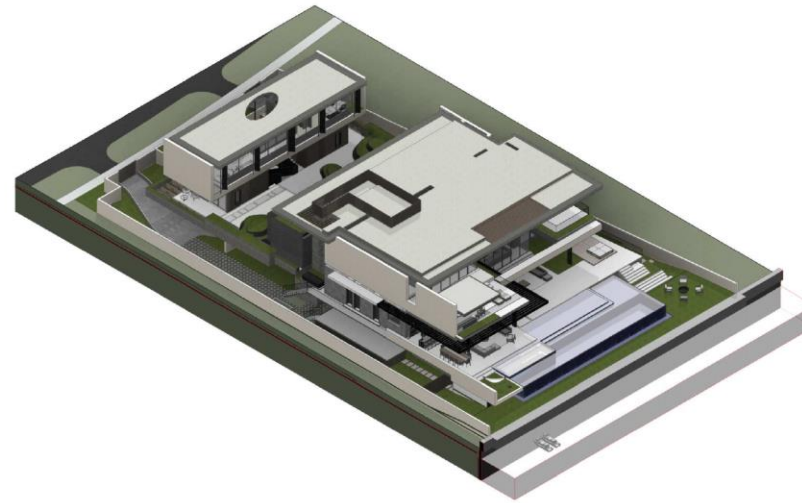
WINDOW FRAMES
black matte finish

INTERNAL FEATURE WALLS
White Venetian Plaster

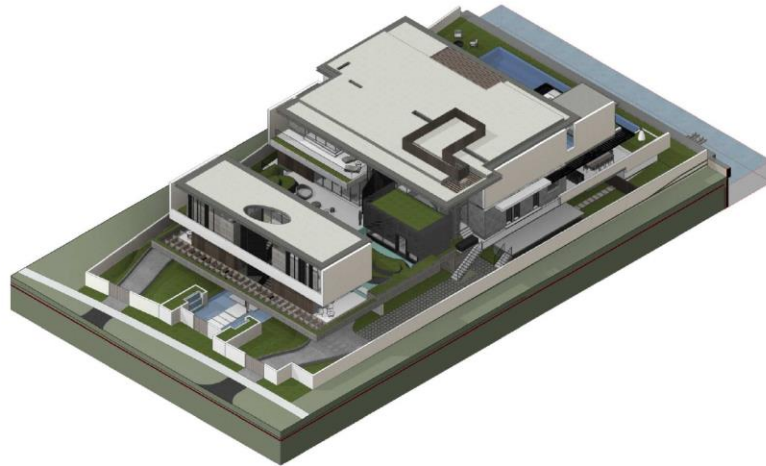
INTERNAL TIMBER
South American Peruvian Walnut



1 AXO 01



2 AXO 02



4 AXO 03



3 AXO 04

OWNER	REDAK, LLC 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
ARCHITECT	SAOTA COURTESY OF REDAK DEVELOPMENT LLC 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
LEAD DESIGNER	KURT DANWOLF KURT DANWOLF ARCHITECTS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
LANDSCAPE ARCHITECT	LANDSCAPE ARCHITECT LANDSCAPE ARCHITECTS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
CIVIL ENGINEER	CIVIL ENGINEER CIVIL ENGINEERS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
STRUCTURAL ENGINEER	STRUCTURAL ENGINEER STRUCTURAL ENGINEERS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149
MERFP ENGINEER	MERFP ENGINEER MERFP ENGINEERS, INC. 4540 NORTH BAY ROAD MIAMI BEACH, FL 33149

KURT DANWOLF
FL ARCHITECT REG. NO. 180000000

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WWW.SAOTA.COM

PROJECT
4540 NORTH BAY RD.
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS

NO.	DATE	DESCRIPTION
01	08-02-21	01B Final Submit

KEY PLAN

SCALE

DATE: 08/02/21
DRAWN BY: [Name]

AXOS
SHEET NO.
A_6102



PROPOSED STREET MONTAGE VIEW



EXISTING STREET VIEW

OWNER

4540 NORTH BAY ROAD
MIAMI BEACH, FL 33149

ARCHITECT

AK 2008096
COTONWELL, DANNOLOFF AND PARTNERS ARCHITECTS, P.A.
4540 NORTH BAY ROAD, SUITE 100
MIAMI BEACH, FL 33149
T 305.438.0000 F 305.438.0000

LEAD DESIGNER

SAOTA LTD
100 HAYFIELD STREET, GARDENS
CAPE TOWN, 8001 SOUTH AFRICA
T 27 21 460 4490

LANDSCAPE ARCHITECT

BERNARDUS LANGEVELD, INC.
2000 AUSTIN AVENUE, SUITE 100
MIAMI BEACH, FL 33139
T 305.688.8777

CIVIL ENGINEER

NAME
ADDRESS
TELEPHONE

STRUCTURAL ENGINEER

NAME
ADDRESS
TELEPHONE

MEP/FP ENGINEER

NAME
ADDRESS
TELEPHONE

KURT DANNOLOFF
FL ARCHITECT REG. NO.
AR0042

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odp

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WWW.ODP-DESIGN.COM
AK 2008096

LEAD DESIGNER

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PROJECT

4540 NORTH BAY RD.
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33149

REVISIONS

08-02-21	DRB Final Submittal

KEY PLAN

SCALE

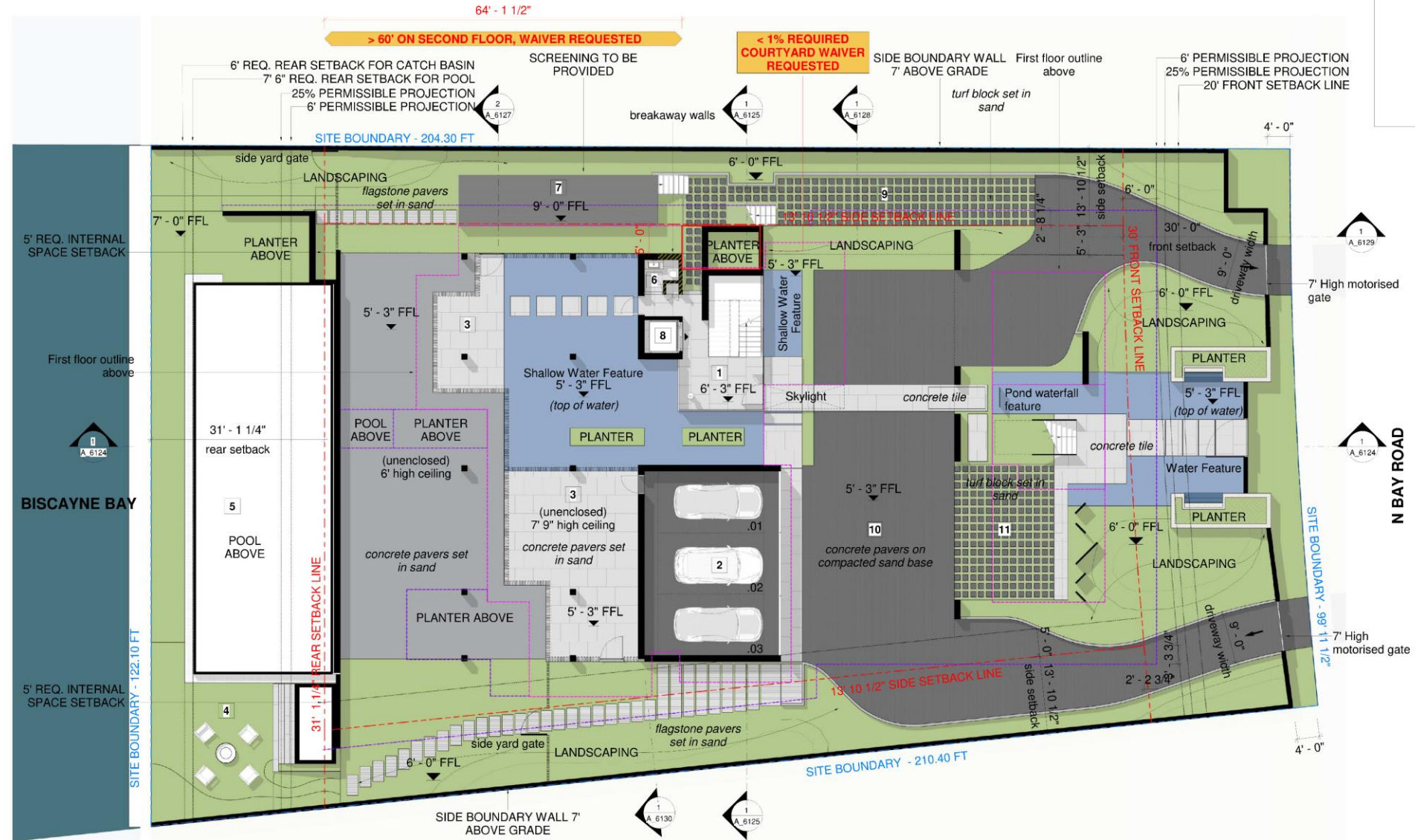
DATE: 08/02/21
DRAWN BY:

**EXISTING &
PROPOSED STREET
VIEWS**
SHEET NO.
A-030









1 UNDERSTORY PLAN
1/8" = 1'-0"

KEY

1 Lobby	6 Powder Room 01	11 Guest Parking
2 Garage	7 Pool Equipment	
3 Store Room	8 Elevator	
4 Fire Pit Seating	9 Service Driveway	
5 Pool	10 Motor Court	

OWNER
MICHAEL J. LEE
4540 NORTH BAY ROAD
NORTH BAY, FL 33509

ARCHITECT
SAOTA
180 HILLY STREET, SUITE 200, NASHVILLE, TN 37203
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STRUCTURAL ENGINEER
NAME
PHONE
ADDRESS

MERIT ENGINEER
NAME
PHONE
ADDRESS

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4540 NORTH BAY RD.

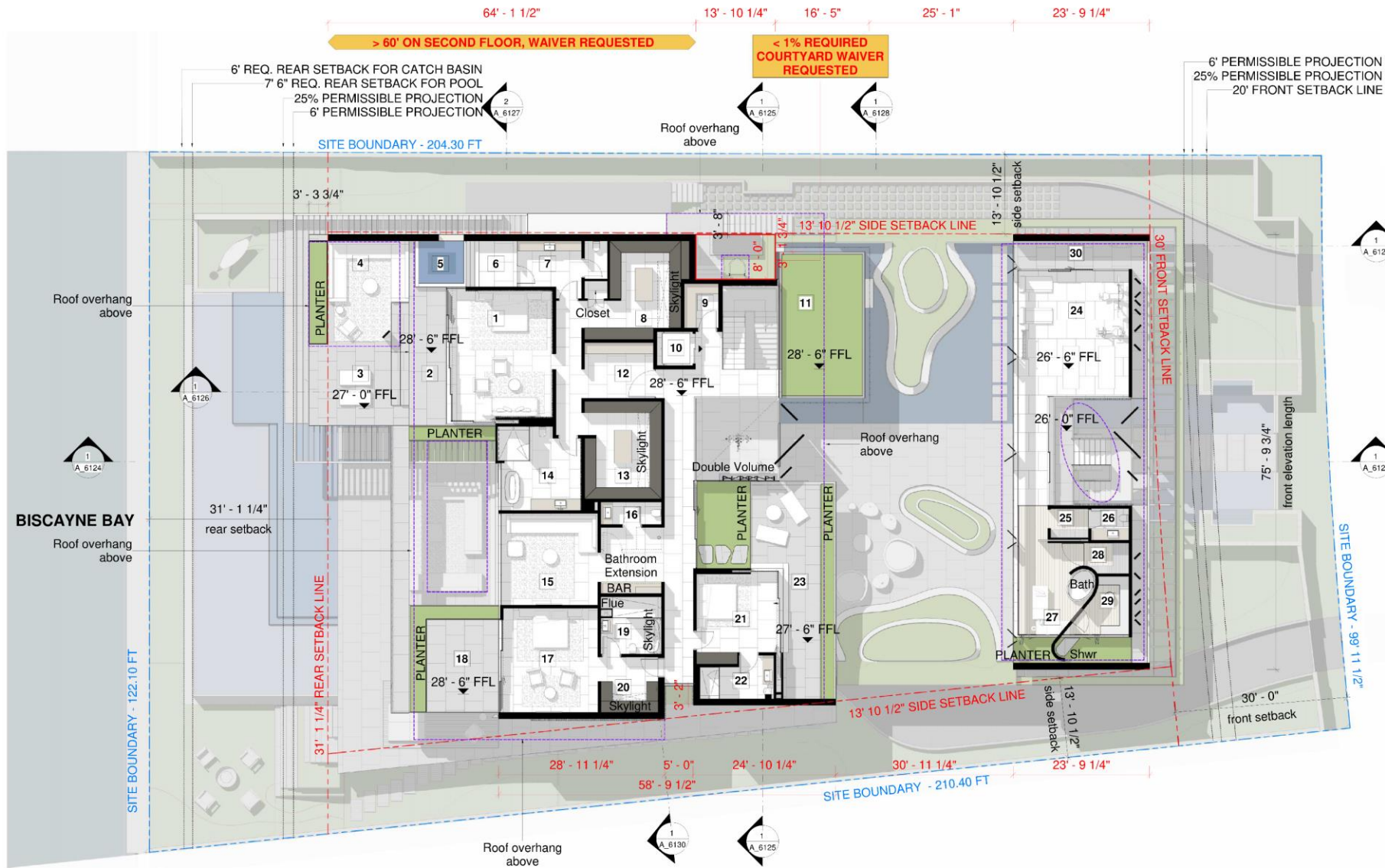
REVISIONS

NO.	DATE	DESCRIPTION
08-02-21	08-02-21	Final Submission

KEY PLAN

SCALE
DATE: 08/02/21
DRAWN BY: [Name]
CHECKED BY: [Name]

UNDERSTORY PLAN
SHEET NO.
A_6109



1 SECOND FLOOR PLAN
1/8" = 1'-0"

KEY

1 Master Bedroom	6 Shower Wet Room	11 Roof Garden	16 Powder Room 05	21 Guest Bedroom 04	26 Powder Room 06
2 Covered Terrace	7 En Suite 01	12 Entry	17 VIP Guest 03	22 En Suite 04	27 Massage
3 Terrace	8 Walk-in Closet 01	13 Walk-in Closet 02	18 Covered Terrace	23 Sunrise Deck	28 Sauna
4 Covered Terrace	9 Store Room	14 En Suite 02	19 Walk-in Closet 03	24 Gym	29 Steam Shower
5 Hot Tub	10 Elevator	15 Lounge	20 En Suite 03	25 Change Room	30 Covered Terrace



N BAY ROAD

OWNER
KURT DANIELSON
4540 NORTH BAY RD.
MIAMI, FL 33149

ARCHITECT
SAOTA
190 W. FIELD STREET, SUITE 200, MIAMI, FL 33139
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4540 NORTH BAY RD.

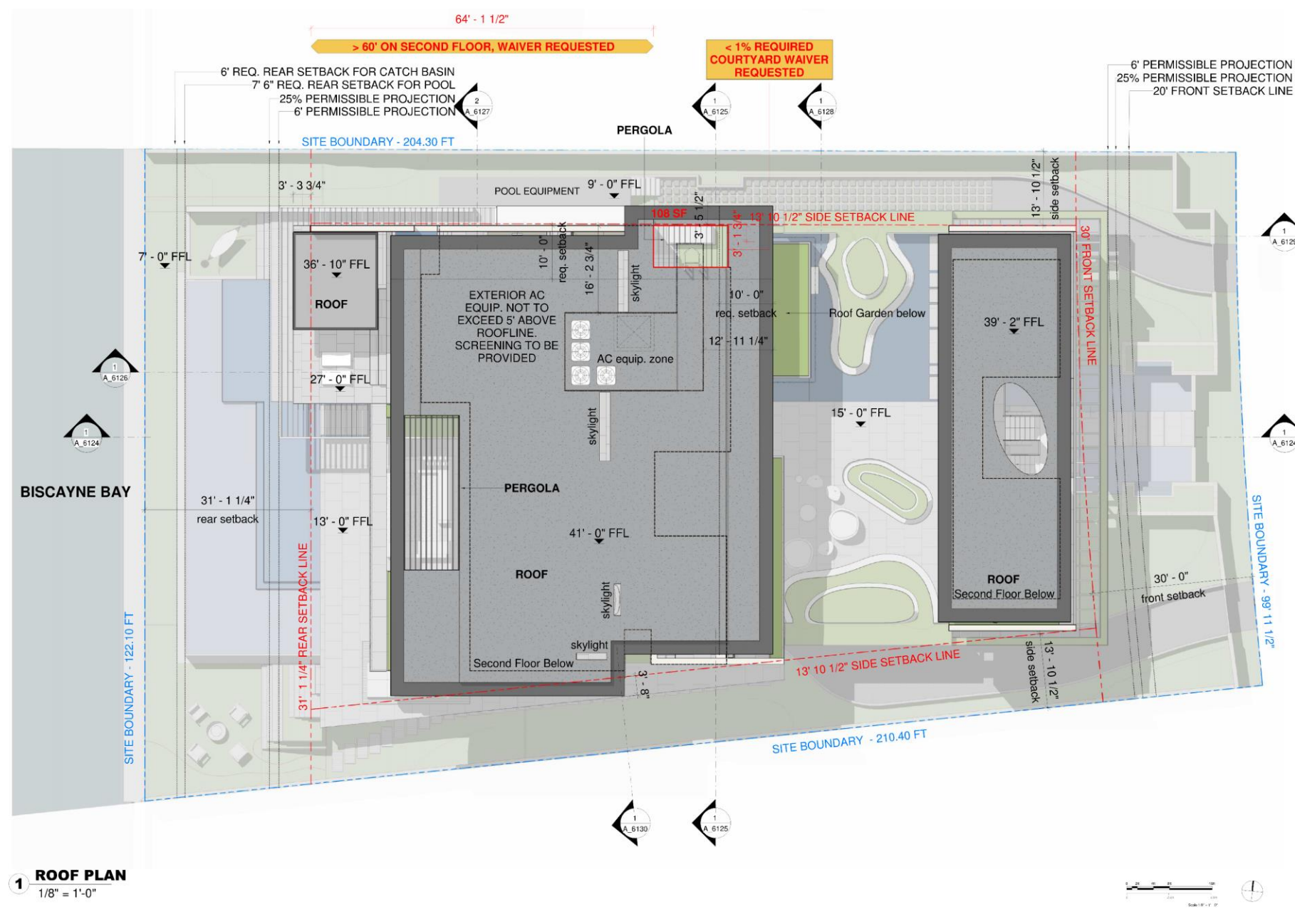
REVISIONS

NO.	DATE	DESCRIPTION
01	08-03-21	DRP Final Submittal

KEY PLAN

SCALE
1/8" = 1'-0"

SECOND FLOOR PLAN
SHEET NO.
A.6111



1 ROOF PLAN
1/8" = 1'-0"

N BAY ROAD

OWNER	REDAK, LLC 4540 NORTH BAY ROAD BISCAYNE, FL 33133
ARCHITECT	SAOTA 190 W. FIELD STREET, SUITE 200, MIAMI, FL 33139 TEL: 305.371.1111 FAX: 305.371.1112 WWW.SAOTA.COM
LEAD DESIGNER	DAVID L. SAOTA DAVID@SAOTA.COM
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PROJECT
4540 NORTH BAY RD.

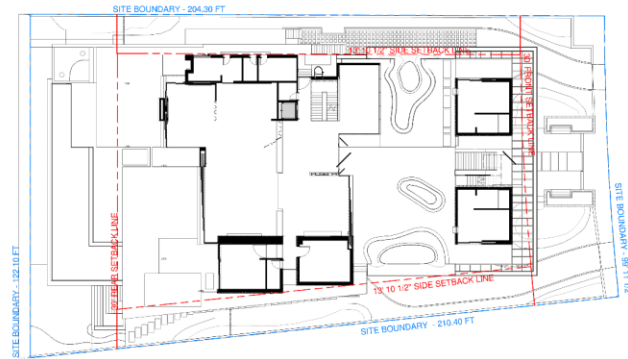
REVISIONS

NO.	DATE	DESCRIPTION
01	08-03-21	DRP Final Submittal

KEY PLAN

SCALE
DATE: 08/03/21
DRAWN BY: DAVID L. SAOTA
CHECKED BY: DAVID L. SAOTA

FIRST FLOOR PLAN
SHEET NO.
A_6112



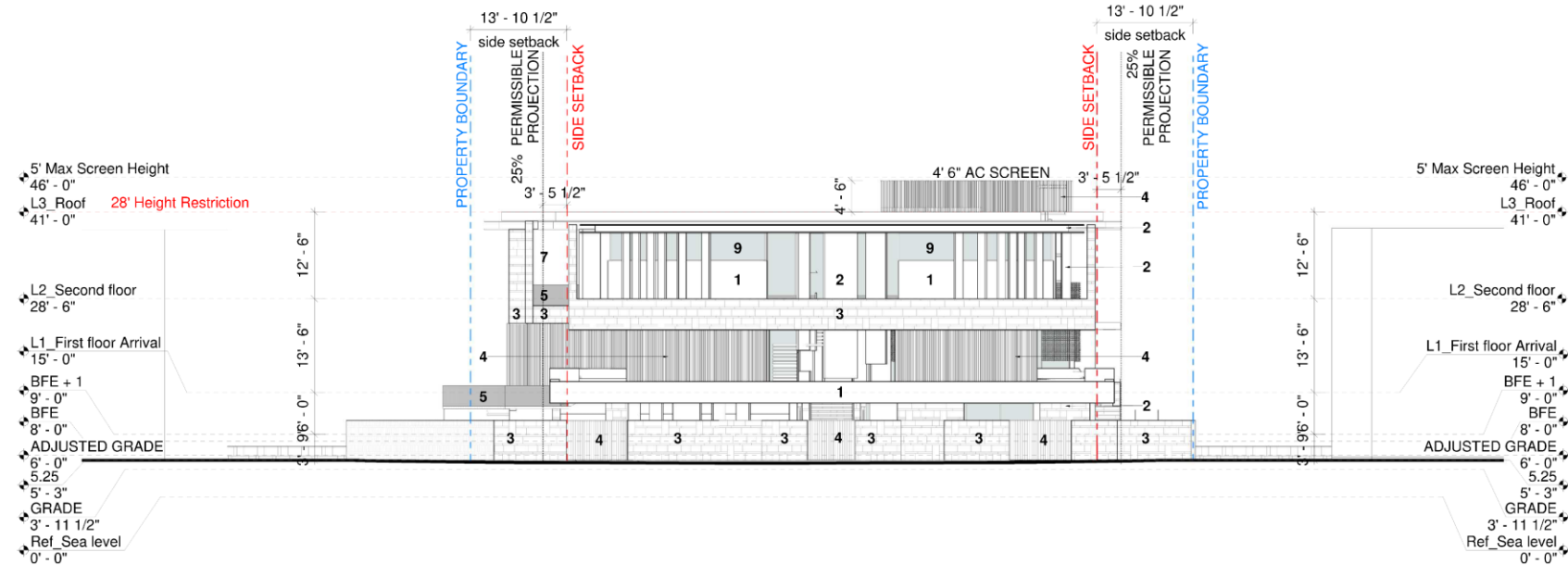
2 KEY PLAN
3/64" = 1'-0"

MATERIAL PALLETTE



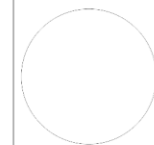
KEY

1 Basalt Stone	6 Concrete
2 Blackened Steel	7 Light Grey Venetian Plaster
3 Tiled Limestone	8 Lava Stone
4 Timber Slats	9 Matt Black Alu. Frame & Clear Glazing
5 Toughened Clear Glass	



1 FRONT (EAST) ELEVATION
1/8" = 1'-0"

OWNER	WILLIAM J. JACOBSON JR. 4540 NORTH BAY ROAD FORT MYERS, FL 33901
ARCHITECT	SAOTA 150 W. FIELD STREET, SUITE 100, FORT MYERS, FL 33901 TEL: 888.888.8888 WWW.SAOTA.COM
LEAD DESIGNER	KURT DANNHOLF FL ARCHITECT REG. NO. 100000000
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KURT DANNHOLF
FL ARCHITECT REG. NO. 100000000

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150 W. FIELD STREET, SUITE 100, FORT MYERS, FL 33901
TEL: 888.888.8888
WWW.SAOTA.COM

PROJECT
4540 NORTH BAY RD.

REVISIONS
08-02-21 01B Final Submit

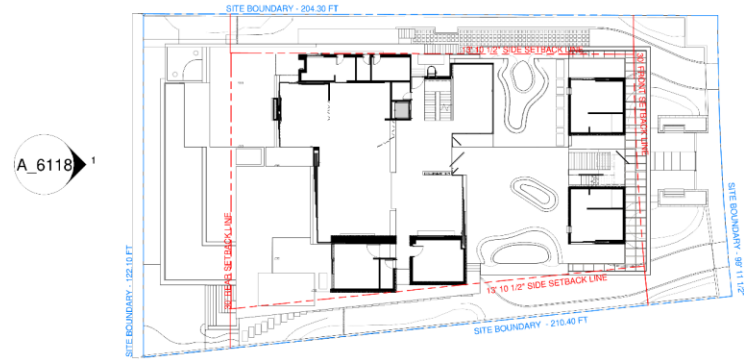
KEY PLAN

DATE: 08/02/21
DRAWN BY: DANNHOLF

EAST ELEVATION

SHEET NO.
A_6116

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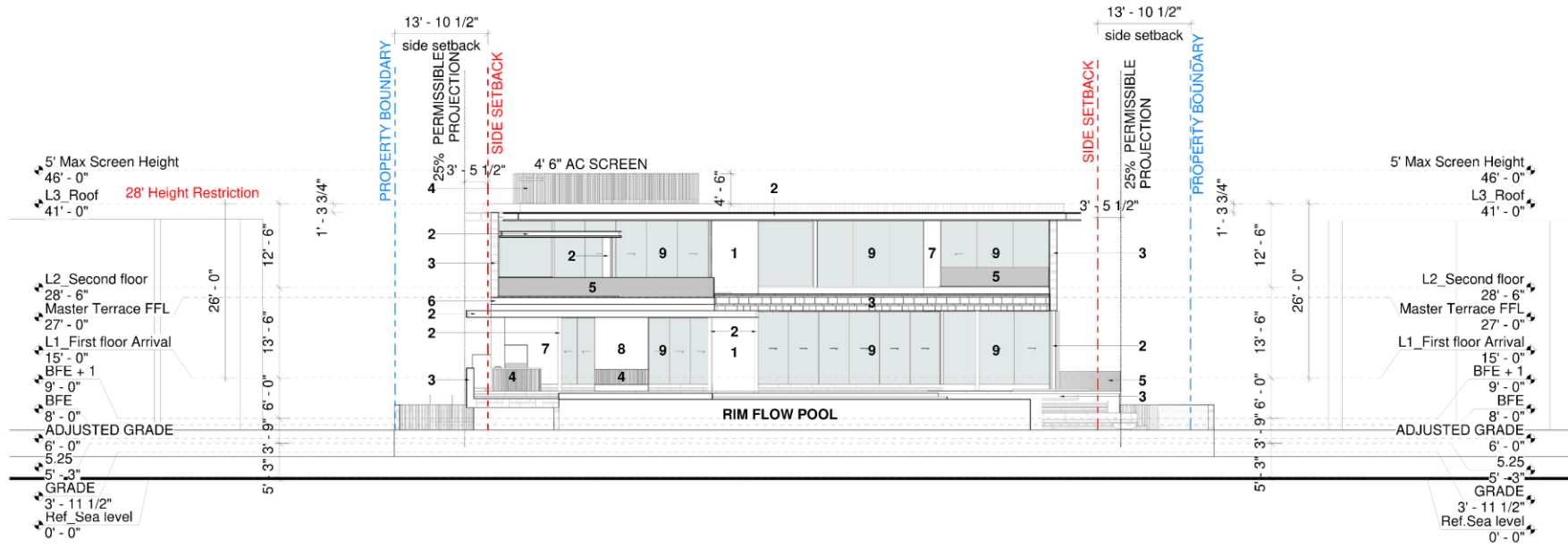
2 KEY PLAN
3/64" = 1'-0"

MATERIAL PALLETTE



KEY

1 Basalt Stone	6 Concrete
2 Blackened Steel	7 Light Grey Venetian Plaster
3 Tiled Limestone	8 Lava Stone
4 Timber Slats	9 Matt Black Alu. Frame & Clear Glazing
5 Toughened Clear Glass	



1 REAR (WEST) ELEVATION
1/8" = 1'-0"

OWNER
KURT DANNHOLF
4540 NORTH BAY RD.
FORT MYERS, FL 33901

ARCHITECT
KURT DANNHOLF ARCHITECTS, INC.
4540 NORTH BAY RD., SUITE 100
FORT MYERS, FL 33901

LEAD DESIGNER
KURT DANNHOLF

LANDSCAPE ARCHITECT
KURT DANNHOLF ARCHITECTS, INC.
4540 NORTH BAY RD., SUITE 100
FORT MYERS, FL 33901

CIVIL ENGINEER
KURT DANNHOLF ARCHITECTS, INC.
4540 NORTH BAY RD., SUITE 100
FORT MYERS, FL 33901

STRUCTURAL ENGINEER
KURT DANNHOLF ARCHITECTS, INC.
4540 NORTH BAY RD., SUITE 100
FORT MYERS, FL 33901

MERFP ENGINEER
KURT DANNHOLF ARCHITECTS, INC.
4540 NORTH BAY RD., SUITE 100
FORT MYERS, FL 33901

PROJECT
4540 NORTH BAY RD.

REVISIONS

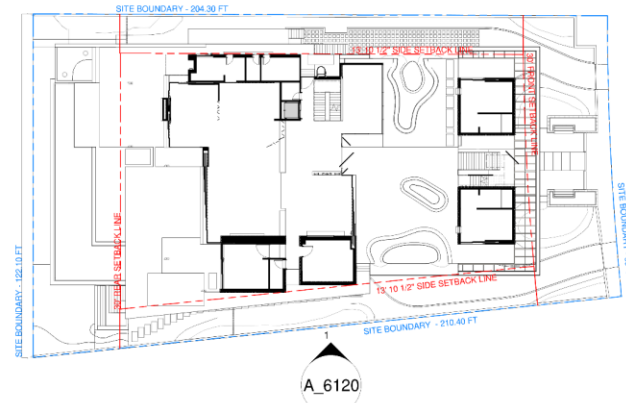
NO.	DATE	DESCRIPTION
01	08-03-21	DRP Final Submit

KEY PLAN

SCALE
DATE: 08/03/21
DRAWN BY: K. DANNHOLF

WEST ELEVATION

SHEET NO.
A.6118



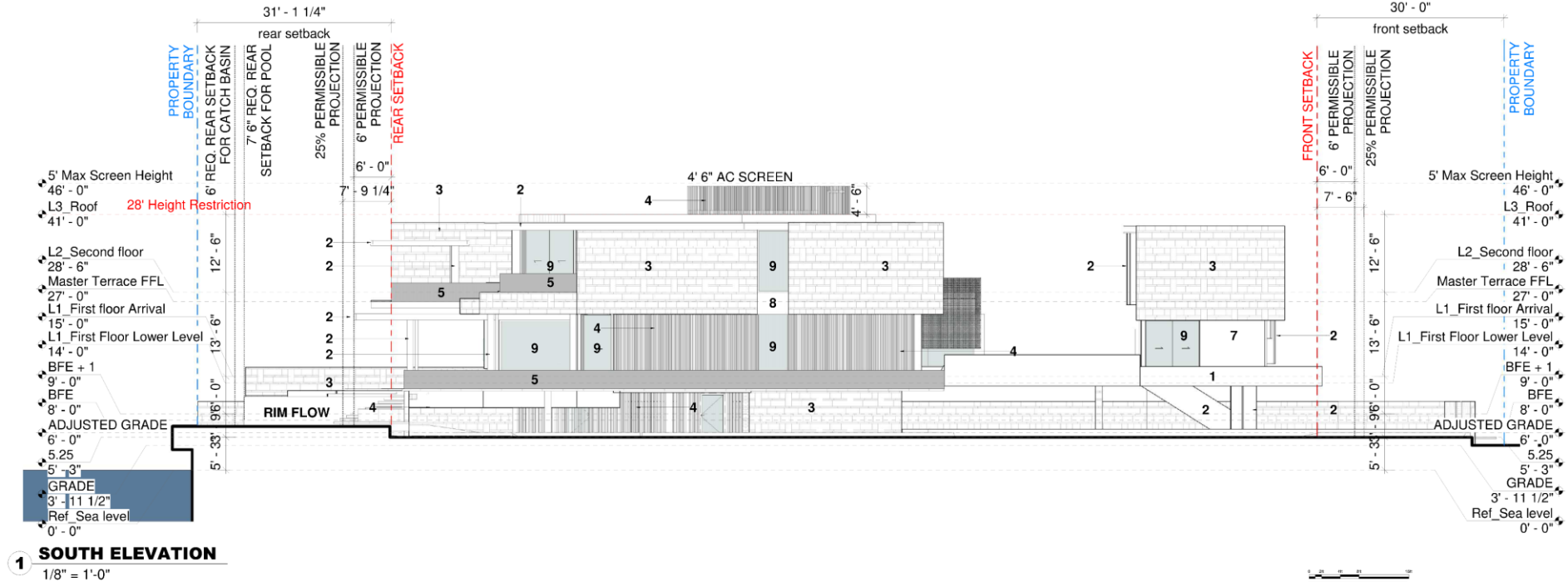
2 KEY PLAN
3/64" = 1'-0"

MATERIAL PALLETTE



KEY

1 Basalt Stone	6 Concrete
2 Blackened Steel	7 Light Grey Venetian Plaster
3 Tiled Limestone	8 Lava Stone
4 Timber Slats	9 Matt Black Alu. Frame & Clear Glazing
5 Toughened Clear Glass	



1 SOUTH ELEVATION
1/8" = 1'-0"

OWNER
MICHAEL J. LEE
4540 NORTH BAY ROAD
SUITE 100
FORT LAUDERDALE, FL 33309

ARCHITECT
KURT DANNHOLF ARCHITECTS
100 W. FIELD STREET, SUITE 100, FORT LAUDERDALE, FL 33304
TEL: 771-1234 FAX: 771-1235
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LEAD DESIGNER
KURT DANNHOLF

LANDSCAPE ARCHITECT
NATHAN L. REED, A.C.
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100 W. FIELD STREET, SUITE 100, FORT LAUDERDALE, FL 33304
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WWW.DANNHOLFARCHITECTS.COM

STRUCTURAL ENGINEER
NAME
ADDRESS
PHONE

MERFP ENGINEER
NAME
ADDRESS
PHONE

SAOTA
100 W. FIELD STREET, SUITE 100, FORT LAUDERDALE, FL 33304
TEL: 771-1234 FAX: 771-1235
WWW.DANNHOLFARCHITECTS.COM

PROJECT
4540 NORTH BAY RD.

REVISIONS

NO.	DATE	DESCRIPTION
01	08-03-21	DRG Final Submit

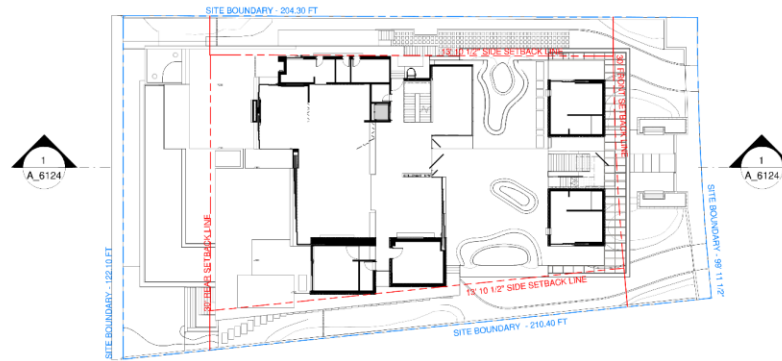
KEY PLAN

SCALE

DATE: 08/03/21
DRAWN BY: DANNHOLF

SOUTH ELEVATION

SHEET NO.
A_6120



OWNER
BENTLEY J.C.
ONE NORTH BAY BLVD.
BIRMINGHAM, AL 35203

ARCHITECT
AN ASSOCIATE
COTTONWELL, THOMPSON AND HUNT THREE NORTH AVENUE, INC.
2000 10TH AVENUE, SUITE 1000
FARMINGDALE, NY 11735

LEAD DESIGNER
WILLIAM J. F. J.
100 HARTFORD STREET, ANDOVER,
CONN. 06017
475-5511

LANDSCAPE ARCHITECT
MARTINDALE AND ASSOCIATES, P.C.
2000 AVONDALE AVENUE
BIRMINGHAM, AL 35202
353-0677

CIVIL ENGINEER
TERRY C. C. ENGINEERING INC.
401 W. PLEASANT ST., SUITE 200
BIRMINGHAM, AL 35203

STRUCTURAL ENGINEER
NAME
ADDRESS
TELEPHONE

MET-PP ENGINEER
NAME
ADDRESS
TELEPHONE



KURT DANMOLF
FL ARCHITECT REG. NO.:
AR02042

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2632 HOLLYWOOD BOULEVARD
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www.ocdparchitect.com

LEAD DESIGNER
SAOTA
110 HATFIELD STREET, GARDENS, CAPE TOWN, 8001
T: +27(0)21 488 4400 | info@saota.com
www.saota.com

PROJECT
4540 NORTH BAY RD.

REVISIONS	
08-02-21	DRB Final Submittal

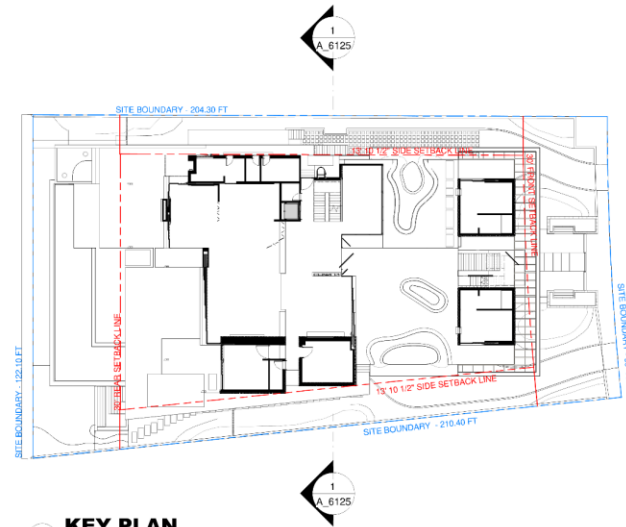
KEY PLAN

SCALE:
DATE: 08/20/11
STARTED BY:
DRAWING TITLE:

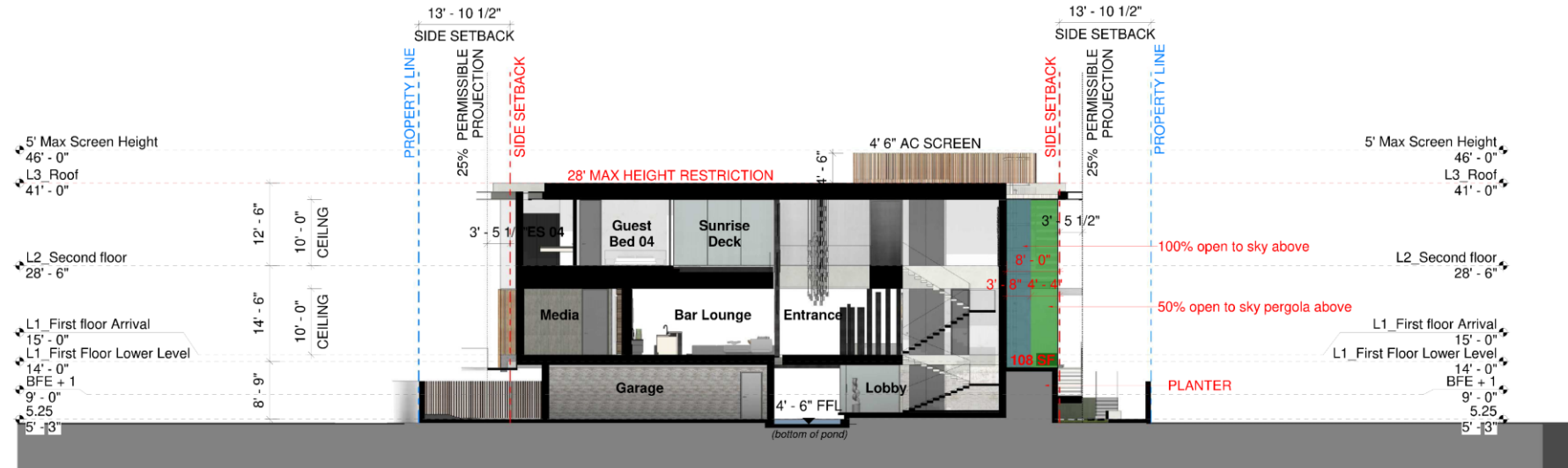
SECTION AA

SHEET NO.

A 6124

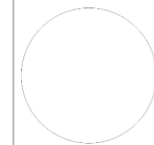


2 KEY PLAN
3/64" = 1'-0"



1 SECTION BB
1/8" = 1'-0"

OWNER	WILLIAM J. JACOBSON
ARCHITECT	JOHN JACOBSON
LEAD DESIGNER	JOHN JACOBSON
LANDSCAPE ARCHITECT	JOHN JACOBSON
CIVIL ENGINEER	JOHN JACOBSON
STRUCTURAL ENGINEER	JOHN JACOBSON
MERFP ENGINEER	JOHN JACOBSON



KURT DANNHOF
FL ARCHITECT REG. NO. 18000002
APPROVED
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LEAD DESIGNER
SAOTA
150 W. FIELD STREET, SUITE 200, MIAMI, FLORIDA 33136
T: 305.577.1234 F: 305.577.1235
www.saota.com

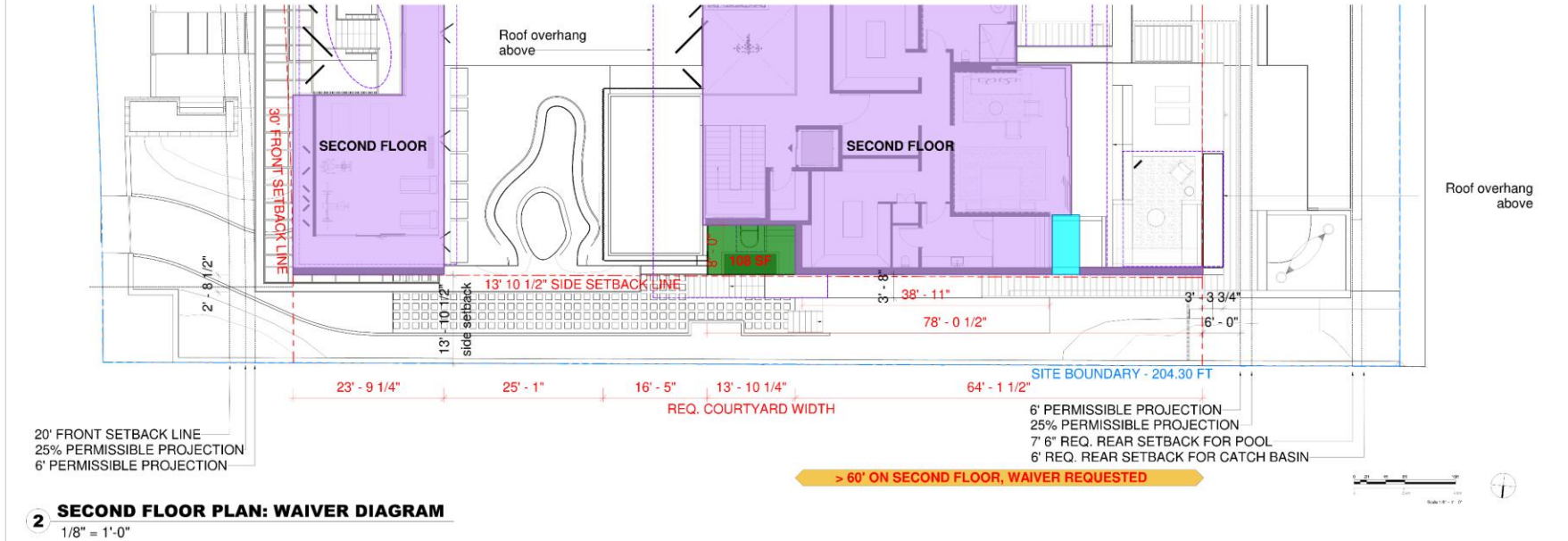
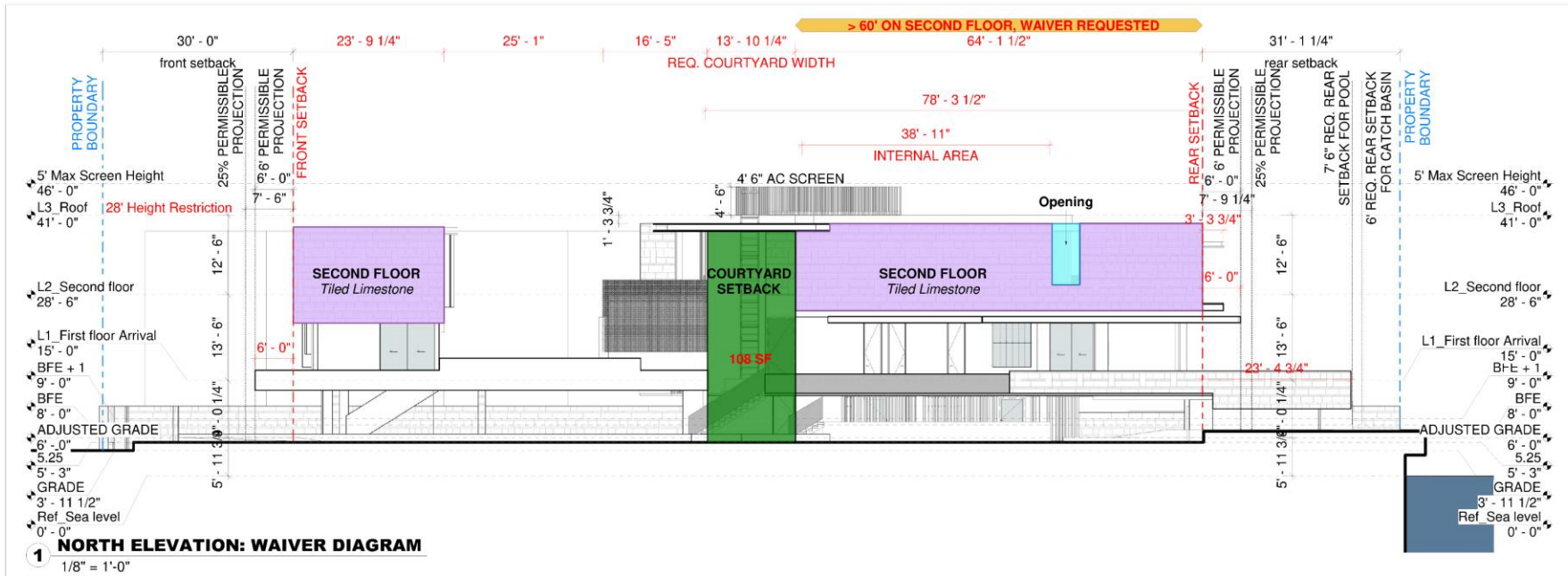
PROJECT	4540 NORTH BAY RD.
DATE	08-03-21
REVISIONS	08-03-21 01B Final Submit

KEY PLAN
SCALE
DATE: 08/03/21
DRAWN BY: JACOBSON
SECTION BB
SHEET NO. A_6125

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WAIVER

WAIVER #1 – NORTH ELEVATION



OWNER
SAOTA
4540 NORTH BAY RD.
FORT MYERS, FL 33901

ARCHITECT
KURT DANWOLF
FL ARCHITECT REG. NO. 1400042

LEAD DESIGNER
KURT DANWOLF
FL ARCHITECT REG. NO. 1400042

LANDSCAPE ARCHITECT
KURT DANWOLF
FL LANDSCAPE ARCHITECT REG. NO. 1400042

CIVIL ENGINEER
KURT DANWOLF
FL CIVIL ENGINEER REG. NO. 1400042

STRUCTURAL ENGINEER
KURT DANWOLF
FL STRUCTURAL ENGINEER REG. NO. 1400042

MECHANICAL ENGINEER
KURT DANWOLF
FL MECHANICAL ENGINEER REG. NO. 1400042

ELECTRICAL ENGINEER
KURT DANWOLF
FL ELECTRICAL ENGINEER REG. NO. 1400042

SAOTA
ARCHITECTURE AND DESIGN
4540 NORTH BAY RD.
FORT MYERS, FL 33901
TEL: 941.336.1111
WWW.SAOTA.COM

PROJECT
4540 NORTH BAY RD.

REVISIONS

NO.	DATE	DESCRIPTION
01	08-02-21	DRB Final Submission

KEY PLAN

SCALE
1/8" = 1'-0"

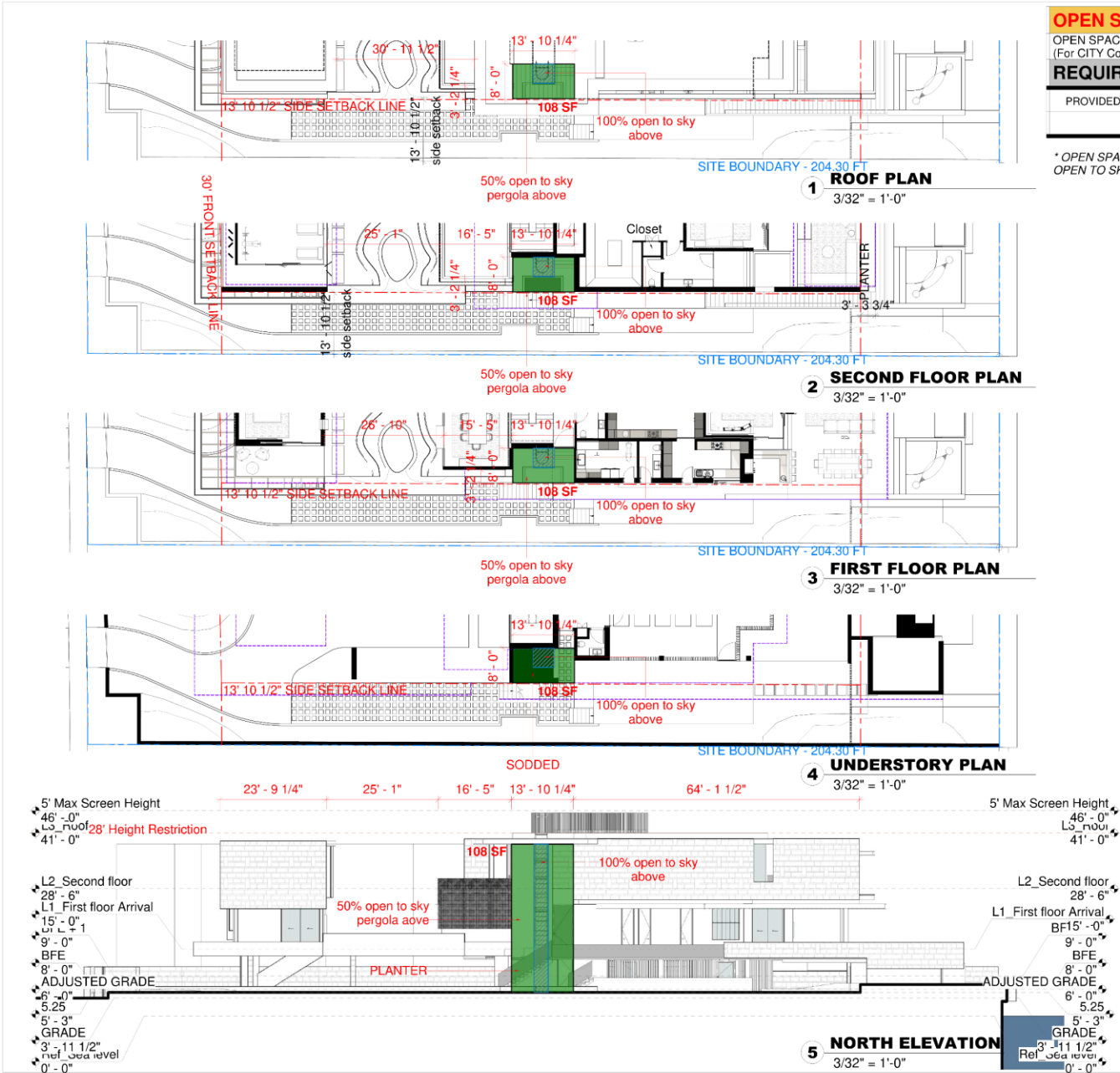
DATE
08-02-21

DRAWN BY
KURT DANWOLF

NORTH ELEV. WAIVER

SHEET NO.
A.6106

WAIVER #1 – NORTH ELEVATION



OPEN SPACE WAIVER REQUEST	
OPEN SPACE REQUIREMENT (For CITY Compliance)	= LOT AREA X 1% = 22885 X 1%
REQUIRED OPEN SPACE	228 SF
PROVIDED OPEN SPACE	108 SF
% (of lot size)	0.4 %

* OPEN SPACE DOES NOT MEET THE REQUIREMENT OF OPEN TO SKY FROM GRADE

OWNER
4540 NORTH BAY RD.
DADE COUNTY, FL 33146

ARCHITECT
KURT DANWOLF
KURT DANWOLF ARCHITECTS, INC.
110 HOLLYWOOD BOULEVARD, SUITE 100
FORT LAUDERDALE, FL 33301

LEAD DESIGNER
KURT DANWOLF
KURT DANWOLF ARCHITECTS, INC.
110 HOLLYWOOD BOULEVARD, SUITE 100
FORT LAUDERDALE, FL 33301

LANDSCAPE ARCHITECT
KURT DANWOLF
KURT DANWOLF ARCHITECTS, INC.
110 HOLLYWOOD BOULEVARD, SUITE 100
FORT LAUDERDALE, FL 33301

CIVIL ENGINEER
KURT DANWOLF
KURT DANWOLF ARCHITECTS, INC.
110 HOLLYWOOD BOULEVARD, SUITE 100
FORT LAUDERDALE, FL 33301

STRUCTURAL ENGINEER
KURT DANWOLF
KURT DANWOLF ARCHITECTS, INC.
110 HOLLYWOOD BOULEVARD, SUITE 100
FORT LAUDERDALE, FL 33301

MECHANICAL ENGINEER
KURT DANWOLF
KURT DANWOLF ARCHITECTS, INC.
110 HOLLYWOOD BOULEVARD, SUITE 100
FORT LAUDERDALE, FL 33301

ELECTRICAL ENGINEER
KURT DANWOLF
KURT DANWOLF ARCHITECTS, INC.
110 HOLLYWOOD BOULEVARD, SUITE 100
FORT LAUDERDALE, FL 33301

KURT DANWOLF
FL ARCHITECT REG. NO. 1100000000

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FORT LAUDERDALE, FL 33301
TEL: 954.833.1111 FAX: 954.833.1112
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SAOTA
110 HOLLYWOOD STREET, CORNELIUS, NORTH CAROLINA 28031
TEL: 704.321.4100 FAX: 704.321.4101
WWW.SAOTA.COM

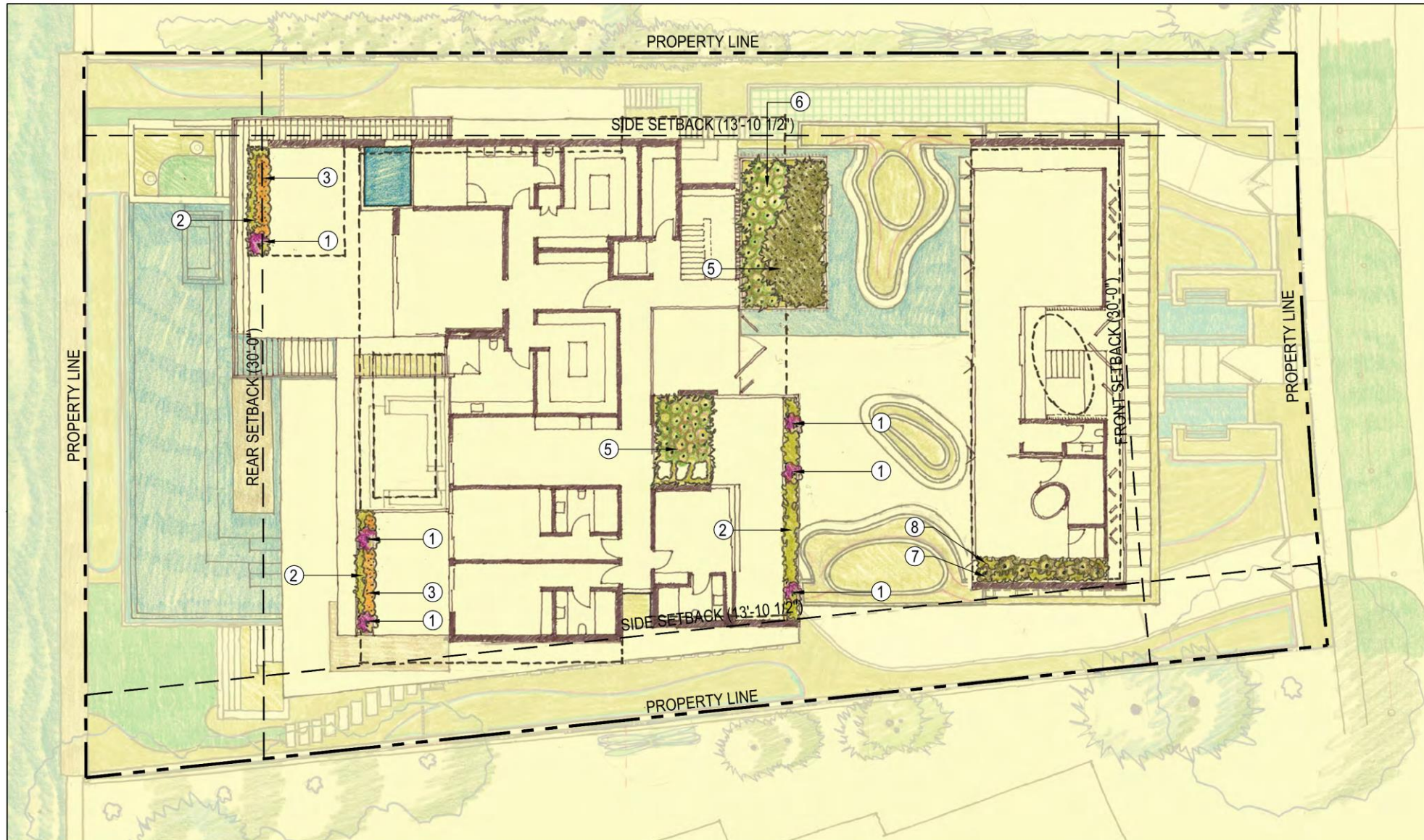
PROJECT
4540 NORTH BAY RD.
ARCHITECT: KURT DANWOLF, KURT DANWOLF ARCHITECTS, INC.

REVISIONS
08-02-21 DRB Final Submit

KEY PLAN

SCALE
SCALE: 1/8" = 1'-0"
DATE: 08/02/21
DRAWN BY: [Name]
CHECKED BY: [Name]

OPEN SPACE WAIVER
SHEET NO.
A.6107







4540 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

SAOTA



jungles

CLIENT

4540 NBR LLC
ADDRESS: 655 MADISON AVE 11 FL
NEW YORK, NY 10065

DESIGN ARCHITECT

SAOTA
ADDRESS: 109 HATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA
PHONE: +27(0)21 468 4400

ARCHITECT OF RECORD

O'DONNELL DANNWOLF AND PARTNERS ARCHITECTS INC
ADDRESS: 2432 HOLLYWOOD BOULEVARD, HOLLYWOOD, FL 33020
PHONE: 954.518.0833

LANDSCAPE ARCHITECT

RAYMOND JUNGLES, INC.
ADDRESS: 2964 AVIATION AVENUE, COCONUT GROVE, FL 33133
PHONE: 305.858.6777

DESIGN REVIEW BOARD APPLICATION: DRB21-0711
FINAL SUBMITTAL 08-02-21

MAP OF BOUNDARY SURVEY

4540 NORTH BAY ROAD, MIAMI BEACH, 33140



LOCATION SKETCH

SCALE = N.T.S.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE TACKERS/STAPLES IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- DIMENSIONS OF THE RECORD OF THE WALL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR INCIDENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY OWNER OR ATTESTING THE COMPANY.
- BOUNDARY SURVEY MAPS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOW SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE EXAGGERATED FOR GRAPHIC PURPOSES.
- EXISTENCES AS SHOWN ARE AS OF DATE. UNLESS OTHERWISE NOTED.
- THE TERM "ENCROACHMENT" MEANS VIOLATE AND ABOVE ZERO AND ENCROACHMENTS AND INTERFERS WITH ADJACENT PROPERTY. RESTRICTIONS, EASEMENTS AND WILL BE NOTED FOR ENCROACHMENT.
- PLI PLAYS WITH CORRECT INFORMATION FOR APPROVAL FOR AUTHORIZATION TO THE INSURANCE COMPANIES IN THE CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT AGREED TO LOCATE EXISTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES ORDERED HEREON. THE COPY FOR THE OTHER PARTIES IS NOT VALID.
- DOES NOT EXTEND TO ANY UNPAID PARTY.

FLOOD ZONE INFORMATION:

THE NFP FLOOD MAPS HAVE DESIGNATED THE HEREBY DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 7 FEET.
COMMUNITY: T20851
PARCEL: 058
SUFFIX: L
DATE OF FIRM: 09/11/2000
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. ALL ELEVATIONS SHOWN ARE REFERRED TO AN ASSUMED MEANSEA OF 2540 PLAN IN THE DESCRIPTION OF THE PROPERTY. IF ANY BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 175000 FT.
3. CERTIFICATE OF AUTHORIZATION ID# 7506.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. CITY OF MIAMI DEED BENCH MARK # 47-05 ELEVATION IS 3.57 FEET N.A.S.D. OF 1985, CONVERTED TO NGVD (29) USING CORRECTION BY ADDING 1.55 FEET FROM 5.52 FEET NAD (83) CONVERSION FORMULA: $(3.52 + 1.55 = 5.07)$ RESULTS = 5.07 FEET NGVD 29.

SURVEYOR'S CERTIFICATION:

THESEY CERTIFY: THIS BOUNDARY SURVEY OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

LEGAL DESCRIPTION:

LOT 22, BLOCK 1, NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:

4540 NBR LLC, A DELAWARE LIMITED LIABILITY COMPANY
STACI J. RUTMAN, P.A. D/B/A RUTMAN LAW
FIRST AMERICAN TITLE INSURANCE COMPANY

NO.	Name	Coordinate (X)	Height (Y)	Species
1	APRICA CLUSTER	1.0	30.0	20.0
2	APRICA CLUSTER	1.0	30.0	20.0
3	PALM CLUSTER	0.0	30.0	30.0
4	PALM CLUSTER	1.0	30.0	20.0
5	PALM CLUSTER	1.0	30.0	20.0
6	PALM	1.0	30.0	20.0
7	PALM	1.0	30.0	20.0
8	PALM	0.0	30.0	30.0
9	APRICADO TREE	0.0	24.0	10.0
10	PALM	1.0	30.0	20.0
11	PALM CLUSTER	3.0	18.0	8.0
12	PALM	3.0	18.0	10.0
13	PALM	3.0	18.0	10.0
14	PALM CLUSTER	3.0	30.0	30.0
15	PALM	1.0	30.0	20.0
16	PALM	0.0	30.0	30.0
17	APRICA	0.0	20.0	10.0
18	APRICA	0.0	40.0	30.0
19	PALM	0.0	30.0	30.0
20	PALM CLUSTER	1.0	30.0	20.0
21	PALM	0.0	30.0	30.0
22	PALM	0.0	30.0	30.0
23	PALM	0.0	30.0	30.0
24	PALM	0.0	30.0	30.0
25	PALM CLUSTER	3.0	30.0	30.0
26	PALM	2.0	40.0	10.0
27	PALM	3.0	40.0	10.0
28	PALM CLUSTER	3.0	40.0	10.0
29	PALM	0.0	30.0	30.0
30	PALM	1.0	40.0	10.0
31	PALM	1.0	40.0	10.0
32	PALM	0.0	30.0	30.0
33	PALM	0.0	30.0	30.0
34	PALM CLUSTER	1.0	18.0	20.0
35	PALM CLUSTER	1.0	18.0	20.0
36	PALM	0.0	30.0	30.0
37	APRICA	0.0	20.0	10.0
38	APRICA	0.0	40.0	30.0
39	APRICA	0.0	20.0	10.0
40	APRICA	0.0	40.0	30.0



3. MINIMUM OF ONE (1) FOOT MINIMUM EXPOSED HOOD FORCE SHALL BE PLACED AT THE INTERIOR REAR EDGE ON RETENTION RAIL OF DISBURSEMENT OF THE TREE FOR SAFETY PURPOSES.
4. THE EXPOSED HOOD FORCE SHALL BE MAINTAINED AT ALL TIMES WITHIN THE BLOCKING CHAIN AREA FROM EXISTING TREE VASCULAR TISSUES, MORE SPECIFICALLY THE HARTIGIAN RAYS AND LATEX TISSUE TO PREVENT FURTHER DAMAGE TO THE TREE.
5. THE USE OF FIBERS DURING SAWING-CUTTING FOR ALL RINGS MUST BE OF THE FOLLOWING TYPE: FIBER REINFORCED POLYESTER, A CLASS 1 FIBER COTTON, OR FIBER REINFORCED POLYESTER OF 3000 LB. ALL OTHERS SHALL BE DISAPPROVED. COVERED WITH TAPE TAUB TO PREVENT SPILLING AND COVERED WITH 6 MILS SOLAR FILM.
6. NO STOPPING OF MATERIALS, WELDING, PLATING, OR STOPPING OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING, EXPOSURE SHALL NOT BE EXCEEDED.
7. THE FENCING SHALL BE MAINTAINED AT ALL TIMES WITHIN THE LIMIT OF THE FENCING WITHIN PROTECTION FENCE SHALL BE DONE IMMEDIATELY AFTER THE SUPERVISION OF THE CITY OF LOS ANGELES AND WITHIN APPROVAL BY THE CITY ENGINEER OF FENCE.
8. FENCING SHALL BE MAINTAINED WITHIN THE FENCING AREA WITHIN (1) FENCING AREA.

SURVEYOR'S NOTE:

AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.

ADDITIONAL SURVEYOR'S

NOTES:
FOR SEAWALL NGVD (22) + HAWD (68)

~~X~~ \rightarrow REFERS TO NATIONAL GEODETIC VERTICAL

CONVERSION NOTE:

NGVD29)-1.55'=NAVD (88)

LEGEND

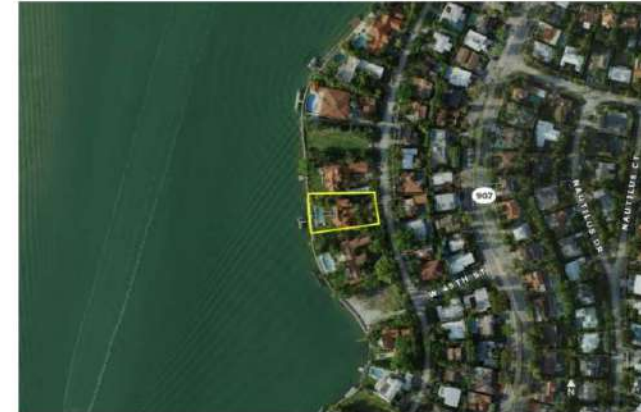
LEGEND

- = OVERHEAD UTILITY LINES
- = CONCRETE BLOCK WALL
- = CHAIN LINK FENCE
- = IRON FENCE
- = WOOD FENCE
- = BUILDING SETBACK LINE
- = UTILITY EASEMENT
- = LIMITED ACCESS R/W
- = NON-VEHICULAR ACCESS R/W
- = EXISTING ELEVATIONS

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

ITEM #	Zoning Information				
1	Address:	4540 NORTH BAY ROAD, MIAMI BEACH, FL 33140			
2	Folio number(s):	02-3222-011-0190			
3	Board and file numbers :	DESIGN REVIEW BOARD - DRB21-0711			
4	Year built:	1990	Zoning District:	R-2	
5	Base Flood Elevation:	+8' NGVD (per 54-35)	Grade value in NGVD:	+4.00' NGVD	
6	Adjusted grade (Floor+Grade/2):	+6.00' NGVD	Free board:	5'-0"	
7	Lot Area:	22,885.40 SF			
8	Lot width:	111.05 FT (average)	Lot Depth:	207.35' (average)	
9	Max Lot Coverage SF and %:	6,865 SF / 30%	Proposed Lot Coverage SF and %:	6,862.30 SF / 29.98%	
10	Existing Lot Coverage SF and %:	6,378 SF / 27.87%	Lot coverage deducted (garage-storage) SF:	1,644.69 SF	
11	Front Yard Open Space SF and %:	2,142.36 SF / 70.26%	Rear Yard Open Space SF and %:	2,645.12 SF / 70.81%	
12	Max Unit Size SF and %:	11,442.70 SF / 50%	Proposed Unit Size SF and %:	11,369 SF / 49.68%	
13	Existing First Floor Unit Size:	2,811 SF	Proposed First Floor Unit Size:	5,551 SF	
14	Existing Second Floor Unit Size:		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	62,425 CF / 47.36%	
15		2,085 SF	Proposed Second Floor Unit Size SF and %:	4,994 SF / 43.65%	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A	
		Required	Existing	Proposed	Deficiencies
17	Height:	28 FT	28 FT	28'-0"	
18	Setbacks:				
19	Front First level:	30 FT	69.25'	30'-0"	
20	Front Second level:	30 FT	69.25'	30'-0"	
21	Side 1:	11.11 FT	8.14'	13'-10 1/2"	
22	Side 2 or (facing street):	11.11 FT	22.45'	13'-10 1/2"	
23	Rear:	31.10 FT	62.39'	31'-1 1/4"	
	Accessory Structure Side 1:	N/A	N/A	N/A	
24	Accessory Structure Side 2 or (facing street):	N/A	N/A	N/A	
25	Accessory Structure Rear:	N/A	N/A	N/A	
26	Sum of Side yard:	27.775'	30.59'	27'-9"	
27	Located within a Local Historic District?			NO	
28	Designated as an individual Historic Single Family Residence Site?			NO	
29	Determined to be Architecturally Significant?			NO	

All other data information should be presented like the above format



PROPERTY ADDRESS:	4540 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140
FOLIO NUMBER:	02-3222-011-0190
SUB-DIVISION:	NAUTILUS
LEGAL DESCRIPTION:	LOT 22, OF BLOCK 1, OF NAUTILUS SUBDIVISION, PLATBOOK 8, PAGE 95.
LOT DISTRICT:	R-2
FLOOD ZONE:	ZONE AE-7

OWNER

MR. MICHAEL

BRUNSON 100 PARK DRIVE

HOUSTON, TEXAS 77055

ARCHITECT

CONCRETE CONCEPTS ARCHITECTURE ASSOCIATES, P.C.

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

LEAD ENGINEER

DAVID P. LUTZ

REGISTERED CIVIL ENGINEER

STATE OF TEXAS, NO. 10000

LANDSCAPE ARCHITECT

WILLIAM C. LUTZ

REGISTERED LANDSCAPE ARCHITECT

STATE OF TEXAS, NO. 10000

CIVIL ENGINEER

WILLIAM C. LUTZ

REGISTERED CIVIL ENGINEER

STATE OF TEXAS, NO. 10000

STRUCTURAL ENGINEER

WILLIAM C. LUTZ

REGISTERED STRUCTURAL ENGINEER

STATE OF TEXAS, NO. 10000

MUNICIPAL ENGINEER

WILLIAM C. LUTZ

REGISTERED MUNICIPAL ENGINEER

STATE OF TEXAS, NO. 10000

CLIENT NAME

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT ADDRESS

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT PHONE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT FAX

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT EMAIL

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT WEBSITE

DAVID P. LUTZ

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HOUSTON, TEXAS 77057

CLIENT NOTES

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT COMMENTS

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT SIGNATURE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT DATE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT PROJECT

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT DESCRIPTION

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT SCOPE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT BUDGET

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT SCHEDULE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT CONTACT

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT REFERENCE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT REVIEW

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT APPROVAL

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT SIGNATURE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT DATE

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT PROJECT

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT DESCRIPTION

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HOUSTON, TEXAS 77057

CLIENT SCOPE

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1000 WEST PARKWAY, SUITE 1000

HOUSTON, TEXAS 77057

CLIENT BUDGET

DAVID P. LUTZ

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HOUSTON, TEXAS 77057

CLIENT SCHEDULE

DAVID P. LUTZ

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HOUSTON, TEXAS 77057

CLIENT CONTACT

DAVID P. LUTZ

1000 WEST PARKWAY, SUITE 1000

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CLIENT REFERENCE

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CLIENT SCHEDULE

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HOUSTON, TEXAS 77057

</

ZONING ANALYSIS					
CITY OF MIAMI BEACH CODE OF ORDINANCES, SUBPART B - LAND DEVELOPMENT REGULATIONS, CHAPTER 142 - ZONING DISTRICT REGULATIONS, DIVISION 1 TO 5 (THRU A SINGLE-FAMILY RESIDENTIAL DISTRICTS)					
PROPERTY ADDRESS	4540 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140	ALLOWED / REQUIRED	PROPOSED / PROVIDED	SHEET REFERENCE	WAIVER REQUESTED
FOLIO NUMBER	02-3222-011-0190				
LEGAL DESCRIPTION	LOT 22, OF BLOCK 1, OF NAUTILUS SUBDIVISION, PLATBOOK E, PAGE 95				
ZONING DISTRICT	RS-2				
LOT AREA	18,000 SF min	18,000 SF min	22,885.40 SF		
LOT WIDTH	111.05 FT (average) x 207.35 FT (average)	75 FT min	111.05 FT (average)		
UNIT SIZE	Minimum Maximum 50% of lot area	1,800 SF min 11,442.7 SF max	N/A 11,369 SF = 45.68%	A_6103 A_6103	
Additional Requirements Understory Areas	For 2 story, total coverage 25% or greater, or least 50% of two floor along front elevation set back 5' min	5 FT min additional	5' Provided for 50.13%	A_6117	
	Open min 50% on each side	50%	50.17%; 60.70%; 61.37%	A_6121-23	
	Enclosed parking & storage areas not counted provided do not exceed 800 SF	600 SF max not counted	600 SF not counted	A_6103	
	Screening width not to exceed 50% of lot width, width less than 1' & greater than 18"	30 x 111.1 = 33.33 FT	(2) @ 9'-0" / 18'-0" total	A_6108	
LOT COVERAGE	50% of required front & side yards shall be subject to landscaped pervious open space	70%	70.26%	A_6105	
	80% maximum for 2 story homes 1% of lot area	6,899 SF max	6,862 SF = 29.98%	A_6104	
	Patios, roof overhangs, covered porches & terraces projecting more than 2' from exterior wall not included	5' max from exterior wall	Provided	A_6104	
	Swamp, ditches, walkways, foundation areas, green infrastructure, existing landscape to be preserved	6'-6" NGVD min	Provided	A_6108	
Yard Elevation Requirements Front & Interior Side Rear (Waterfront)	Maximum of 30" above adjacent grade (not to exceed min flood elevation plus freeboard)	6' NGVD+30"=6'-6" NGVD	+6' NGVD	L-103	
	Not to exceed the base flood elevation + Freeboard	6' NGVD+30"=6'-6" NGVD	+6' NGVD	L-103	
BUILDING HEIGHT	Measured from the required base flood elevation for the lot, plus freeboard, to top of structural wall	28 FT max	28'-0"	A_6116-20	
	2 min freeboard per lot, 44-38	+41'-0" NGVD		A_6105;6121-22	
	5 min freeboard per lot, 54-35	(+6' BFE + 5' freeboard + 28')	41'-0" NGVD		
	Above the base flood elevation, plus freeboard	2	2	A_6114-17;6121-22	
NUMBER OF STORIES	2	2	2	A_6114-17;6121-22	
SETBACKS	Front Yard	30 FT	30'-0"	A_6105	
	Side Yard	50% min = 1,534.55 SF	1,802.08 SF = 58.10%	A_6105	
	Interior	Sum of required side yards shall be at least 25% of lot width	25 x 111.1 FT = 27.775 FT	13'-10 1/2" x 2 = 27'-9"	A_6105
	Rear Yard	Sum of required side yard shall have a min of 50% of lot width or 10' whichever is greater	10 x 111.1 FT = 11.11 FT	13'-10 1/2"	A_6105
ALLOWABLE ENCROACHMENTS	Accessory Building	30 FT max	64'-4 1/2"	A_6106-07	X
	Lot Coverage	50% min = 1,534.55 SF	50% open w/ pergola	A_6106-07	X
	Separation	11.1 FT	8 FT	A_6106-07	X
	Setbacks (2 story)	15'	108 SF	A_6106-07	X
Pool & mechanical equipment	Height	20 FT max	Provided	A_6106-07	X
	Use	+29'-0" NGVD	N/A		
	Driveways	5 FT	5'-0 3/4"	A_6108;6127	
	Fences/Walls/Gates	5 FT max above BFE	5'-0"	A_6137	
Fences/Walls/Gates	Front yard	10 FT max above grade	9'-0 1/4"	A_6137	
	Rear or Side yard	4 FT	4'-0"	A_6108	
	Hot Tubs, Showers, Whirlpools, Tubs, Decks	7.3 FT min	7.3 FT	A_6108	
	Projections	30 x 3702.18 SF = 1,110.65 SF	129 SF = 3.48%	A_6108;6110	
Ornamental feature (Pergola)	Planters	3'-5 1/2" (side) 6'-0" (rear)	3'-1; 3'-5 1/2"	A_6126;6130	
	Porches, platforms, terraces	6'-0"	6'-0"	A_6126;6130	
	Swimming Pools	3'-5 1/2"	2'-7 1/2"	A_6138	
	Side interior setback	4 FT max	3'-1 1/2"	A_6138	
Walk Space	Safety barrier and gates	25 x 31.05 = 7'-9 1/8"	3'-0 1/2"; 7'-8 1/2"	A_6108;6128	
			Provided	A_6108;6128	
				A_6127;6130	
Safety barrier and gates					

*Specify - city setback elevation on certificate of occupancy

OWNER
MAYOR AL
MAYOR'S OFFICE
MAY 2024, 1:30 PM

ARCHITECT
CONRAD, ORNELLA ARCHITECTS, LLC
1401 NW 10TH AVE, SUITE 100
MIAMI, FL 33136

LEAD DESIGNER
MAYOR AL
MAYOR'S OFFICE
MAY 2024, 1:30 PM

LANDSCAPE ARCHITECT
NORMAN, CLAYTON
1401 NW 10TH AVE, SUITE 100
MIAMI, FL 33136

CIVIL ENGINEER
MAYOR AL
MAYOR'S OFFICE
MAY 2024, 1:30 PM

STRUCTURAL ENGINEER
MAYOR AL
MAYOR'S OFFICE
MAY 2024, 1:30 PM

PROJECT
4540 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140

REVISIONS

KEY PLAN

SHEET NO.
A-003



4540 NORTH BAY ROAD 3



4520 NORTH BAY ROAD 2



4462 NORTH BAY ROAD 1



OWNER
 4540 N. BAY RD.
 MIAMI, FL 33149

ARCHITECT
 O'DONOGHUE ARCHITECTURAL ASSOCIATES, INC.
 1400 N. BAY ST., SUITE 100
 MIAMI, FL 33132

LEAD DESIGNER
 JAMES P. O'DONOGHUE
 1400 N. BAY ST., SUITE 100
 MIAMI, FL 33132

LANDSCAPE ARCHITECT
 JAMES P. O'DONOGHUE
 1400 N. BAY ST., SUITE 100
 MIAMI, FL 33132

CIVIL ENGINEER
 JAMES P. O'DONOGHUE
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STRUCTURAL ENGINEER
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 MIAMI, FL 33132

MECHANICAL ENGINEER
 JAMES P. O'DONOGHUE
 1400 N. BAY ST., SUITE 100
 MIAMI, FL 33132

ELECTRICAL ENGINEER
 JAMES P. O'DONOGHUE
 1400 N. BAY ST., SUITE 100
 MIAMI, FL 33132

PLUMBING ENGINEER
 JAMES P. O'DONOGHUE
 1400 N. BAY ST., SUITE 100
 MIAMI, FL 33132

SAOTA
 1400 N. BAY ST., SUITE 100
 MIAMI, FL 33132

PROJECT
 4540 NORTH BAY RD.
 MIAMI, FL 33149

REVISIONS

NO.	DATE	DESCRIPTION
1	08/12/17	010 Final Submittal

KEY PLAN

SCALE
 1" = 10'

DATE
 08/12/17

PROJECT NO.
 4540

EXISTING SOUTH NEIGHBOR PHOTOS

SHEET NO.
 A-010

[illegible]

[illegible]



4591 NORTH BAY ROAD 8



4575 NORTH BAY ROAD 7



4565 NORTH BAY ROAD 6



4555 NORTH BAY ROAD 5



OWNER
 4540 NORTH BAY RD
 MIAMI, FL 33149

ARCHITECT
 SAOTA
 1510 FIELD STREET, SUITE 1000, MIAMI, FL 33132
 (305) 371-1000

LEAD DESIGNER
 JAMES J. SAOTA
 JAMES@SAOTA.COM

LEAD ENGINEER
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 JAMES@SAOTA.COM

STRUCTURAL ENGINEER
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 JAMES@SAOTA.COM

MECHANICAL ENGINEER
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 JAMES@SAOTA.COM

ELECTRICAL ENGINEER
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 JAMES@SAOTA.COM

PLUMBING ENGINEER
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 JAMES@SAOTA.COM

LANDSCAPE ARCHITECT
 JAMES J. SAOTA
 JAMES@SAOTA.COM

SAOTA
 1510 FIELD STREET, SUITE 1000, MIAMI, FL 33132
 (305) 371-1000

PROJECT
 4540 NORTH BAY RD.

REVISIONS

NO.	DATE	DESCRIPTION
1	08/21/21	0101 Final Submittal

KEY PLAN

SCALE
 1" = 10'

EXISTING
 NEIGHBOR PHOTOS

SHEET NO.
 A-013



LOOKING NORTHERLY 4



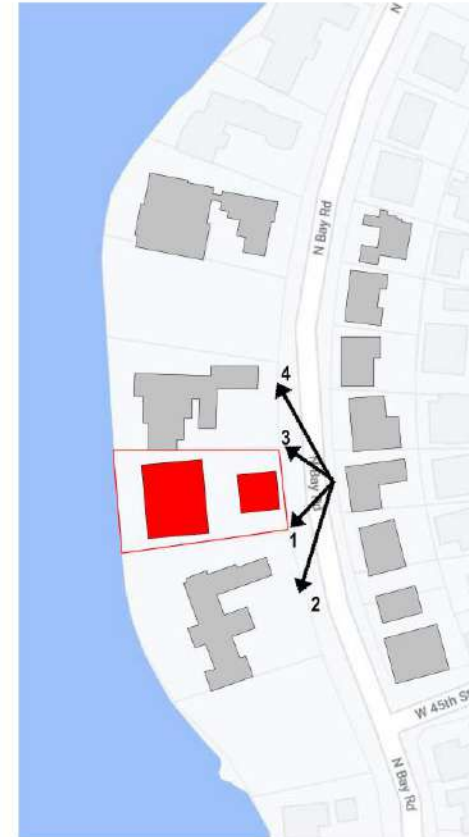
LOOKING NORTHWESTERLY 3



LOOKING SOUTHERLY 2



LOOKING SOUTHWESTERLY 1



OWNER
 4540 NORTH BAY RD
 MIAMI BEACH, FL 33149

ARCHITECT
 O'DONOGHUE ARCHITECTURAL ASSOCIATES, INC.
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

LEAD DESIGNER
 JAMES P. O'DONOGHUE
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

LEADSCAPE ARCHITECT
 JAMES P. O'DONOGHUE
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

CIVIL ENGINEER
 JAMES P. O'DONOGHUE
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

STRUCTURAL ENGINEER
 JAMES P. O'DONOGHUE
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

MECHANICAL ENGINEER
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 MIAMI BEACH, FL 33139

ELECTRICAL ENGINEER
 JAMES P. O'DONOGHUE
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

PLANNING ENGINEER
 JAMES P. O'DONOGHUE
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

SAOTA
 1400 N. BAYVIEW BLVD., SUITE 100
 MIAMI BEACH, FL 33139

PROJECT
 4540 NORTH BAY RD.

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	08/21/21	SPB	Final Submittal

KEY PLAN

SCALE 1" = 10'

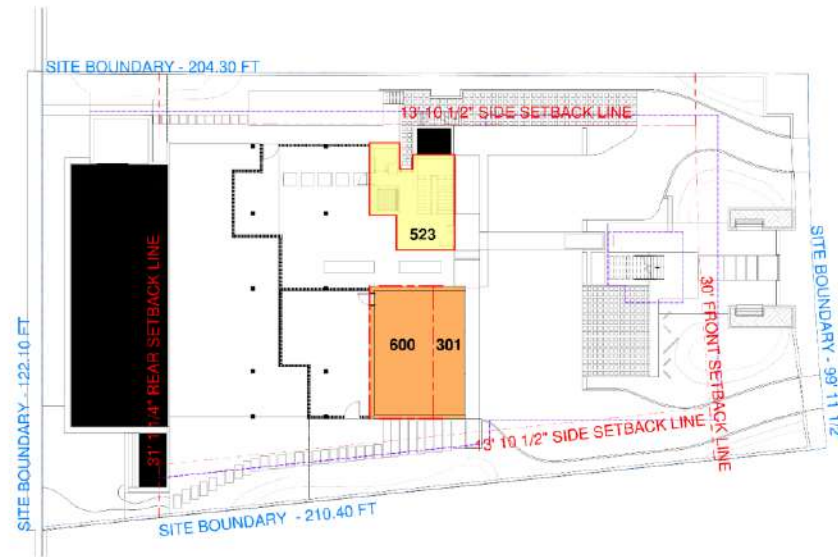
DATE 08/21/21

PROJECT 4540 NORTH BAY RD.

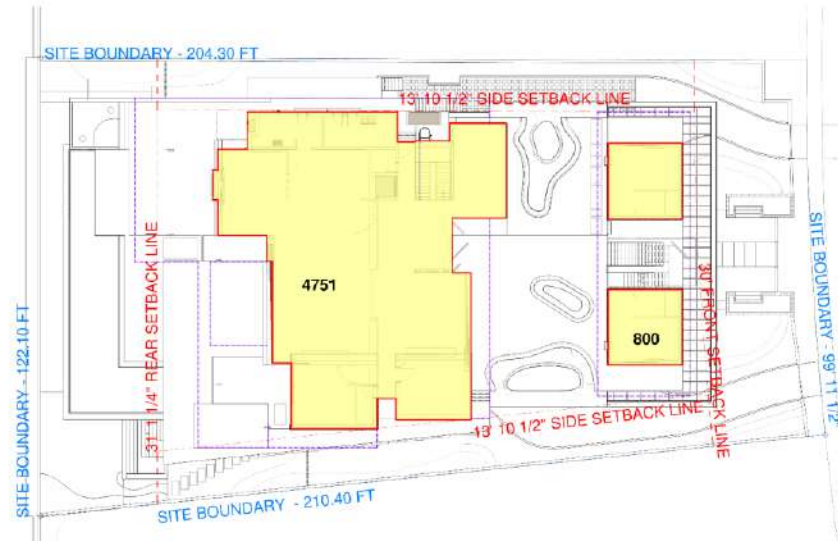
EXISTING NORTH BAY ROAD PHOTOS

SHEET NO.
 A-014

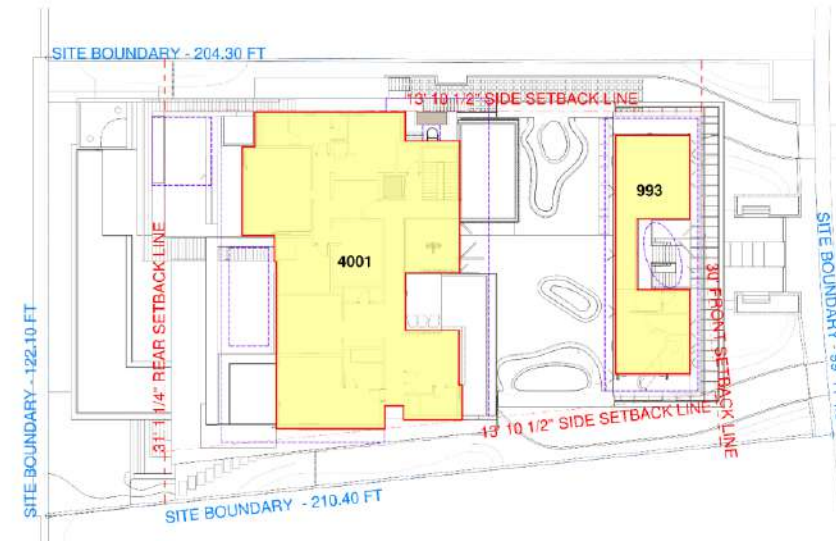
[illegible]



1 UNIT SIZE: UNDERSTORY
1/16" = 1'-0"



2 UNIT SIZE: FIRST FLOOR
1/16" = 1'-0"



3 UNIT SIZE: SECOND FLOOR
1/16" = 1'-0"

UNIT SIZE ALLOWANCE (For CITY Compliance)		ALLOWABLE UNIT SIZE = LOT AREA X 50% 22 885 SF X 50%	
ALLOWABLE UNIT SIZE		11 442 SF	
<div style="display: inline-block; width: 10px; height: 10px; background-color: yellow; border: 1px solid black;"></div> GROSS INTERNAL AREA (Air Conditioned)	B1 UNDERSTORY	523 SF	
	L1 FIRST FLOOR	5 551 SF	
	L2 SECOND FLOOR	4 994 SF	
<div style="display: inline-block; width: 10px; height: 10px; background-color: orange; border: 1px solid black;"></div> GARAGE (Not Air Conditioned)	600 SF EXEMPT	(901 - 600)	301 SF
TOTAL UNIT SIZE		11 369 SF	

* UNDERSTORY INT AC ALLOWANCE:
5% OF 22 885 SF (LOT AREA) = 1 144 SF

OWNER
BAYVIEW REAL ESTATE
BAYVIEW REAL ESTATE, LLC
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

ARCHITECT
SAOTA
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

LEAD DESIGNER
ARCHITECT
SAOTA
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

LANDSCAPE ARCHITECT
NORMAN LAMBERT ASSOCIATES
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

CIVIL ENGINEER
TERRY W. BOWLING
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

STRUCTURAL ENGINEER
NORMAN LAMBERT ASSOCIATES
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

METEOROLOGICAL ENGINEER
NORMAN LAMBERT ASSOCIATES
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

PLANNING
NORMAN LAMBERT ASSOCIATES
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154

SAOTA
11111 BAYVIEW BLVD, SUITE 100
BAYVIEW, FL 33154
www.saota.com

PROJECT
4540 NORTH BAY RD.




REVISIONS

NO.	DATE	DESCRIPTION
1	01/11/2017	ISSUED FOR PERMIT

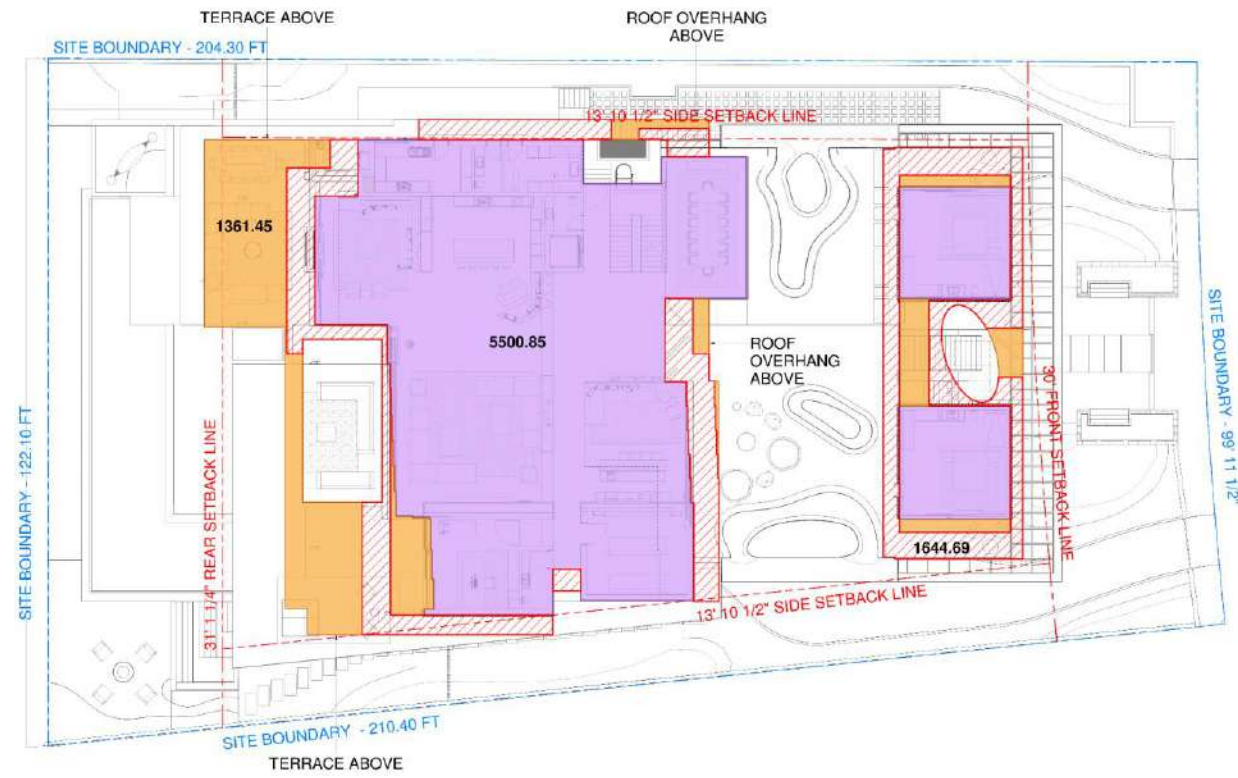
KEY PLAN

SCALE
1" = 100'

UNIT SIZE
SHEET NO. A_6103

COVERAGE ALLOWANCE (For CITY Compliance)	ALLOWABLE COVERAGE = LOT AREA X 30% 22 885 SF X 30%
ALLOWABLE COVERAGE	6 865 SF
 FIRST FLOOR	5 500.85 SF
 SECOND FLOOR	1 361.45 SF
TOTAL COVERAGE	6 862.30 SF
COVERAGE EXEMPTION	
 5FT PROJECTIONS	1 644.69 SF

* UNDERSTORY NOT INCLUDED IN COVERAGE



1 COVERAGE
3/32" = 1'-0"



OWNER
HARRIS, JILL
4540 NORTH BAY RD.
FORT LAUDERDALE, FL 33309

ARCHITECT
SAOTA
1800 N. W. 10TH AVE., SUITE 100
FORT LAUDERDALE, FL 33309
TEL: (954) 575-1000
WWW.SAOTA.COM

LEAD DESIGNER
JENNIFER L. HARRIS
JLHARRIS@SAOTA.COM

LANDSCAPE ARCHITECT
NORMAN L. JAMES, III
NORMAN@JAMESLANDSCAPE.COM

CIVIL ENGINEER
TERRY W. BOWLING
TERRY@BOWLINGENGINEERING.COM

STRUCTURAL ENGINEER
JAMES W. HARRIS
JHARRIS@HARRISENGINEERING.COM

MET-P EROSION CONTROL ENGINEER
JAMES W. HARRIS
JHARRIS@HARRISENGINEERING.COM

PLANNING
JAMES W. HARRIS
JHARRIS@HARRISENGINEERING.COM

SAOTA
1800 N. W. 10TH AVE., SUITE 100
FORT LAUDERDALE, FL 33309
TEL: (954) 575-1000
WWW.SAOTA.COM

PROJECT
4540 NORTH BAY RD.

REVISIONS

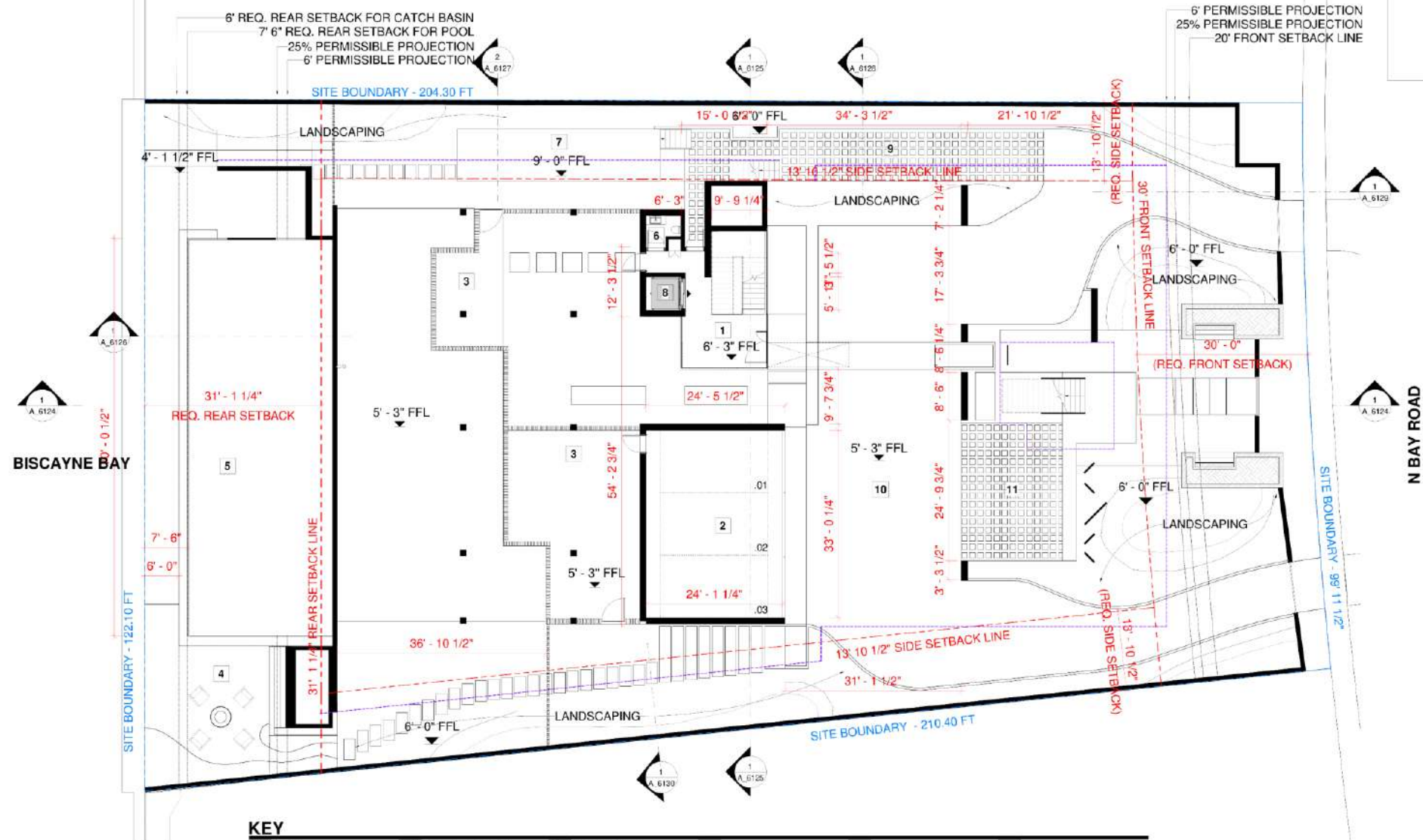
NO.	DATE	DESCRIPTION
1	08-27-21	001 First Submittal

KEY PLAN

FILES
DATE: 08/27/21
DRAWN BY: JHARRIS
CHECKED BY: JHARRIS

COVERAGE
SHEET NO.
A.6104

[illegible]



1 UNDERSTORY: DIM PLAN
1/8" = 1'-0"

KEY		
1 Lobby	6 Powder Room D1	11 Guest Parking
2 Garage	7 Pool Equipment	
3 Store Room	8 Elevator	
4 Fire Pit Seating	9 Service Driveway	
5 Pool	10 Motor Court	

OWNER
SAOTA

ARCHITECT
SAOTA

LEAD ARCHITECT
SAOTA

LEAD ENGINEER
SAOTA

STRUCTURAL ENGINEER
SAOTA

METEP ENGINEER
SAOTA

SAOTA
1814 N. HAVENWAY, SUITE 100, MIAMI, FL 33136
TEL: 305.371.1111 FAX: 305.371.1112
WWW.SAOTA.COM

PROJECT
4540 NORTH BAY RD.

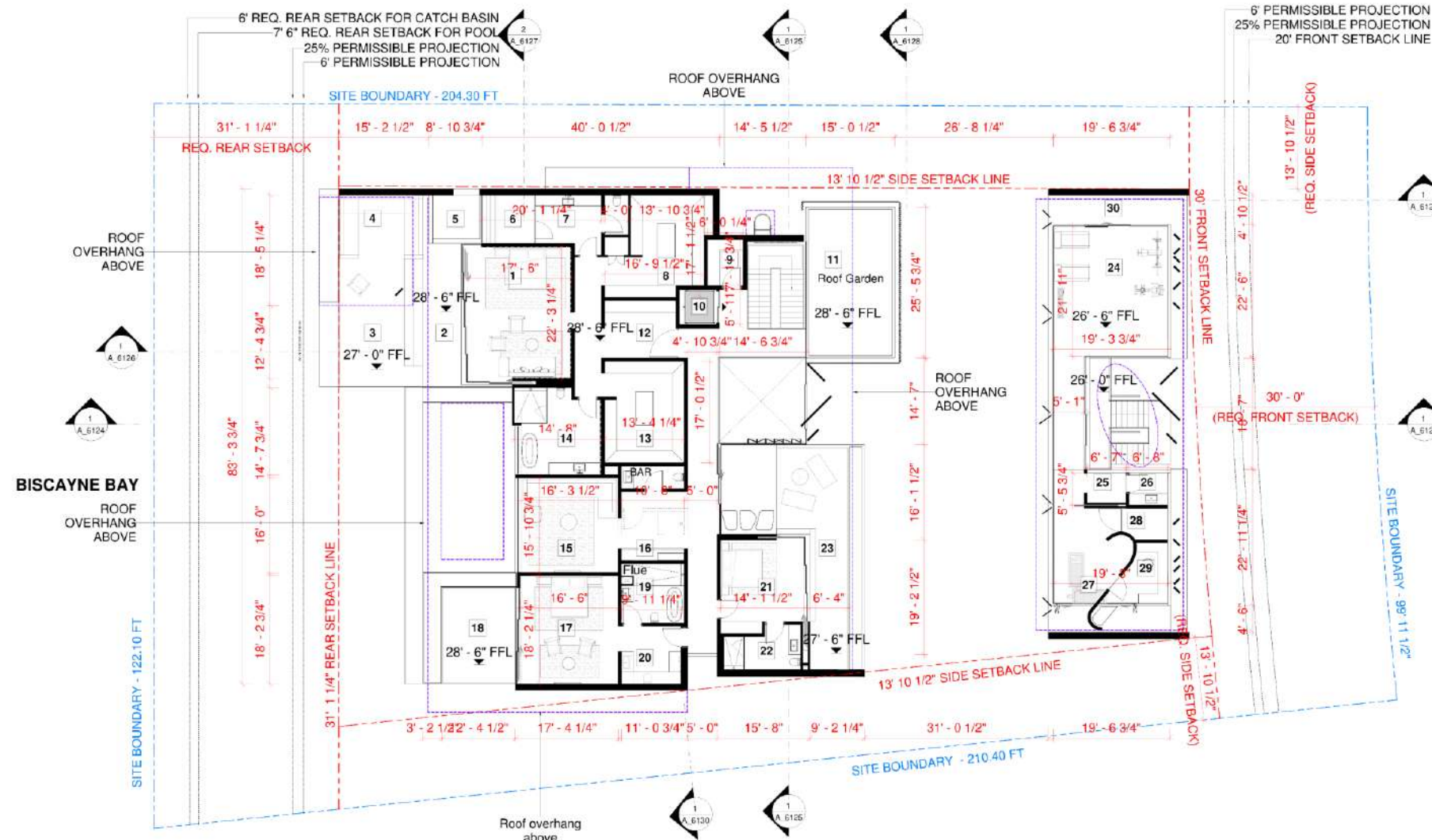
REVISIONS

NO.	DATE	DESCRIPTION
1	08-27-2018	001 Final Submit

KEY PLAN

SCALE
1/8" = 1'-0"

B1 DIM PLAN
SHEET NO.
A.6113



1 SECOND FLOOR: DIM PLAN
1/8" = 1'-0"

KEY

1 Master Bedroom	6 Shower Wet Room	11 Roof Garden	16 Powder Room 05	21 Guest Bedroom 04	26 Powder Room 06
2 Covered Terrace	7 En Suite 01	12 Entry	17 VIP Guest 03	22 En Suite 04	27 Massage
3 Terrace	8 Walk-in Closet 01	13 Walk-in Closet 02	18 Covered Terrace	23 Sunrise Deck	28 Sauna
4 Covered Terrace	9 Store Room	14 En Suite 02	19 Walk-in Closet 03	24 Gym	29 Steam Shower
5 Hot Tub	10 Elevator	15 Lounge	20 En Suite 03	25 Change Room	30 Covered Terrace

OWNER
SAOTA

ARCHITECT
SAOTA

LANDSCAPE ARCHITECT
SAOTA

STRUCTURAL ENGINEER
SAOTA

METRIC ENGINEER
SAOTA

SAOTA
18141 HAVENWOOD DRIVE, SUITE 100, BAY VILLAGE, FL 33442
TEL: 561-855-1234 FAX: 561-855-1235
WWW.SAOTA.COM

PROJECT
4540 NORTH BAY RD.

REVISIONS

NO.	DATE	DESCRIPTION
1	08/11/2014	ISSUED FOR PERMIT

KEY PLAN

SCALE
1/8" = 1'-0"

L2 DIM PLAN
SHEET NO. A.6115



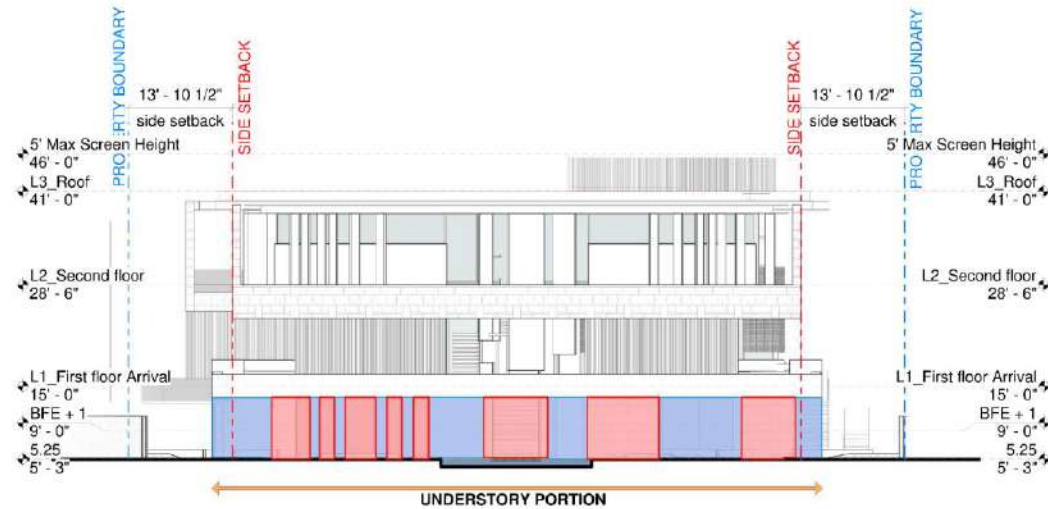
1 SECOND FLOOR: 35% SETBACK PLAN
1/8" = 1'-0"



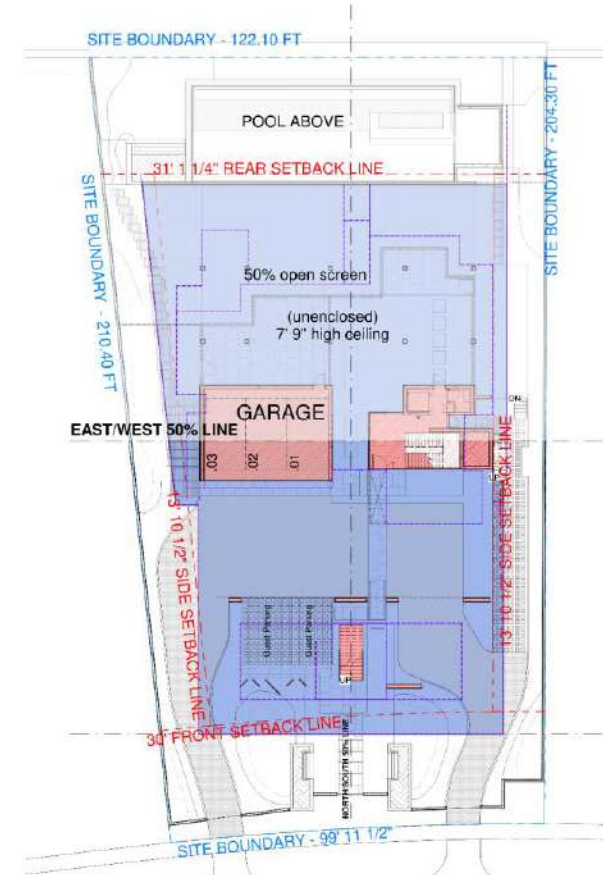
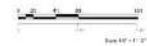
SHEET NO.
A 6117

UNDERSTORY OPEN-AIR CALCULATION
(For City Compliance)

MINIMUM OPENNESS		50%
OPEN		333.37 SF
CLOSED		331.06 SF
TOTAL AREA		664.43 SF
PERCENTAGE ACHIEVED		333.37 (OPEN) / 664.43 (TOTAL) X 100
		50.17 %



2 50% OPEN UNDERSTORY: EAST ELEVATION
1/8" = 1'-0"



1 50% OPEN UNDERSTORY: EAST PLAN
1/16" = 1'-0"



OWNER
PROJECT NO.
SUBMITTER'S NAME
SUBMITTER'S ADDRESS

ARCHITECT
FIRM NAME
FIRM ADDRESS
FIRM PHONE
FIRM FAX
FIRM EMAIL

LANDSCAPE ARCHITECT
FIRM NAME
FIRM ADDRESS
FIRM PHONE
FIRM FAX
FIRM EMAIL

CIVIL ENGINEER
FIRM NAME
FIRM ADDRESS
FIRM PHONE
FIRM FAX
FIRM EMAIL

STRUCTURAL ENGINEER
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ELECTRICAL ENGINEER
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FIRM FAX
FIRM EMAIL

PLUMBING ENGINEER
FIRM NAME
FIRM ADDRESS
FIRM PHONE
FIRM FAX
FIRM EMAIL

HEAVY CONSTRUCTION ENGINEER
FIRM NAME
FIRM ADDRESS
FIRM PHONE
FIRM FAX
FIRM EMAIL

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1400 NORTH BAY RD.
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DALLAS, TX 75201
PHONE: 214.750.1000
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WWW.SAOTA.COM

PROJECT
4540 NORTH BAY RD.




REVISIONS

NO. DATE DESCRIPTION

KEY PLAN

DATE
DRAWN BY
CHECKED BY
APPROVED BY

50% OPEN EAST
SHEET NO.
A.6121

MINIMUM OPENNESS		50%
 OPEN		585.41 SF
 50% OPEN	(50% = 115.85)	231.70 SF
 CLOSED		338.10 SF
TOTAL AREA		1155.21 SF
PERCENTAGE ACHIEVED		60.70 %

Architectural elevation drawing of a building facade. The drawing includes the following elements:

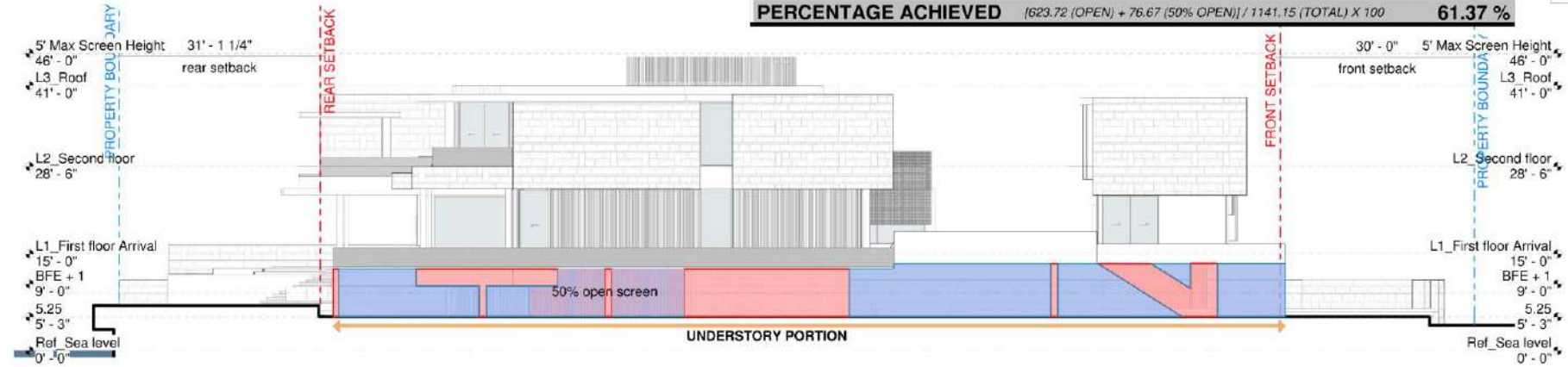
- Setbacks:**
 - Front setback: 30' - 0"
 - Rear setback: 31' - 1 1/4"
- Height Markers (Left Side):**
 - 5' Max Screen Height
 - 46' - 0"
 - L3_Roof: 41' - 0"
 - L2_Second floor: 28' - 6"
 - L1_First floor Arrival: 15' - 0"
 - BFE + 1: 9' - 0"
 - 5.25: 5' - 3"
 - Ref_Sea level: 0' - 0"
- Height Markers (Right Side):**
 - 5' Max Screen Height
 - 46' - 0"
 - L3_Roof: 41' - 0"
 - L2_Second floor: 28' - 6"
 - L1_First floor Arrival: 15' - 0"
 - BFE + 1: 9' - 0"
 - 5.25: 5' - 3"
 - Ref_Sea level: 0' - 0"
- Building Features:**
 - Roof: L3_Roof
 - Floors: L2_Second floor, L1_First floor Arrival
 - Understory Portion: Indicated by a yellow arrow at the bottom.
 - 50% open screen: Indicated on the right side of the understory portion.
- Other Labels:**
 - PROPERTY BOUNDARY (on both sides)
 - FRONT SETBACK (dashed red line)
 - REAR SETBACK (dashed red line)
 - > 60' ON SECOND FLOOR, WAIVER REQUESTED (yellow banner at the top)

1 $1/8'' = 1'-0''$

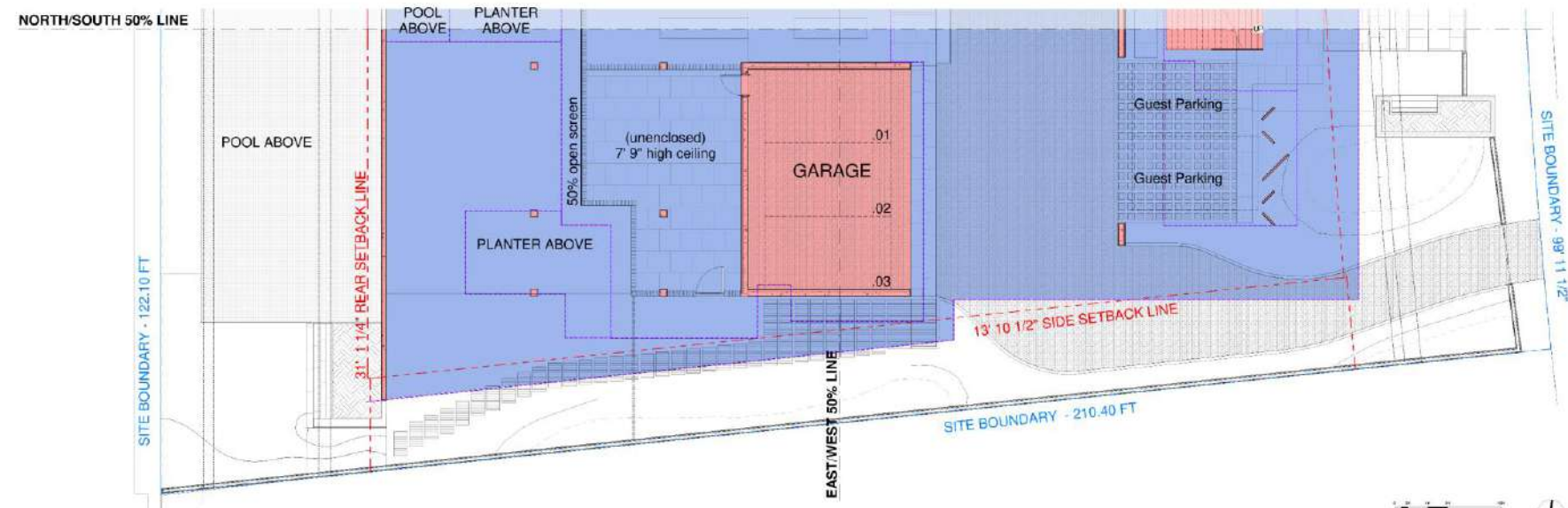
SHEET NO.
A 6122

UNDERSTORY OPEN-AIR CALCULATION (For CITY Compliance)

MINIMUM OPENNESS		50%
OPEN	623.72 SF	
50% OPEN	(50% = 76.67 SF) 153.35 SF	
CLOSED	364.08 SF	
TOTAL AREA		1141.15 SF
PERCENTAGE ACHIEVED		$[623.72 \text{ (OPEN)} + 76.67 \text{ (50% OPEN)}] / 1141.15 \text{ (TOTAL)} \times 100$ 61.37 %



2 50% OPEN UNDERSTORY: SOUTH ELEVATION
1/8" = 1'-0"



1 50% OPEN UNDERSTORY: SOUTH PLAN
1/8" = 1'-0"

OWNER
[Name]

ARCHITECT
[Name]

LANDSCAPE ARCHITECT
[Name]

CIVIL ENGINEER
[Name]

STRUCTURAL ENGINEER
[Name]

METEOROLOGICAL ENGINEER
[Name]

SAOTA
1840 NORTH BAY RD.
4540 NORTH BAY RD.

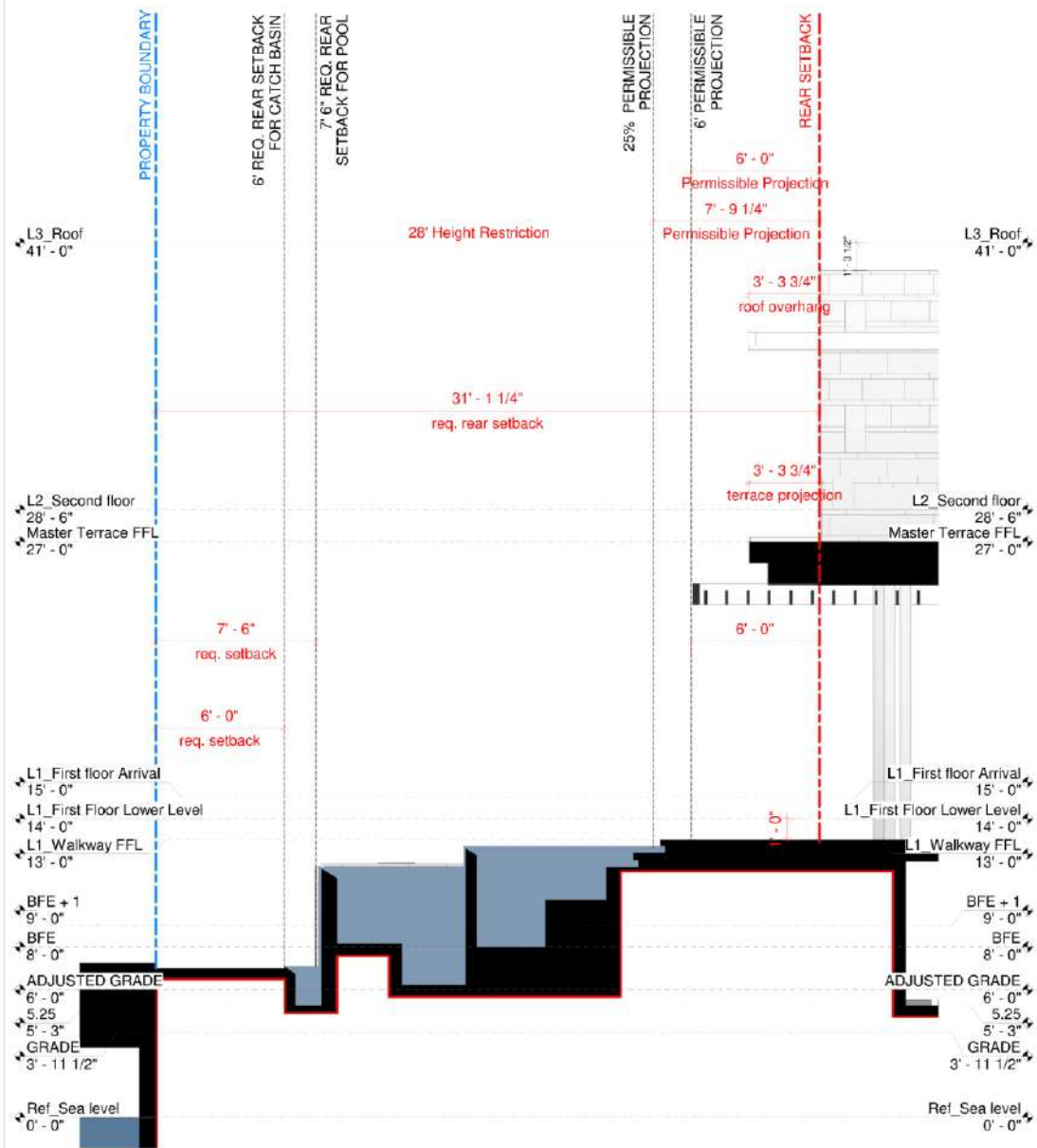
PROJECT
4540 NORTH BAY RD.

REVISIONS

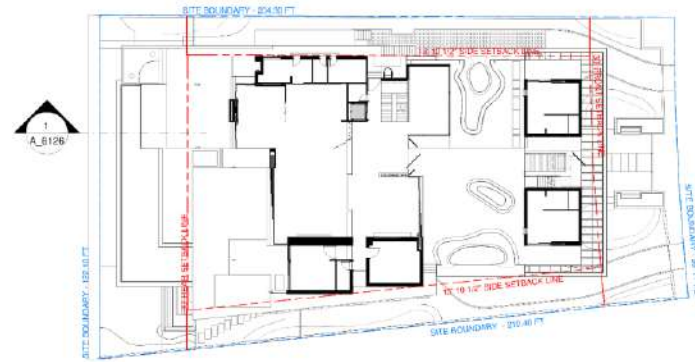
KEY PLAN

SCALE
1/8" = 1'-0"

50% OPEN SOUTH
SHEET NO. A.6123

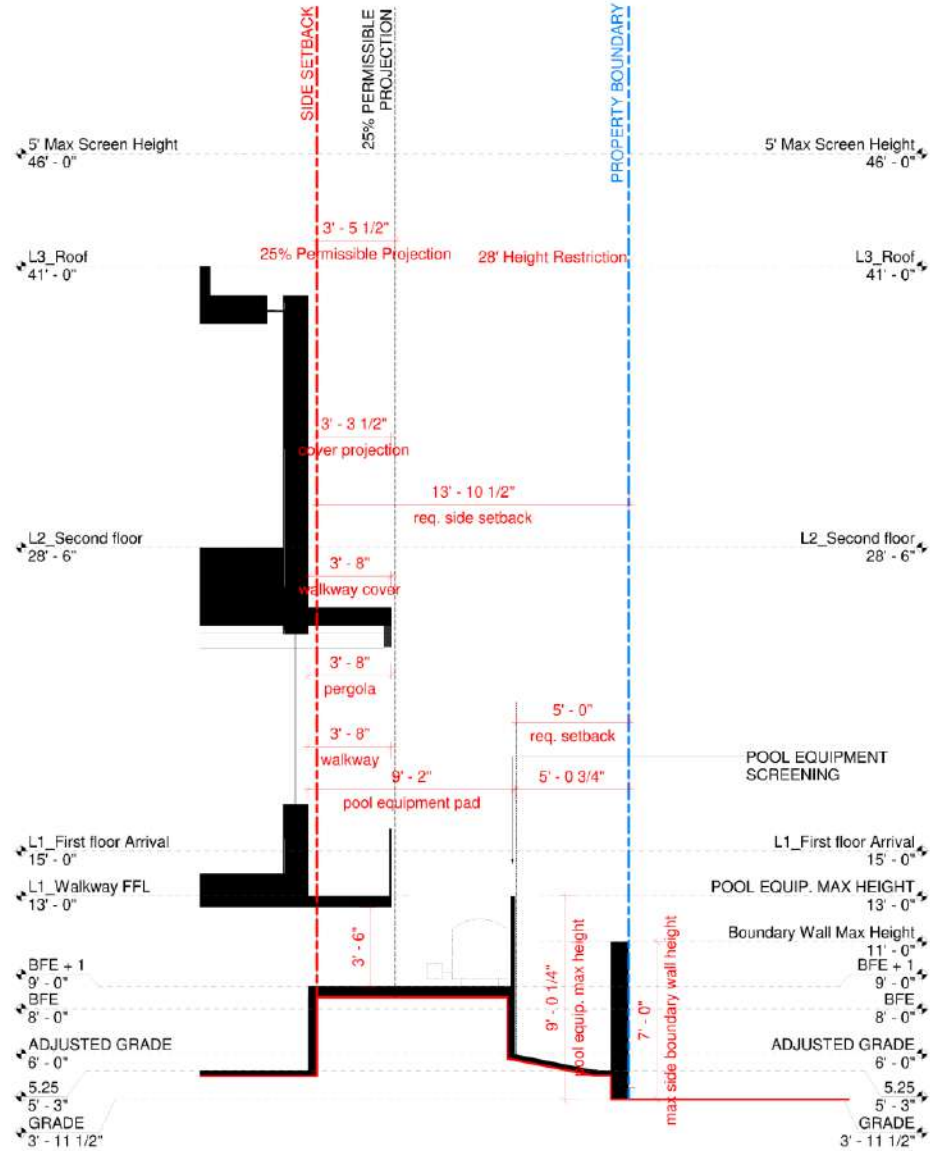


1 SECTION CC
3/8" = 1'-0"

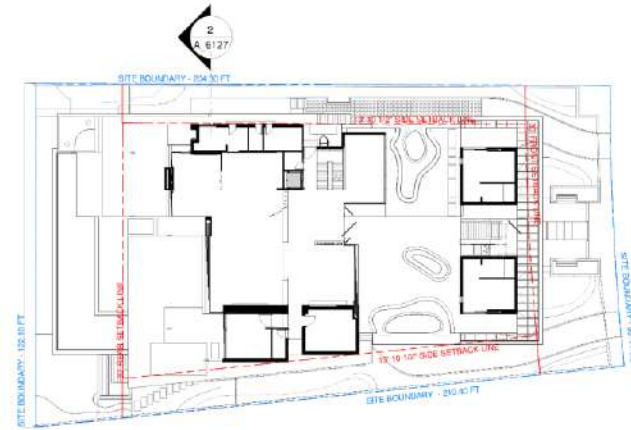


2 KEY PLAN
3/64" = 1'-0"

OWNER	SAOTA
ARCHITECT	SAOTA
LEAD ARCHITECT	SAOTA
LEAD ENGINEER	SAOTA
LEAD LANDSCAPE ARCHITECT	SAOTA
CIVIL ENGINEER	SAOTA
STRUCTURAL ENGINEER	SAOTA
METRIC ENGINEER	SAOTA
PROJECT NO.	4540 NORTH BAY RD.
DATE	10/1/2024
BY	SAOTA
CHECKED BY	SAOTA
APPROVED BY	SAOTA
SECTION CC	
SHEET NO.	A_6126

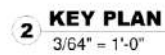


2 SECTION DD
3/8" = 1'-0"



1 KEY PLAN
3/64" = 1'-0"

OWNER	SAOTA
ARCHITECT	SAOTA
LEADER/DESIGNER	SAOTA
LANDSCAPE ARCHITECT	SAOTA
CIVIL ENGINEER	SAOTA
STRUCTURAL ENGINEER	SAOTA
METRIC ENGINEER	SAOTA
DATE	06/12/27
TIME	10:00 AM
PROJECT	4540 NORTH BAY RD.
SHEET NO.	A_6127
SECTION DD	
DATE	06/12/27
TIME	10:00 AM
PROJECT	4540 NORTH BAY RD.
SHEET NO.	A_6127
SECTION DD	
DATE	06/12/27
TIME	10:00 AM
PROJECT	4540 NORTH BAY RD.
SHEET NO.	A_6127
SECTION DD	

[illegible]

4540 NORTH BAY ROAD GARDEN

4540 North Bay Road, Miami Beach, FL 33140

DRB21-0711 - FINAL SUBMITTAL 08-02-21

Prepared for:

4540 NBR LLC
655 Madison Ave, 11th Floor
New York, NY 10065

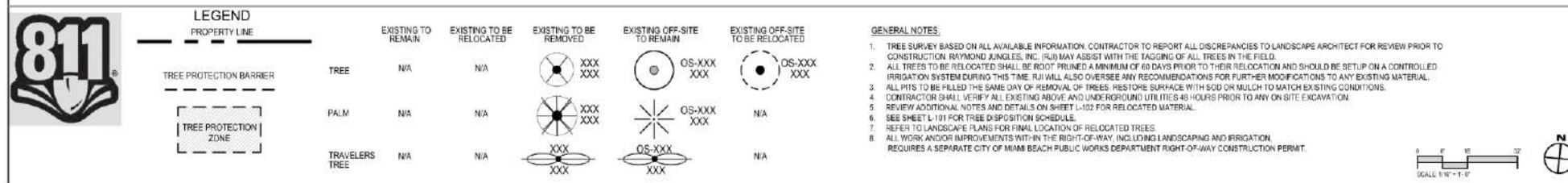
Prepared by:

jungles

Raymond Jungles, Inc.
Landscape Architect

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Coconut Grove, FL 33133
P. 305.856.6777
www.raymondjungles.com
Florida License No. LC 000258

Sheet #	Drawing Index	DRB21-0711 FIRST SUBMITTAL (07-12-21)	DRB21-0711 FINAL SUBMITTAL (08-02-21)
L-000	COVER	*	*
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L-101	TREE DISPOSITION SCHEDULE	*	*
L-102	TREE DISPOSITION NOTES & DETAILS	*	*
L-103	HARDSCAPE PLAN - GROUND FLOOR	*	*
L-104	HARDSCAPE PLAN - FIRST FLOOR	*	*
L-105	(not included in set)		
L-106	CANOPY PLANTING PLAN - GROUND LEVEL	*	*
L-107	CANOPY PLANTING PLAN - FIRST FLOOR	*	*
L-108	UNDERSTORY PLANTING PLAN - GROUND LEVEL	*	*
L-109	UNDERSTORY PLANTING PLAN - FIRST FLOOR	*	*
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L-111	PLANT LIST & MITIGATION CHART	*	*
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L-115	LANDSCAPE LIGHTING SPECIFICATIONS	*	*





[illegible]

- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO SUBMITTING A BID.
- LANDSCAPE CONTRACTOR SHALL PROVIDE AN INSTALLATION SCHEDULE TO THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- LANDSCAPE CONTRACTOR SHOULD VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE LANDSCAPE ARCHITECT'S DRAWINGS PRIOR TO SUBMITTING A BID.
- PLANT PLAN SHALL TAKE PRECEDENCE OVER PLANTING LIST IN CASE OF DISCREPANCIES.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLANS SHALL BE CONSIDERED DIAGNOSTIC AND SHOULD BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR TO AVOID UTILITIES AND ALL OTHER OBSTRUCTIONS, AFTER CONSULTING THE LANDSCAPE ARCHITECT.
- ALL SIZES SPECIFIED FOR PLANT MATERIAL ON THE PLAN AND PLANT LIST SHALL BE CONSIDERED MINIMUM.
- ALL PLANT MATERIAL MUST MEET OR EXCEED THE SPECIFIED MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. MEASURE ALL INSTALLED PLANTS AND COMPARE AGAINST SPECIFICATIONS.
- ANY SPECIFIC REQUIREMENTS SUCH AS SPECIFIC SHAPE, CHARACTER, NUMBER OF TREE TRUNKS, PLANT SOURCE, TRANSPORTING, AND OR SPECIAL BRACING NOTED ON THE PLAN OR PLANT LIST, WILL REQUIRE APPROVAL AND OR COORDINATION WITH THE LANDSCAPE ARCHITECT.
- NO CHANGE OR SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT.
- ALL TREES, PALMS, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS FROM DATE OF FINAL ACCEPTANCE.
- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE IGNORED. ANY CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGES TO UNDERGROUND UTILITIES, AND OR CONSTRUCTION CAUSED BY LANDSCAPE INSTALLATION, AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR. THE REMOVAL OF ALL BUILDING CONSTRUCTION DEBRIS AND FOREIGN MATERIAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- SITE PREPARATION SHOULD INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS OR GRASS. REMOVAL AND CLEAN UP OF ANY DEAD MATERIAL AND ROUGH AND FINISH GRADING PER SPECS AND OR LANDSCAPE PLANS.
- FOR PLANT MATERIAL, DESIGNATED TO BE REMOVED, THE ENTIRE ROOT SYSTEM SHALL BE DUG AND REMOVED FROM THE SITE.
- ALL PLANTING AREAS SHALL BE EXCAVATED TO A MINIMUM OF 6" FOR GROUND COVERS AND MORE THAN 12" FOR SHRUBS, TREES, AND PALMS AND SHOULD RECEIVE: PLANTING SOIL TYPE (PREFER TO SOIL SPECIFICATIONS US-402) (COARSE SAND 70%, FLORIDA PEAT 20%, PINE BARK 10% FINAL TESTED ORGANIC MATTER BETWEEN 1.5% & 2.5% (BY DRY WEIGHT). SUBMIT ALL TESTING DATA FOR APPROVAL BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
- ALL TREES SHALL BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING PERMITTED. (REFER TO BRACING NOTES AND PLANTING DETAILS).
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, ALL REMAINING HOLES SHALL BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. SOO DISTURBED AREA, IF REQUIRED, ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND. (SEE SPEC).

1. ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION, WITH LONG LASTING FERTILIZER, ACCORDING TO MANUFACTURERS' RECOMMENDATIONS AND BASED ON EXISTING SOIL TEST.
22. ALL EXISTING PLANT MATERIAL TO REMAIN, SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES, ANY PLANT MATERIAL, SCARRED OR DESTROYED DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES SIZE AND QUALITY.
23. ALL TREES ON 800 AREA SHALL RECEIVE A HARDWOOD / PINE NEEDLE MULCH MIX RING 2" IN DIAMETER TYPICAL. MULCH TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND/OR INSTALLATION.
24. ALL PLANTING AREAS SHALL BE MULCHED WITH PINE STRAW MULCH TO A MINIMUM OF 3"; WITH THE EXCEPTION OF BEACH PLANTING. DO NOT USE CYPRESS OR RED MULCH.
25. ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE. UNLESS NOTED OTHERWISE.
26. ALL 1 GALLON MATERIAL SHALL HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
27. ALL PLANTING AREAS WITHIN THE LIMITS OF WORK SHALL RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (CHIP PREFERRED) UNLESS OTHERWISE DIRECTED BY OWNER. SEE IRRIGATION PLANS FOR ADDITIONAL SPECIFICATIONS.
28. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER APPROPRIATE CONTRACTORS.
29. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.
30. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
31. ON-SITE LAYOUT OF PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
32. ALL PLANTS, MATERIALS, WORKMANSHIP, AND INVOICE APPROVAL ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
33. CONTRACTOR TO FLAG ALL PROPOSED TREE AND PALM LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
34. LANDSCAPE ARCHITECT TO APPROVE ALL SHRUB AND GROUND COVER PLANTING LOCATION AND LAYOUT PRIOR TO INSTALLATION.
35. CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHIC DOCUMENTATION DURING INSTALLATION FOR LANDSCAPE ARCHITECT'S REVIEW, WEEKLY.
36. LANDSCAPE CONTRACTOR TO INSURE ALL PLANT MATERIAL IS INSTALLED AT THE CORRECT ELEVATION, REFER TO GRADING PLAN.
37. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN OR COORDINATE WITH THE IRRIGATION CONTRACTOR AND LANDSCAPING MAINTENANCE SERVICES ALL PLANTING INCLUDING WATERING, MOVING, MULCHING, WEED, AND PEST CONTROL UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND OWNER.
38. THE AWARDED LANDSCAPE CONTRACTOR SHALL SUBMIT A PROPOSED BID / CONTRACT WITH UNIT COST PRICING FOR ALL PLANT MATERIAL, INCLUDING WARRANTY, LABOR, TRANSPORTATION, RELOCATION, SITE MAINTENANCE AND PREPARATION, AS PER THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND OR PLANTING PLANS.
39. THE LANDSCAPE CONTRACTOR'S CONTRACT SHALL ACKNOWLEDGE ALL TERMS AND CONDITIONS SET FORTH UNDER THESE GENERAL LANDSCAPE NOTES AND SPECIFICATIONS.
40. THESE DRAWINGS, DOCUMENTS, AND ALL CONTENTS ARE THE PROPERTY OF RAYMOND JUNGLES, INC. ALL RIGHTS ARE RESERVED. UNAUTHORIZED USE OR PRODUCTION, IN PART OR WHOLE, FOR ANY PURPOSE IS UNLAWFUL AND PROHIBITED EXCEPT BY EXPRESS WRITTEN CONSENT.
41. IN ADDITION TO THE ABOVE PLANT LIST AND SPECIFICATIONS THERE IS TO BE AN ADDITIONAL \$20,000.00 WHOLESALE PLANT ALLOWANCE. LANDSCAPE ARCHITECT TO SELECT ACCENT SPECIMENS DURING WHOLESALE VISITS. LANDSCAPE ARCHITECT TO LAY OUT ACCENT PLANTS IN THE FIELD.
42. FINAL GRADES SHALL BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

TREES AND PALMS GREATER THAN 6" DBH TO BE BRACED WITH PROPS:

1. CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT) TIMBER BAMBOO (GUADUA ANGUSTIFOLIA) 3" DIA.).
2. ALL (PRESSURE TREATED (PT) 2"x4", 4"x6"), STAKES SHALL BE PAINTED AS SPECIFIED BY THE LANDSCAPE ARCHITECT. WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/3 OF THE DISTANCE FROM GROUND TO THE CENTER TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER. ALL PAINT COLORS TO BE APPROVED BY LANDSCAPE ARCHITECT.
3. SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12'-16").
4. USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
5. PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
6. SECURE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. DO NOT NAIL TREE.
7. WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKE. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. NOTE: ON STRAIGHT TREES OR PALMS OR TREES, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM; ON CURVED (CHARACTER) PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM.
8. CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. DO NOT PENETRATE TREE OR PALM WITH NAILS.
9. IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN THE VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARLY LABELED WITH THE STATEMENT, "DO NOT REMOVE."
10. PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

TREES AND PALMS LESS THAN 6" DBH TO BE BRACED BY BUYING:

1. CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
2. CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
3. SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO THE GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
4. PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
5. THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
6. TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE.
7. PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
8. THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES.
9. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
10. FLAG THE GUY WIRES WITH SURVEYOR'S FLAGGING OR APPROVED EQUAL FOR SAFETY.
11. ANY WIRES ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE ARCHITECT.

1. LANDSCAPE: SUBMIT PHOTOGRAPHS OF ALL MATERIALS WITH SCALE REFERENCE. INDICATE GROWER'S LOCATION AND ANY LEAD TIME FOR ROOT PRUNING OR PREPARATION.