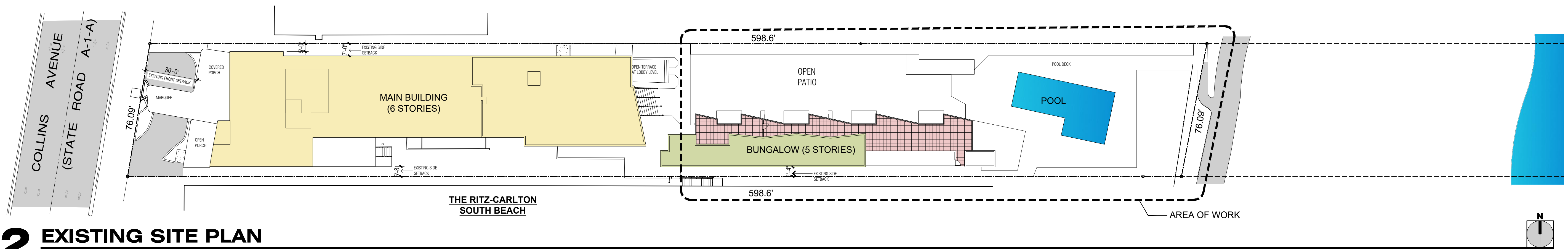


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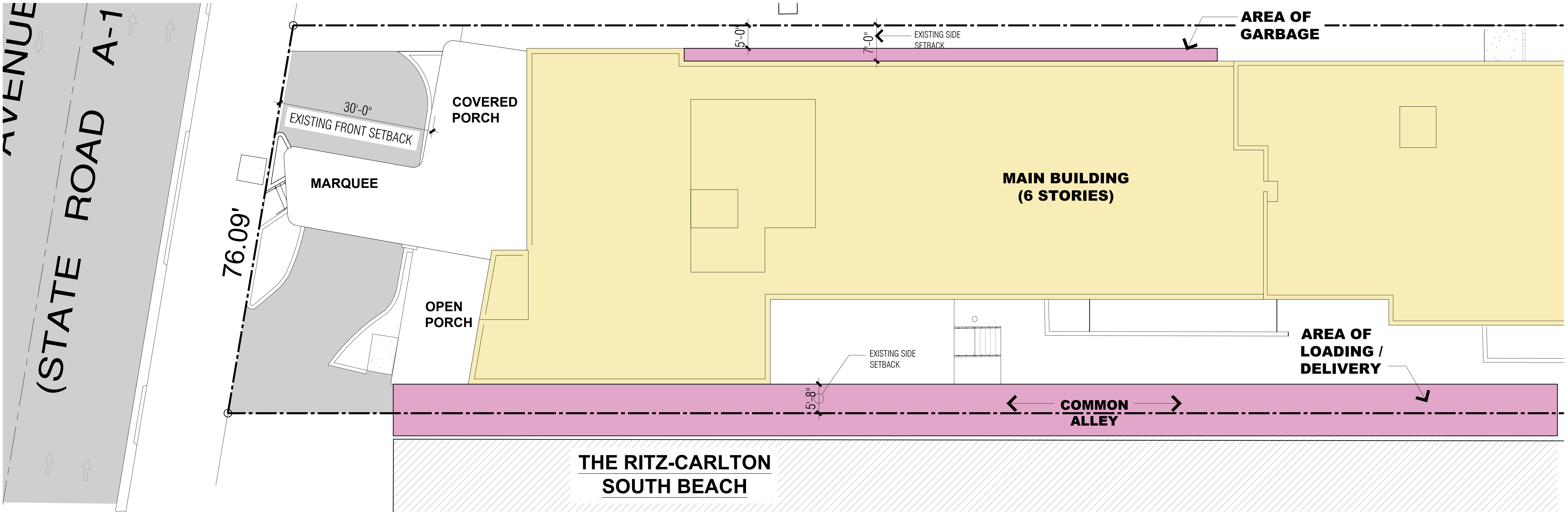


1 AERIAL VIEW



2 EXISTING SITE PLAN

SCALE: 1" = 30'-0"



3 PARTIAL EXISTING SITE PLAN

SCALE: 1" = 10'-0"

PROJECT:
SAGAMORE
1671 Collins Avenue, Miami Beach, FL 33139

PROJECT OWNER :
EBJ / Sagamore, LLC
104 West 40th Street, 14th Floor
New York, NY 10018

ARCHITECT OF RECORD:
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R+N Architecture
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INTERIOR DESIGNER:

MEP+FP CONSULTANT:

STRUCTURAL ENGINEER:

KEY PLAN

SIGNATURE / DATE / SEAL

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Victor H. Rodriguez,
Registered Architect
State of Florida # AR0094965

DRB FINAL SUBMITAL
POOL DECK C.U.P.

Issue	Issue Date / For
(1)	08.09.2021 / DRB First Submittal
(2)	08.30.2021 / DRB Final Submittal

DDCI Project #: 2021.050
Drawn by: VHR
Approved by: VHR

SHEET INDEX
- Site Plan
- Partial Site Plan

SCALE: As Indicated
SHEET NO.

A-1

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MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	1671 Collins Avenue. Miami Beach, FL 33139			
2	Board and file numbers :				
3	Folio number(s):	02-3234-019-0530			
4	Year constructed:	1948	Zoning District:	RM-3	
5	Based Flood Elevation:	8 FT	Grade value in NGVD:	9.5 FT (AT LOT MIDPOINT)	
6	Adjusted grade (Flood+Grade/2):	N/A	Lot Area:	44,847.75 SF	
7	Lot width:	76.09 FEET	Lot Depth:	598.58 FEET	
8	Minimum Unit Size	200 SF	Average Unit Size	N/A	
9	Existing use:	HOTEL	Proposed use:	HOTEL	
		Maximum	Existing	Proposed	Deficiencies
10	Height	200 FT	83.35' NGVD	NO CHANGE	N/A
11	Number of Stories	22 STORIES	6 STORIES	NO CHANGE	N/A
12	FAR (LOT AREA = 44,847.75) X 2.0	89,648 SF	87,499 SF	87,993 SF	N/A
13	Gross square footage				
14	Square Footage by use	N/A			N/A
15	Number of units Residential	N/A	N/A	N/A	N/A
16	Number of units Hotel	N/A	93	146	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	N/A
20	Side Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	N/A	N/A
	At Grade Parking:				
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
	Pedestal:				
29	Front Setback (WEST):	20'-0"	46.32 FT	NO CHANGE	N/A
30	Side Setback (NORTH):	7.5 FT	5.0 FT	NO CHANGE	N/A
31	Side Setback (SOUTH):	7.5 FT	5.0 FT	NO CHANGE	N/A
32	Side Setback facing street:	N/A	N/A	N/A	N/A
33	Rear Setback (EAST):	119.6	43.2 FT	NO CHANGE	N/A
	Tower:				
34	Front Setback:	N/A	N/A	N/A	N/A
35	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A
38	Rear Setback:	N/A	N/A	N/A	N/A

1

ZONING DATA CHART

NTS

OCCUPANCY COUNT (RESTAURANT, BAR & LOUNGE / NEW OUTDOOR VENUE)					
USE	DESCRIPTION	RATE	OCCUPANT LOAD	SEAT COUNT	
EXISTING LOUNGE	837 SF	1 PERSON PER 15 SF	56 PERSON	12 SEATS	EXISTING
EXISTING RESTAURANT (INDOOR)	1,633 SF	1 PERSON PER 15 SF	108 PERSON	100 SEATS	
EXISTING RESTAURANT OUTDOOR	553 SF	1 PERSON PER 15 SF	37 PERSON	30 SEATS	
NEW EXTERIOR VENUE	8,728 SF	1 PERSON PER 15 SF	582 PERSON	292 SEATS	NEW
		TOTAL	783 PERSON	434 SEATS	

3

OCCUPANCY LOADS & SEATING COUNT

NTS

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	1	1	1	
40	Total # of parking spaces		0	0	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	4	0	0	4
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	N/A			
44	Parking Space configuration (450,600,900,Parallel)	N/A			
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	N/A			
48	Valet drop off and pick up				
49	Loading zones and Trash collection areas				
50	Bicycle parking, location and Number of racks				
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	RESTAURANT / BAR	RESTAURANT / BAR	
52	Number of seats located outside on private property	N/A	REST & BAR 30 SEATS	BAR / 292 SEATS	
53	Number of seats inside	N/A	REST & BAR 112 SEATS	0 SEATS	
54	Total number of seats	N/A	REST & BAR 142 SEATS	REST & BAR 292 SEATS	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)		(SEE CHART THIS SHEET)		
56	Total occupant content	N/A	783 P	434 P	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)		(SEE CHART THIS SHEET)		
58	Proposed hours of operation	Indoor Restaurant and Bar (8 00 AM to 5 00 AM)			
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)		NO		
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)		NO		
61	Is this a contributing building?		YES		
62	Located within a Local Historic District?		YES		
Notes:					
If not applicable write N/A					
All other data information may be required and presented like the above format.					

PARKING CALCULATION					
USE	DESCRIPTION	RATE	REQUIRED SPACES *		PROPOSED
EXISTING HOTEL ROOMS (HISTORICAL BUILDING)	N/A	N/A	0	0 P.S.	0 P.S.
EXISTING HOTEL ROOMS (BUNGALOW BUILDING)	N/A	N/A	0	0 P.S.	0 P.S.
EXISTING RESTAURANT /BAR (WITHING HISTORIC BUILDING)	N/A	N/A	0	0 P.S.	0 P.S.
			TOTAL	0	0 P.S.
	* SPACES REQUIRED PER CITY OF MIAMI BEACH FL CODE OF ORDINANCE / ARTICLE IV. SEC 130.33 - OFF STREET PARKING REQUIREMENTS FOR PARKING DISTRICT No. 1				
LOADING PARKING CALCULATION					
USE	DESCRIPTION	RATE	REQUIRED SPACES *		PROPOSED
EXISTING RESTAURANT / MEETING ROOM	N/A	N/A	0	0 P.S.	0 P.S.
			TOTAL	0 P.S.	0 P.S.
	* SPACES REQUIRED PER CITY OF MIAMI BEACH FL CODE OF ORDINANCE / ARTICLE IV. SEC 130.101 - OFF STREET PARKING REQUIREMENTS FOR LOADING				

2

PARKING CALCULATIONS

NTS

PROJECT:

SAGAMORE

1671 Collins Avenue. Miami Beach, FL 33139

PROJECT OWNER :
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New York, NY 10018

ARCHITECT OF RECORD:

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INTERIOR DESIGNER:

MEP+FP CONSULTANT:

STRUCTURAL ENGINEER:

KEY PLAN



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DRB FINAL SUBMITAL
POOL DECK C.U.P.

Issue: Issue Date / For
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DDCI Project #: 2021.050
Drawn by: VHR
Approved by: VHR

SHEET INDEX

- Project Zoning Data

SCALE: As Indicated

SHEET NO.

A-2

DRB FINAL SUBMITTAL SET. August 30th., 2021 - NOT FOR CONSTRUCTION

1



VIEW OF IMMEDIATE CONTEXT OF BUILDING - COLLINS AVENUE



VIEW OF IMMEDIATE CONTEXT SOUTH OF BUILDING - COLLINS AVENUE

1 IMMEDIATE CONTEXT IMAGES

SCALE: NTS

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3



VIEW OF IMMEDIATE CONTEXT ACCROSS COLLINS AVENUEW

2 IMMEDIATE CONTEXT IMAGES

SCALE: NTS



VIEW OF IMMEDIATE CONTEXT NORTH OF BUILDING - COLLINS AVENUE



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②	08.30.2021 / DRB Final Submittal

- Building Context
DDCI Project #: 2021.050
Drawn by: VHR
Approved by: VHR

SHEET INDEX
- Images of Building's Immediate Context

SCALE: NTS

SHEET NO.

A-3



VIEW OF MAIN BUILDING FRONT FACADE FROM COLLINS AVENUE

1 BUILDING EXTERIOR IMAGES

SCALE: NTS



DETAIL OF MAIN BUILDING FRONT FACADE FROM COLLINS AVENUE

2 BUILDING EXTERIOR IMAGES

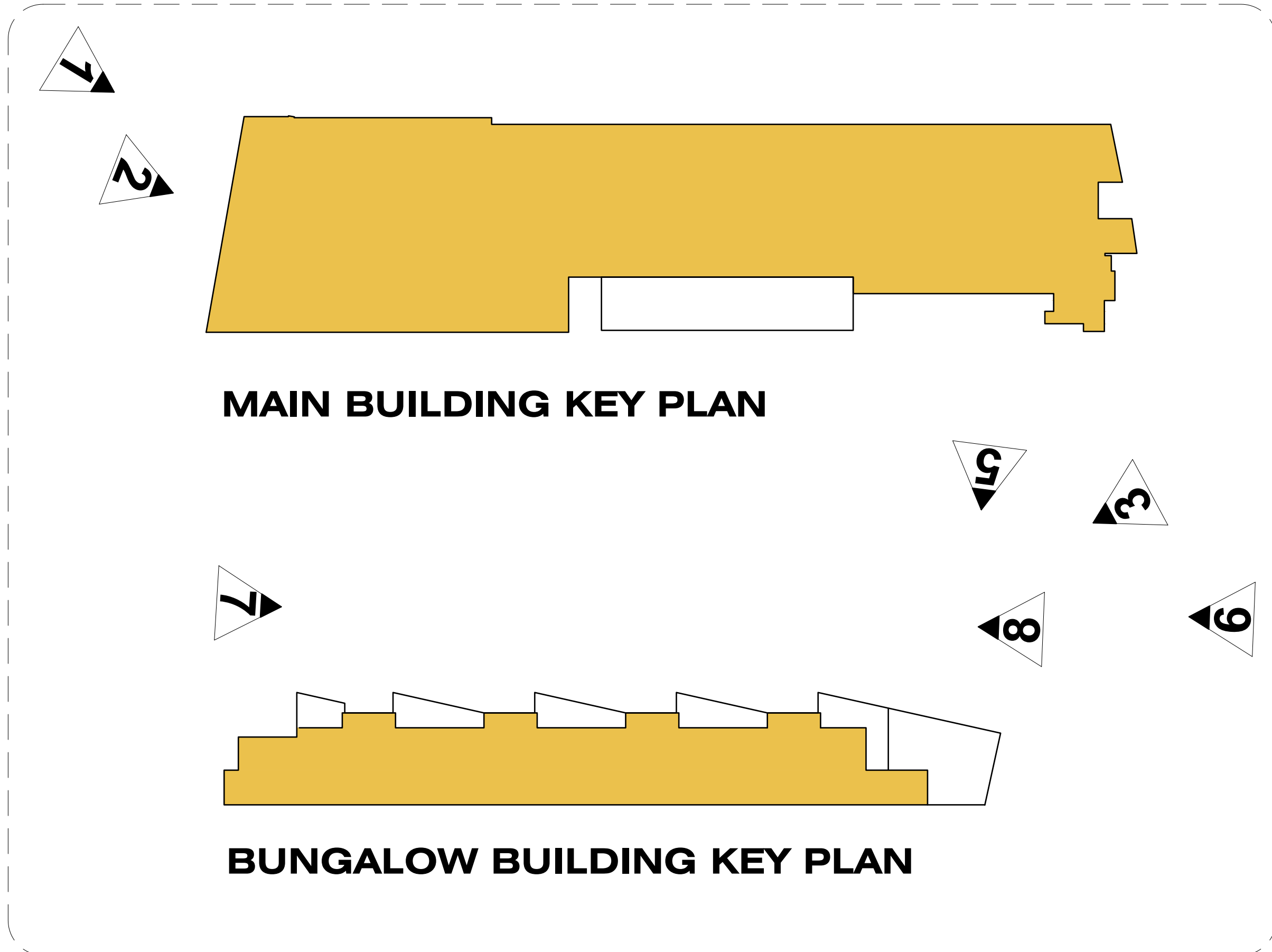
SCALE: NTS



VIEW OF BUNGALOWS AND INTERIOR COURTYARD FROM POOL DECK

3 BUILDING EXTERIOR IMAGES

SCALE: NTS



MAIN BUILDING KEY PLAN

BUNGALOW BUILDING KEY PLAN

4 PHOTOGRAPHS KEY PLAN FOR SHEETS A1.08 & A1.09

NTS

PROJECT:

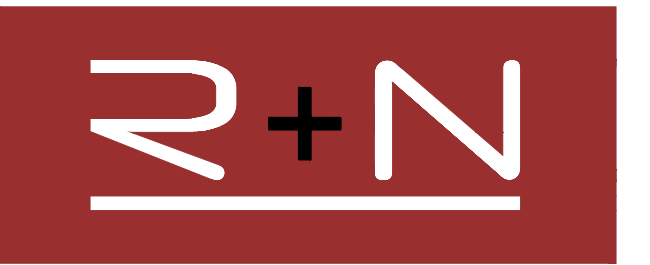
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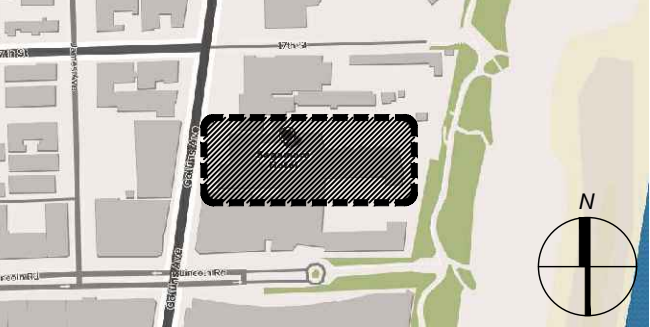
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SHEET INDEX

**- Exterior Images of
Existing Building**

SCALE: NTS

SHEET NO.

A-4

DRB FINAL SUBMITTAL SET, August 30th., 2021 - NOT FOR CONSTRUCTION



AERIAL VIEW OF POOL DECK

5 BUILDING EXTERIOR IMAGES
SCALE: NTS



VIEW OF POOL DECK AND PATIO DECK

6 BUILDING EXTERIOR IMAGES
SCALE: NTS



VIEW OF PATIO DECK LOOKING EAST

7 BUILDING EXTERIOR IMAGES
SCALE: NTS



VIEW OF PATIO DECK LOOKING WEST

8 BUILDING EXTERIOR IMAGES
SCALE: NTS

PROJECT:
SAGAMORE
1671 Collins Avenue, Miami Beach, FL 33139

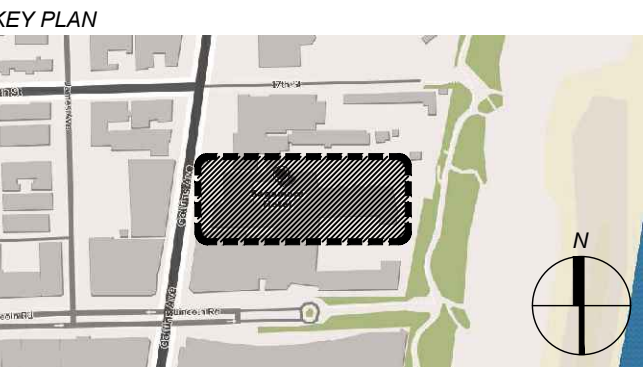
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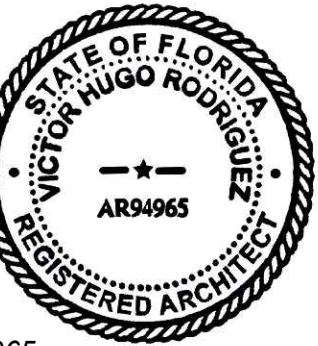
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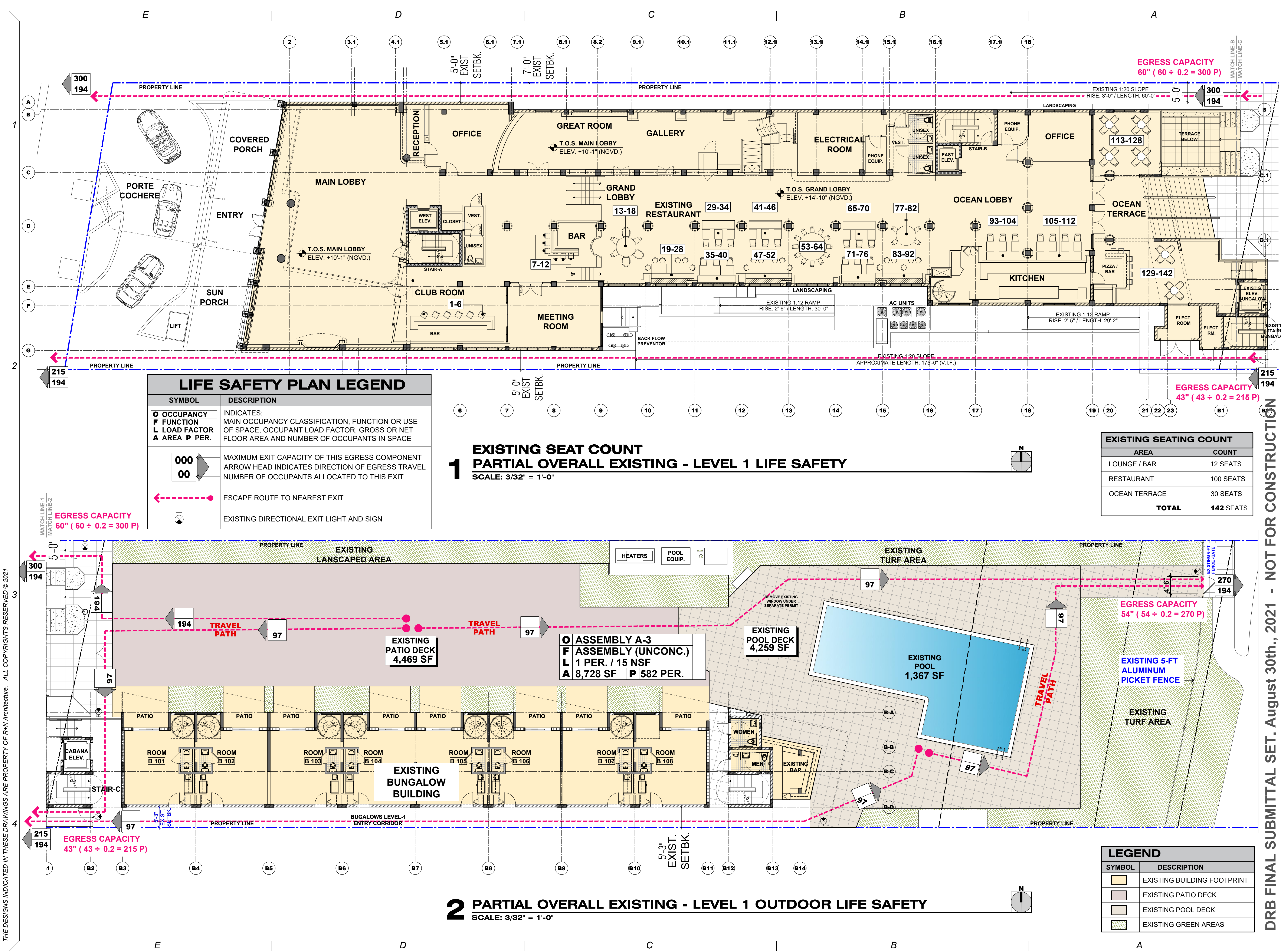
DDCI Project #: 2021.050
Drawn by: VHR
Approved by: VHR

SHEET INDEX
**- Images of Patio Deck
and Pool Deck**

SCALE: NTS

SHEET NO.

A-5



PROJECT:

SAGAMORE

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SHEET INDEX

- Existing Overall Life Safety Plan

SCALE: 3/32" = 1'-0"

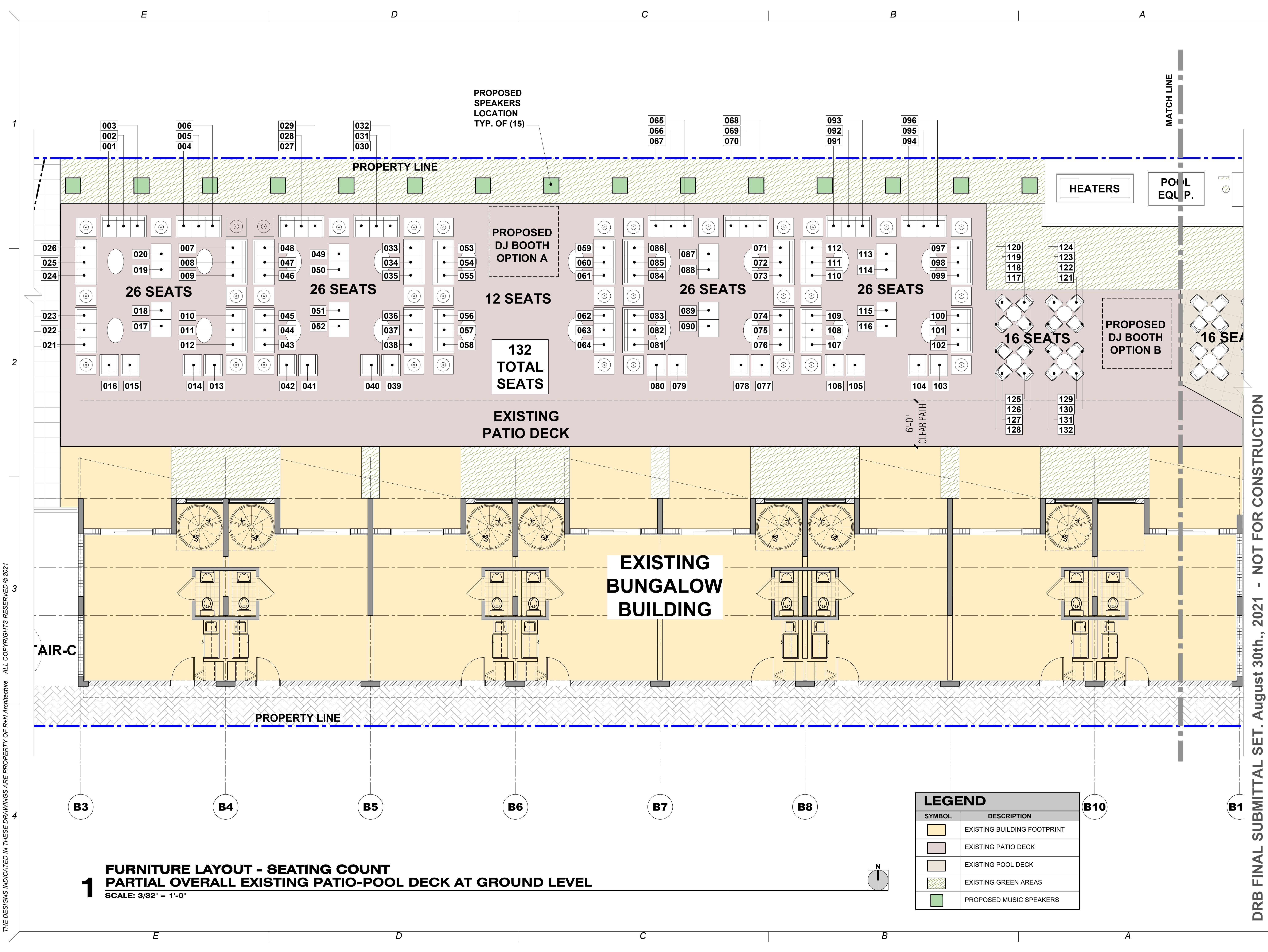
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A-6

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1 FURNITURE LAYOUT - SEATING COUNT
PARTIAL OVERALL EXISTING PATIO-POOL DECK AT GROUND LEVEL
SCALE: 3/32" = 1'-0"

PROJECT:

SAGAMORE

1671 Collins Avenue, Miami Beach, FL 33139

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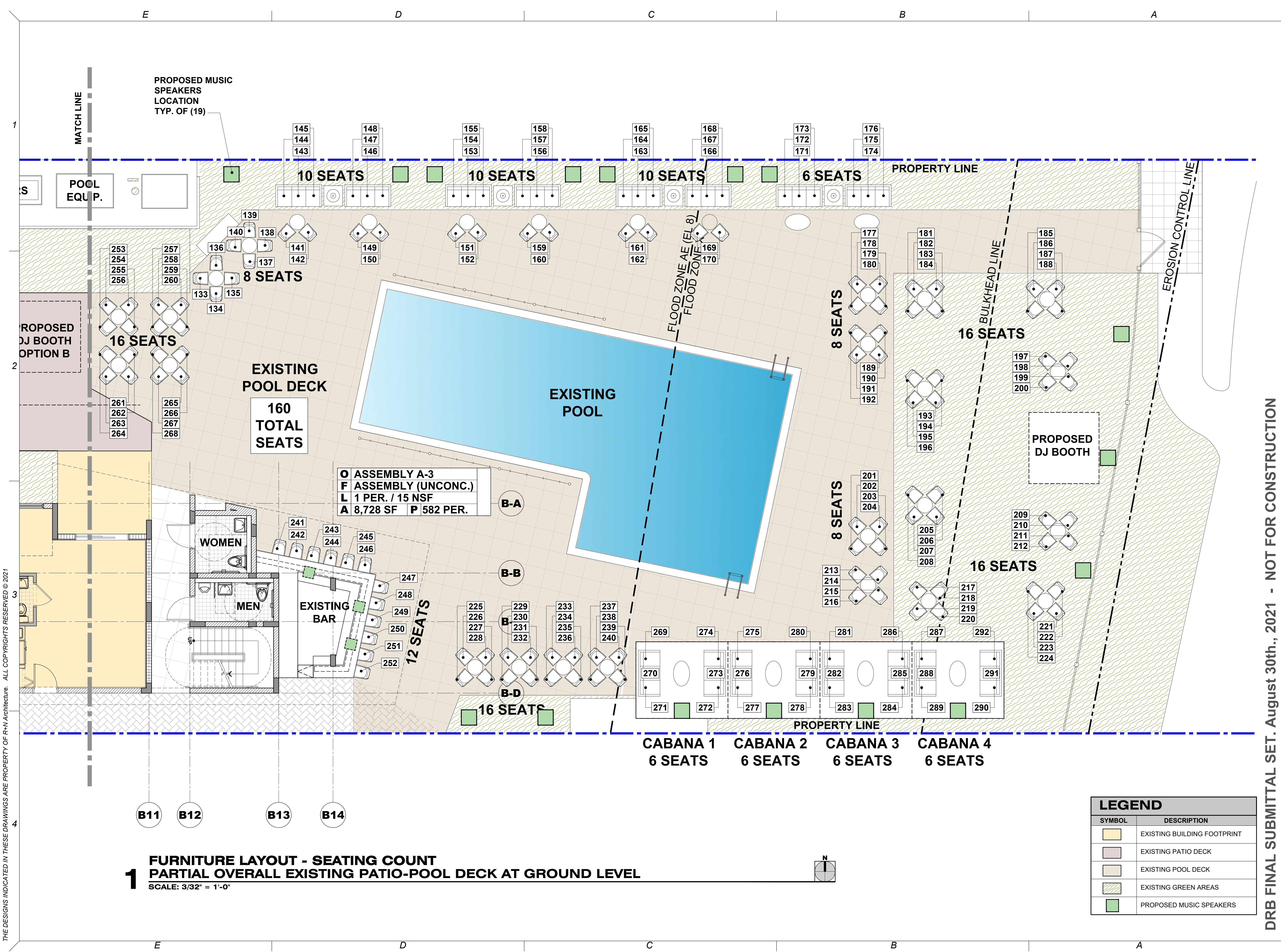
- Seating Layout Options

SCALE: 3/32" = 1'-0"

SHEET NO.

A-7

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1 FURNITURE LAYOUT - SEATING COUNT
PARTIAL OVERALL EXISTING PATIO-POOL DECK AT GROUND LEVEL
SCALE: 3/32" = 1'-0"

DRB FINAL SUBMITTAL SET. August 30th., 2021 - NOT FOR CONSTRUCTION

PROJECT:

SAGAMORE

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PROJECT OWNER :

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ARCHITECT OF RECORD:

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DDCI Project #: 2021.050

Drawn by: VHR

Approved by: VHR

SHEET INDEX

4

- Pool Deck Seating

SCALE: 3/32" = 1'-0"

SHEET NO.

A-8

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