

MILLER RESIDENCE

NO. 6 STAR ISLAND

MIAMI BEACH, FLORIDA



BISCAYNE

NOTICE: In addition to the requirement of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	4/18/13
ZONING:	4/18/13
DRB/HDR:	4/18/13
CONCRETE:	4/18/13
PLUMBING:	4/18/13
ELECTRICAL:	4/18/13
MECHANICAL:	4/18/13
FIRE PROTECTION:	4/18/13
ENGINEERING:	4/18/13
PUBLIC WORKS:	4/18/13
STRUCTURAL:	4/18/13
ELEVATOR:	4/18/13

CLIENT

MILLER RESIDENCE
NO. 6 STAR ISLAND
MIAMI BEACH, FL 33139

ARCHITECT

CHOEFF + LEVY P.A.
8425 BISCAYNE BLVD.
MIAMI, FL 33138
(305) 434-8338

STRUCTURAL ENGINEER

MANUEL I. ORTEGA P.E.
360 MERIDIAN AVE SUITE #3C
MIAMI BEACH, FL 33139
(786) 419-2853

MEP ENGINEER

LAUREDO ENGINEERING CO.
100 ALMERIA AVE
CORAL GABLES, FL 33134
(305) 445-9725

CIVIL ENGINEER

GOLD COAST ENGINEERING CONSULTANTS, INC.
7480 FAIRWAY DRIVE SUITE 205
MIAMI LAKES, FLORIDA 33014
305-822-9533

LANDSCAPE ARCHITECT

ROSENBERG GARDNER DESIGN
17670 N.W. 78 AVE SUITE 214
MIAMI, FLORIDA 33015
305-392-1016

48 HOURS PRIOR TO EXCAVATING
CONTRACTOR SHALL CALL FOR LOCATION
OF UNDERGROUND UTILITIES
800-432-4770
CITY OF MIAMI BEACH 305-673-7080

MFCI PRIVATE PROVIDER SERVICES, LLC Construction Plans Review, Inc. (a subsidiary of MFCI)		
	REVIEWER INITIALS	DATE REVIEWED
BUILDING	EM	2-5-13
STRUCTURAL	EM	4/4/2013
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

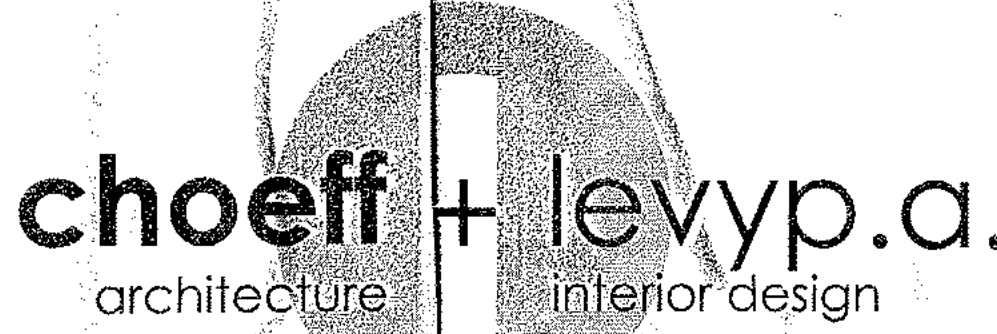
PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or
easements, requires a separate Public Works Department permit prior
to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions
(pictures) and/or posting of sidewalk/roadway bonds
(Public Works Inspection of the right-of-way will be required prior to
final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: Date: 04/05/13



8425 biscayne blvd, suite 201
miami, florida 33138
www.choefflevy.com
AR000979 AR0094779
Phone: 305.434.8338
Fax: 305.892.5292

Miller Residence
(Phase 1 - Staff House)
6 STAR ISLAND MIAMI BEACH, FL 33139

comm no.
1211

date:
12-21-2012

DEC 21 2012
revised:

sheet no.
COVER

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CITY OF MIAMI BEACH
REFERENCE
ONLY

DERM
PLAN REVIEW
FINAL
APPROVAL

DEPARTMENT OF ENVIRONMENTAL
RESOURCE MANAGEMENT

CORE REVIEWER (PRINT) *Julia D. R.* DATE *3-2-13*
SIGNATURE *[Signature]*



Permit Number: 2013-0214-1049-4448
Contact Name: JORDAN HOFFMAN
Contact Phone: (786) 402-9480
Folio: 02-4204-001-0060
Project Name: MILLER RESIDENCE STAFF HOUSE
Date Received: 02/14/2013
Reviewer Name:

MTCI PRIVATE PROVIDER SERVICES, LLC Department of Environmental Resource Management		
	REVIEWER	DATE
BUILDING	EM	2-5-13
STRUCTURAL	EM	4-4-13
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

ROAD FIRE SCHOOL
IMPACT FEE NOT REQUIRED
APR 03 2013
MIAMI-DADE COUNTY
APPROVED *[Signature]*

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architecture interior design

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MIAMI BEACH, FLORIDA



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LOCATION MAP
SCALE: NTS

MTCI PRIVATE PROVIDER SERVICES, LLC Construction Plans Review, Inspection, Training & Consulting		
REVIEWER	DATE	REVIEWED
INITIALS		
BUILDING	EM	2-5-13
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

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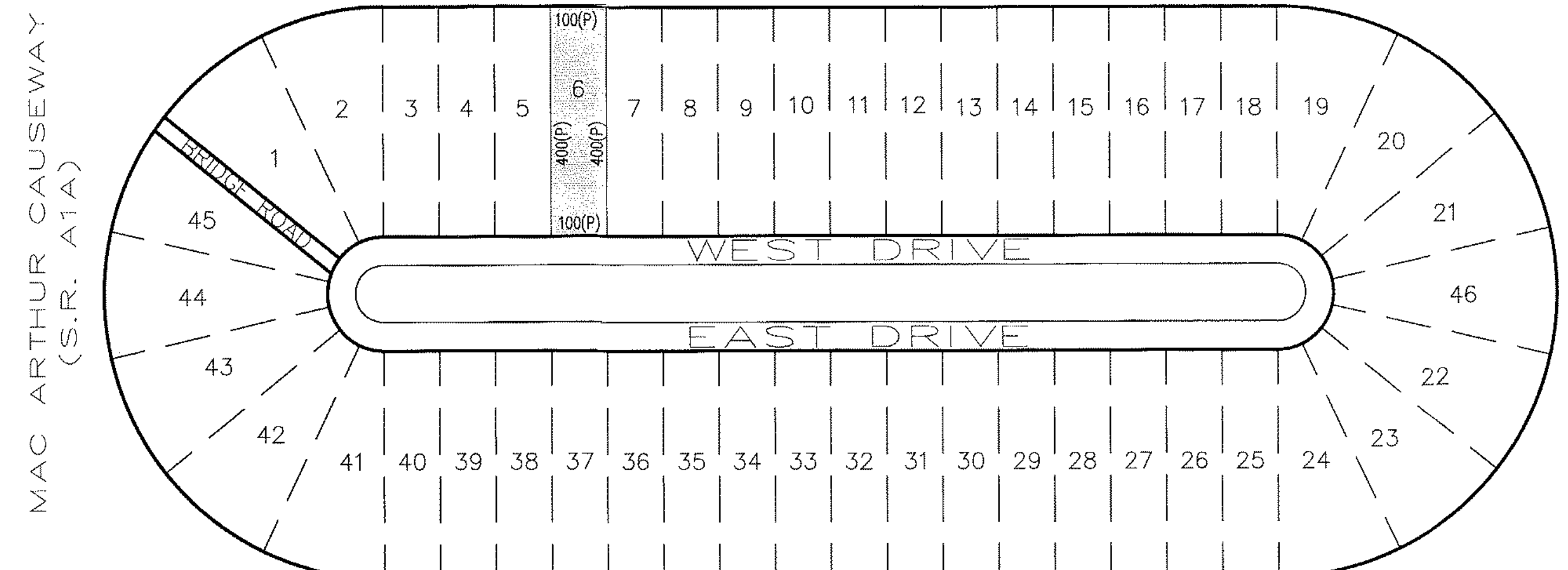
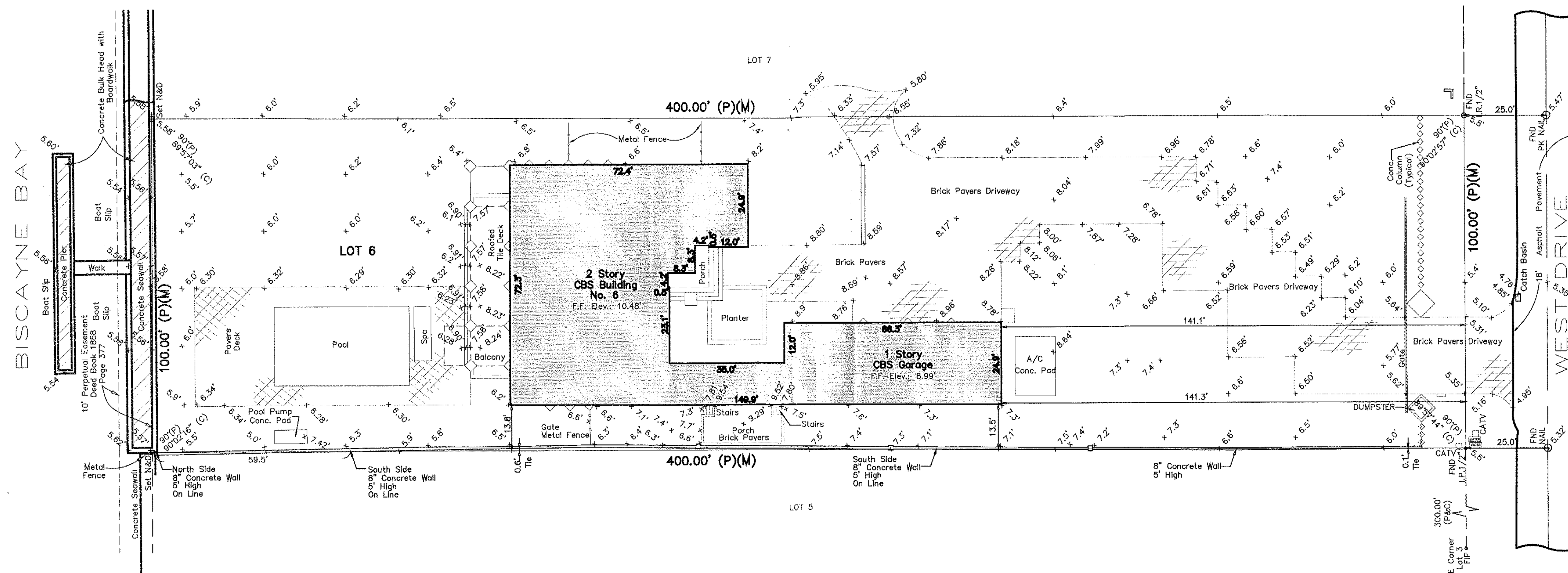
6 STAR ISLAND MIAMI BEACH, FL 33139

comm no.
1211

date:
01-14-2013

revised:
01-21-2013
REVIEWER COMMENTS
DESIGN REVISIONS

sheet no.
A-001

LOCATION MAP
Scale: 1" = 200'

ABBREVIATIONS

SIP	Set Iron Pipe with Cap
FND	Found
IP	Iron Pipe
IR	Iron Rod
FF	Finished Floor
ND	Nail and Disk
DH	Drill Hole
LB	Licensed Business
(M)	Measured
(P)	Platted
(C)	Calculated
w/	with
WPB	Wire pull box
CATV	Cable TV connector
WATER	Water Meter

LEGAL DESCRIPTION:

Lot 6 of CORRECTED PLAT OF STAR ISLAND, according to the Plat thereof, as recorded in Plat Book 31, at Page 60, of the Public Records of Miami-Dade County, Florida, containing 40,050 square feet more or less or 0.92 acre more or less.

SURVEYOR'S NOTES:

The client provided the legal description to this surveyor.

Underground footings were not located.

No encroachments were noted by this survey, except as shown hereon.

Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress is shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than shown on the recorded plat or stated in the legal description as it appears on this drawing.

Only those utilities witnessed by visible appurtenant evidence have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances shown on this sketch.

The National Flood Insurance Rate Map for Florida Community Panel No. 120651C 0191 J and 120651C 0192 J, FIRM Date 01/20/93 and Revised with an effective date of 03/02/94, published by the United States Department of Housing and Urban Development, delineates the described land to be situated with Zone "AE" with a base flood elevation of 10.

SURVEYOR'S NOTES (CONTINUE):

The Wall along the South Property Line meanders. It is possible this wall was built by both Lot 5 and Lot 6 owners at different times throughout the years and joined in various places as a matter of convenience. Ownership was not determined therefore we have provided several ties to the property line where the wall crosses and at the ends.

Differences are noted as compared to calculations from the record plat and are shown as plat, measured, record and/or deed.

The Perpetual 10 foot wide strip bordering upon, exterior to and entirely around that certain Island known as Star Island, in Miami Beach, Dade County, Florida is to be held in trust by the Trustees of the Internal Improvement Fund of the State of Florida for the protection of said Island, the property thereon and the owners in common thereof. Deed Book 1858 Page 377

This survey is intended for the use of the parties to whom it is certified to and for. Any reproduction is not an original. This surveyor retains an original to verify these dated contents for validity.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=30' or smaller. At the maximum intended displayed scale the survey and sketch's positional accuracy value occupies 1/20" on the display.

SURVEYOR'S CERTIFICATE:

The undersigned, a Professional Surveyor and Mapper, duly authorized to practice under the laws of the State of Florida hereby certifies to the herein named firm and/or persons that this Sketch of "Boundary Survey" and the survey on which it is based were made in accordance with the Minimum Technical Standards requirements set forth by the Board of Professional Surveyors and Mappers as contained in Chapter 61G17-6 of the Florida Administrative Code pursuant to Chapter 472.027 of the Florida Statutes.

TRIANGLE SURVEYING & MAPPING, INC.

Date: March 21, 2007

PRIVATE PROVIDER SERVICES, LLC		
Professional Surveyor, Mapper, Planner, and Designer		
BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	2-2-12
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

John Liptak
State of Florida Professional
Surveyor and Mapper No. 5664

This Survey is not valid without the signature and original raised seal of a State of Florida Licensed Surveyor and Mapper.

△ Add Additional Elevations to Boundary Survey	mjr	06/22/12
△ Add Elevations to Boundary Survey	DR	07/09/09
△ Add Perpetual 10' Easement DB 1858, Pg. 377	DR	07/09/09

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date:
12-21-2012

revised:

sheet no.

A-002

LEGAL DESCRIPTION

CORRECTED PL OF STAR ISLAND PB 31-60 LOT 6
LOT SIZE 100.000 X 400 OR 20614-2152 08 2002 I
COC 22057-0340 02 2004 I

PROPERTY ADDRESS:
6 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

DRB FILE # 22856

PROJECT DATA

SCOPE OF WORK:
NEW 2-STORY, CBS, SINGLE FAMILY RESIDENCE

OCCUPANCY TYPE:
RS-2

CONSTRUCTION TYPE:
TYPE V B

CITY OF MIAMI BEACH PUBLIC WORKS NOTE:

RECONSTRUCT THE SWALE/SOD ALONG THE ENTIRE FRONTAGE OF THE PROPERTY ALONG WEST STAR ISLAND DRIVE.

MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE 3-III ASPHALT MIX DESIGN THE ENTIRE WIDTH OF WEST STAR ISLAND DRIVE ALONG AND ADJACENT TO THE PROPERTY.

LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT OF WAY REQUIRE PRELIMINARY APPROVALS FROM CHB PLANNING DEPARTMENT AND PARKS (GREEN MANAGEMENT) DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT.

ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND/OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ELEVATION NOTE:

ALL ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929), UNLESS OTHERWISE INDICATED ON DRAWINGS.

FLOOD ELEVATION NOTE:

ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (10'-0" NGVD) - ALL CONSTRUCTION & FINISH MATERIALS BELOW BASE FLOOD ELEVATION ARE TO BE FLOOD RESISTANT.

DRAINAGE NOTE

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY. SEE CIVIL FOR DRAINAGE PLAN.
SLOPE GRADE AWAY FROM NEW CONSTRUCTION

BUILDING DATA

EXISTING HOUSE:
GROUND FL. 8,716 SQ. FT.
SECOND FL. 6,318 SQ. FT.
2,458 SQ. FT.

STAFF HOUSE:
GROUND FL. 5,697 SQ. FT.
SECOND FL. 2,384 SQ. FT.
3,313 SQ. FT.

TOTAL: 14,473 SQ. FT.

SITE DATA

LOT AREA: 40,000 SQ. FT. (100%)
(0.92 ACRES±)

BLDG. LOT COVERAGE: 7,853 SQ. FT. (20%)
EXISTING HOUSE 5,818 SQ. FT.
NEW STAFF HOUSE 2,035 SQ. FT.

IMPERVIOUS AREA: 10,798 SQ. FT. (27%)

PERVIOUS AREA: 21,349 SQ. FT. (53%)

ZONING DATA

CLASSIFICATION: RS-1

FLOOD ZONE: AE

MIN. FLOOD ELEVATION (NGVD): +10'-0" +10'-0"

GRADE ELEVATION (NGVD): +5.395' +5.395'

MAX. LOT COVERAGE: 30% 20%
(35% DRB)

UNIT SIZE: 50% 36.2%
(70% DRB)

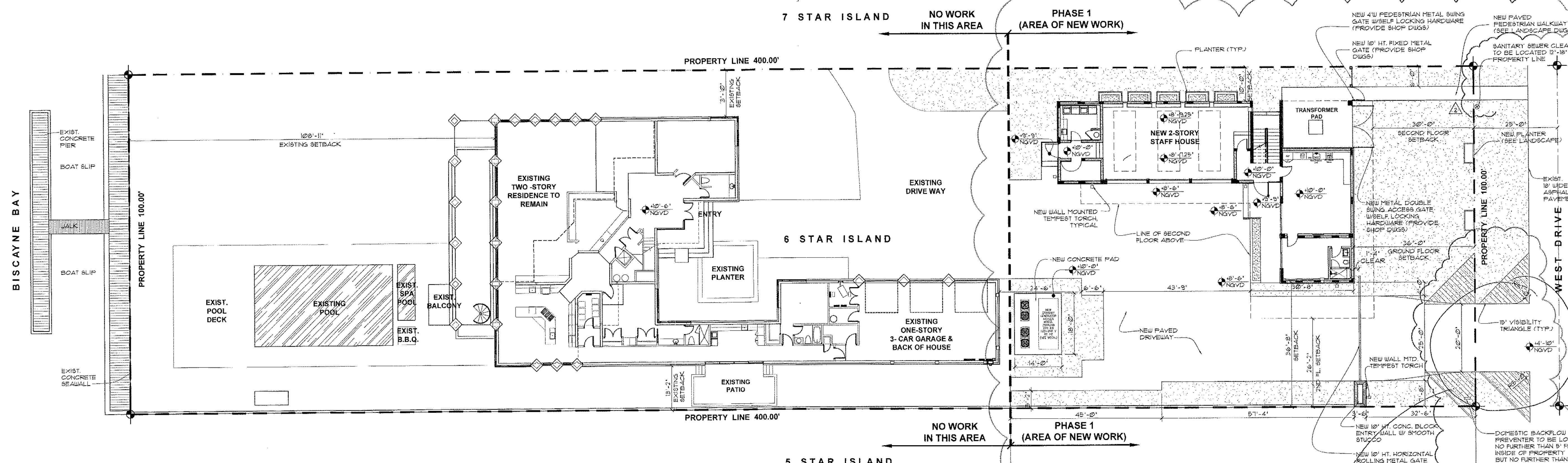
STAFF HOUSE

MAX. BUILDING HEIGHT: +30' +29'-11 1/4"

FRONT SETBACK: 20'-0" 30'-0"
GROUND FL. 30'-0"
SECOND FL. 30'-0"

REAR SETBACK: 60'-0" 86'-4"
(15% LOT DEPTH)

SIDE SETBACKS: 12'-6" 46'-8"
(25% LOT WIDTH-SUM OF SIDES)
(MIN. 10% = 6'-0")



N SITE PLAN
SCALE: 1/16"=1'-0"

MTCI PRIVATE PROVIDER SERVICES, LLC Construction Plans, Specifications, Survey & Consulting			
BUILDING	REVIEWER INITIALS	DATE REVIEWED	
STRUCTURAL	ADD	12/21/12	
MECHANICAL			
ELECTRICAL			
PLUMBING			
SITE			

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(Phase 1 - Staff House)

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12-21-2012

revised:
01-21-2013
REVIEWER COMMENTS
DESIGN REVISIONS
03-05-2013
B.D. COMMENTS

sheet no.
A-003

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architecture interior design

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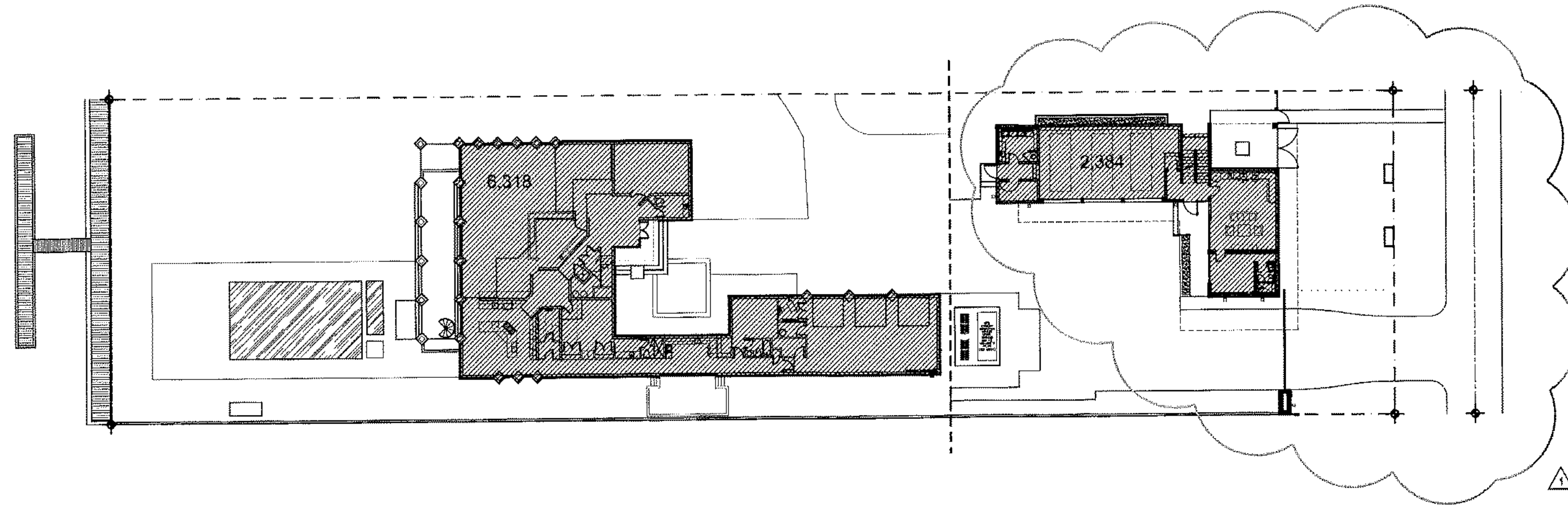
Phone: 305.434.8338
Fax: 305.892.5292

with must
not exceed
12 feet
width

MAR 08 2013

LOT COVERAGE CALCULATIONS

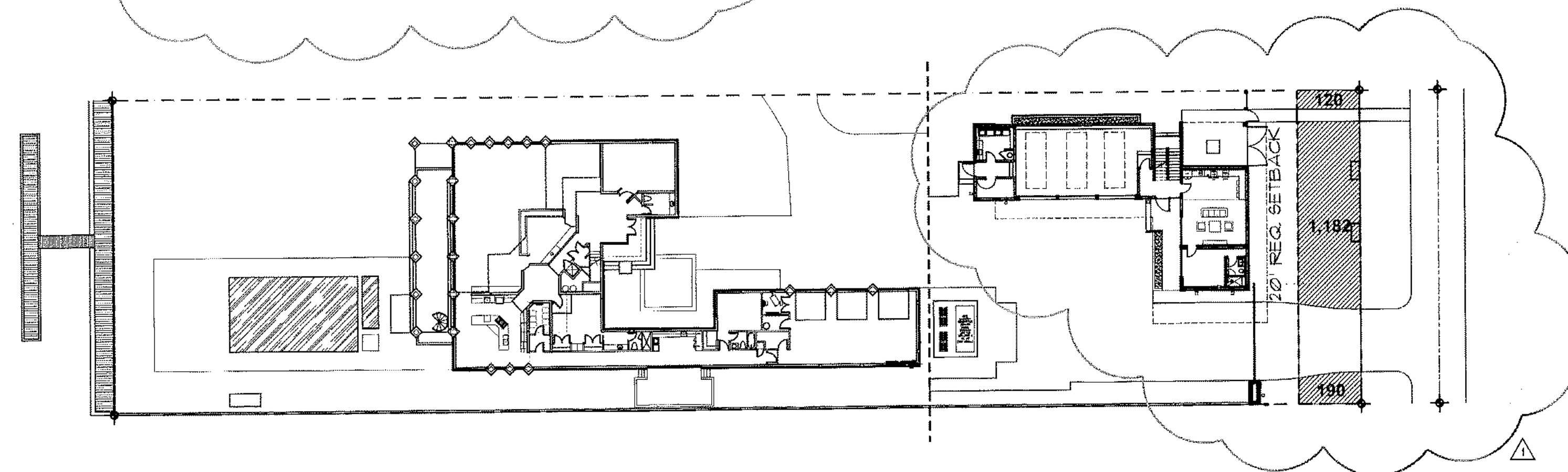
LOT AREA:	40,000 SQ. FT.	100%
LOT COVERAGE:	8,202 SQ. FT.	21%
EXISTING HOUSE	5,818 SQ. FT.	
NEW STAFF HOUSE	2,384 SQ. FT.	



LOT COVERAGE DIAGRAM
SCALE: 1/32"=1'-0"

FRONT LANDSCAPE AREA CALCULATIONS

20' SETBACK AREA:	2,000 SQ. FT.	100%
LANDSCAPE AREA:	1,492 SQ. FT.	75%



FRONT LANDSCAPE AREA DIAGRAM
SCALE: 1/32"=1'-0"

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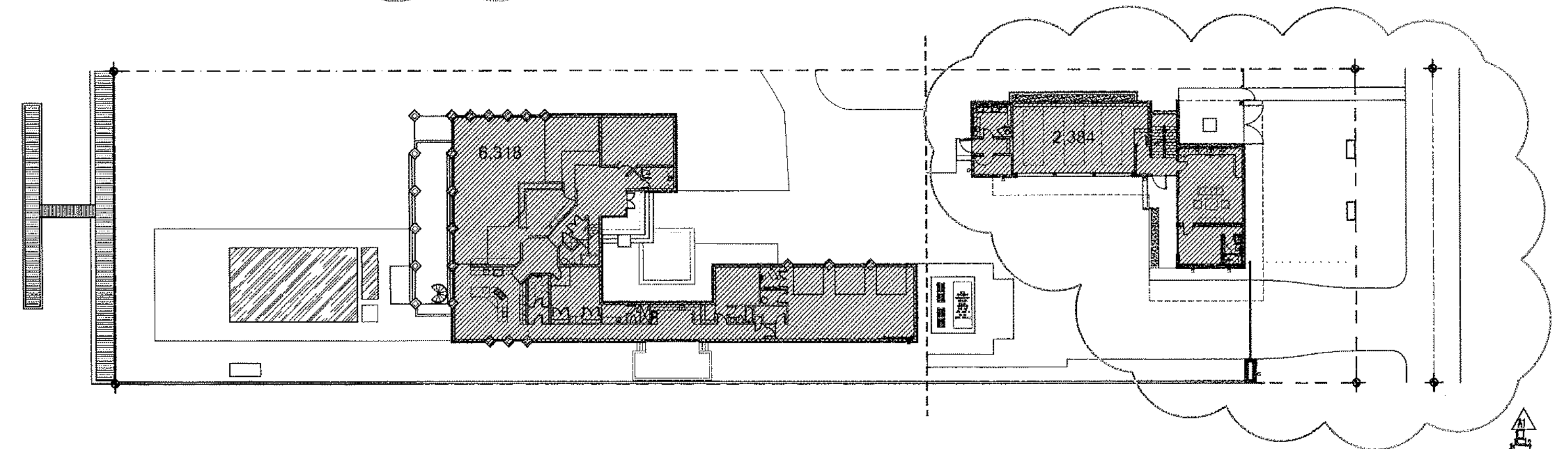
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A-004

UNIT SIZE DIAGRAM (SECOND FL.)

SCALE: 1/32"=1'-0"

UNIT SIZE CALCULATIONS

LOT AREA:	40,000 SQ. FT.	100%
EXISTING HOUSE:	8,716 SQ. FT.	
GROUND FL.	6,318 SQ. FT.	
SECOND FL.	2,458 SQ. FT.	
STAFF HOUSE:	5,695 SQ. FT.	
GROUND FL.	2,384 SQ. FT.	
SECOND FL.	3,313 SQ. FT.	
TOTAL:	14,473 SQ. FT.	36.2%



UNIT SIZE DIAGRAM (GROUND FL.)
SCALE: 1/32"=1'-0"

PRIVATE PROVIDER SERVICES, LLC Construction Plans Review, Inspection, Testing & Consulting		
	REVIEWER INITIALS	DATE REVIEWED
BUILDING	F/M	2-5-13
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

PERMIT NOTES

1. ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. RESIDENTIAL 2010
2. SEAWALL, POOL, WINDOWS, DOORS, STAIR RAILS, AND GARAGE DOORS UNDER SEPARATE PERMIT.

SITE WORK NOTES

1. CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET AS PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER SITE PLAN.
2. ALL CONCRETE SLABS ON GRADE WITH ENCLOSED AIR CONDITIONED SPACES ABOVE ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE BOTTOM OF SLAB & THE BASE COURSE OR PREPARED SUBGRADE
3. EXISTING DOCK & SEAWALL TO BE REPAIRED AS NECESSARY - BY OTHERS / UNDER SEPERATE PERMIT
4. ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY & SHALL NOT DRAIN INTO NEIGHBORING PROPERTIES
5. TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION
6. SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION
7. CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED IDENTITY OR APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED

LIFE SAFETY / HAZARDOUS LOCATION NOTES

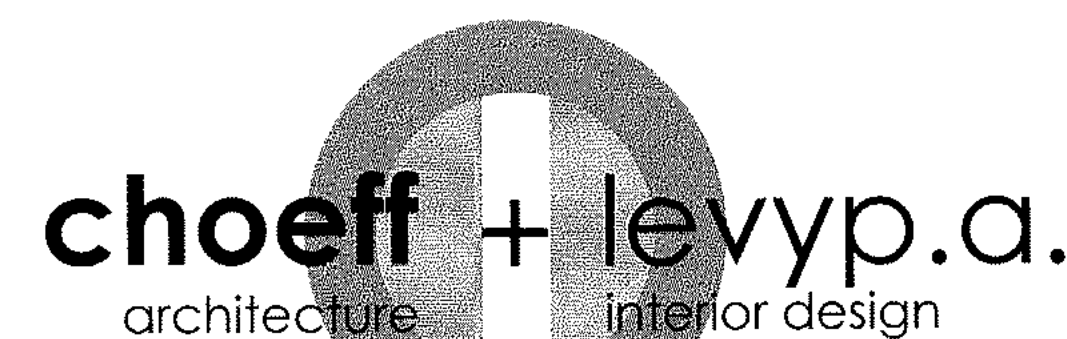
1. ALL INTERIOR GLAZING CALLED OUT FOR IN THESE PLANS IS TO BE CATEGORY II SAFETY GLASS AS PER FBC RESIDENTIAL 2010 SECTIONS TABLE 3003, R3003.4, R44102.3.132, & R44102.6.2.
2. HANDRAILS SHALL BE CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION - HANDRAILS MUST TERMINATE INTO WALL OR POST - HANDRAILS MUST COMPLY WITH FBC R311.5.6 - SHOP DRAWINGS TO BE PROVIDED BY RAIL MFR.
3. ALL RAILINGS TO BE 3'-6" HIGH ABOVE FINISHED FLOOR - RAILING SHALL NOT ALLOW PASSAGE OF A 4" SPHERE, TYP. 6" AT TRIANGULAR OPENINGS FORMED BY TREAD, RISER AND BOTTOM RAIL OF RAILING AT STAIR. RAILING SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION - MFR. TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING FOR ARCHITECT'S & BUILDING DEPT'S. APPROVALS
4. GLASS RAILINGS TO BE CLEAR SEAMLESS TEMPERED SAFETY GLASS (PROVIDE IMPACT GLASS AT ALL EXTERIOR LOCATIONS)
5. ANY OPENINGS IN RAILING OR BETWEEN RAILING & STRUCTURE ARE TO REJECT A 4" SPHERE & BOTTOM 6" OF RAILING IS TO REJECT A 2" SPHERE

CONSTRUCTION NOTES

1. ALL CONCRETE SLAB EDGES & BEAMS SUPPORTING EXTERIOR WALLS SHALL BE RECESSED 3/4" BELOW TOP OF SLAB FOR A WIDTH OF THE EXTERIOR WALL
2. PROVIDE RECESS AT ALL SLIDING DOOR LOCATIONS PER MANUFACTURERS SPECIFICATIONS.
3. ALL SLAB & BEAM PENETRATIONS ARE TO BE SLEEVED
4. COORDINATE WITH ELECTRICAL, AV & LOW VOLTAGE DRAWINGS PRIOR TO FORMING OR POURING CONCRETE SLABS, WALLS OR COLUMNS. PROVIDE FOR EMBEDMENTS OF LIGHT FIXTURES & SPEAKERS AS PER MFR. SPEC'S.
5. TYPICAL EXTERIOR WALL CONSTRUCTION TO BE 8" CONCRETE BLOCK w/STUCCO ON EXTERIOR & 5/8" G.W.B. ON 7/8" METAL HI-HAT FURRING @ 16" O.C. ON INTERIOR - PROVIDE MIN. (R=4.1) 3/4" RIGID INSULATION
6. ALL INTERIOR PARTITIONS TO BE MTL. STUDS SPACED @ 16" O.C. FACED w/ 5/8" G.W.B. - PROVIDE HORIZONTAL FIREBLOCKING EVERY 1/3 OF WALL TO COMPLY w/SECTION 703.3.3 OF THE F.B.C.
7. PROVIDE FULL, THICK, BATT SOUND INSULATION AT ALL INTERIOR PARTITIONS SHOWN ON WALL TYPES AND AT ALL RAIN WATER LEADER LOCATIONS.
8. ALL INTERIOR PARTITIONS AT ALL WALL HUNG CABINET LOCATIONS PROVIDE (2) 2"x6" OR (2) 2"x4" WOOD MEMBERS BACKING TO COMPLY w/SECTION 2310.11.4 FBC
9. STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864' - FBC R4411.4.3.1
10. PROVIDE CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD AT ALL PARTITIONS LOCATED IN WET AREAS
11. ALL INTERIOR G.W.B. / PAINT FINISHES TO BE LEVEL 5
12. ALL CEILINGS TO BE 1/2" G.W.B. ON 1 1/2"x1 1/2" 20 GAUGE METAL STUDS @ 16" O.C. - ICYNENE (R=30) INSULATION AT ALL 2nd FLOOR CEILINGS
13. PROVIDE A SMOOTH PLASTER / PAINT (WHITE) FINISH AT ALL UNDERSIDE OF FLOOR / ROOF SLABS AT CURTAIN POCKET LOCATIONS WITHOUT A DROPPED CEILING
14. ALL POOL & SPA TO BE FINISHED BY OTHERS ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+10'-0" NGVD)
15. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (+10'-0" NGVD) MUST BE FLOOD-RESISTANT
16. ALL ROOFS & OVERHANGS ARE TO BE FINISHED WITH SOPREMA ROOFING SYSTEMS AS PER MFR. SPECIFICATIONS - PROVIDE SEALANT PLUS PRIMER (COLOR: WHITE)
17. CONTRACTOR SHALL PERFORM AN IMPERMEABILITY TEST ON ALL ROOF SLABS FOR A PERIOD OF NO LESS THAN 24 HOURS
18. ALL ROOF DRAINS SHALL BE FULLY SOUND INSULATED.
19. PROVIDE TREMCO VULKEM 350NF WATERPROOFING SYSTEM @ ALL WET AREAS, EXTERIOR BALCONIES, TERRACES & STAIRS
20. INSULATION RATINGS TO BE AS FOLLOWS, PER FLORIDA ENERGY CALCULATIONS:
WALLS: R=42
ROOF: R=30
EXPOSED FLOORS: R=11
WINDOWS: U=0.27, SHGF=0.45

FINISH NOTES

1. ROOFING:
SOPREMA MODIFIED BITUMEN ROOFING SYSTEM.
MIAMI-DADE COUNTY N.O.A. NO. 10-040807.
2. EXTERIOR WALL FINISHES:
HIGH QUALITY SMOOTH STUCCO FINISH w/CHINA WHITE PAINT
3. ALL STONE TO BE LEDGE STONE - COORDINATE TYPE WITH OWNER (OVER 1/4" MIN. LATICRETE MORTAR)
4. INTERIOR PAINT FINISHES:
SEE INTERIORS
5. FLOOR FINISHES:
SEE INTERIORS
6. COORDINATE INTERIOR & EXTERIOR FINISHES w/OWNER
7. ALL WOOD SPECIFIED TO BE RIFF CUT
8. SEE INTERIORS FOR ALL KITCHEN CABINETRY, COUNTERTOPS & APPLIANCES.
9. LIGHT FIXTURES: SEE LIGHTING FIXTURE LEGENDS ON REFLECTED CEILING PLAN AND ELECTRICAL PLANS.
10. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (+10'-0" NGVD) MUST BE FLOOD-RESISTANT
11. ALL EXTERIOR DOORS & WINDOWS TO RECEIVE 'BRONZE' ALUMINUM FINISH.
12. ALL EXTERIOR STEEL COLUMNS TO RECEIVE CLADDING TO MATCH DOORS & WINDOWS.
13. FORMWORK & TIE-BOLTS AT EXPOSED CONCRETE WALLS TO BE ERRECTED AS PER ELEVATIONS. RELEASE AGENT MUST BE NON-STAINING & FORMWORK TO BE HIGH DENSITY PLYWOOD FREE OF IMPERFECTIONS.
14. THESE SPECIFICATIONS ARE ONLY TO BE USED AS A GUIDE FOR DETERMINING MAXIMUM ALLOWANCES. THE OWNER AND ARCHITECT SHALL BE CONSULTED PRIOR TO FINAL SELECTIONS AND ORDERING OF EACH ITEM SPECIFIED, OR ANY FINISH INVOLVED WITH THIS RESIDENCE.
15. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 723 AS PER F.B.C.R. 302.9.1
16. INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 or UL 723 AS PER F.B.C.R. 302.10



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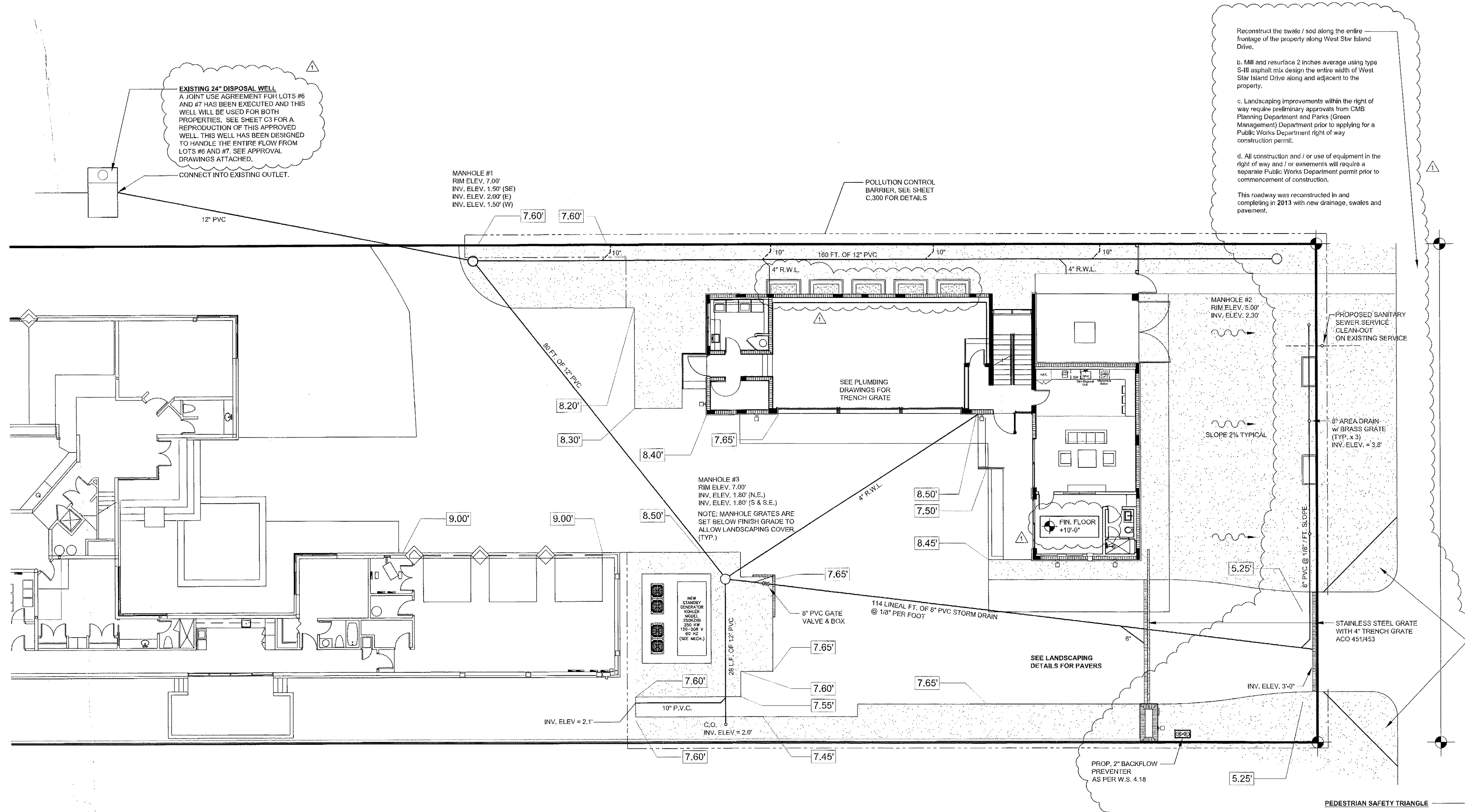
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revised:
01-21-2013
REVIEWER COMMENTS
DESIGN REVISIONS
03-05-2013
B.D. COMMENTS

sheet no.
A-005

PRIVATE PROVIDER SERVICES, LLC Construction Phase Review - Design, Drafting & Construction		
REVIEWER	DATE	
INITIALS	DATE	
BUILDING	4/15/13	04-05-13
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		



CIVIL SITE PLAN
SCALE: 1" = 10'-0"

REVIEWER		
DATE	INITIALS	DATE
01/13/13	AR	01/13/13

- Reconstruct the swale / sod along the entire frontage of the property along West Star Island Drive.
 - Mill and resurface 2 inches average using type S-III asphalt mix design the entire width of West Star Island Drive along and adjacent to the property.
 - Landscaping improvements within the right of way require preliminary approvals from CMB Planning Department and Parks (Green Management) Department prior to applying for a Public Works Department right of way construction permit.
 - All construction and / or use of equipment in the right of way and / or easements will require a separate Public Works Department permit prior to commencement of construction.
- This roadway was reconstructed in and completing in 2013 with new drainage, swales and pavement.

PEDESTRIAN SAFETY TRIANGLE

THE HEIGHT OF FENCES, WALLS, BUS SHELTER AND HEDGES SHALL NOT EXCEED 2 FEET IN HEIGHT WITHIN FIFTEEN (15) FEET OF THE EDGE OF DRIVEWAY LEADING TO A PUBLIC RIGHT OF WAY.

THE SAFE SIGHT DISTANCE TRIANGLE AREA SHALL NOT CONTAIN OBSTRUCTIONS TO CROSS-VISIBILITY AT A HEIGHT BETWEEN 2 FEET AND 6 FEET ABOVE PAVEMENT. POTENTIAL OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO STRUCTURES, GRASS, GROUND COVERS, SHRUBS, VINES, HEDGES, TREES, ROCKS, WALLS AND FENCES.

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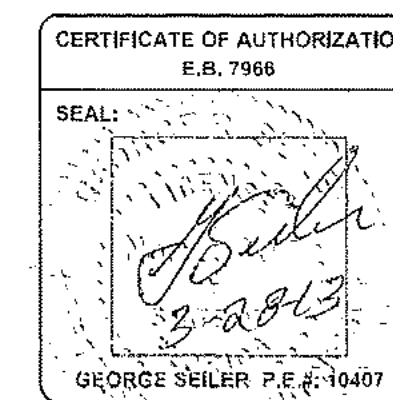
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date:
1-13-2013

revised:

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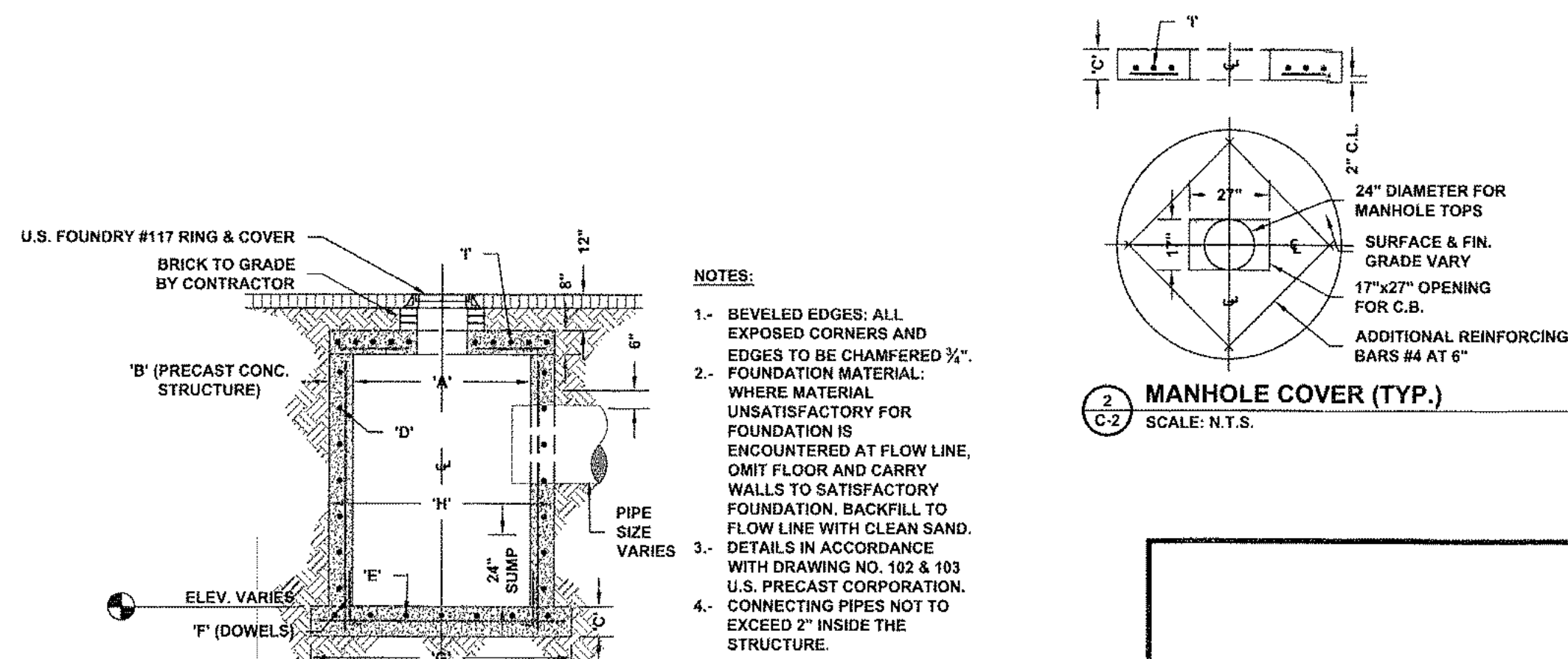
CERTIFICATE OF AUTHORIZATION
E.B. 7966

SEAL: *[Signature]*

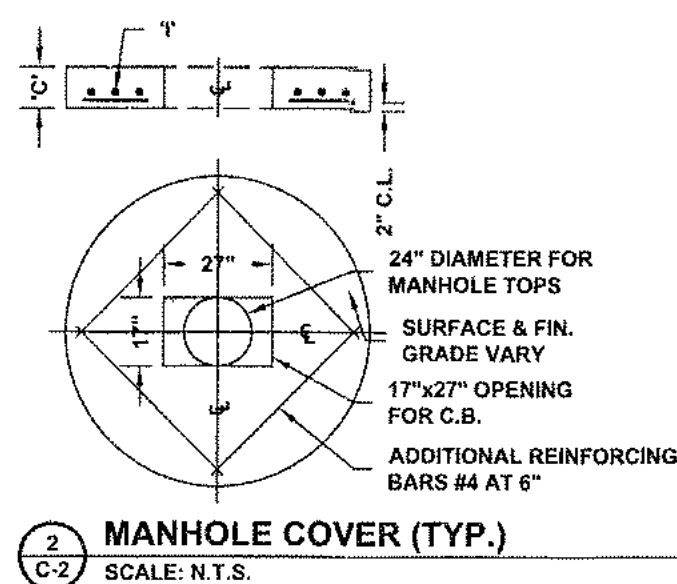
COMPANY NAME:
GOLD COAST ENGINEERING CONSULTANTS, INC.

ADDRESS:
7480 FAIRWAY DRIVE, SUITE 205
MIAMI LAKES, FL 33014
PHONE: (305) 822-9533
FAX: (305) 822-9588





1 TYPICAL MANHOLE DETAIL
SCALE: N.T.S.



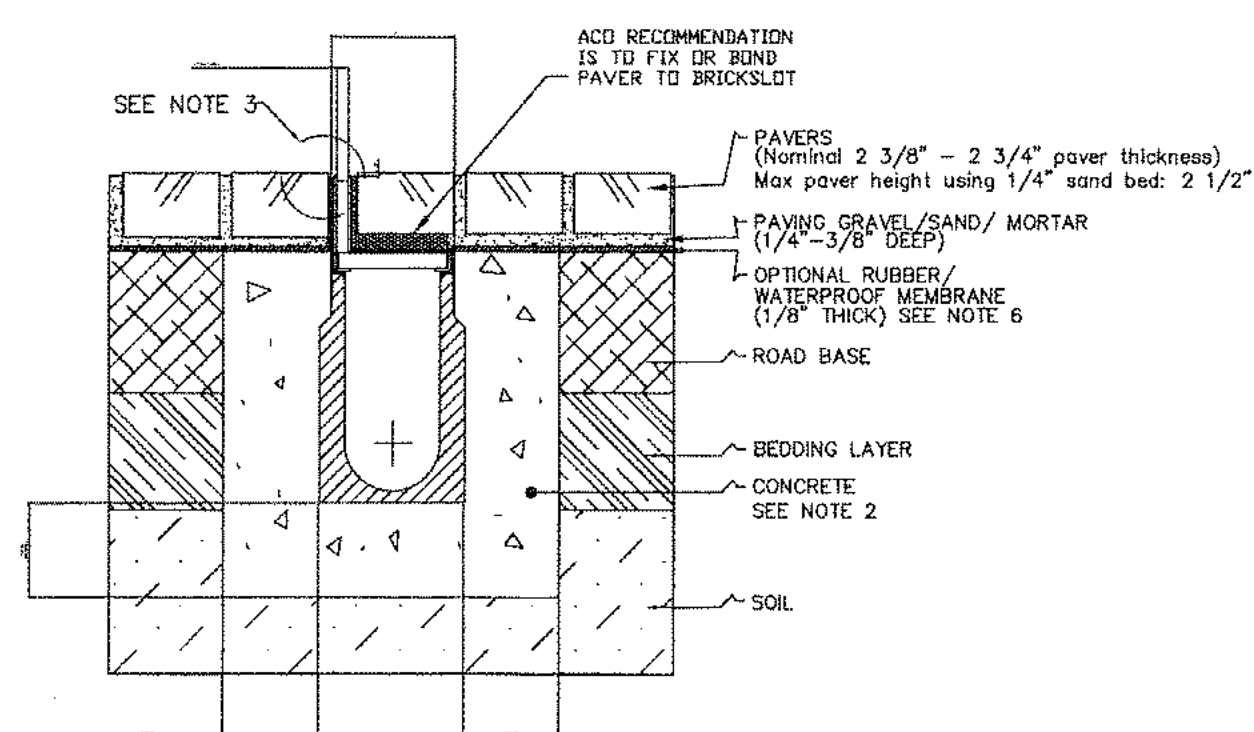
2 MANHOLE COVER (TYP.)
SCALE: N.T.S.

GENERAL NOTES:

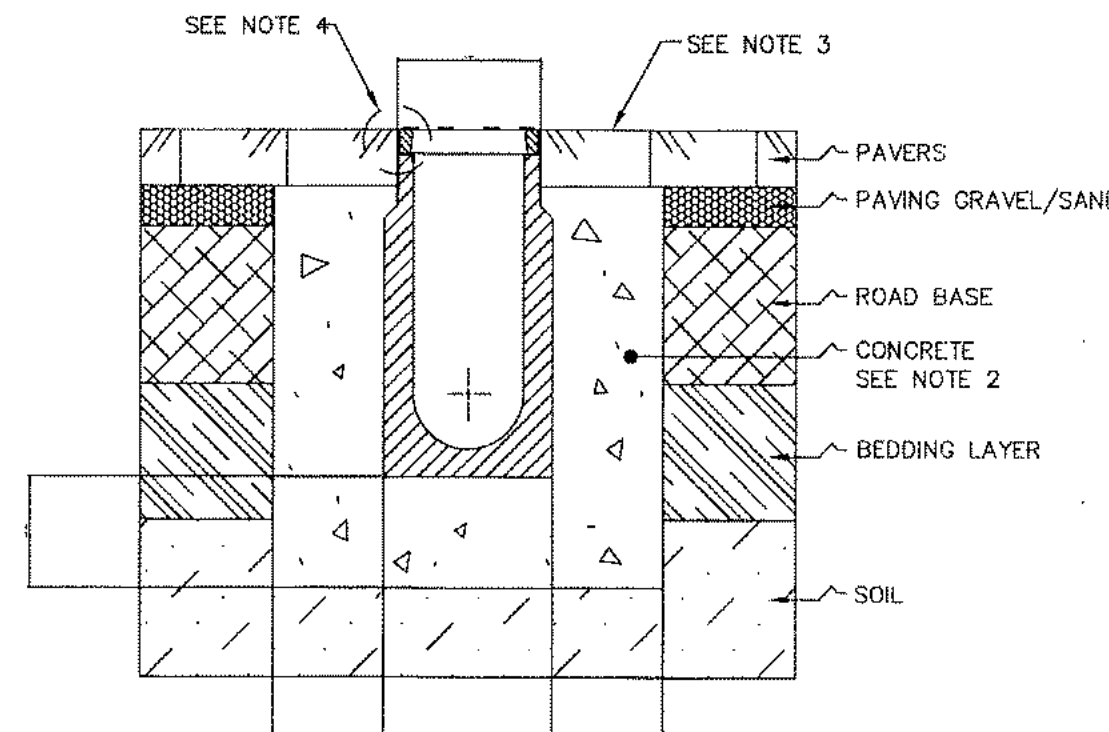
- ALL ELEVATIONS SHOWN ON THE PLANS OR STATED IN THE SPECS. REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929 AND ARE EXPRESSED IN FEET.
- PROPOSED GRADES SHOWN ON THE PLANS ARE FINISHED GRADES.
- ALL MATERIAL AND INSTALLATION SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AND CONFORM TO THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS.
- CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- THE LOCATION OF EXISTING UTILITIES ARE SHOWN ON THEIR APPROXIMATE LOCATION. CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES TO VERIFY EXACT LOCATION AND TYPE OF MATERIAL OF EACH UTILITY. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES DRAINAGE OR ROADWAY CONSTRUCTION.
- THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF ANY PROJECT AND INCLUDE THE DESIGN ENGINEER, THE CONTRACTOR, FLORIDA POWER AND LIGHT COMPANY, SOUTHERN BELL, THE GAS COMPANY AND ANY OTHER UTILITY (INCLUDING CABLE TELEVISION UTILITIES) AND ANY GOVERNMENTAL AGENCY APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO THE START OF ANY EXCAVATION FOR THE INSPECTION OF CABLE LOCATIONS.
- THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION AND FOR THE INSPECTION OF THE FOLLOWING ITEMS:
 - CLEARING, DEMOLITION AND BACKFILL
 - STORM DRAINAGE SYSTEM
 - SUBGRADE
 - LIMEROCK BASE COURSE
 - ASPHALT, CONCRETE PAVEMENT
 - FINAL
- ALL INTERMEDIATE AND FINAL INSPECTION SHALL BE MADE BY THE ENGINEER.
- COMPLETE "AS-BUILT" INFORMATION RELATIVE TO ELEVATIONS, DRAINAGE, PIPE, UTILITY AND STRUCTURE LOCATION AND THE LIKE SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE OF WORK. "AS-BUILT" INFORMATION FOR PAVING AND DRAINAGE ELEVATIONS SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND SURPLUS MATERIAL FROM THE CONSTRUCTION SITE IMMEDIATELY UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL RESTORE ANY DAMAGED OR DESTROYED PRIVATE OR PUBLIC PROPERTY ADJACENT TO THE PROJECT SITE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AS DIRECTED BY THE ENGINEER.
- THE END PIPE MAY BE MADE FLUSH WITH THE INSIDE WALL OF THE CATCH BASIN OR MANHOLE STRUCTURE.
- CONCRETE USED FOR PAVEMENT AND DRAINAGE SHALL BE MADE WITH A MINIMUM OF 3000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL UNDERGROUND UTILITIES SHALL BE COMPLETED BEFORE ANY PAVING CONSTRUCTION BEGINS.
- SHOP DRAWINGS SHALL BE APPROVED BY THE ENGINEER.

DRAINAGE NOTES: EXCAVATION AND BACKFILL:

- THE CONTRACTOR SHALL DO ALL EXCAVATION OF WHATEVER SUBSTANCES ENCOUNTERED TO A DEPTH SHOWN ON THE DRAWINGS.
- EVACUATED MATERIALS NOT REQUIRED FOR BACKFILL SHALL BE DISPOSED OF BY CONTRACTOR AS DIRECTED BY THE ENGINEER.
- TRENCH EXCAVATION FOR INLETS AND MANHOLES SHALL BE DEWATERED. DEWATERING SHALL BE A CONTINUOUS OPERATION AND SHALL NOT BE INTERRUPTED OR DISCONTINUED UNTIL BACKFILLING IS COMPLETED.
- AFTER PIPES HAVE BEEN LAID AND APPROVED THE TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN AND FREE OF ORGANIC MATERIAL.



4 GARAGE DOOR ENTRANCE TRENCH GRATE
SCALE: N.T.S.



5 TYPICAL ENTRANCE ROADWAY GRATE
SCALE: N.T.S.

NOTES:

- It is necessary to ensure the minimum dimensions shown are suitable for the existing ground conditions. Engineering advice may be required.
- A minimum concrete strength of 3000 PSI is recommended. The concrete should be vibrated to eliminate air pockets.
- Pavers to be 1/8" above channel edge. A bead of sealant can be used between the rail & concrete.
- Refer to ACO's latest installation instructions for complete details.
- Concrete base thickness should match slab thickness.
- Contact ACO for recommendations on draining when using membrane material with Brickslot.

The surface drainage system shall be polymer concrete K100S channel system with the Brickslot grate system as manufactured by ACO Polymer Products, Inc., Chardon, Oh.

Channels will be manufactured from polyester resin polymer concrete.

The channel shall be 4 inches (100mm) nominal inside width with a 5.1 in. (130mm) overall width. All channels shall be interlocking with a male/female joint. Each channel shall have preformed 4 in. (100mm) round drill-outs on the bottom for vertical connection with underground piping.

The Brickslot grating system shall be 0.5 in. (12.7mm) nominal inside width with a 0.7 in. (18mm) overall width at top edge. The Brickslot grating system adds 2.63 in. (67mm) to the overall height of the K100S system.

Channel and Brickslot grating shall withstand loading to Load Class C (DIN 19 580). Brickslot shall be secured using ACO Quicklok. Channel and Brickslot shall be independently certified to meet DIN 19580 load class C.

Polymer Concrete shall have material properties of: compressive strength range between 14,000-14,500 psi; flexural strength between 3600-4500 psi; tensile strength of 1500 psi. The material water absorption rate shall not exceed 0.1% by weight and shall be resistant to prolonged salt exposure, repetitive frost cycles and chemically resistant to dilute acids and alkalis.

The system shall be installed in accordance with the manufacturer's instructions and recommendations.

NOTES:

- It is necessary to ensure the minimum dimensions shown are suitable for the existing ground conditions. Engineering advice may be required.
- A minimum concrete strength of 3000 PSI is recommended. The concrete should be vibrated to eliminate air pockets.
- The finished level of the concrete surround must be approx. 1/8" above the top of the channel edge.
- Refer to ACO's latest installation instructions for complete details.
- Where used within a suspended slab, engineering advice must be sought.
- The paver course adjacent to the channel edge must be fully bonded to the concrete surround.
- The grate shall be Type 445Q - 3/16L stainless steel and all connections shall be stainless steel.

The surface drainage system shall be polymer concrete H0100 Shallow channel system as manufactured by ACO Polymer Products, Inc., Chardon, Oh.

Channels will be manufactured from polyester resin polymer concrete.

The system shall be 4 inches (100mm) nominal inside width with a 6.1 in. (155mm) overall width and 4 inch (100mm) overall depth. All channels shall be interlocking with a male/female joint. Each channel shall have preformed 4 in. (100mm) round drill-outs on the bottom for vertical connection with underground piping.

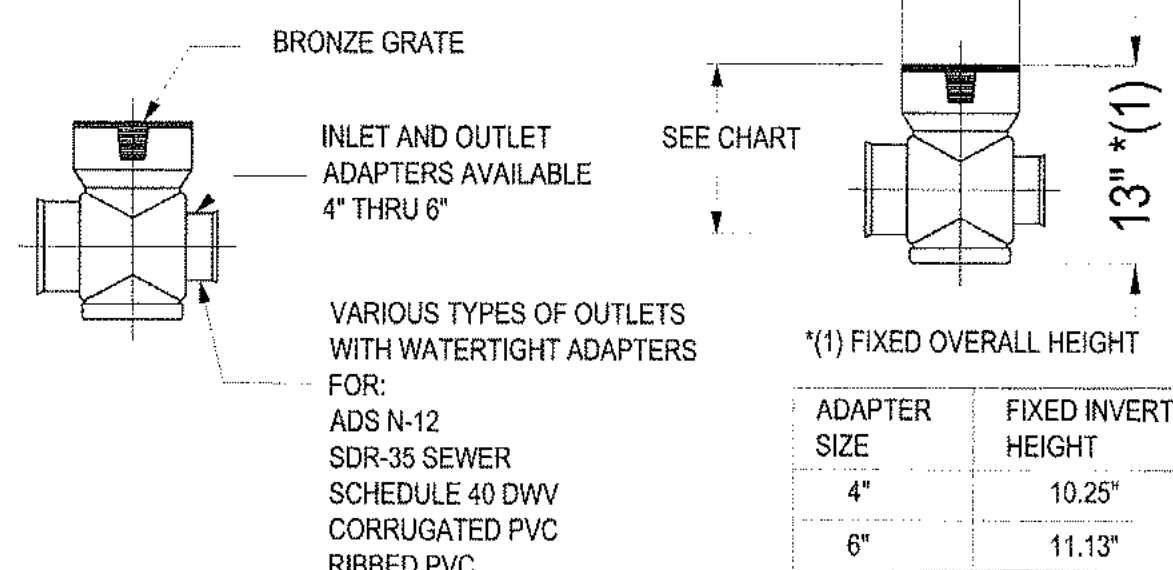
Channel shall withstand loading to Load Class ____ (DIN 19 580). Grates shall be secured using locking bar and bolt. Channel and grate shall be independently certified to meet the specified DIN 19580 load class.

Polymer Concrete shall have material properties of: compressive strength range between 14,000-14,500 psi; flexural strength between 3600-4500 psi; tensile strength of 1500 psi. The material water absorption rate shall not exceed 0.1% by weight and shall be resistant to prolonged salt exposure, repetitive frost cycles and chemically resistant to dilute acids and alkalis.

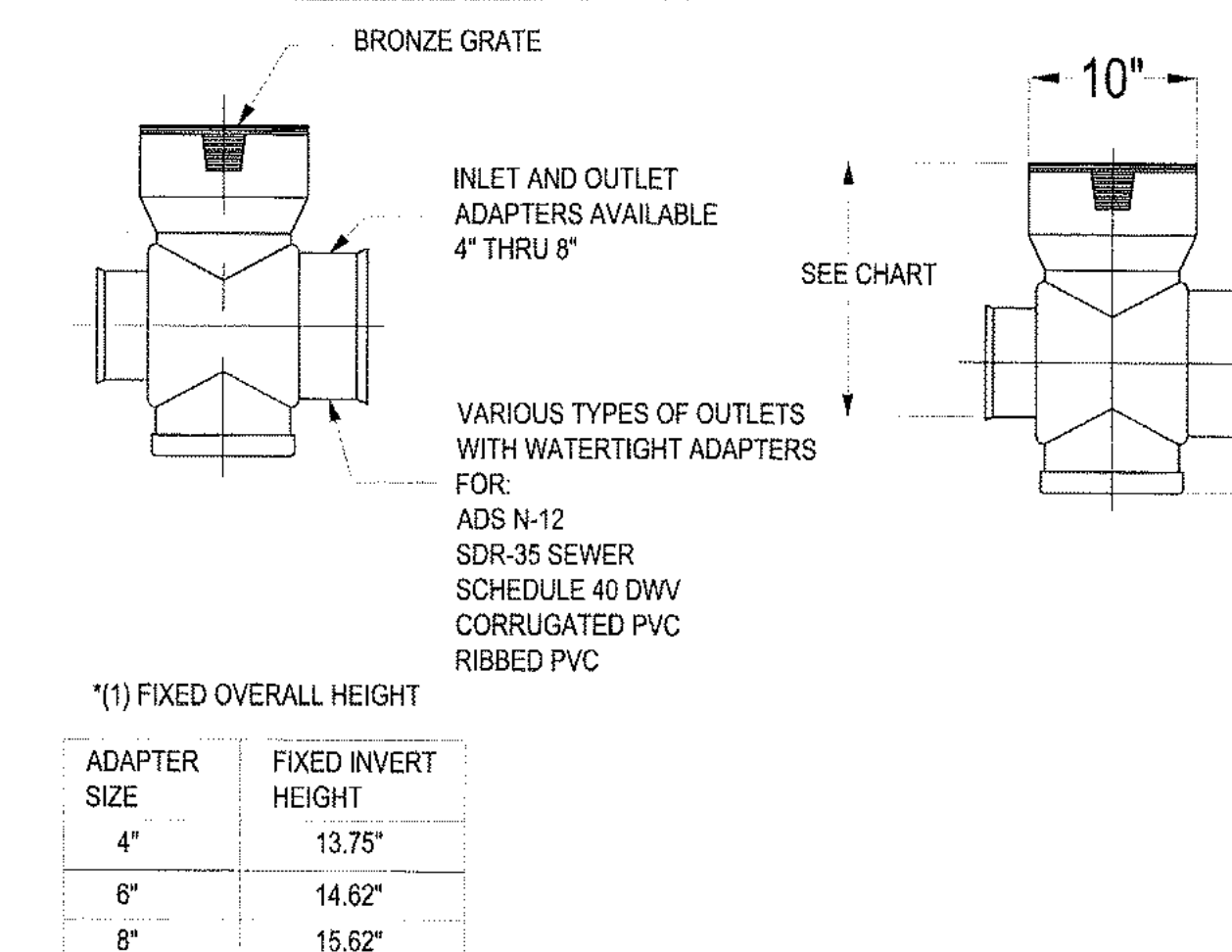
The system shall be installed in accordance with the manufacturer's instructions and recommendations.

*Fill in as required.

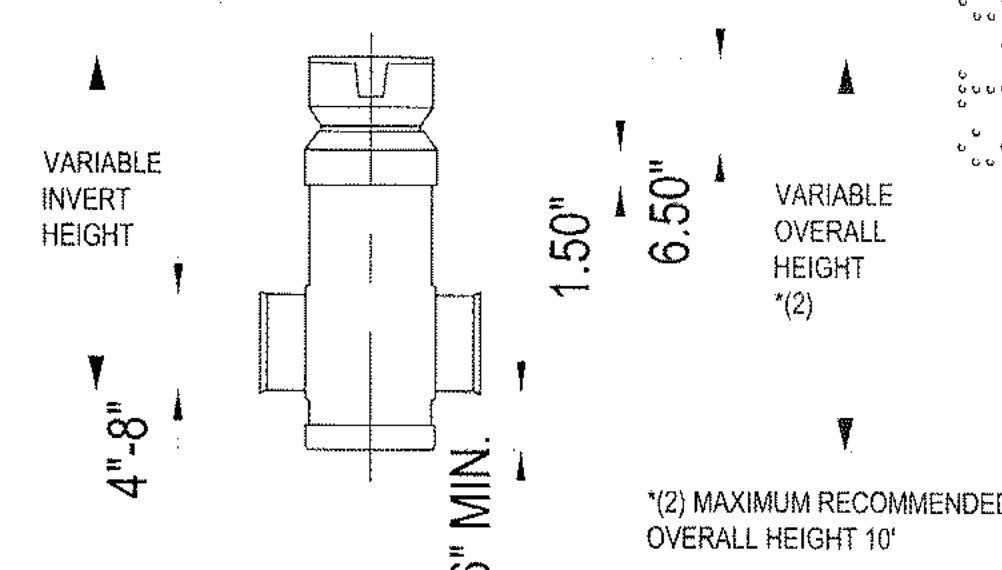
8" STANDARD DRAIN BASIN



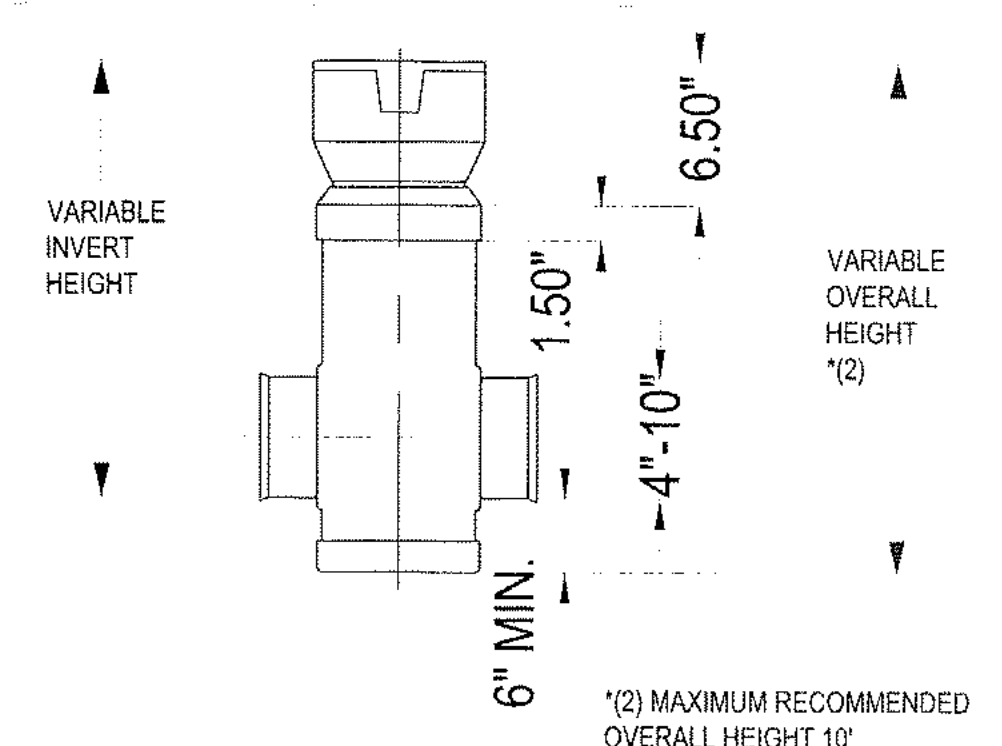
10" STANDARD DRAIN BASIN



8" CUSTOM DRAIN BASIN



10" CUSTOM DRAIN BASIN



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REVIEWER INITIALS	DATE REVIEWED	
BUILDING		
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

CERTIFICATE OF AUTHORIZATION E.B. 7866	COMPANY NAME: GOLD COAST ENGINEERING CONSULTANTS, INC.	LOGO: GCE
SEAL: George Seiler 3-6-13	ADDRESS: 7480 FAIRWAY DRIVE, SUITE 205 MIAMI LAKES, FL 33014 PHONE: (305) 822-9533 FAX: (305) 826-0888	

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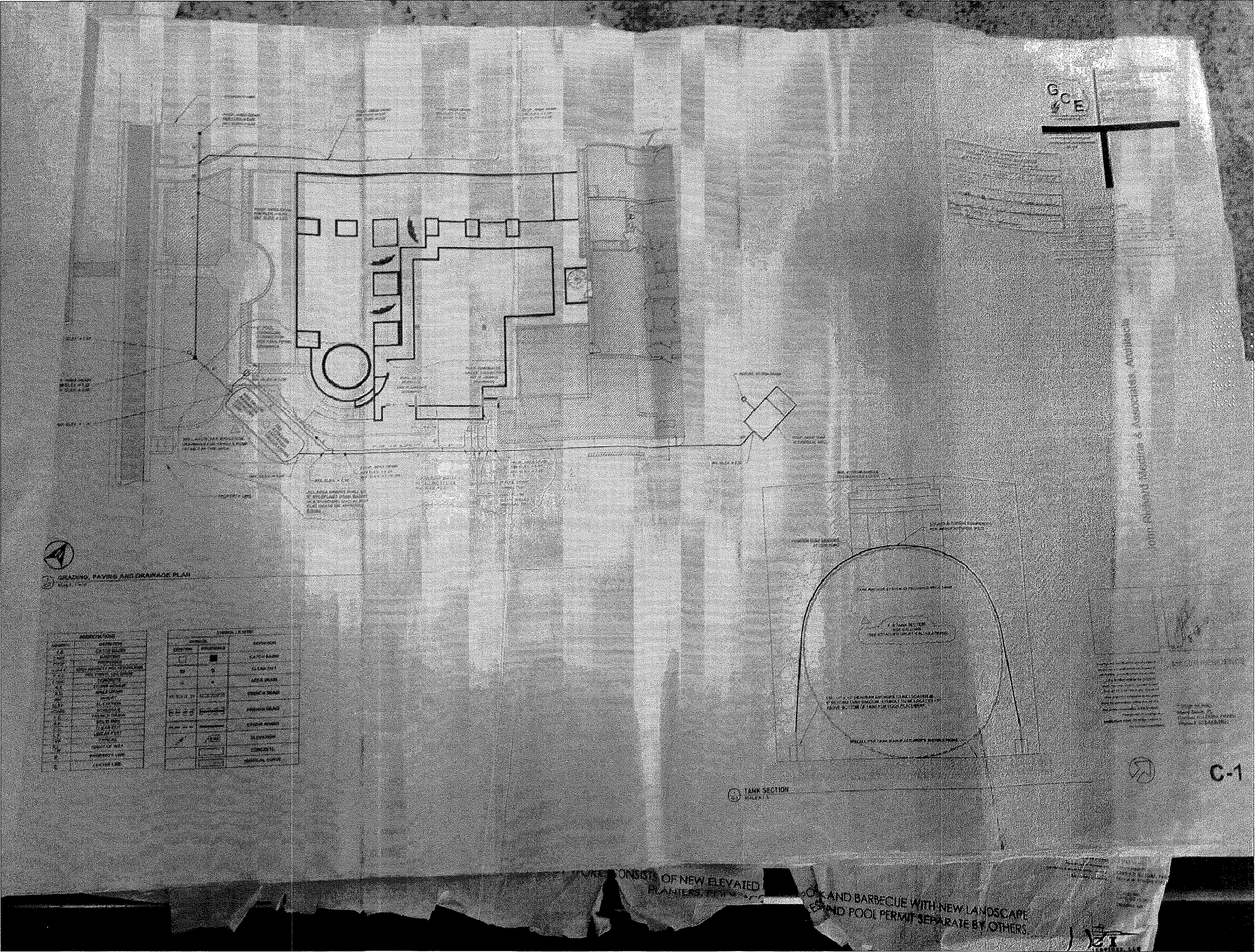
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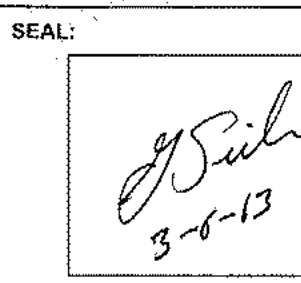
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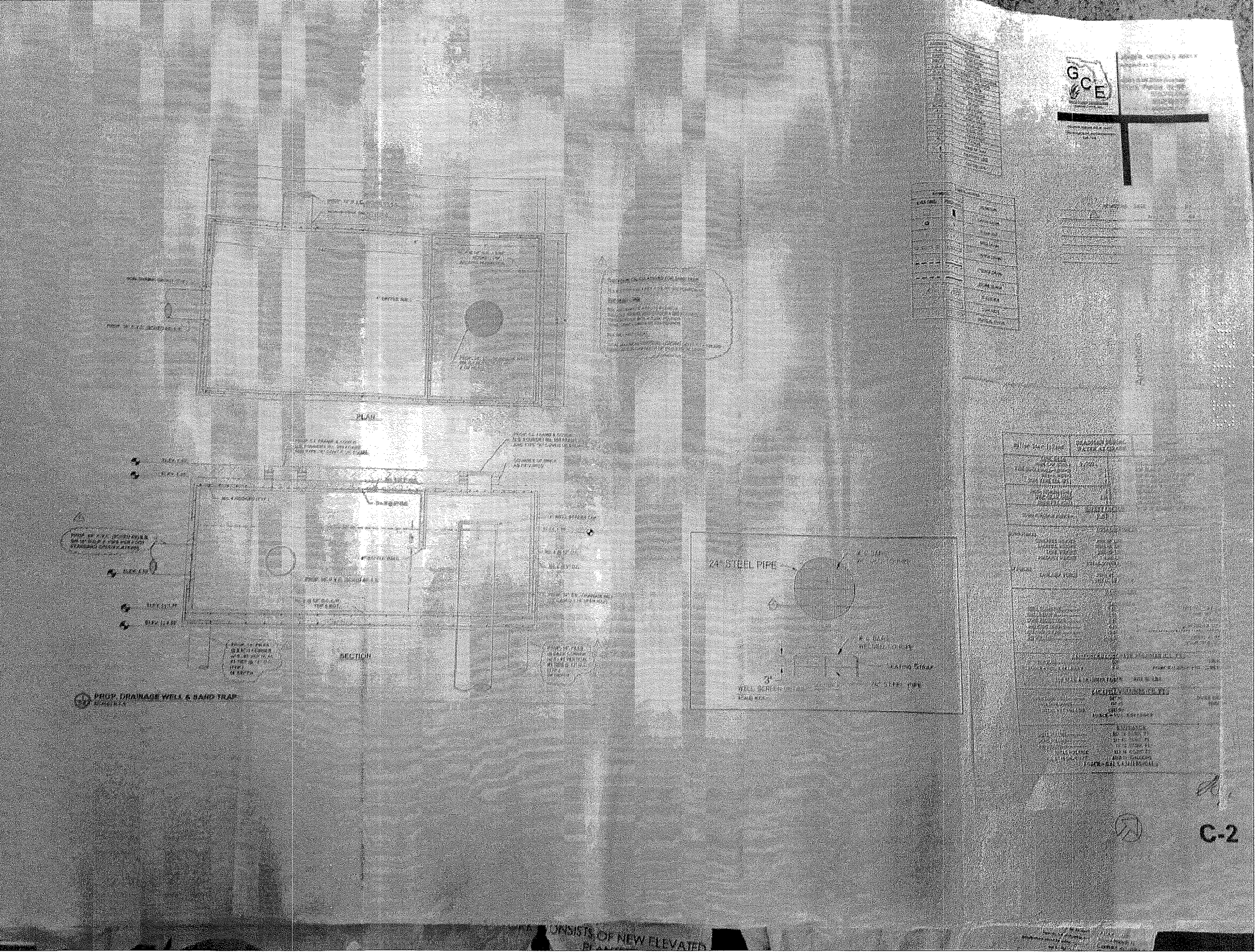
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BUILDING		
STRUCTURAL		
Mechanical		
Electrical		
Plumbing		
Site Work		

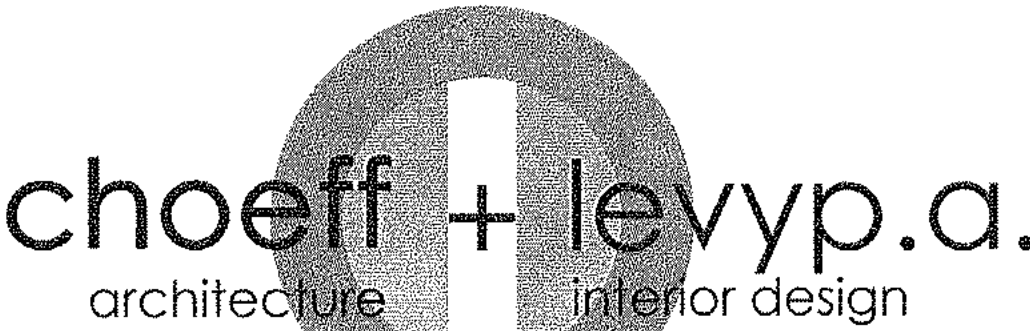
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		REVIEWER NAME DATE 12/28/12 01-05-13			



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