PRIVATE RESIDENCE

5212 N BAY RD MIAMI BEACH, FL 33140

DRB 21-0685 PRESENTATION- 09-10-2021

SCOPE OF WORK:

NEW 2-STORY SINGLE FAMILY RESIDENCE

SEEKING A 4' HEIGHT WAIVER

SEEKING AN ADD. OPEN SPACE - COURTYARD WAIVER

TO REPLACE AN EXISTING PRE-1942 RESIDENCE



A R C H I T E C T

KOBI KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.

571 NW 28TH ST MIAMI, FL 33127
T: 305.573.1818

LANDSCAPE ARCHITECT

CLAD
LANDSCAPE ARCHITECTURE & DESIGN
8020 NE 4TH AVE., STUDIO 113, MIAMI, FL 33138
T: 786.536.6076

ALL DRAWINGS AND WRITTEN SER KARP ALL AND MAY NOT	MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL SE CURTICATED, USED, OR DISCLOSED WITHOUT THE EX- TRANS ARCHITECTURE & BRIEFICOR DESIGN, NC. AA. (1)	AND UNPREUSHED
KDE	EMARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1):	016
ZONING	j	
FINAL DRB 21-	0685 SUBMITTAL	
RESIDEN	ICE	
5212 NORTH B		
MIAMI BEACH,	FLORIDA 33140	
Owner:		
PRIVATE RESIDEN	26	
PRIVATE RESIDEN	CE	
Consultant:	CE	
Consultant: Name	CE	
Consultant: Name Address Address	CE	
Consultant: Name Address	DE .	
Consultant: Name Address Address Tet: Email	DE .	
Consultant: Name Address Address Tel: Email Consultant: Name	CE	
Consultant: Name Address Address Tel: Email Consultant: Name Address Address	CE .	
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Consultant: Name Address Address Tel Email Consultant: Name Address Address Address Email Landscape Architect Action Architect 4th Ave. S Miamin, Ft. 333 Tel: +1(786) 536 607 Architect of Record	obt: chitecture & Design uite 113 f6	
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Consultant: Name Address Address Tel Email Consultant: Name Address Address Address Email Landscape Architect Action Architect 4th Ave. S Miamin, Ft. 333 Tel: +1(786) 536 607 Architect of Record	obt: chitecture & Design viile 113 76 76	

SLIDE 1

A0.00

COVER

SKETCH OF BOUNDARY SURVEY BAY 150.60'MER) BISCAME 12:88: TREE LIST COCOS NUCIFERA 1-4 COCONUT C 5-7 NOT ON SURVEY SITE G.—32 PYDMY DATE PALM PHORMX ROBERLENI 5 15' 8' 35-42 CHINESE PALM SYARAUS ROMANZOFFINA 11 20' 12' 8' 4.3 PYDMY DNE PRAM (DOUBLE) PHOENX ROBERLENI 4.5 12' 8' 12' 8' 14-46 CHINESE PALM SYARRUS ROMANZOFFINA 11 30' 12' 8' 18-51 DUEEN PALM SYARRUS ROMANZOFFINA 8.0 30' 12' 12' 5' 5.5 BIVER TIEMPET TREE PRESEA MERICANM 8.0 12' 12' 15' 18' 1 5-59 CHINESE PALM SYAGRUS ROMANIZOFIANA D AVOCADO TREE PERSEA AMERICANA 1 MANGO TREE MANGIFERA INDICA 2 CANARY DATE PALM PHCENIX CANARIENSIS SYAGRUS ROMANZOFFIANA 82 SABAL PALM SABAL PALMETTO 85-86 Sahu, Palm Sable Palmetto 12 30° 87 AVOCADO TEE PRESEA AMERICANA 4,7 23' 88 SAPOBILA MANILKARA ZAPTOA 5,12 20° 99 MAMEY TREE POLIFRIRI SAPOTO 7,5 20° 90 TRAVELER'S PALM RAVISNILA BANGANSCARIENSIS CLUSTER 30° 91 SCERWIPME PANANUS SSP. 7,0 20° 92-93 SEGRAPE COCCULORA LIVIERRA 5,10 20° 94 PURSEN PARAMERIS SOLITIERRA 5,10 20° SYAGRUS ROMANZOFFIANA 8.0 25' 10' 96 NOT ON SURVEY SITE | 97 | QUEEN FALM | SYARRUS ROMAYZOFFIANA | 8.0 | 98-99 | QUEEN PALM | SYARRUS ROMAYZOFFIANA | 8.0 | 100 | PINK TRUMPET TREE | TRBEBUA HETEROPHYLLA | 4.0 | 101-102 | LIVE | CTRUS SPP | 3.5 | 103 | STRAWBERRY GUANA | PSIDUM CATILENAUM | 8.0 | 104 | JAVA PLUM | SYZYGIUM CUMINI | 2.0 | 105 | PYGMY DATE PALM | PHIPONX ROBEBLENII | 5 | 106 | ARECA PALM | DYPSIS LUTESCENS | 5 CLUSTE | 107 | ARECA PALM | DYPSIS LUTESCENS | 5 CLUSTE | 108 | STRAW | STRAW | STRAW | 5 | 109 | CLUSTE | STRAW | STRAW | 5 | 100 | CLUSTE | STRAW | STRAW | 5 | 100 | CLUSTE | STRAW | STRAW | 5 | 100 | CLUSTE | STRAW | STRAW | 5 | 100 | CLUSTE | STRAW | STRAW | 5 | 100 | CLUSTE | STRAW | STRAW | 5 | 100 | CLUSTE | STRAW | STRAW | 5 | 100 | CLUSTE | STRAW | STRAW | 5 | 100 | STRAW LB 6683

LOCATION MAP



SITE PICTURE



ABREVIATION (IF ANY APPLIED)

— •	OUNDARY LINE		CATCH BASIN
	TRUCTURE (BLDG.)	0	MANHOLE
-	ONCRETE BLOCK WALL	0.E.	OVERHEAD ELEC
- 1	IETAL FENCE	9	POWER POLE
v	VOODEN FENCE	0	LIGHT POLE
	HAIN LINK FENCE		HANDICAP SPACE
7////2 V	VOOD DECK/DOCK		HANDICAP SPACE
A	SPHALTED AREAS	d	FIRE HYDRANT
7 . (ONCRETE -		EASEMENT LINE
XXX B	RICKS OR PAVERS	1	WATER VALVE
>== R	OOFED AREAS	tv	TV-CABLE BOX
Star V	VATER (EDGE OF WATER	MW (5	WATER METER CONC. LIGHT PO

CERTIFIED TO : BART REINES

① THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE"
OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. 120651-0309L, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. BASE FLOOD ELEVATION OF 8.00 FEET (NGVD)

LAND AREA OF SUBJECT PROPERTY: 27,334 SF (+/-)

ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI-DADE COUNTY BENCH MARK No. D-133, WITH AN

♠ BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF S.00°43'27"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF ALTON ROAD., AS SHOWN ON PLAT BOOK 14 AT PAGE 43 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:
NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACQURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, AROVE GROUND ENCROACHMENTS (A) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES. STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT, IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC

ACCURACY OF $\frac{1}{10}$ FOOT FOR NATURAL GROUND SURFACES AND $\frac{1}{100}$ FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES. THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 51-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE, IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LOTS 21 AND 22, BLOCK 14, OF LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14 AT PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

SITE ADDRESS: 5212 N BAY ROAD, MIAMI BEACH, FL. 33140 JOB NUMBER: 20-834 DATE OF SURVEY: SEPTEMBER 6, 2020 / MAY 3, 2021 (UPDATE) FOLIO NUMBER: 02-3215-003-1940

ENCROACHMENTS AND OTHER POINTS OF INTEREST -THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY -THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1) -THERE IS A 6' UTIL, EASEMENT ON THE SIDE OF THE SUBJECT PROPERTY



WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINSTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FO THE FLORIDA STATUTES.

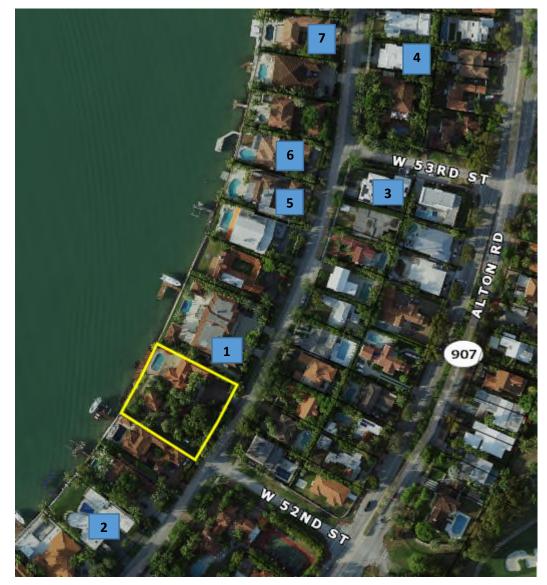


American Services of Miami, Corp. Consulting Engineers . Planners . Surveyors

> 3195 PONCE DE LEON BLVD, SUITE 200 CORAL GABLES, FL 33134 PHONE: (305)598-5101 FAX: (305)598-8627

Ed *Pino PROFESSIONAL LAND SURVEYOR STATE OF FLORIDA

Neighbor Support 5212 North Bay Road DRB21-0685



1.	5222 N Bay Road	Oscar Feldenkreis		
2.	5160 N Bay Road	Alberto Eiber		
3.	5251 N Bay Road	David Kaiserman		
4.	5327 N Bay Road	David Deshe		
5.	5242 N Bay Road	Andrew Pollack		
6.	5244 N Bay Road	Richard Postrel		
7.	5328 N Bay Road	Kobi Karp		
8.*	4350 N Bay Road	David Deshe		
9.*	4750 N Bay Road	Kobi Karp		
10.*	4715 N Bay Road	Kobi Karp		
11.*	4645 N Bay Road	Kobi Karp		
12.*	4565 N Bay Road	Kobi Karp		
*Nearby property not shown on aerial				

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: DRB21-0685 - Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of the property located at 5222 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

Signature – Oscar Feldenkreis

Date

Design Review Board Members c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re:	DRB21-0685 – Single-Family Home at 5212 N. Bay Road, Miami Beach Letter	
	Support	of

Dear Board Members:

I am the owner of the property located at 5160 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

Signature - Alberto Eiber

Date SIII DO W

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re:

DRB21-0685 - Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of the property located at 5251 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

Signature – David Kaiserman

Date

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of the property located at 5327 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

Signature – David Desh

7-18-21

Sept. 3rd, 2021

Design Review Board Members c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re DRB21-0685 - Single-Family Home at 5212 N. Bay Road, Miami Beach Letter of Support

Dear Board Members:

I am the owner of 5242 North Boy Road Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated walver requests.

Sincerely,

1

Andrew Pollack

Print name

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of <u>5244 North Bay Road, Miami Beach, Florida</u>, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

| Docusigned by:
| Kichard Postrul
| Docusigned by:
| Richard Postrul
| Docusigned by:
| Docusigned by:
| Richard Postrul
| Docusigned by:
| Docusigned by:
| Richard Postrul
| Docusigned by:

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of 5328 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

DF0AE1D0085441E...

Signature

Kobi Karp

Print name

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of the property located at 4350 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

Signature – David Deshe

7<u>-18-21</u>

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of <u>4750 North Bay Road, Miami Beach, Florida</u>, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

Signature

Kobi Karp

Print name

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of 4715 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Signature

Kobi Karp
Print name

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of 4645 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,		
	DocuSigned by:	
Signature	DF0AE1D9985441E	
Kobi Karp		
Print name		

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning Planning Department City of Miami Beach 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach

Letter of Support

Dear Board Members:

I am the owner of <u>4565 North Bay Road, Miami Beach, Florida</u>, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

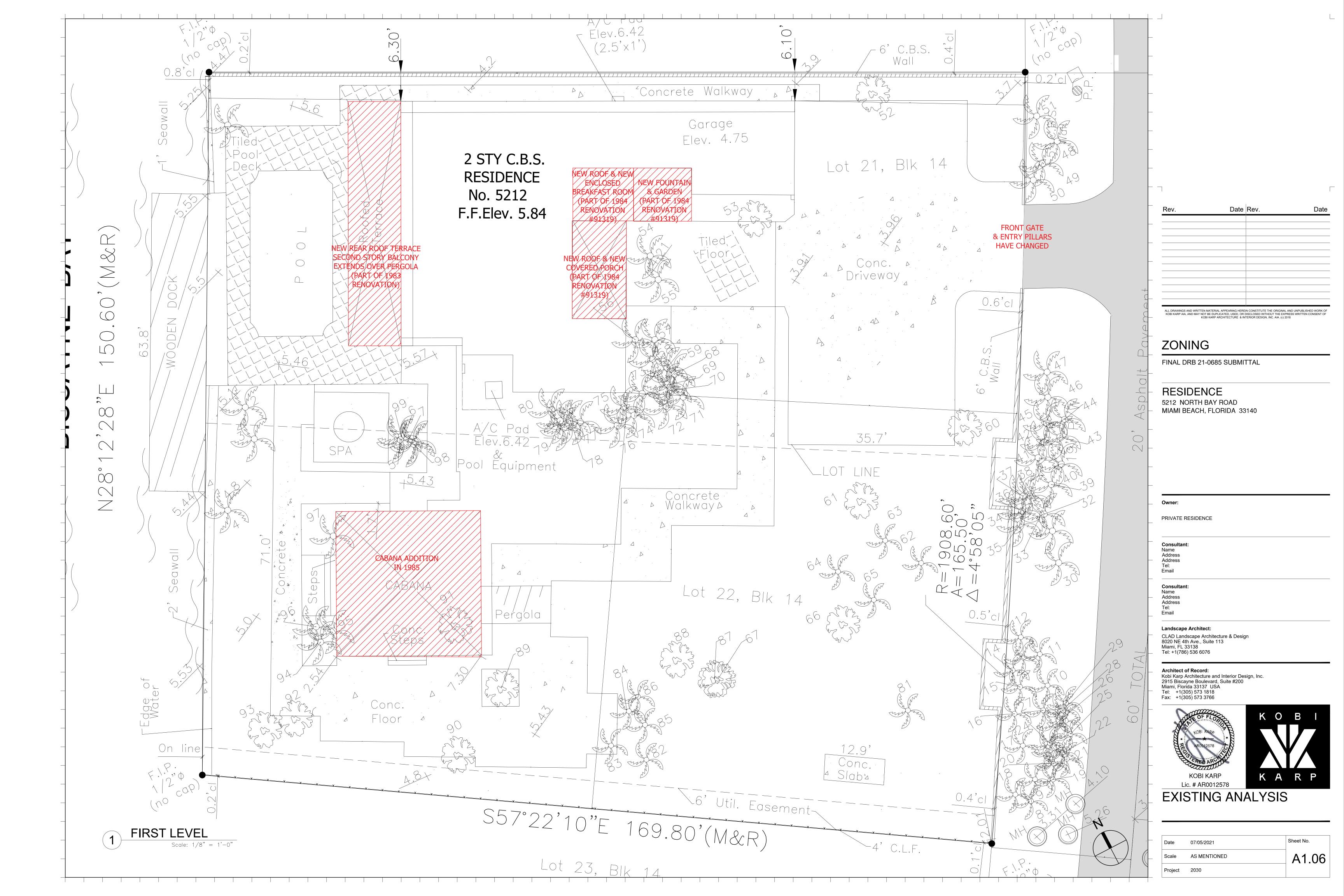
Sincerely,

DocuSigned by:

DFOAE1D9985441E...

Kobi Karp

Print name





CURRENT DAY PHOTO



TO ADD COVERED PORCH, BREAKFAST ROOM, FOUNTAIN/GARDEN



CURRENT DAY PHOTO



1985 PHOTO OF CABANA UNDER CONSTRUCTION



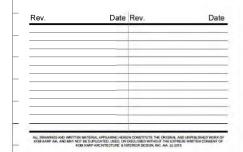
CURRENT DAY PHOTO



1965 PHOTO Scale: N.T.S



3 1985 RENOVATION PHOTO



ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

Owner:

PRIVATE RESIDENCE

Landscape Architect:

CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tel: +1(786) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Bisayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP Lic. # AR0012578



EXISTING ANALYSIS SLIDE 11

Sheet No. 07/05/2021 Scale AS MENTIONED A1.06A





CURRENT DAY PHOTO *TODAY SECOND STORY BALCONY EXTENDS OVER THE PERGOLA

1983 PHOTO OF WOOD PERGOLA WITHOUT SECOND STORY BALCONY



CURRENT DAY PHOTO



CURRENT DAY PHOTO



1972 PHOTO OF METAL AWNING AND A WHITE POURED CONCRETE PATIO



ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

Owner:

PRIVATE RESIDENCE

Landscape Architect:

CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tel: +1(786) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Bisayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



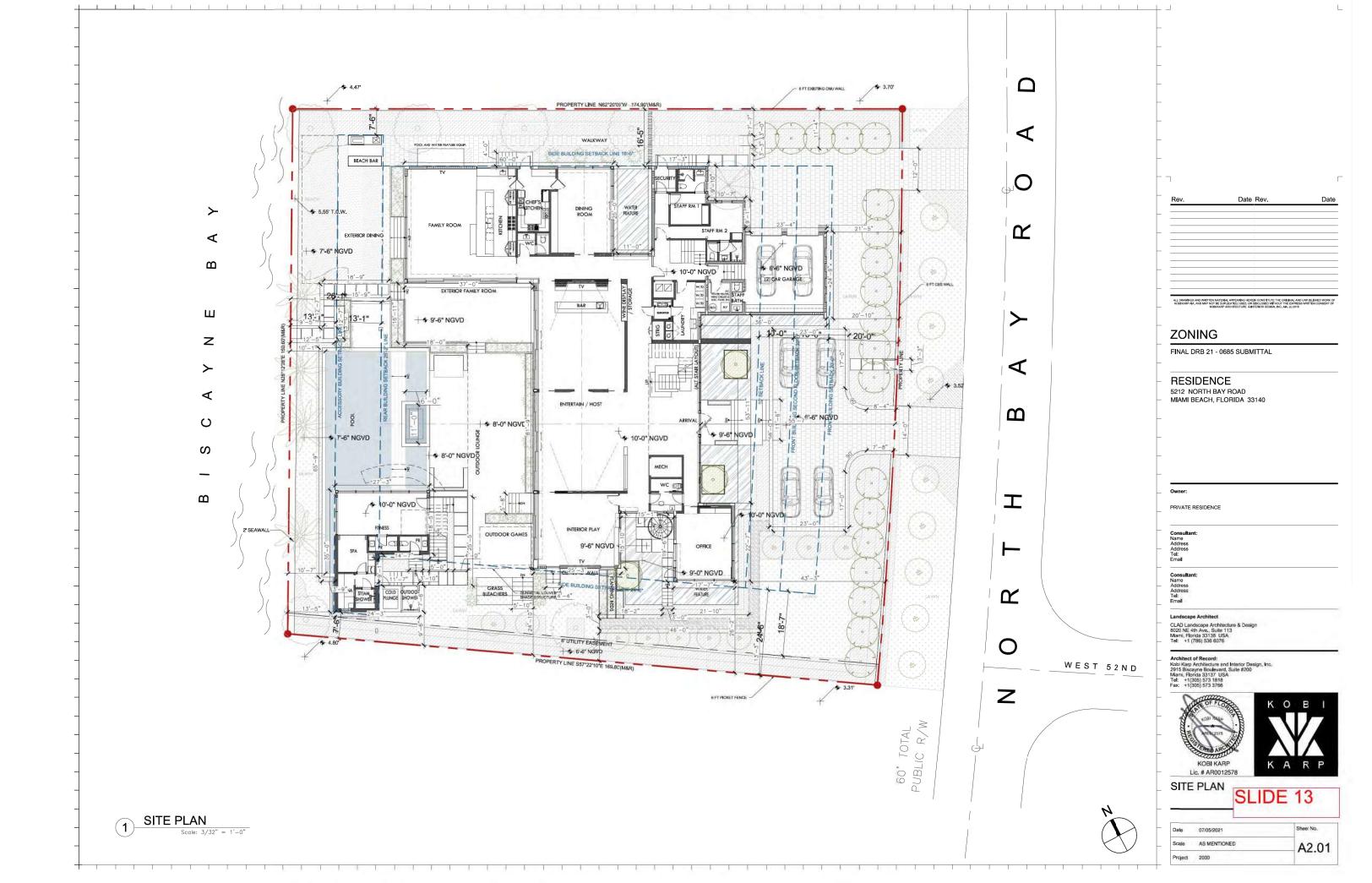


KOBI KARP Lic. # AR0012578

EXISTING ANALYSIS
SLIDE 12

Sheet No. 07/05/2021 Scale AS MENTIONED A1.06B









5212 NORTH BAY ROAD RESIDENCE

MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

CLAD 8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Carolina Digitally signed by Carolina Monteiro Date: 2021.07.01

CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

OVERALL SITE PLAN

© 2021 CLAD, LLC

REVISIONS:

DRB 1ST SUBMITTAL 06/14/21
DRB FINAL SUBMITTAL 07/CS/21

DATE

SCALE: 1/32" = 1'-0"





Rev.	Date	Rev.	Date
_			

ALL CRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPIRE, ISHED WORK OF BIDD KARP AM, AND MY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & NTERIOR DESIGN, INC. AM, (c) 2018

ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

PRIVATE RESIDENCE

Landscape Architect:

CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tet: +1(788) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayer Boulevard. Suite #200
Mlami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





KOBI KARP Lic. # AR0012578

RENDERING SLIDE 15

Date 07/05/2021 A6.01 Scale AS MENTIONED

1 FRONT RENDERING



ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

PRIVATE RESIDENCE

Landscape Architect:

CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tet +1(788) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscaye Boulevard. Suite #200
Mismi, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





KOBI KARP Lic. # AR0012578

RENDERING

SLIDE 16

Date 07/05/2021 A6.02 Scale AS MENTIONED

1 REAR RENDERING











REAR ELEVATION - WEST

ELEVATION MATERIAL Legend

















BOARD FORM CONCRETE



9. PAINTED

SMOOTH STUCCO WHITE



KOBI KARP

Lic. # AR0012578 RENDERED ELEVATION SLIDE 20

Date 07/05/2021 Scale AS MENTIONED A4.04 Project 2030

Date Rev.

3. ARCHITECTURAL 4. TRAVERTINE LOUVERS



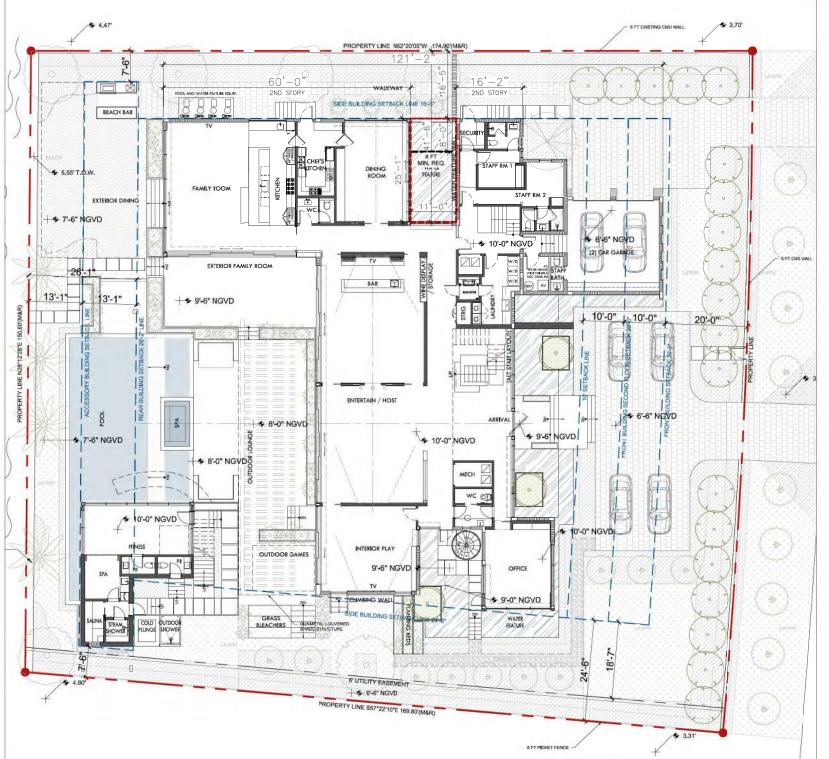


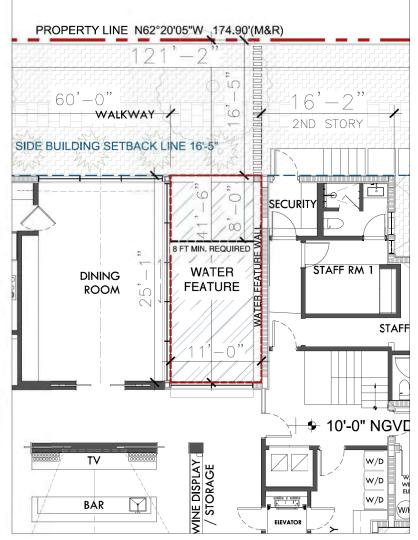
7. GUNMETAL FRAME GLAZING SYSTEM



A4.05

Date Rev.

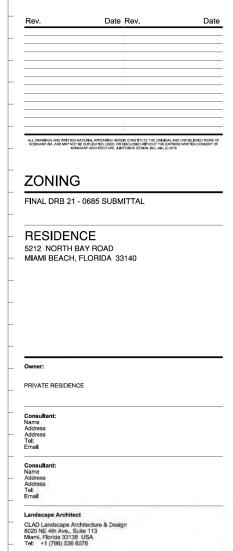




COURTYARD WAIVER DIAGRAM

COURTYARD COMPLETELY OPEN TO SKY

COURTYARD AREA = 276 SF (3% OF LOT COVERAGE) WATER FEATURE = 243 SF (88% OF COURTAYRD) HARDSCAPE = 33 SF (12% OF COURTYARD)



Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Bissayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 373 3766

Lic. # AR0012578

Date 07/05/2021

Scale AS MENTIONED

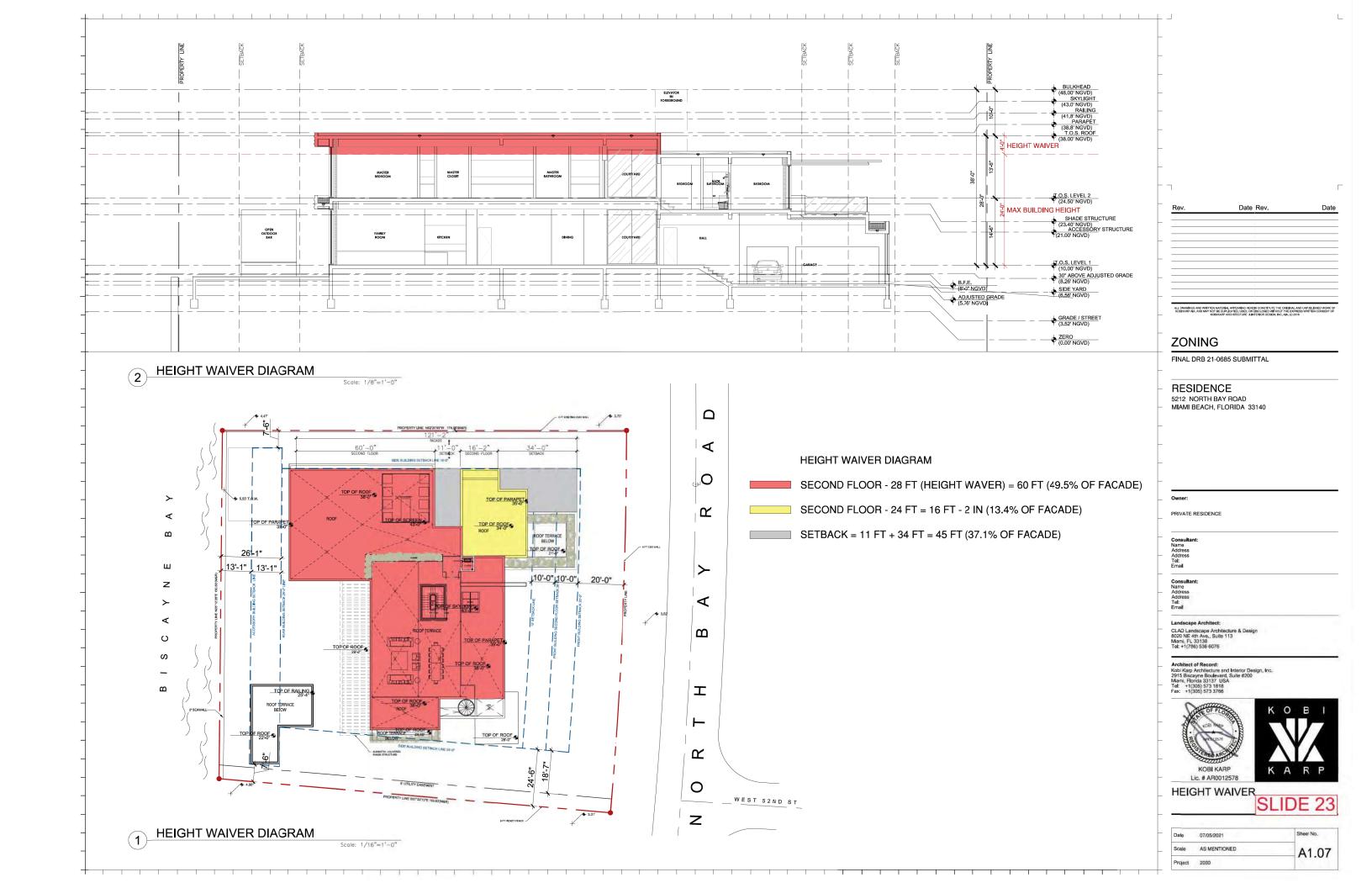
COURTYARD WAIVER
SLIDE 22

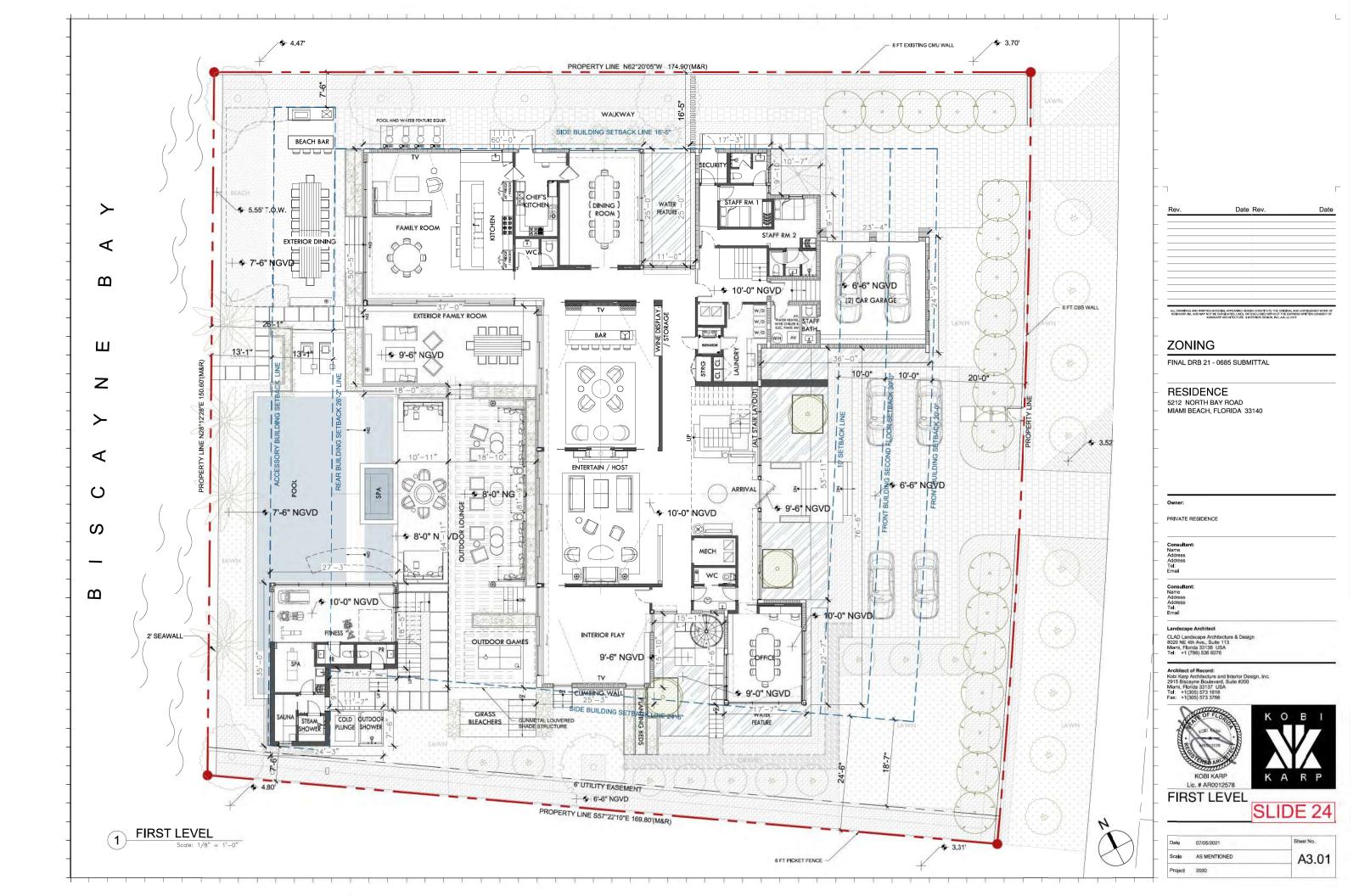
A1.08

1) SITE PLAN - COURTYARD DIAGRAM
Scale: 3/32" = 1'-0"

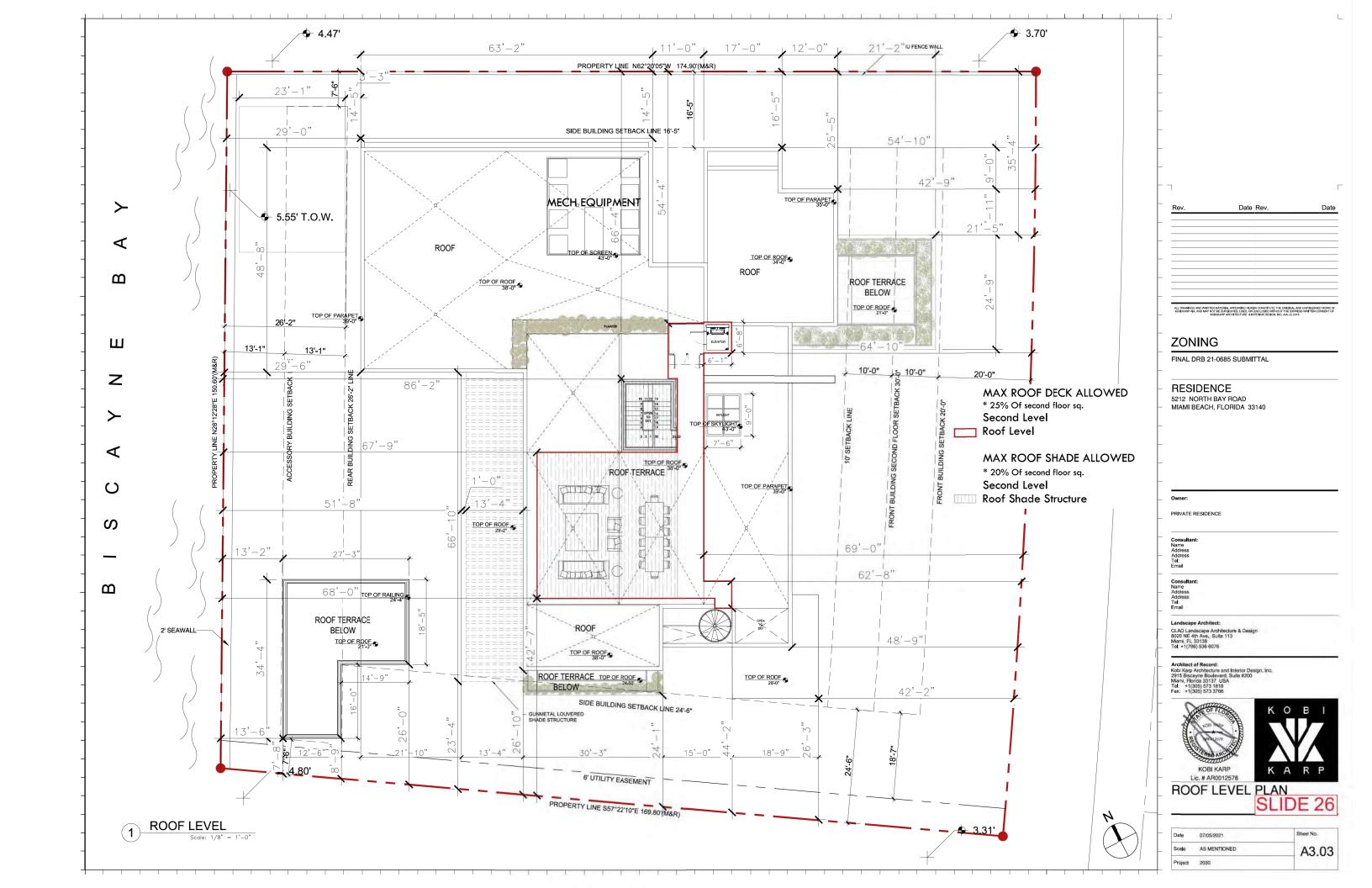
2 ZOOM IN - COURTYARD
Scale: 3/16" = 1'-0"













Date Rev.

ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

PRIVATE RESIDENCE

Landscape Architect: CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tet: +1(788) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayer Boulevard. Suite #200
Mlami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





AXONOMETRIC RENDERING SLIDE 27

Date 07/05/2021 A7.01 Scale AS MENTIONED



Rev.	Date	Rev.	Date
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ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

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CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tet: +1(788) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscapne Boulevard, Suite #200
Miami, Florida 33137 USA
Tot: +1(305) 573 1818
Fax: +1(305) 573 3766







AXONOMETRIC RENDERING SLIDE 28

Date 07/05/2021 A7.02 Scale AS MENTIONED



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RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

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CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tet: +1(788) 536 6076

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Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayer Boulevard. Suite #200
Mlami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



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RENDERING

SLIDE 29

Date 07/05/2021 A6.01 Scale AS MENTIONED



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ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

Owner

PRIVATE RESIDENCE

Consul Name Address Address

> Consulta Name Address Address

Landscape Architect:

CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tet +1(786) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP Lic. # AR0012578 K A R P

RENDERING

SLIDE 30

1 REAR RENDERING
Scole: N.T.S









Planning Department, 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information		S GUILLE CO.	
1	Address:	5212 NORTH BAY ROA	D, MIAMI, FL 33140	
2	Folio number(s):	02-3215-003-1940		
3	Board and file numbers :	DRB 21-0685		
4	Year built:	1929	Zoning District:	RS-3
5	Base Flood Elevation:	8'-0" NGVD	Grade value in NGVD:	3.52' NGVD
6	Adjusted grade (Flood+Grade/2):	5.76' NGVD	Free board:	+2.00' NGVD (10'-0" NGVD)
7	Lot Area:	27,334 SF		
8	Lot width:	163-9"	Lot Depth:	174'-0"
9	Max Lot Coverage SF and %:	8,200 SF (30%)	Proposed Lot Coverage SF and %:	8,200 SF (30%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	2,203 SF (67%)	Rear Yard Open Space SF and %:	2,982 SF (75%)
12	Max Unit Size SF and %:	13,667 SF (50%)	Proposed Unit Size SF and %:	13,626 SF (50%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	8,200 SF (30%)
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	N/A PER ORDINANCE 2020-4359
15			Proposed Second Floor Unit Size SF and % :	5,836 SF (21%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	90 SF (0.3%)

	Zoning Information / Calculations	Required	Existing	Proposed	Deficiencies
17	Height:	24'- FLAT ROOFS		28'-0"	4' HEIGHT WAIVER
18	Setbacks:				
19	Front First level:	20'-0"		21'-5"	
20	Front Second level:	30'-0"		42'-9"	
21	Side 1:	16'-5" MIN.		16'-5"	
22	Side 2 or (facing street):	24'-6 1/4" MIN.		24'-10"	
23	Rear:	26'-2"		29'-0"	
	Accessory Structure Side 1: NORTH	7'-6"		7'-7"	
24	Accessory Structure Side 2 or (facing street) : SOUTH	7'-6"		8'-9"	
25	Accessory Structure Rear:	13'-0"		13'-6"	
26	Sum of side yard :	40'-11 1/4" (25% of Lot Width)		41'-3" (26% of Lot Width)	
27	Located within a Local Historic District?			Yes or No	D
28	Designated as an individual Historic Single	Family Residence Site?		Yes or No	D
29	Determined to be Architecturally Significa	nt?		Yes or No	D
	Additional data or information must be pr	esented in the format outlined	in this section		

Notes:

If not applicable write N/A

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN HEIGHT OF 2'-0" AND 8'-0" ABOVE AVERAGE GRADE (5.935' N.G.V.D) MEASURED AT THE DRIVEWAY OR AT THE TRIANGLE OF VISIBILITY AND INTERSECTION.

THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE CANAL.

SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH SECTION R4101.17.1.1 THROUGH R4101.17.1.14 OF THE FLORIDA BUILDING CODE, 2010 RESIDENTIAL. POOL, EQUIPMENT AND POOL BARRIER ARE UNDER A SEPARATE PERMIT.

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A0.03	EXISTING STRUCTURES
A0.04	EXISTING STRUCTURES
A0.05	EXISTING STRUCTURES
A0.06	EXISTING STRUCTURES
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A1.03	ZONING DIAGRAMS - UNIT SIZE REQUIREMENTS
A1.04	ZONING DIAGRAMS - UNIT SIZE REQUIREMENTS
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A7.02	AXONOMETRIC RENDERING

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lame didress et et email andscape Architect: LAD Landscape Architecture & Design 020 Net 4th Ave., Suite 113 filam., FL 33138 et +1(788) 536 6076 vorhitect of Record: 00h Karp Architecture and Interior Design, Inc. 919 58 Becayne Boulevard, Suite #200 flam., Florids 33137 USA et +1(305) 573 8186 ax: +1(305) 573 8766	Email			
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andscape Architect: LAD Landscape Architecture & Design 2020 NE 4th Ave., Sulte 113 Idami, FL 33138 et. +1(788) 536 6076 Architect of Record: cobi Karp Architecture and Interior Design, Inc. 919 Siscayene Boulevard, Sulte #200 Idami, Florida 33137 USA et. +1(305) 573 1816 ax. +1(305) 573 3766	Address			
ALD Landscape Architecture & Design 202 Net 4th Ave., Suite 113 flam, FL 33138 et +1(788) 536 6076 Architect of Record: obl Karp Architecture and Interior Design, Inc. 915 Baccyne Boulevard, Suite #200 flam, Florids 33137 USA et +1(305) 573 8166 ax: +1(305) 573 3766	Tel: Email			
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cobi Karp Architecture and Interior Design, Inc. 9915 Biscayne Boulevard, Suite #200 Ilami, Florida 33137 USA et +1(305) 573 1818 ax: +1(305) 573 3796	Tel: +1(786) 536 6076	3		
cobi Karp Architecture and Interior Design, Inc. 9915 Biscayne Boulevard, Suite #200 Ilami, Florida 33137 USA et +1(305) 573 1818 ax: +1(305) 573 3796	Architect of Record:			
No. of the second	Vohi Mass Asshitantus	and Interior Do	sign, Inc.	
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ZONING DATA

Sheet No.

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Date 07/05/2021

Project 2030

Scale AS MENTIONED



LOCATION MAP

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AERIAL VIEW

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FINAL DRB 21-0685 SUBMITTAL

RESIDENCE

5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

PRIVATE RESIDENCE

Consultant: Name Address Address Tel: Email

Consultant: Name Address Address Tel: Email

Landscape Architect: CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Mami, FL 33138 Tel: +1(788) 536 8076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





LOCATION

Date 07/05/2021 A0.02



LOCATION MAP

N.T.S



1 5222 N BAY RD



SITE

Scale N.T.S



2 5226 N BAY RD

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PROJECT SITE Exist. Structures

			Sheet No.
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	Project	2030	



LOCATION MAP

N.T.S







5235 N BAY RD

N.T.S

5 5235 N BAY RD

N.T.S

ZONING

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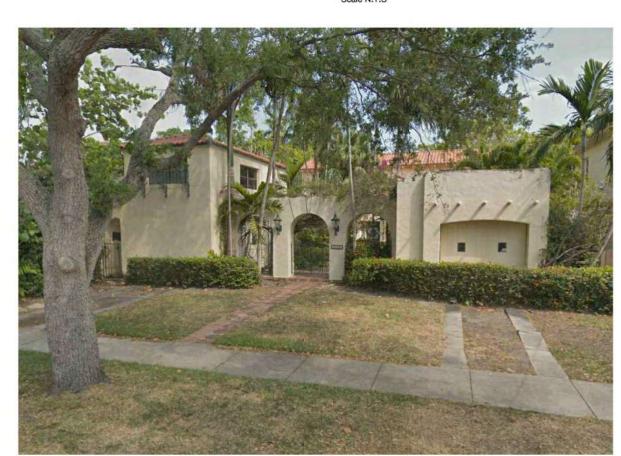
PROJECT SITE Exist. Structures

Date 07/05/2021 A0.04 Scale AS MENTIONED



LOCATION MAP

N.T.S







6 5223 N BAY RD

N.T.S



8 5215 N BAY RD

N.T.S

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PROJECT SITE Exist. Structures

Date 07/05/2021 A0.05 Scale AS MENTIONED



LOCATION MAP

N.T.S







5201 N BAY RD

N.T.S



N.T.S

Rev.	Date	Rev.	Date

ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

	-
-	Own

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PROJECT SITE Exist. Structures

Date 07/05/2021 A0.06 Scale AS MENTIONED





N.T.S

N BAY RD - SOUTH STREET VIEW



12 5201 N BAY RD



N.T.S

N.T.S

W 52 ND ST - STREET VIEW

ZONING FINAL DRB 21-0685 SUBMITTAL RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

Date Rev.

-		
-	Owner:	
_	PRIVATE RESIDENCE	
-	Consultant:	
	Name Address	
	Address Tel:	
	Email	
	Consultant:	
	Name	
-	Address	
	Address Tel:	
	Email	
	Landscape Architect:	
-	CLAD Landscape Architecture & Design	





PROJECT SITE Exist. Structures

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.07
Project	2030	



LOCATION MAP

Scale N.T.S



16 WATERFRONT VIEW N.T.S



N BAY RD - NORTH STREET VIEW

Rev.	Date	Rev.	Dat

ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

PRIVATE RESIDENCE

Landscape Architect: CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Miami, FL 33138 Tet: *1(788) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



Lic. # AR0012578



PROJECT SITE Exist. Structures

Date 07/05/2021 80.0A Scale AS MENTIONED



LOCATION MAP

N.T.S







A1 FRONT ELEVATION

N.T.S

B REAR ELEVATION

N.T.S

Date Rev.

ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

PRIVATE RESIDENCE

Consultant: Name Address Address Tel: Email

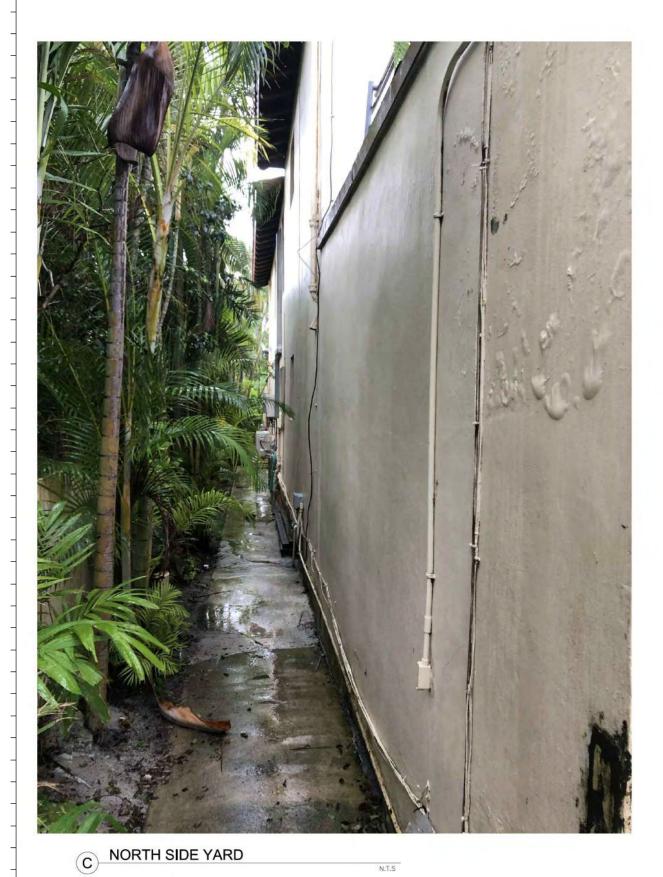
Landscape Architect: CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Mami, FL 33138 Tel: +1(788) 536 8076

KOBI KARP Lic. # AR0012578



PROJECT SITE Exist. Site

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.09
Project	2030	





NORTH SIDE YARD	
U	N.T.S

Rev.	Date	rev.	
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PROJECT SITE Exist. Site

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.10
Project	2030	



E1 PERGOLA

N.T.S

N.T.S



E3 PATIO



E2 CABANA

N.T.S



SPA / CABANA

N,T.S

Rev.	Date	Rev.	Date
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FINAL DRB 21-0685 SUBMITTAL

RESIDENCE 5212 NORTH BAY ROAD MIAMI BEACH, FLORIDA 33140

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PRIVATE RESIDENCE

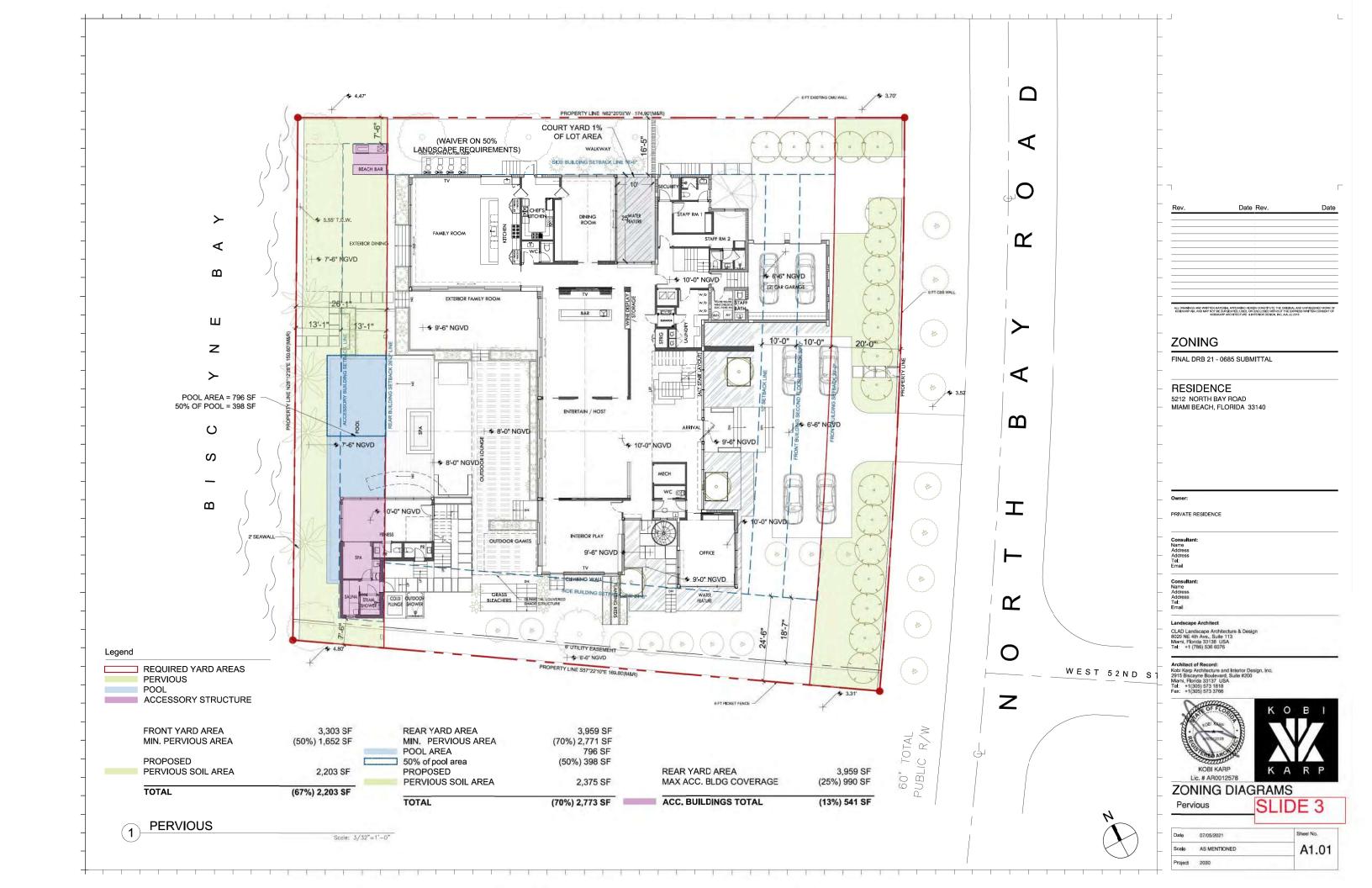
Landscape Architect: CLAD Landscape Architecture & Design 8020 NE 4th Ave., Suite 113 Mami, FL 33138 Tel: +1(788) 536 8076

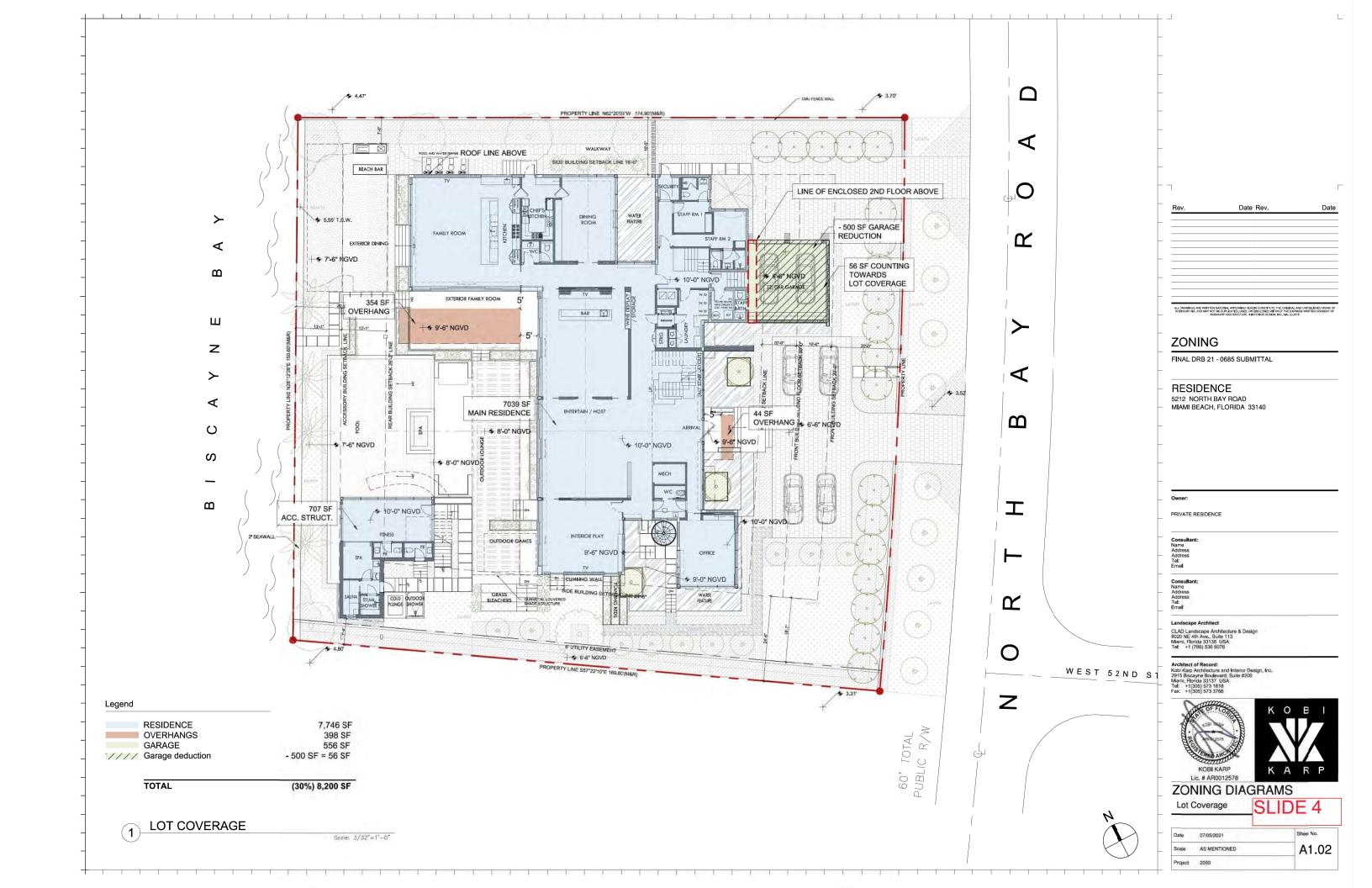


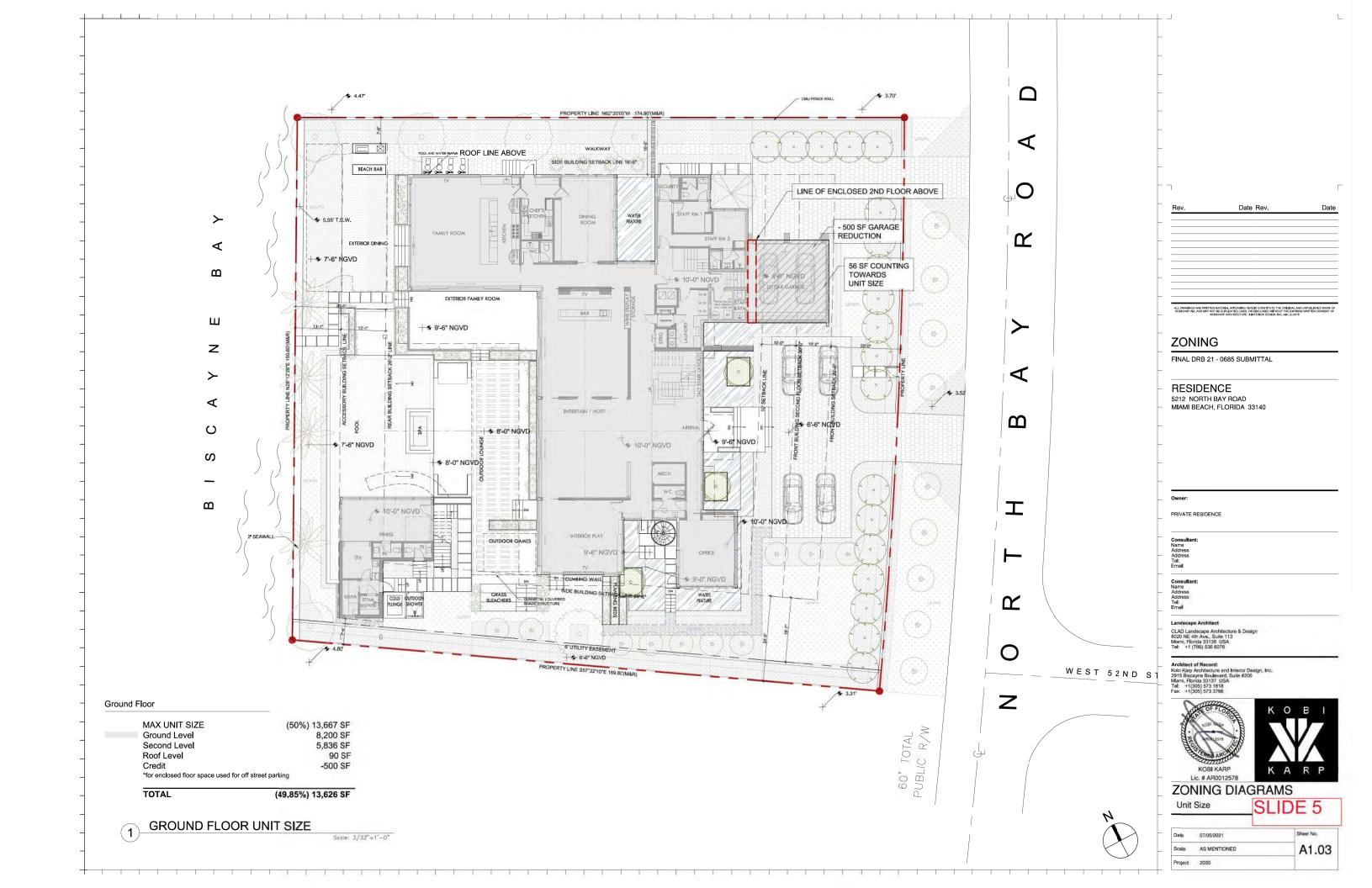


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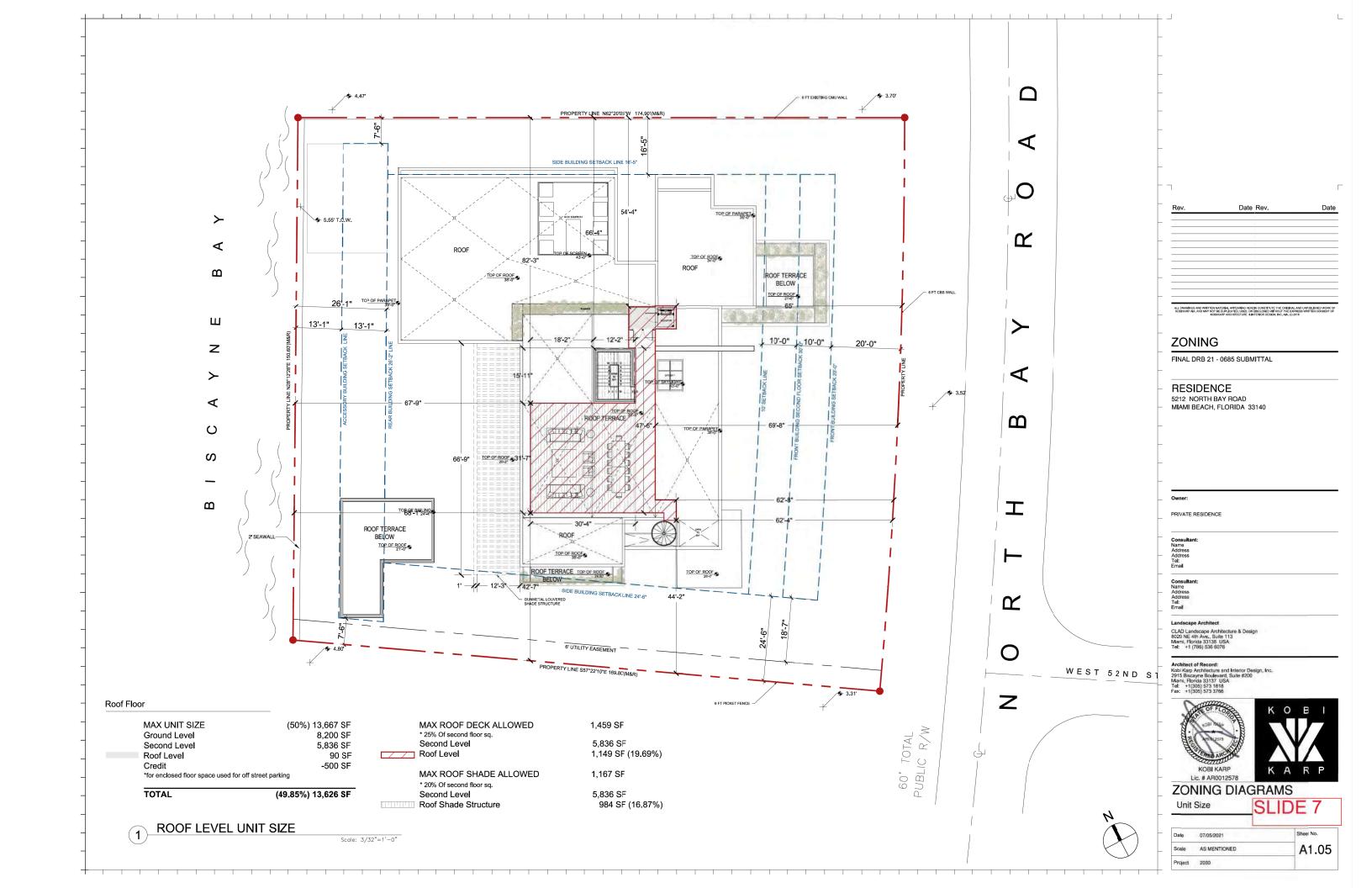
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	Project	2030	

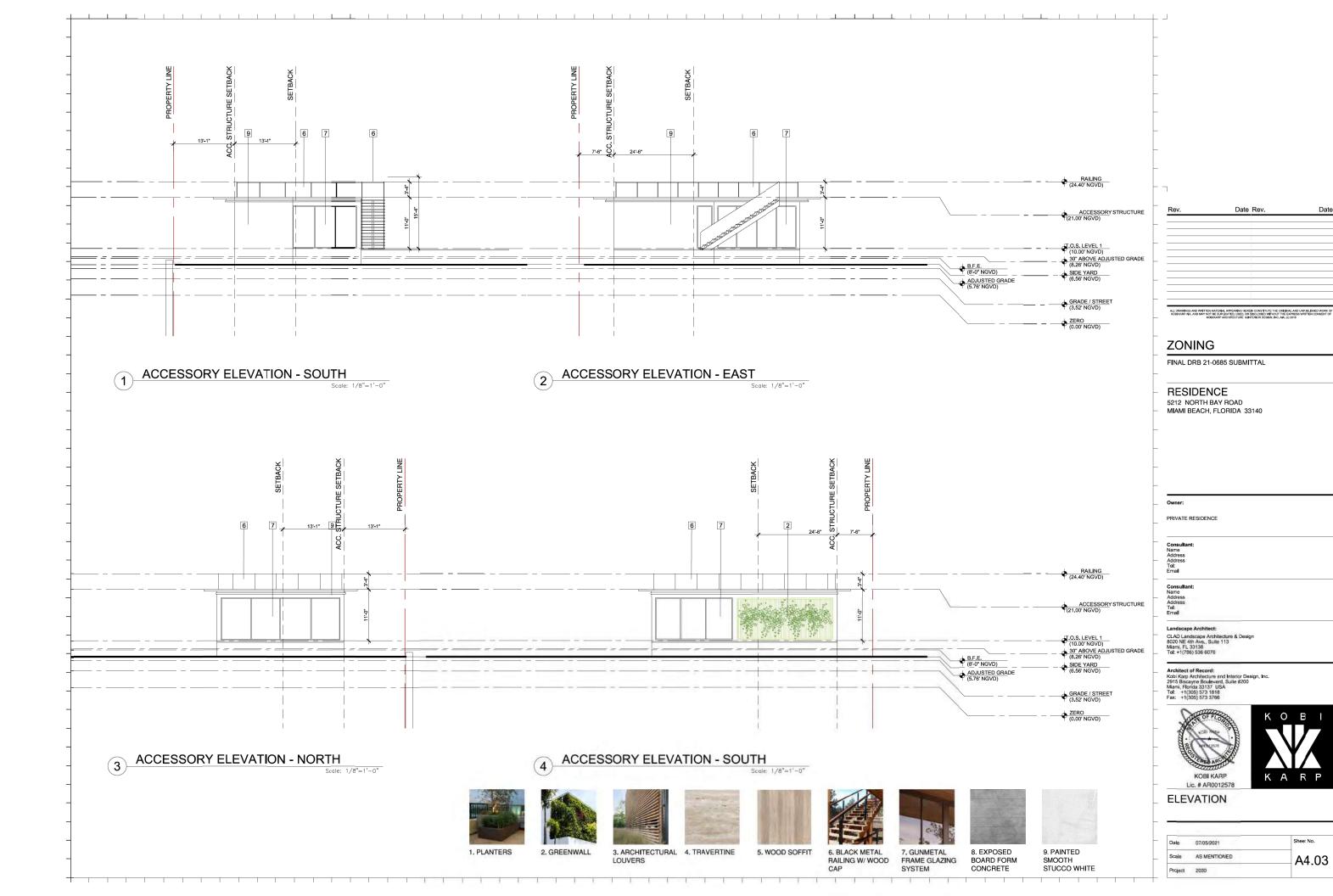


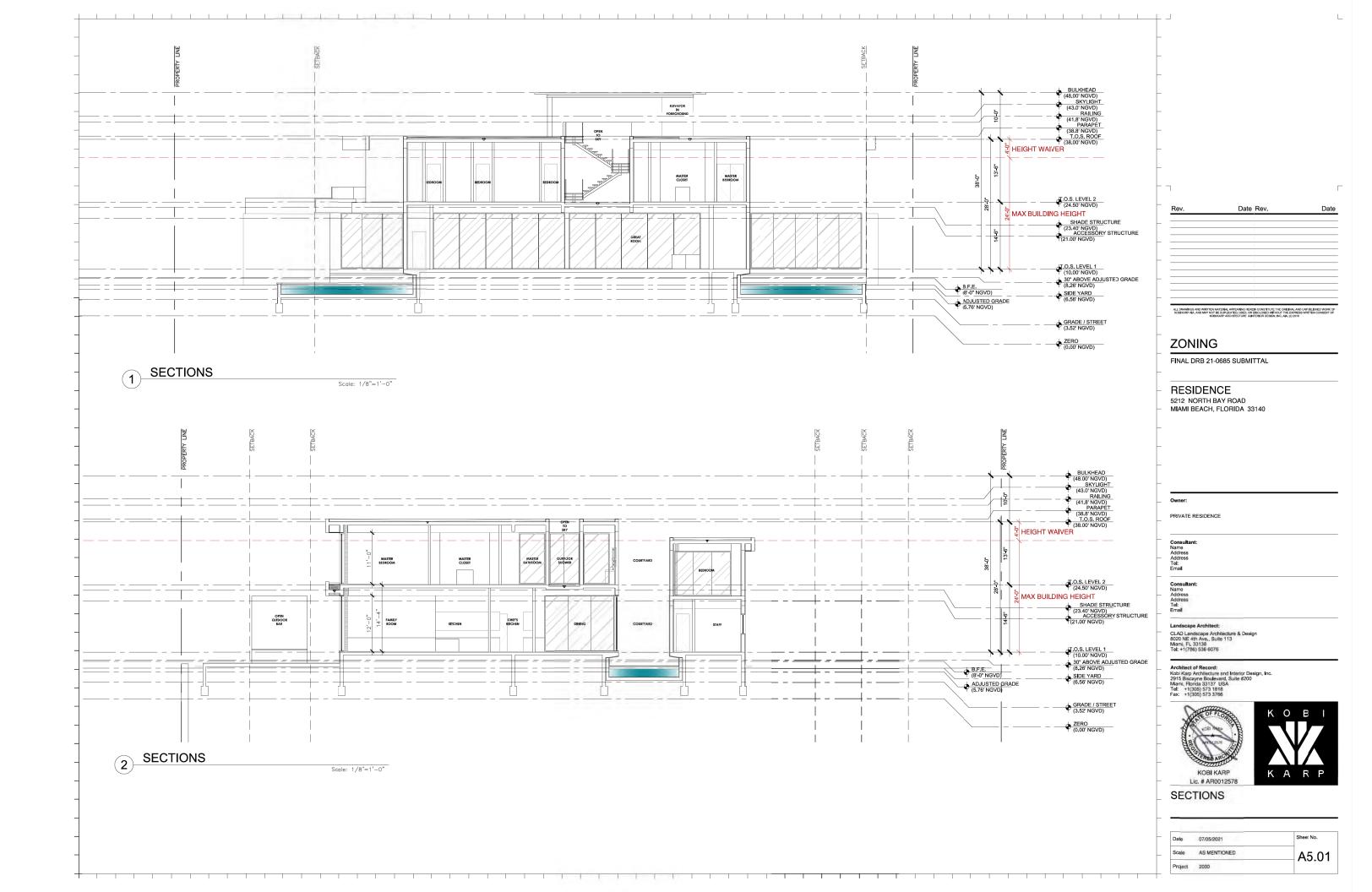


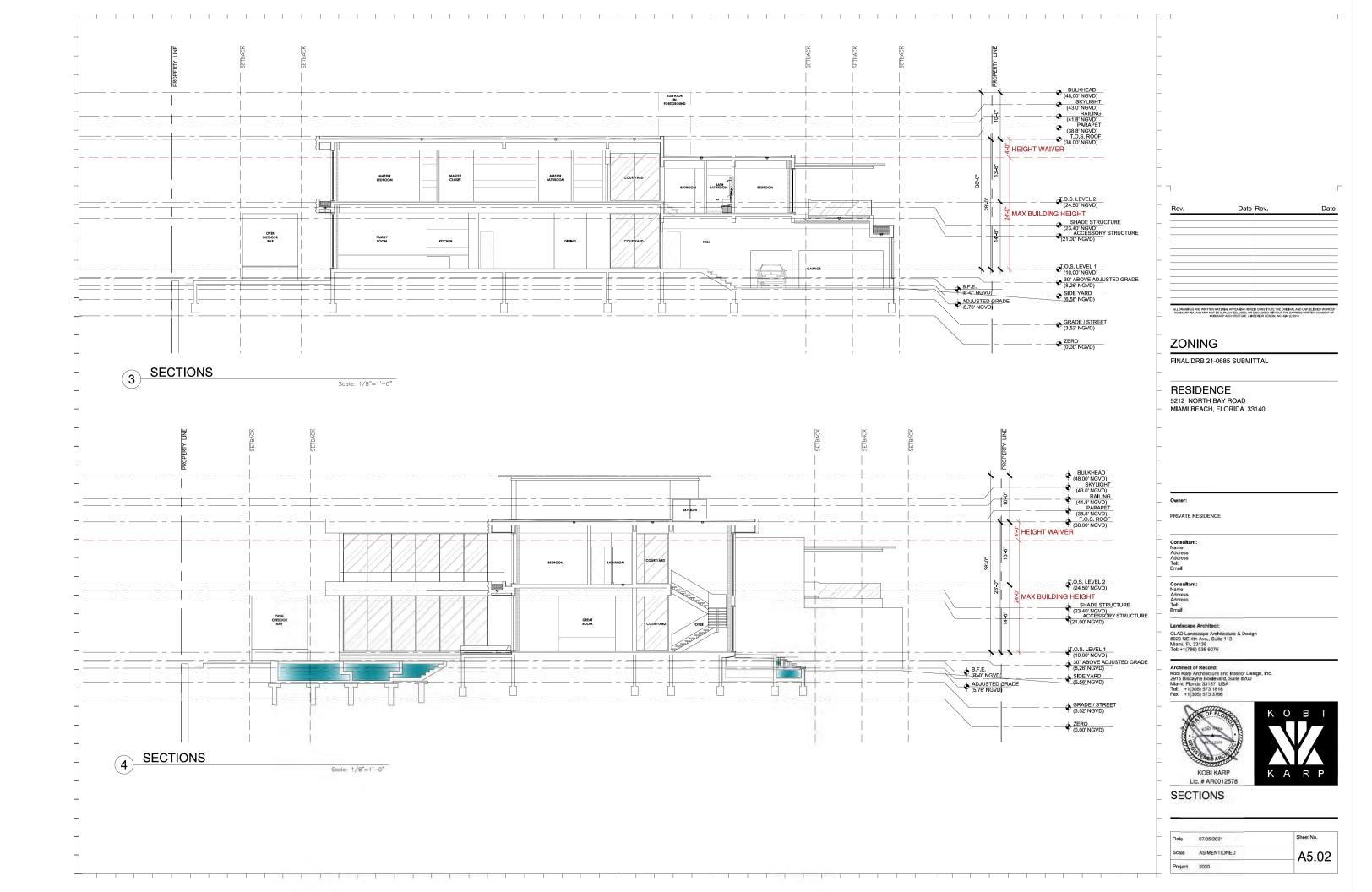


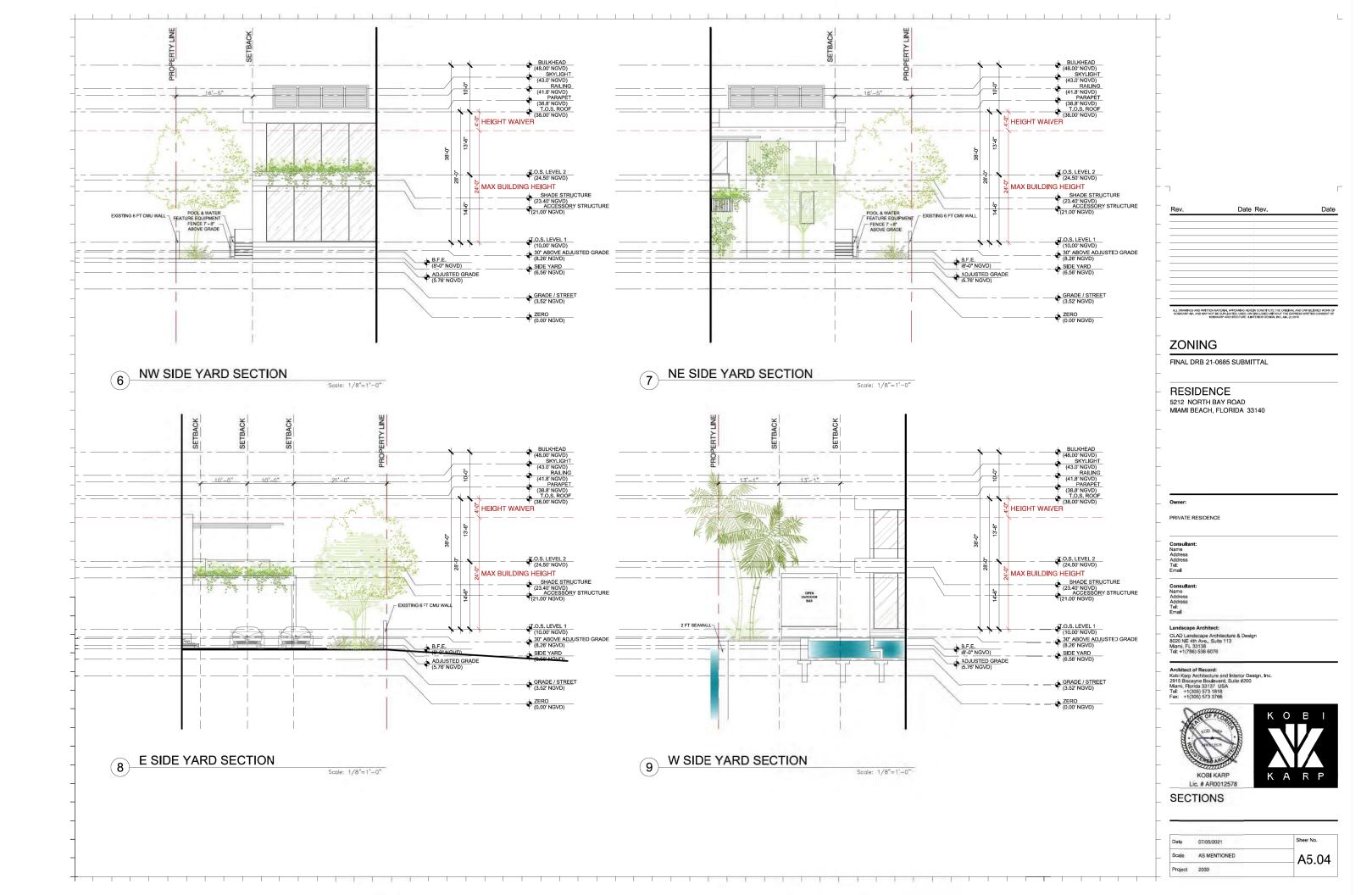


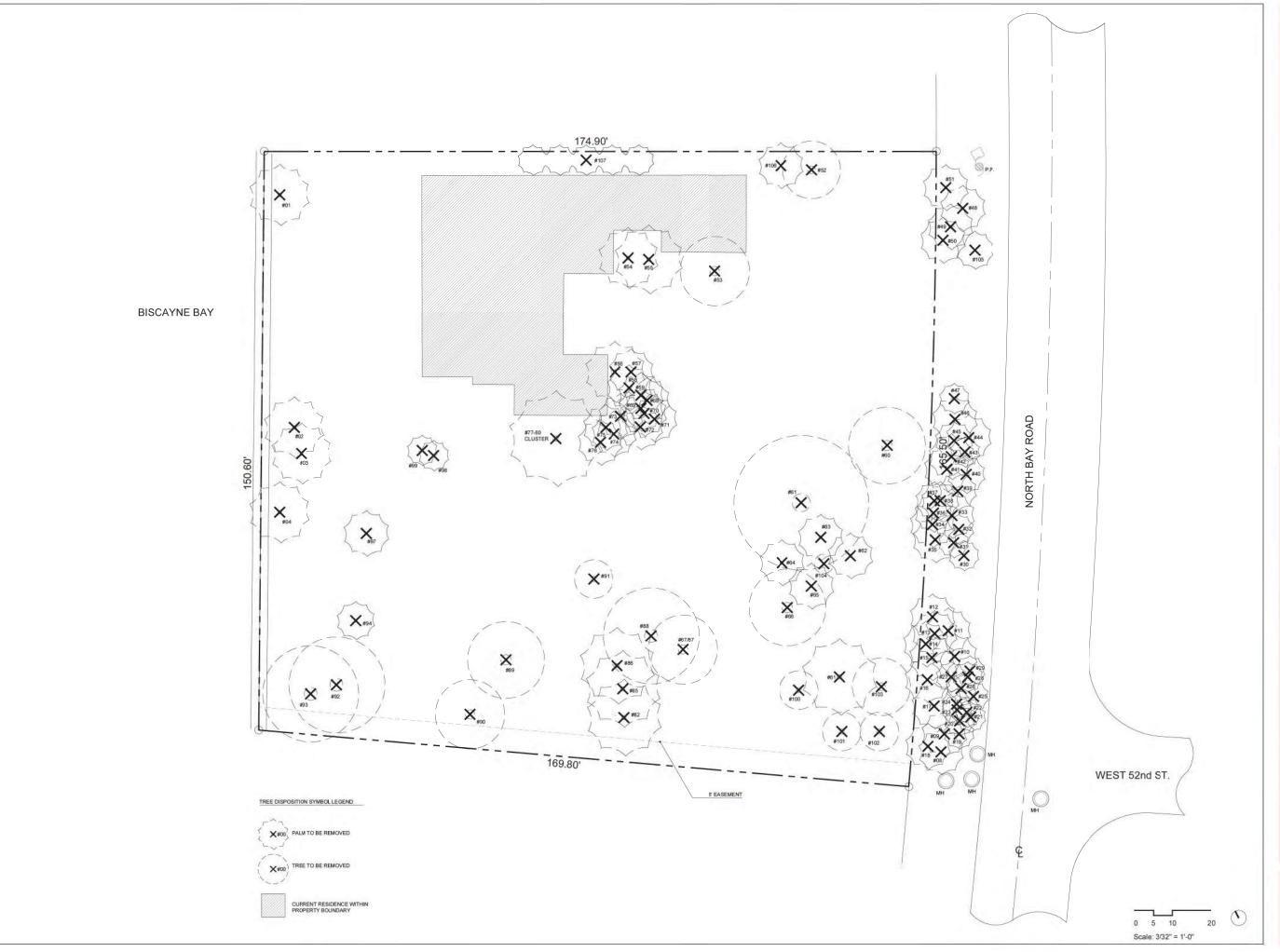














MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

CLAD 8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Carolina Digitally signed by Carolina Monteiro Monteiro Date: 2021:07:01 13:22:21 -04'00'

CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

TREE DISPOSITION PLAN

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REVISIONS:

ISSUE DATE DRB 1ST SUBMITTAL 06/14/21 DRB FINAL SUBMITTAL 07/05/21

SCALE: 1/32" = 1'-0"



SHEET N°: L-1

	Common Name	SCIENTIFIC NAME	DBH (in)	Height (ft)	Spread (ft)	Condition	Disposition	Comments	DBH Removed	Palms Remove
	Coconut Palm	Cocos nucifera	12	35	16	fair	remove			1
	Coconut Palm	Cocos nucifera	12	35	16	fair	remove			1
	Coconut Palm	Cocos nucifera	12	35	16	fair	remove			1
	Coconut Palm	Cocos nucitera	12	35	16	fair	remove	CV-CV-C		
	Chinese Fan Palm Chinese Fan Palm	Livistona chinensis Livistona chinensis	11	25 25	12	fair fair	remove	street tree	-	N/A N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	14	18	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	14	18	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	14	18	12	fair	remove	street tree		N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street tree		N/A
1	Christmas Palm Christmas Palm	Adonidia merrillii Adonidia merrillii	6	28	8	good	remove	street tree		N/A N/A
	Christmas Palm	Adonidia merillii	6	28 28	8	good	remove	street tree street tree		N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street tree		N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street tree	1	N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street free		N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street tree		N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street tree		N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street tree		N/A
	Christmas Palm	Adonidia merrillii	6	28	8	good	remove	street tree		N/A
	Pygmy Date Palm	Phoenix roebelenii	5	15	8	good	remove	street tree		N/A
	Pygmy Date Palm	Phoenix roebelenii	5	15	8	good	remove	street tree		N/A
	Pygmy Date Palm	Phoenix roebelenii	5	15	8	good	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A
	Chinese Fan Palm Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A N/A
	Chinese Fan Palm Chinese Fan Palm	Livistona chinensis	11	20	12	fair fair	remove	street tree street tree	1	N/A N/A
	Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	20	12	fair	remove	street tree		N/A
	Pygmy Date Palm (Double)	Phoenix roebelenii	4, 5	12	8	good	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove	street tree		N/A
	Pygmy Date Palm (Double)	Phoenix roebelenii	4, 4	14	8	good	remove	street tree		N/A
	Queen Palm	Syagrus romanzoffiana	8	30	12	poor	remove	street tree	_	N/A
	Queen Palm	Syagrus romanzoffiana	8	30	12	rooq	remove	street tree		N/A
	Queen Palm	Syagrus romanzoffiana	8	30	12	poor	remove	street tree	-	N/A
	Queen Palm	Syagrus romanzoffiana	8	12	12	poor	remove	street tree	8	N/A
	Silver Trumpet Tree Brazilian Beautyleaf	Tabebula caraiba Calophyllum brasiliense	11	18	18	poor	remove	windthrown hatracked	11	
	Royal Palm	Roystonea regia	16	50	16	poor	remove	Haddokou	11	1
	Royal Palm (Double)	Roystonea regia	16, 16	55	18	fair	remove			1
Ť	Royal Palm	Roystonea regia	16	60	16	роог	remove			1
	Chinese Fan Palm	Livistona chinensis	11	28	12	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	28	12	fair	гетточе			1
	Chinese Fan Palm	Livistona chinensis	11	28	12	fair	remove			1
	Avocado	Persea americana	4, 7	23	20	fair	remove		4.7	
	Mango	Mangifera indica	20	30	35	fair	remove		20	
	Canary Island Date Palm	Phoenix canariensis	24	28	18	poor	remove			1
	Royal Palm	Roystonea regia	16	40	16	fair	remove			1
	Royal Palm	Roystonea regia	16	40	16	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	18	12	fair	nemove	honguhage in tropy description	10	1
	Tree Jasmine Avecado	Radermachera spp.	16	25	20	poor	remove	honeybees in tree; decayed		
	Avocado Chinese Fan Palm	Persea americana Livistona chinensis	4, 7	30	18	poor	remove		4.7	1
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove			1
-	Chinese Fan Palm	Livistona chinensis	11	30	12	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	10	12	fair	remove			1
	Chinese Fan Palm	Livistona chinensis	11	10	12	fair	remove			1
	Senegal Date Palm	Phoenix reclinata	CLUSTER	25	25	good	remove			1
	Senegal Date Palm	Phoenix reclinata	CLUSTER	16	20	poor	remove			
	Sabal Palm	Sabal palmetto	12	35	10	fair	remove			1
	Sabal Palm	Sabal palmetto	12	30	10	fair	remove		1	1
	Sabal Palm Sapodilla	Sabal palmetto	6 12	30	10	fair	remove	windthown	18	1
	Sapodilla Mamey Sapote	Manilkara zaptoa Pouteria sapota	6, 12 7.5	20	25 20	poor	remove	windthrown	7.5	
	Traveler's Palm	Ravenala madagascariensis	CLUSTER	30	18	poor fair	remove		1.3	1
	Screwpine	Pandanus spp.	7	20	10	fair	remove		7	
	Seagrape	Coccoloba uvifera	10.5	20	25	good	remove		10.5	
	Seagrape	Coccoloba uvifera	5, 10	20	25	poor	remove	windthrown	15	
	Queen Palm	Syagrus romanzoffiana	8	25	10	poor	remove	THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS NAMED IN COLUMN TW		-1
	Queen Palm	Syagrus romanzoffiana	8	25	12	poor	remove			1
	Queen Palm	Syagrus romanzoffiana	8	25	8	poor	remove			1
	Queen Palm	Syagrus romanzoffiana	8	25	8	poor	remove			1
)	Pink Trumpet Tree	Tabebuia heterophylla	4	16	10	good	remove		4	
	Lime	Citrus spp.	3.5	8	10	fair	remove		3.5	
	Lime	Citrus spp.	3.5	8	10	fair	remove		3.5	
	Strawberry Guava	Psidium cattleianum	8	10	15	poor	remove	windthrown	8	
П			20	20	5	poor	remove	nearly dead	20	
	Java Plum	Syzygium cumini								
	Java Plum Pygmy Date Palm Areca Palm	Phoenix roebelenii Dypsis lutescens	5 CLUSTER	15	10	good	remove	street tree		N/A

[T-1-1 DD111	101.1	
Total DBH to mitigate	161.4	
Total palms to mitigate 1:1		35

DISPOSITI	ON SUMMARY	
DISPOSITION	NOTES	QTY
TREES TO REMAIN		0
TREES TO BE RELOCATED		0
TREES TO BE REMOVED		16
PALMS TO REMAIN		0
PALMS TO RELOCATE		0
PALMS TO BE REMOVED		35

		TREE	S USED FOR MITIGATION		
SYM	QTY	SCIENTIFIC NAME	COMMON NAME	NATIVE	NOTES
CU	1	Coccoloba uvifera	SEAGRAPE	Y	MINIMUM 16' HT; 4" DBH
CE	1	Conocarpus erectus	GREEN BUTTONWOOD	Y	MINIMUM 16' HT, 4" DBH
CD	19	Coccoloba diversifolia	PIGEON PLUM	Y	MINIMUM 16' HT; 4" DBH
LJ	3	Ligustrum japonicum	JAPANESE PRIVET	N	MINIMUM 12' HT; 2" DBH
FD	5	Filicium decipiens	JAPANESE FERN TREE	N	MINIMUM 16' HT; 4" DBH
LI1	10	Lagerstroemia indica	WHITE CRAPE MYRTLE	N	MINIMUM 12' HT; 2" DBH
TOTAL .	30	TOTTE LIGHT FOR MITICATION	DAUDED IN CORCIEC		

21 NATIVE TREES

TREE MITIGATION:

REMOVAL OF 162" DBH OF TREES + 35 PALMS, EQUIVALENT TO: 89 REPLACEMENT TREES (MIN. 2" CALPER, 6" CANOPY, 12" HT) REQUIRED, OR 45 REPLACEMENT TREES (MIN. 4" CALIPER, 8" CANOPY, 16" HT) REQUIRED 27 TREES MUST BE NATIVE (30% OF REQUIRED 12'HT TREES)

SPECIES DIVERSITY: 41 OR GREATER: 6 SPECIES

THE CODE IS BEING MET BY USING:

THE CODE IS BEING MET BY USING:
65 TREES EQUIVALENT TO;
13 TREES (MIN. 2" CALIPER, 6" CANOPY, 12" HT)
26 TREES (MIN. 4" CALIPER, 6" CANOPY, 16" HT) = 52 TREES (MIN. 2" CALIPER, 6" CANOPY, 12" HT)
\$24,000 TOWARDS THE TREE TRUST FUND FOR 24 REQUIRED REPLACEMENT TREES THAT DON'T FIT ON SITE



5212 NORTH BAY ROAD RESIDENCE MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

CLAD 8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Carolina Digitally signed by Carolina Monteiro Date: 2021.07.01

CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

TREE DISPOSITION AND MITIGATION SCHEDULE

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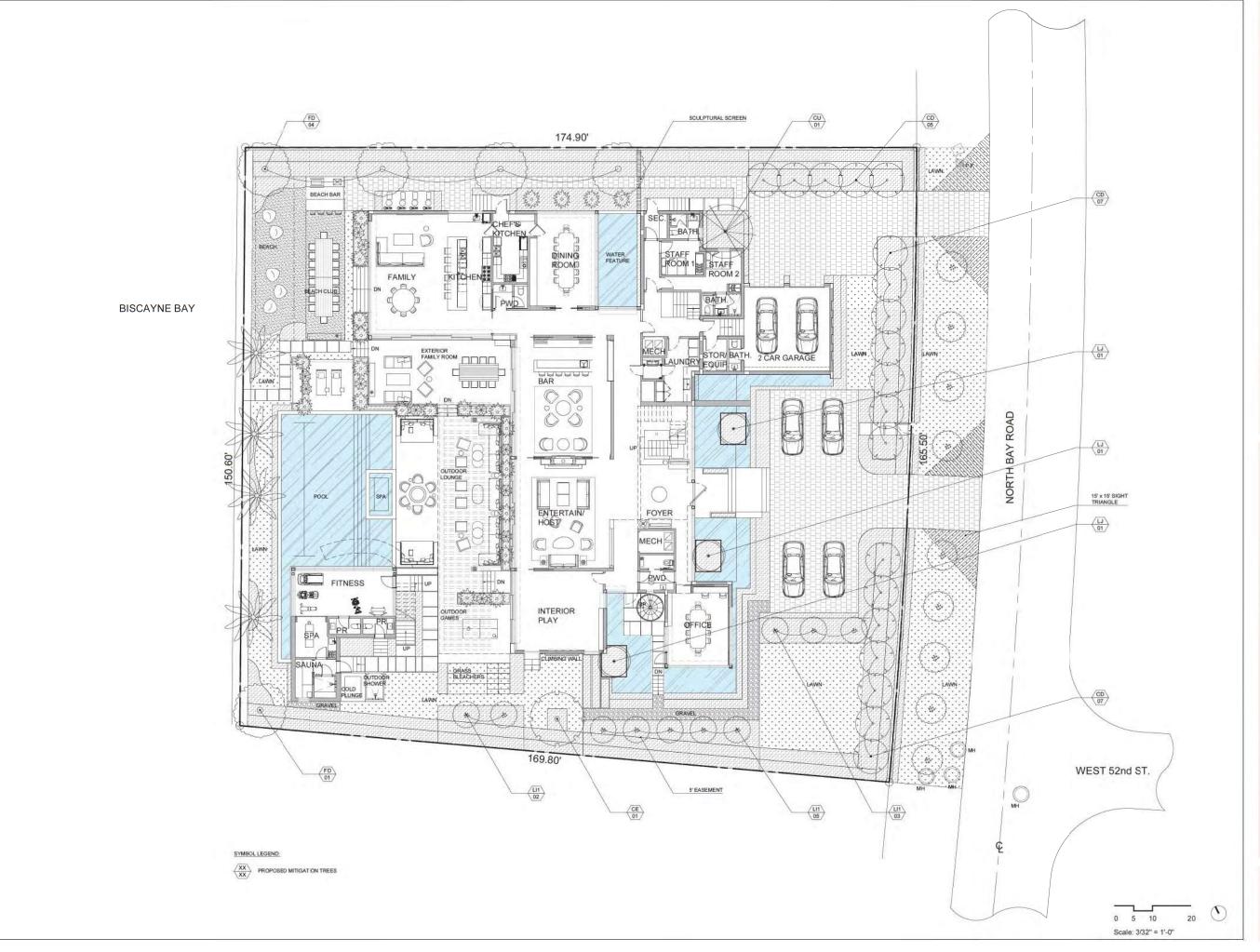
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DRB 1ST SUBMITTAL 06/14/21 DRB FINAL SUBMITTAL 07/05/21

DATE

SCALE: N.T.S.

PROJ. Nº: 2116 SHEET N°: L-1.1





MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Carolina Digitally signed by Carolina Monteiro Monteiro Date: 2021,07.01 13:24:22 -04'00'

CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

TREE MITIGATION PLAN

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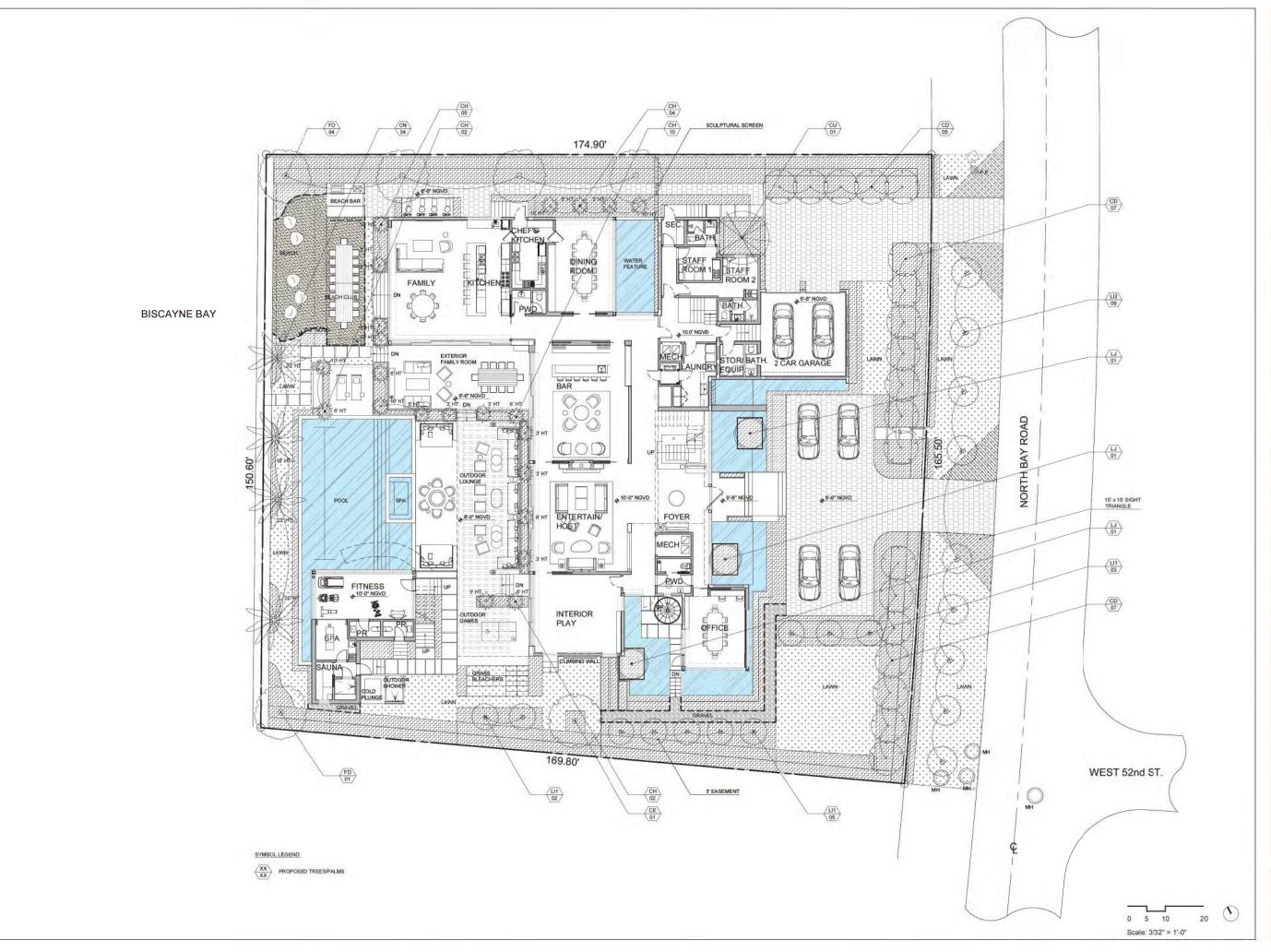
REVISIONS:

ISSUE DATE DRB 1ST SUBMITTAL 06/14/21 DRB FINAL SUBMITTAL 07/05/21

SCALE: 1/32" = 1'-0"



L-1.2





MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

CLAD 8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Carolina Digitally signed by Carolina Monteiro Date: 2021.07.01 13:25:01-04'00'

CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

CANOPY PLANTING PLAN

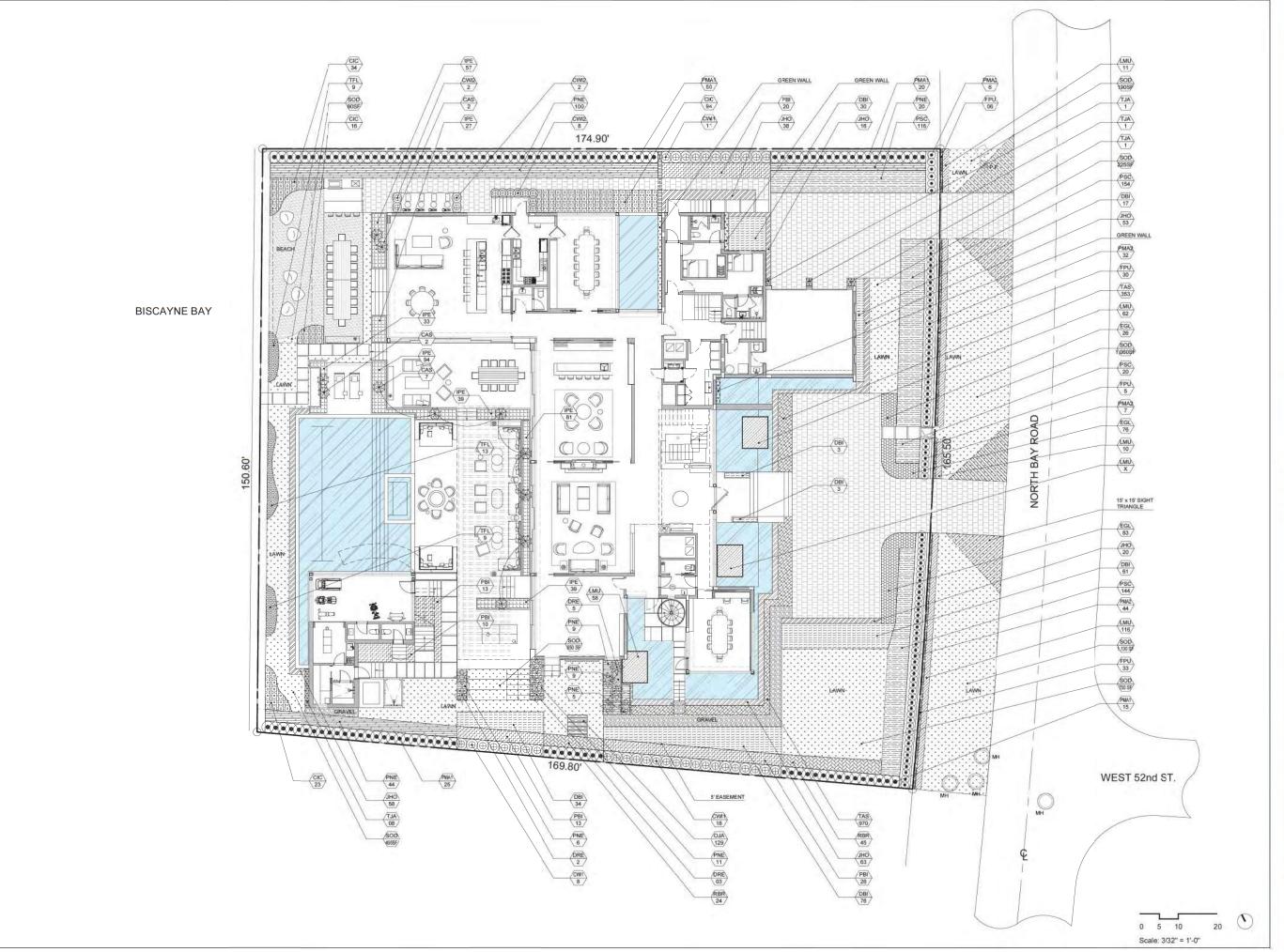
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REVISIONS:

ISSUE DATE DRB 1ST SUBMITTAL 06/14/21 DRB FINAL SUBMITTAL 07/05/21

SCALE: 1/32" = 1'-0"







MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Carolina Digitally signed by Carolina Monteiro Date: 2021.07.01 13:25:15-04'00'

CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

UNDERSTORY PLANTING PLAN

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REVISIONS:

DRB 1ST SUBMITTAL 06/14/21
DRB FINAL SUBMITTAL 07/05/21

SCALE: 1/32" = 1'-0" PROJ. Nº: 2116 SHEET N°: L-5.1

PR = 1'-0" 21 SH

		LANDSCAPE	SCHEDULE - CANOPY SITE			
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE		
		S	TREET TREES			
LIZ	9	Lagerstroemia indica	14" HT, 4" CT, 8" SP, MULTI TRUNK	N		
LIZ	2	WHITE CRAPE MYRTLE	200 G			
-			TREES			
CU	4	Caccalaba uvifera	18-20" HT, 14" SP, CHARACTER, MULTI TRUNK	Y		
Cu	- 1	SEAGRAPE	FG	,		
CE	4	Conocarpus erectus	18-20' HT, 14' SP, COLLECTED SPECIES, SPECIMEN	Y		
ue.		GREEN BUTTONWOOD	FG	,		
CD	19	Coccoloba diversifolia	16' HT, 9' SP	Y		
CU	19	PIGEON PLUM	200 G	Y		
LJ.	3	Ligustrum japonicum	12' HT, 8' SP, MULTI TRUNK	N		
W	3	JAPANESE PRIVET	100 G	14		
FD	5 Filicium decipiens			Filicium decipiens	18' - 20' HT, 14' SP, STANDARD	N
FU	5	JAPANESE FERN TREE	FG	N		
LH	10	Lagerstroemia indica	12 HT, 7' SP, MULTI TRUNK	N		
Lit	WHITE CRAPE MYRTLE		100 G			
7.5			PALMS			
CN	4	Cocos nucitera	CHARACTER CURVED, COLLECTED	N		
UN	4	COCONUT PALM	FG, (1) 18' CT; (2) 20' CT; (1) 22' CT	N		
CH	23	Chamaerops humilis	(8) 2-3° CT, (9) 4-6° CT, (6) 10° HT, MULTITRUNK	N		
Un	23	EUROPEAN FAN PALM 7G, 45G, FG		N		

SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE
		LARG	E SHRUBS	
	1000000	Podocarpus macrophyllus	8" HT, 3" SP, 24" O.C	
PMA1	110	JAPANESE YEW	25G	N
1000000	3880	Podocarpus macrophyllus	6' HT, 2' SP, 18" O.C	
PMA2	89	JAPANESE YEW	15G	N
	11000	Canella winterana	8' HT, 3' SP, 30" O.C	127
CWI1	37	WILD CINNAMON	25G	Y
202		Canella winterana	6' HT, 2.5' SP, 24" O.C	
CM5	12	WILD CINNAMON	15G	Υ Υ
-		The state of the s	HRUBS	
mmi		Philodendron bipinnatifidum 'Hope'	3' HT, 30" O.C	
PBI	82	PHILODENDRON HOPE	7G	N
3.50	32V	Tripsacum floridana	24" HT MIN., 24" O.C	
TFL	31	DWARF FAKAHATCHEE GRASS	3G	Y
The same	2000	Psychotria nervosa 'Little Psycho'	24" HT, 24" O.C	
PNE	204	DWARF WILD COFFEE	7G	Y
DD:	25.	Dietes bicolor	24" HT, 20" O.C	
DBI	224	AFRICAN IRIS	3G	N
	10000	Chrysobalanus icaco "Horizontal"	18-24" HT, 18" O.C	
CIC	167	HORIZONTAL COCOPLUM	7G	Y
	- 1	Ruellia brittoniana 'Compacta Katie White'	18-24" HT, 18" O.C	
RBR	69	WHITE MEXICAN BLUEBELL	3G	N
202	1022	Phymatosorus scolopendria	18" HT, 18" O.C	
PSC	434	WART FERN	3G	N
F.01	105	Evolvulus glomeratus	18" HT, 15" O.C	
EGL	185	BLUE DAZE	3G	N
100			CCENTS	
-	0.002	Dracaena marginata	6-7' HT	
DRE	10	MADAGASCAR DRAGON TREE	7G	N
		Crinum asiaticum	18" HT	
CAS	11	CRINUM LILY	7G	N
-			NDCOVERS	
Teme	Santa:	Liriope muscari 'Super Blue'	12" HT, 12" O.C	
LMU	319	LILYTURF	1G	N
	210	Juniperus horizontalis	8-12" HT, 18" O.C	
JHO	248	JUNIPER	5G	N
2.2	0.0000	Trachelospermum asiaticum	4" HT, 6" O.C	
TAS	1323	ASIATIC JASMINE	1G	N
- TAN 14	(Alban)	Ophiopogon japonicus	4" HT, 6" O.C	
ALO	129	MONDO GRASS	1G	N
		MANUFACTURE STATE PROPERTY.	VINES	
1242	190	Trachelospermum jasminoides	6-8" HT, 18" O.C, ON TRELLIS	
TJA	11	STAR JASMINE	7G	N
100.00		Ipomoea pes-caprae	12" HT, 12" O.C	
IPE	370	RAILROAD VINE	3G	Y
	-27	Ficus pumila	6" HT, 24" O.C	-
FPU	74	CREEPING FIG	16	N
		per theses, or a felt it. The	SOD	
		Paspalum vaginatum	STAGGERED AND BUTTED JOINTS	
SOD	4,580 SF	SEASHORE PASPALUM	C INDUSTRIAL AND BOTTED SOUTH	N
-			THERS	
1		Mixed species	BY VERDE VERTICAL	
		maken appended	DI VENUE TENTIONE	

CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS Zoning District RS-3 Lot Area 27,334 SF Acres .63

	OPEN SPACE	ALLOWED	PROVIDED
A.	Square feet of required Open Space as indicated on site plan:		
	Lot Area = <u>27,334</u> s.f.x <u>50</u> % = <u>13,667</u> s.f.	13,667	16,801
В.	Square feet of parking lot open space required as indicated on site		
	Number of parking spaces N/A x 10 s.f. parking space =	N/A	N/A
C.	Total square feet of landscaped open space required: A+B=	13,667	16,801
	LAWN AREA CALCULATION		
A.	Square feet of landscaped open space required	13,667	16,801
В.	Maximum lawn area (sod) permitted= 50 %x 13,667 s.f.	6,834	2,200

REQUIRED/

TREES

A. Number of trees required per lot or net lot acre, less existing number

A. Number of trees required per lot or net lot acre, less existi
of trees meeting minimum requirements=
__27 ___ trees x - (0) number of existing trees=
B. % Natives required: Number of trees provided x 30% =
C. % Low maintenance / drought and salt tolerant required:
Number of trees orovided x 50%=
D. Street Trees (maximum average spacing of 20' o.c.)
____ linear feet along street divided by 20"=
Street trees (maximum average spacing of 20' o.c.) ____N/A ____N/A E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.):

SHRUBS

A. Number of shrubs required: Sum of lot and street trees required x 12= 432 811 B. % Native shrubs required: Number of shrubs provided x 50%= 406 402

LARGE SHRUBS OR SMALL TREES

165.5' linear feet along street divided by 20'=

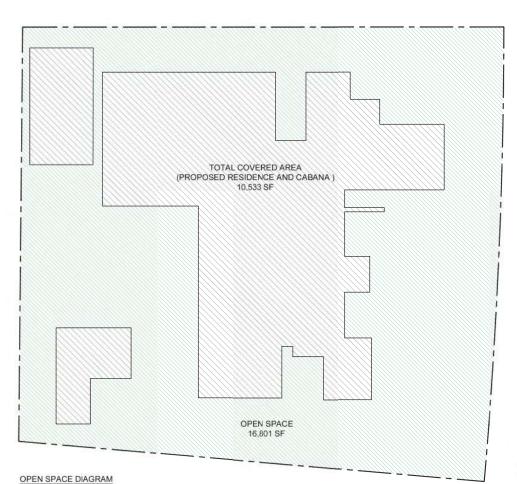
A. Number of large shrubs or small trees required: Number of required shrubs x 10%=

B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=

25 49 25 49

SPECIES DIVERSITY

Required number of tree species: 6 Provided proposed tree species: 6



OPEN SPACE AREA:

OPEN SPACE REQUIRED: 13,667 SF (LOT AREA X 50%)



5212 NORTH BAY ROAD RESIDENCE

MIAMI BEACH, FL

SITE ADDRESS: 5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Carolina
Monteiro
Digitally signed
by Carolina
Monteiro
Date: 2021.07.01
13:25:30-04'00'

CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

PLANTING SCHEDULES, LANDSCAPE LEGEND AND **OPEN SPACE DIAGRAM**

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REVISIONS:

DRB 1ST SUBMITTAL 06/14/2 DRB FINAL SUBMITTAL 07/CS/2			A CONTRACT OF THE PARTY OF THE		-
DRB FINAL SUBMITTAL 07/05/2	DRB FINAL SUBMITTAL 07/05/2	DRB FINAL SUBMITTAL 07/05/2	DRB FINAL SUBMITTAL 07/05/2	DRB FINAL SUBMITTAL	07/05/2
				_	
				_	

SCALE: N.T.S.

PROJ. Nº: 2116 SHEET N°: L-5.2

OPEN SPACE PROVIDED: 16,801 SF