

PRIVATE RESIDENCE

5212 N BAY RD
MIAMI BEACH, FL 33140

DRB 21-0685 PRESENTATION- 09-10-2021

SCOPE OF WORK:
NEW 2-STORY SINGLE FAMILY RESIDENCE
SEEKING A 4' HEIGHT WAIVER
SEEKING AN ADD. OPEN SPACE - COURTYARD WAIVER
TO REPLACE AN EXISTING PRE-1942 RESIDENCE



ARCHITECT
KOBİ KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.
571 NW 28TH ST MIAMI, FL 33127
T: 305.573.1818

LANDSCAPE ARCHITECT
CLAD
LANDSCAPE ARCHITECTURE & DESIGN
8020 NE 4TH AVE., STUDIO 113, MIAMI, FL 33138
T: 786.536.6076

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA 012818

ZONING
FINAL DRB 21-0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:
PRIVATE RESIDENCE

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Landscape Architect:
CLAD Landscape Architecture & Design
8020 NE 4th Ave., Suite 113
Miami, FL 33138
Tel: +1(305) 573 1818
Tel: +1(786) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

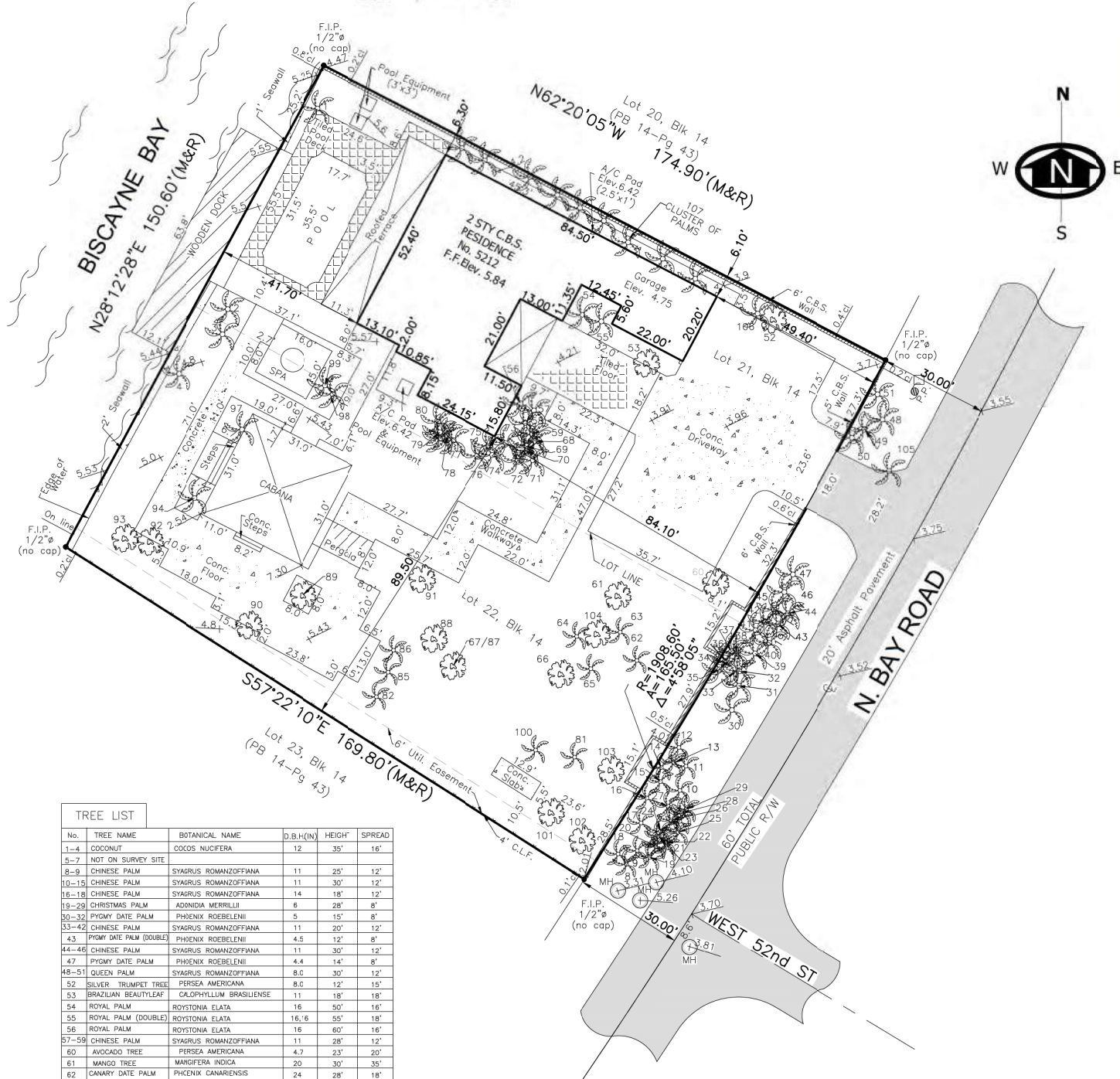


COVER SLIDE 1

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.00
Project	2030	

SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 25'



TREE LIST

No.	TREE NAME	BOTANICAL NAME	D.B.H.(IN)	HEIGHT	SPREAD
1-4	COCONUT	COCOS NUCIFERA	12	35'	16'
5-7	NOT ON SURVEY SITE				
8-9	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	25'	12'
10-15	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	30'	12'
16-18	CHINESE PALM	SYAGRUS ROMANZOFFIANA	14	18'	12'
19-29	CHRISTMAS PALM	ADONIDIA MERRILLII	6	28'	8'
30-32	PYGMY DATE PALM	PHOENIX ROEBELENI	5	15'	8'
33-42	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	20'	12'
43	PIGMY DATE PALM (DOUBLE)	PHOENIX ROEBELENI	4.5	12'	8'
44-46	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	30'	12'
47	PYGMY DATE PALM	PHOENIX ROEBELENI	4.4	14'	8'
48-51	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	30'	12'
52	SILVER TRUMPET TREE	PERSEA AMERICANA	8.0	12'	15'
53	BRAZILIAN BEAUTYLEAF	CALOPHYLLUM BRASILIENSE	11	18'	18'
54	ROYAL PALM	ROYSTONIA ELATA	16	50'	16'
55	ROYAL PALM (DOUBLE)	ROYSTONIA ELATA	16.6	55'	18'
56	ROYAL PALM	ROYSTONIA ELATA	16	60'	16'
57-59	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	28'	12'
60	AVOCADO TREE	PERSEA AMERICANA	4.7	23'	20'
61	MANGO TREE	MANGIFERA INDICA	20	30'	35'
62	CANARY DATE PALM	PHOENIX CANARIENSIS	24	28'	18'
63-64	ROYAL PALM	ROYSTONIA ELATA	16	40'	16'
65	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	18'	12'
66	JASMINE TREE	RADERMACHERA SPP.	16	25'	20'
67	AVOCADO TREE	PERSEA AMERICANA	4.7	23'	18'
68-74	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	30'	12'
75-76	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	10'	12'
77-80	SENEGAL DATE PALM	PHOENIX RECLINATA	CLUSTER	25'	25'
81	SENEGAL DATE PALM	PHOENIX RECLINATA	CLUSTER	16'	20'
82	SABAL PALM	SABAL PALMETTO	12	35'	10'
83-84	NOT ON SURVEY SITE				
85-86	SABAL PALM	SABAL PALMETTO	12	30'	10'
87	AVOCADO TREE	PERSEA AMERICANA	4.7	23'	18'
88	SAPODILLA	MANIKARA ZAPTOA	6.12	20'	25'
89	MANEY TREE	POUTERIA SAPOTA	7.5	20'	20'
90	TRAVELER'S PALM	RAVENALA MADAGASCARIENSIS	CLUSTER	30'	18'
91	SCREWPIKE	PANANUS SSP.	7.0	20'	10'
92-93	SEAGRAPE	COCOLOBA UVIFERA	5.10	20'	25'
94	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	25'	10'
95-96	NOT ON SURVEY SITE				
97	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	25'	12'
98-99	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	25'	8'
100	PINK TRUMPET TREE	TABERBUA HETEROPHYLLA	4.0	16'	10'
101-102	LIME	CTRUS SPP	3.5	8'	10'
103	STRAWBERRY GUAVA	PSIDIUM CATTLEIANUM	8.0	10'	15'
104	JAVA PLUM	SYZYGIIUM CUMINI	20	20'	5'
105	PYGMY DATE PALM	PHOENIX ROEBELENI	5	15'	10'
106	ARECA PALM	DIPSIS LUTESCENS	CLUSTER	23'	18'
107	ARECA PALM	DIPSIS LUTESCENS	CLUSTER	20'	8'

LOCATION MAP

SCALE: NTS



CERTIFIED TO:
BART REINES

SITE PICTURE



ABBREVIATION (IF ANY APPLIED)

A = CURVE	P/W = PARKWAY
A/C = AIR CONDITIONING UNIT	P.O.B. = POINT OF BEGINNING
ASPH. = ASPHALT	P.O.C. = POINT OF COMMENCEMENT
B.M. = BENCH MARK	P.C. = POINT OF CURVATURE
BLV/CRN = BLOCK CORNER	P.I. = POINT OF INTERSECTION
CALC(C) = CALCULATED	P = PROPERTY LINE
CB = CATCH BASIN	P.P. = POWER POLE
C.B.S. = CONCRETE BLOCK STRUCTURE	P.P.M. = PERMANENT REFERENCE MONUMENT
CL = CLEAR	P.T. = POINT OF TANGENCY
CONC. = CONCRETE	RAD. = RADIAL
D.R.E. = DRAINAGE MAINT. EASEMENT	REC. (R) = RECORDED
Ø = DIAMETER	RES. = RESIDENCE
EASMT. = EASEMENT	R/W = RIGHT OF WAY
ELEV. = ELEVATION	SEC. = SECTION
ENC. = ENCROACHMENT	S.D/H = SET DIRT HOLE
F.I./H = FOUND IRON HOLE	S.V.D. = SET NAIL AND DISC
F.I. = FIRE HYDRANT	S.L.P. = SET R/W PIPE
F.I./D = FOUND NAIL AND DISC	S.R.B. = SET REBAR
F.I.P. = FOUND IRON PIPE	STY = STORY
F.S. = FOUND SPIKE	SWH. = SIDEWALK
L.P. = LIGHT POLE	T.O.P. = TOP OF BANK
MANH. = MANHOLE	U.E. = UTIL. EASEMENT
M = MONUMENT	W.P. = WOODEN POLE
M.L. = MONUMENT LINE	§ = SECTION LINE
NTS = NOT TO SCALE	

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE	CATCH BASIN
STRUCTURE (BLDG.)	MANHOLE
CONCRETE BLOCK WALL	OVERHEAD ELECT.
METAL FENCE	POWER POLE
WOODEN FENCE	LIGHT POLE
CHAIN LINK FENCE	HANDICAP SPACE
WOOD DECK/DOCK	FIRE HYDRANT
ASPHALTED AREAS	EASEMENT LINE
CONCRETE	WATER VALVE
BRICKS OR PAVERS	TV-CABLE BOX
ROOFED AREAS	WM WATER METER
WATER (EDGE OF WATER)	CONC. LIGHT POLE

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **120651-0309L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 8.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **27,334 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI-DADE COUNTY **BENCH MARK No. D-133**, WITH AN ELEVATION OF **3.7 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF 5.00°43'27"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF ALTON ROAD., AS SHOWN ON PLAT BOOK 14 AT PAGE 43 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:

NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/2 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:

LOTS 21 AND 22, BLOCK 14, OF LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14 AT PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SITE ADDRESS: 5212 N BAY ROAD, MIAMI BEACH, FL. 33140

JOB NUMBER: 20-834

DATE OF SURVEY: SEPTEMBER 6, 2020 / MAY 3, 2021 (UPDATE)

FOLIO NUMBER: 02-3215-003-1940

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

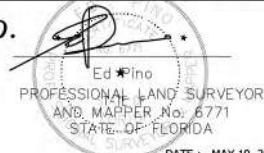
- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
- THERE IS A 6' UTIL. EASEMENT ON THE SIDE OF THE SUBJECT PROPERTY

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FO THE FLORIDA STATUTES.



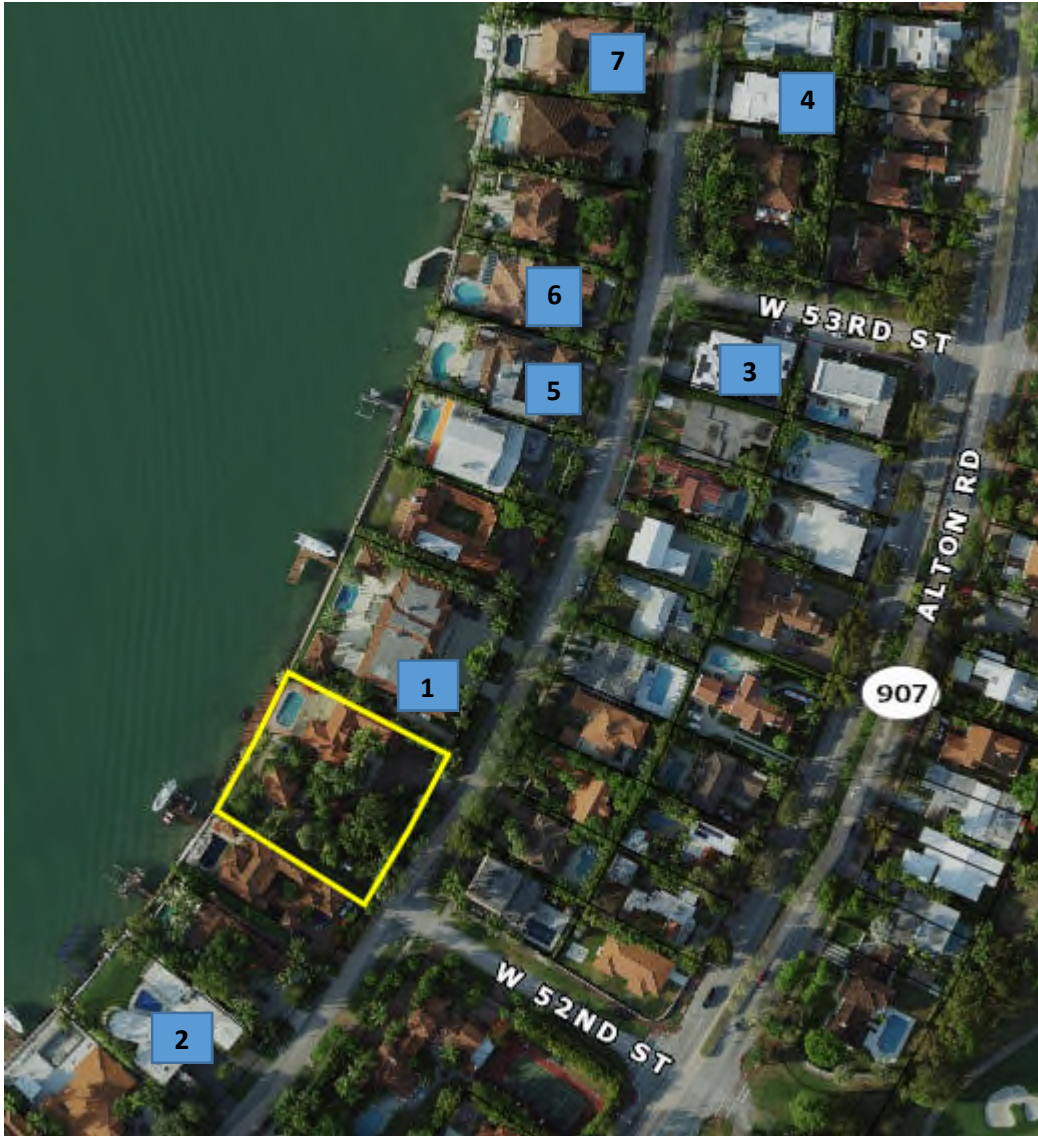
American Services of Miami, Corp.
Consulting Engineers . Planners . Surveyors

3195 PONCE DE LEON BLVD, SUITE 200
CORAL GABLES, FL 33134
PHONE: (305)598-5101 FAX: (305)598-8627
ASOMIAMI.COM



NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Neighbor Support
5212 North Bay Road
DRB21-0685



1.	5222 N Bay Road	Oscar Feldenkreis
2.	5160 N Bay Road	Alberto Eiber
3.	5251 N Bay Road	David Kaiserman
4.	5327 N Bay Road	David Deshe
5.	5242 N Bay Road	Andrew Pollack
6.	5244 N Bay Road	Richard Postrel
7.	5328 N Bay Road	Kobi Karp
8.*	4350 N Bay Road	David Deshe
9.*	4750 N Bay Road	Kobi Karp
10.*	4715 N Bay Road	Kobi Karp
11.*	4645 N Bay Road	Kobi Karp
12.*	4565 N Bay Road	Kobi Karp
*Nearby property not shown on aerial		

July 26, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of the property located at 5222 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – Oscar Feldenkreis

Date

8/06/21

July 12, 2021

Design Review Board Members
c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter _____ of
Support _____

Dear Board Members:

I am the owner of the property located at 5160 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – Alberto Eiber

Date

8/1/2021

August 23, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685 – Single-Family Home at 5212 N. Bay Road, Miami Beach**
Letter of Support

Dear Board Members:

I am the owner of the property located at 5251 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

A handwritten signature in dark ink, appearing to read 'David Kaiserman', written over a horizontal line.

Signature – David Kaiserman

Date

July 7, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

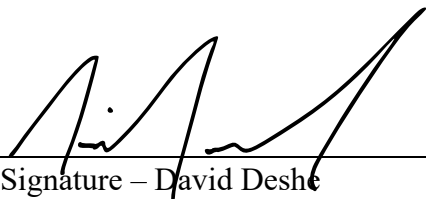
Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of the property located at 5327 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – David Deshe

7-18-21

Date

Sept. 3rd, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685 – Single-Family Home at 5212 N. Bay Road, Miami Beach**
Letter of Support

Dear Board Members:

I am the owner of 5242 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature

Andrew Pollack

Print name

September 2, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 5244 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

Richard Postrel

D770EDECAC9F44D...

Signature

Richard Postrel

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 5328 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

BF0AE1D9085441E...

Signature

Kobi Karp

Print name

July 7, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

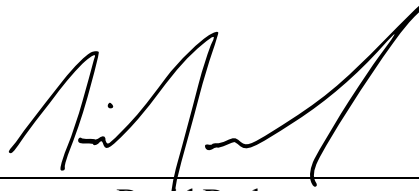
Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of the property located at 4350 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

A handwritten signature in black ink, appearing to read 'David Deshe', written over a horizontal line.

Signature – David Deshe

7-18-21

Date

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4750 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

DF0AE1D9985441E...

Signature

Kobi Karp

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4715 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

DF0AE1D998544TE...

Signature

Kobi Karp

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139


Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4645 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

DF0AE1D9985441E...

Signature

Kobi Karp

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4565 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.


Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

Signature

Kobi Karp

Print name

DocuSigned by:

DF0AE1D9985441E...



1 CURRENT DAY PHOTO
Scale: N.T.S



1 1984 RENOVATION PHOTO
Scale: N.T.S
TO ADD COVERED PORCH, BREAKFAST ROOM,
FOUNTAIN/GARDEN



2 CURRENT DAY PHOTO
Scale: N.T.S



2 1985 PHOTO OF CABANA UNDER CONSTRUCTION
Scale: N.T.S



3 CURRENT DAY PHOTO
Scale: N.T.S



3 1965 PHOTO
Scale: N.T.S



3 1985 RENOVATION PHOTO
Scale: N.T.S

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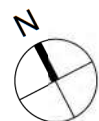
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EXISTING ANALYSIS

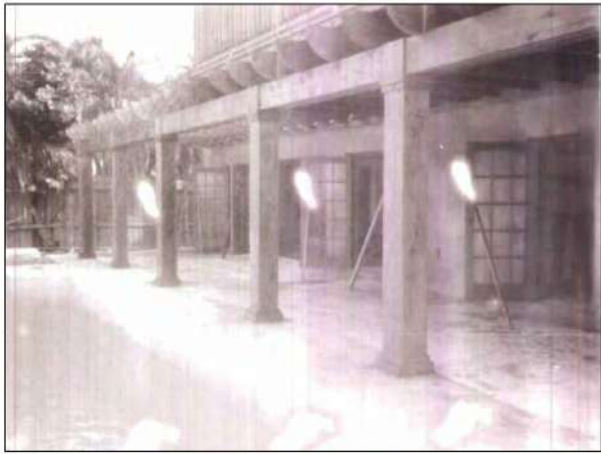
SLIDE 11

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Scale	AS MENTIONED	A1.06A
Project	2030	





4 CURRENT DAY PHOTO
Scale: N.T.S.
*TODAY SECOND STORY BALCONY EXTENDS OVER THE PERGOLA



4 1983 PHOTO OF WOOD PERGOLA WITHOUT SECOND STORY BALCONY
Scale: N.T.S.



5 CURRENT DAY PHOTO
Scale: N.T.S.



5 CURRENT DAY PHOTO
Scale: N.T.S.



5 1972 PHOTO OF METAL AWNING AND A WHITE POURED CONCRETE PATIO
Scale: N.T.S.

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EXISTING ANALYSIS
SLIDE 12

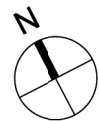
Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A1.06B
Project	2030	

B I S C A Y N E B A Y

N O R T H B A Y R O A D

WEST 52ND

60' TOTAL
PUBLIC R/W



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SITE PLAN

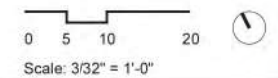
SLIDE 13

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A2.01
Project	2030	

1

SITE PLAN

Scale: 3/32" = 1'-0"





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RENDERING SLIDE 15

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A6.01
Project	2030	

1 FRONT RENDERING
Scale: N.T.S



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RENDERING

SLIDE 16

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A6.02
Project	2030	









1 FRONT ELEVATION - EAST
Scale: 1/8"=1'-0"



2 REAR ELEVATION - WEST
Scale: 1/8"=1'-0"

ELEVATION MATERIAL
Legend

1. PLANTERS
2. GREENWALL
3. ARCHITECTURAL LOUVERS
4. TRAVERTINE
5. WOOD SOFFIT
6. BLACK METAL RAILING W/ WOOD CAP
7. GUNMETAL FRAME GLAZING SYSTEM
8. EXPOSED BOARD FORM CONCRETE
9. PAINTED SMOOTH STUCCO WHITE

Rev.	Date	Rev.	Date

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RENDERED ELEVATION

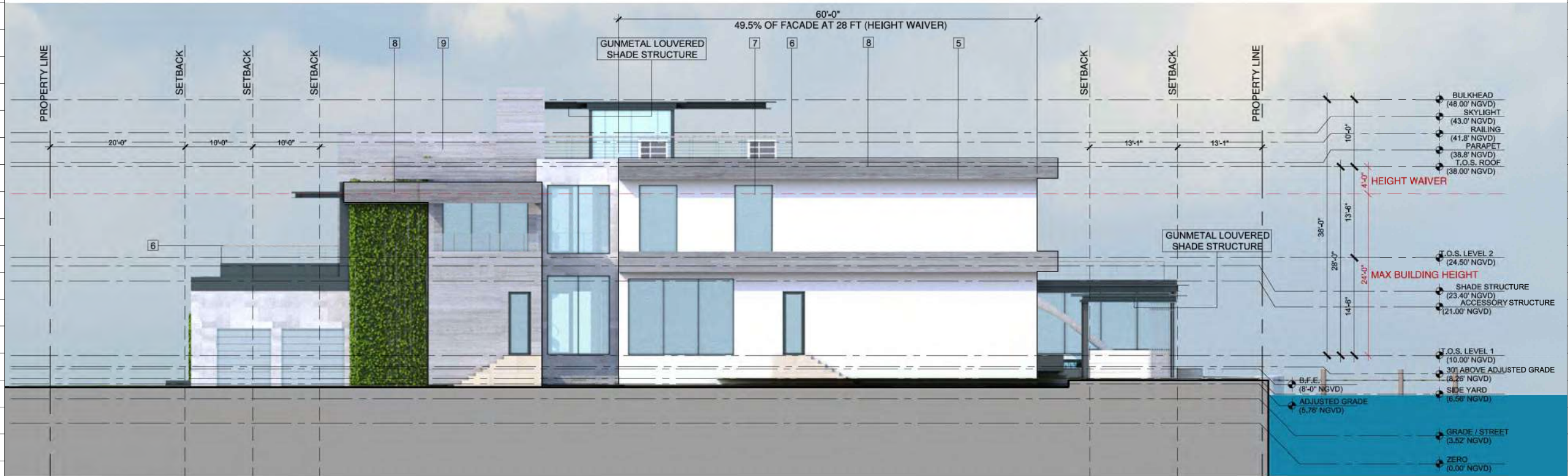
SLIDE 20

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A4.04
Project	2030	



1 SIDE ELEVATION - SOUTH

Scale: 1/8"=1'-0"



2 SIDE ELEVATION - NORTH

Scale: 1/8"=1'-0"

ELEVATION MATERIAL Legend



1. PLANTERS



2. GREENWALL



3. ARCHITECTURAL LOUVERS



4. TRAVERTINE



5. WOOD SOFFIT



6. BLACK METAL RAILING W/ WOOD CAP



7. GUNMETAL FRAME GLAZING SYSTEM



8. EXPOSED BOARD FORM CONCRETE



9. PAINTED SMOOTH STUCCO WHITE

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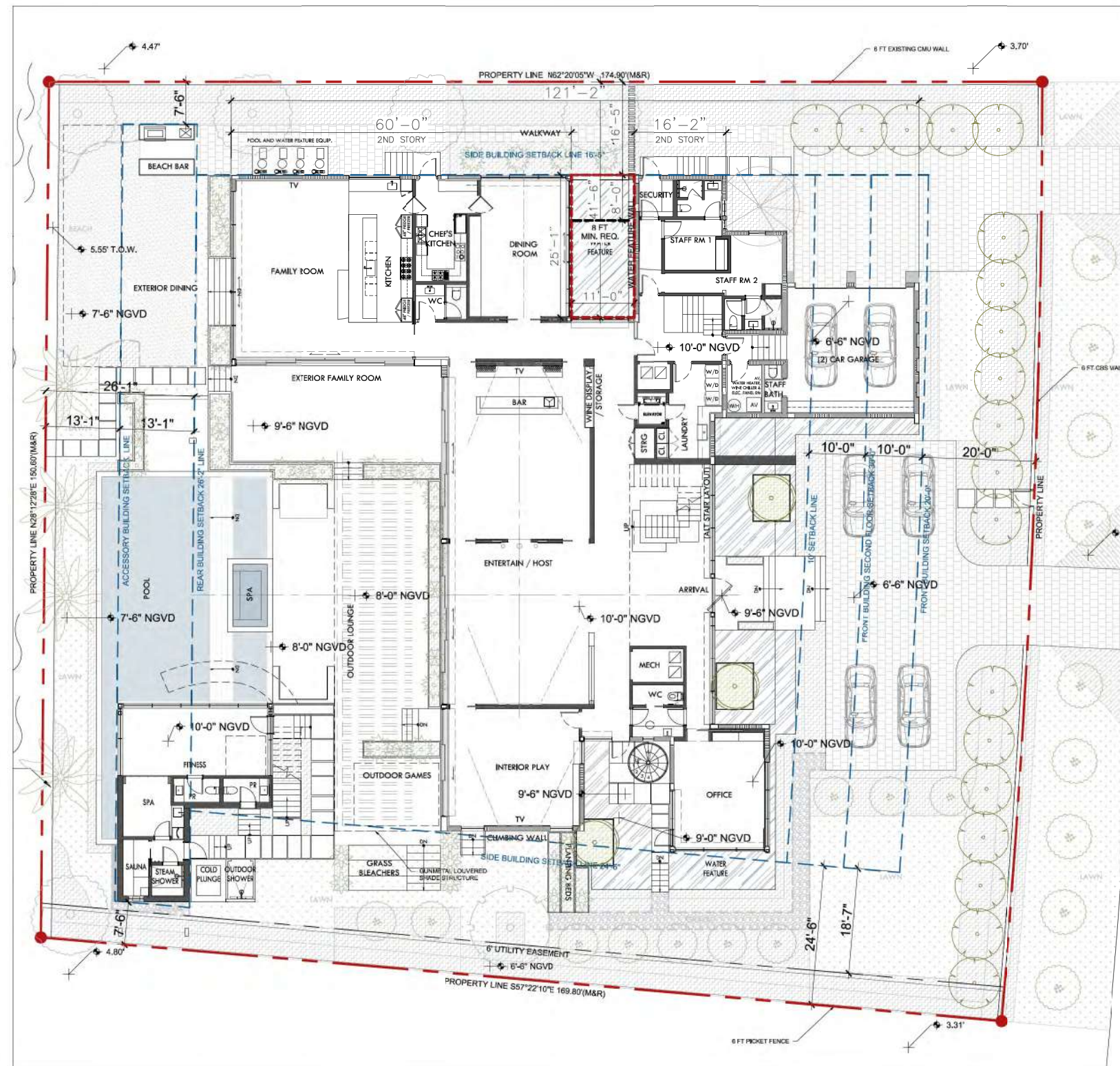
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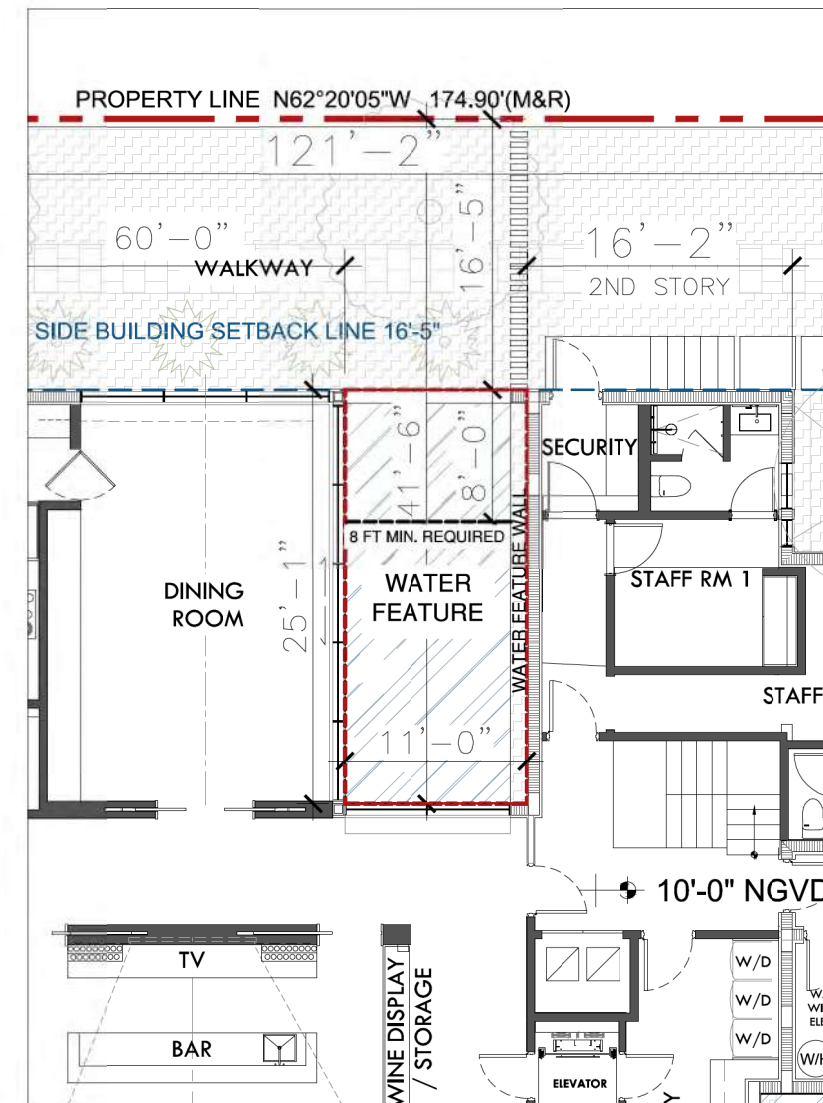
RENDERED ELEVATION

SLIDE 21

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A4.05
Project	2030	



1 SITE PLAN - COURTYARD DIAGRAM
Scale: 3/32" = 1'-0"



COURTYARD WAIVER DIAGRAM

COURTYARD COMPLETELY OPEN TO SKY

COURTYARD AREA = 276 SF (3% OF LOT COVERAGE)
WATER FEATURE = 243 SF (88% OF COURTYARD)
HARDSCAPE = 33 SF (12% OF COURTYARD)

2 ZOOM IN - COURTYARD
Scale: 3/16" = 1'-0"

Rev. Date Rev. Date

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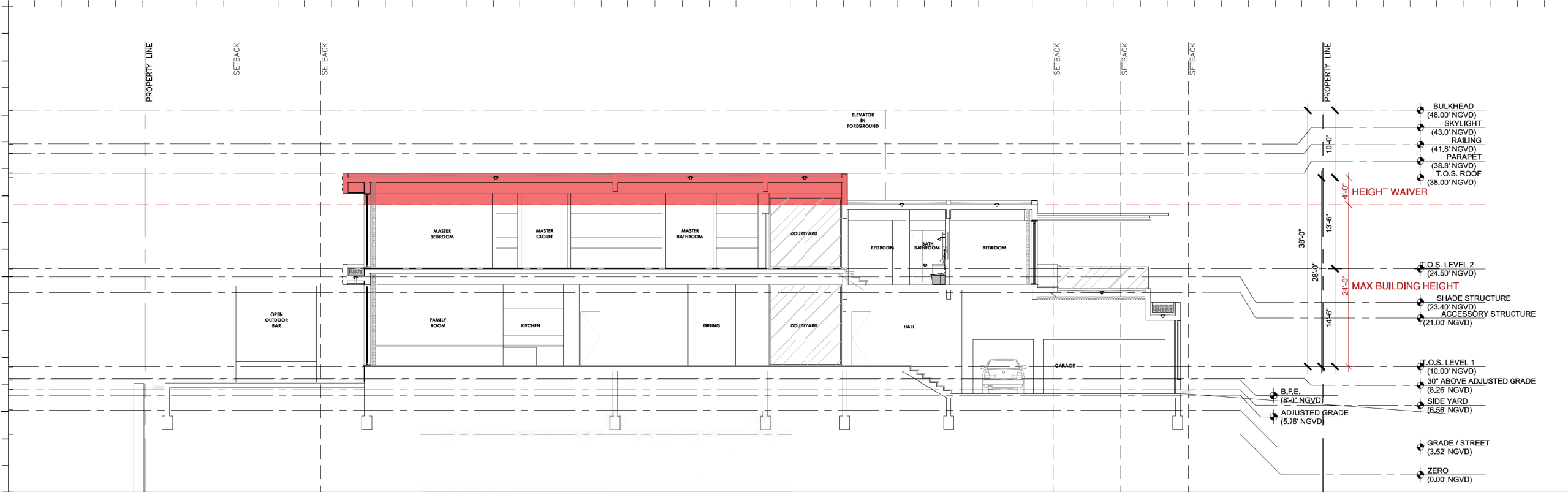
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COURTYARD WAIVER

SLIDE 22

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A1.08
Project	2030	



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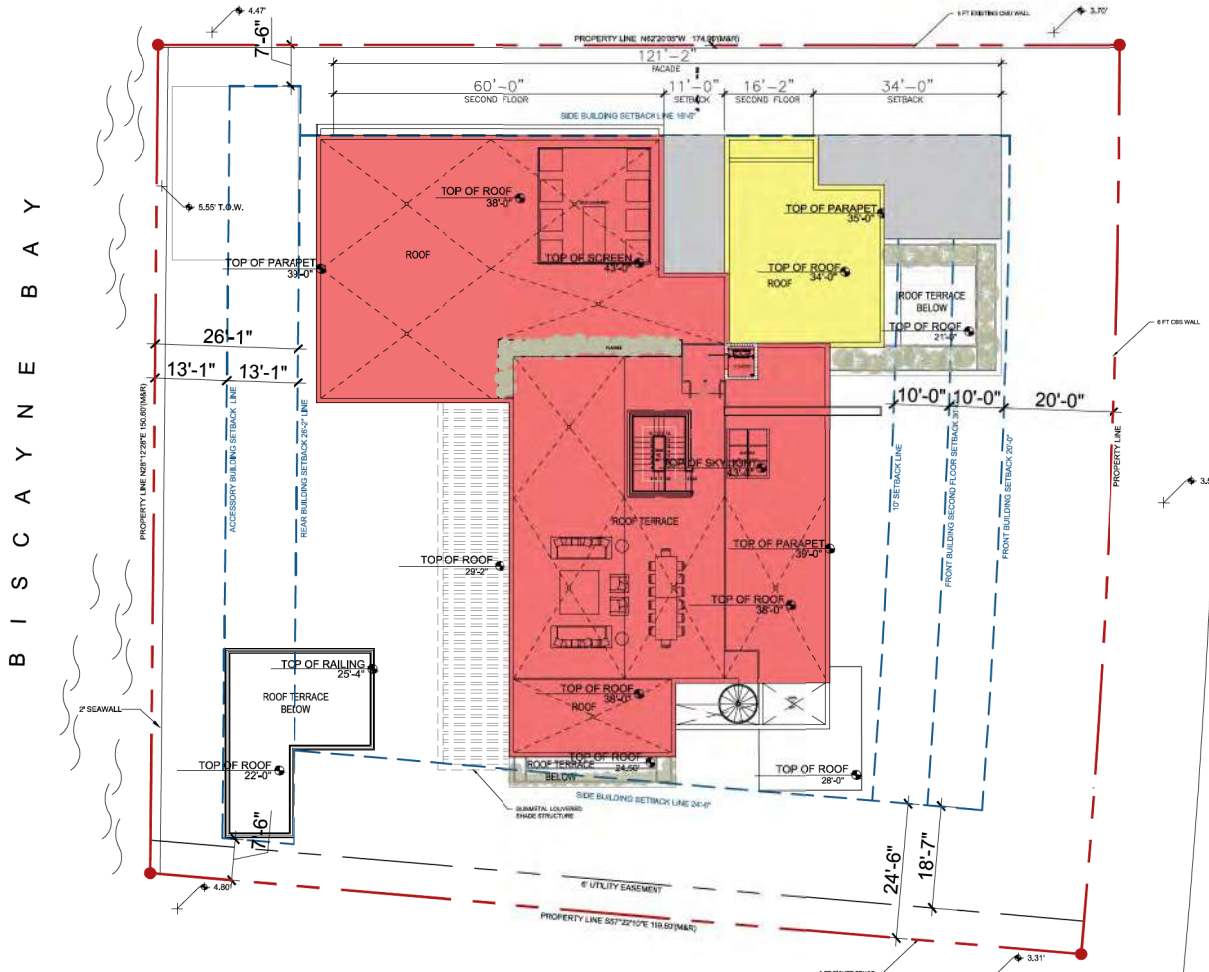
HEIGHT WAIVER

SLIDE 23

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A1.07
Project	2030	

2 HEIGHT WAIVER DIAGRAM

Scale: 1/8"=1'-0"

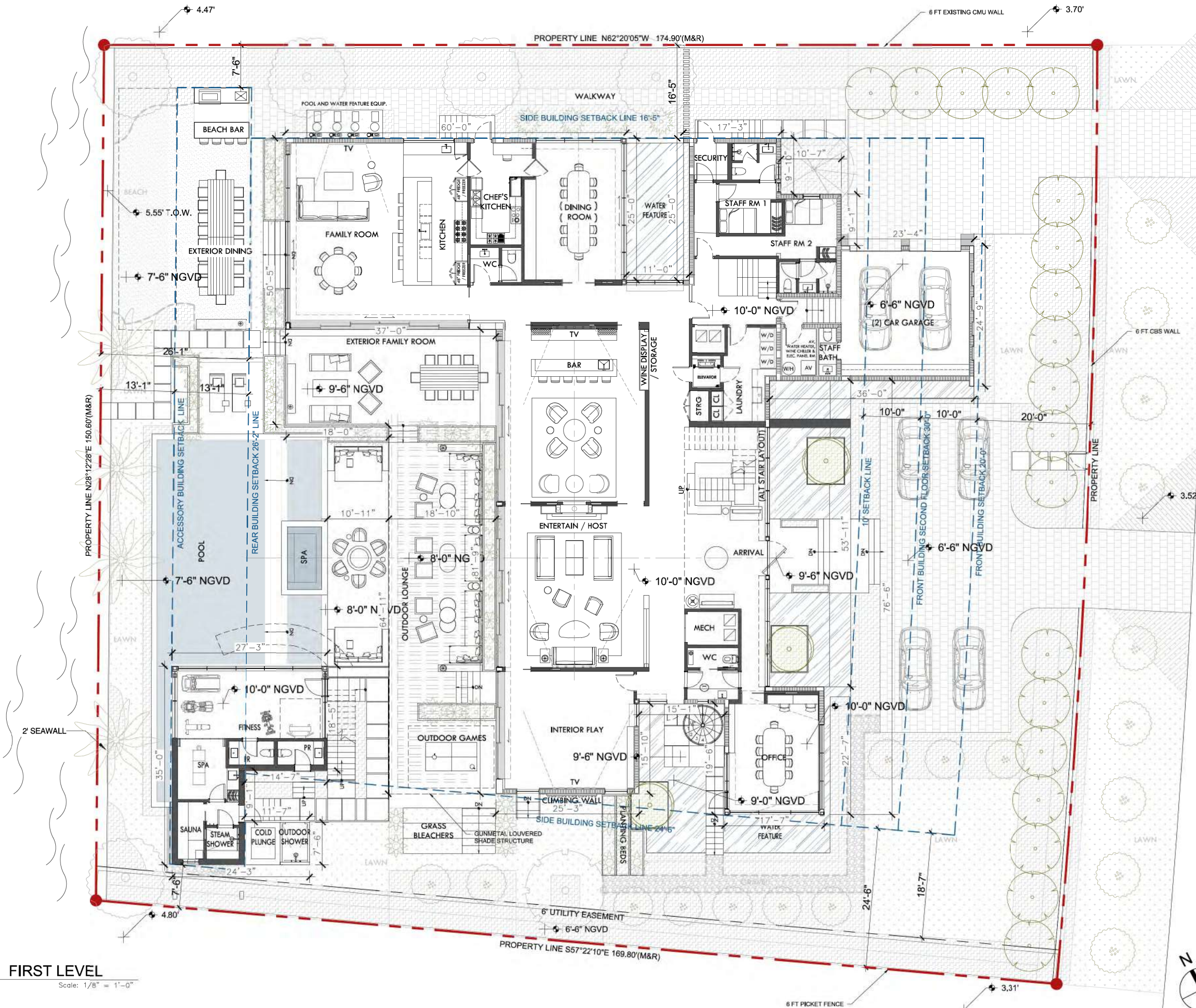


1 HEIGHT WAIVER DIAGRAM

Scale: 1/16"=1'-0"

HEIGHT WAIVER DIAGRAM

- SECOND FLOOR - 28 FT (HEIGHT WAIVER) = 60 FT (49.5% OF FACADE)
- SECOND FLOOR - 24 FT = 16 FT - 2 IN (13.4% OF FACADE)
- SETBACK = 11 FT + 34 FT = 45 FT (37.1% OF FACADE)



1 FIRST LEVEL
Scale: 1/8" = 1'-0"

Rev. Date Rev. Date

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FIRST LEVEL

SLIDE 24

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A3.01
Project	2030	

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SECOND LEVEL
SLIDE 25

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A3.02
Project	2030	

ROOF LEVEL

Scale: 1/8" = 1'-0"

MAX ROOF DECK ALLOWED
* 25% Of second floor sq.
Second Level
Roof Level

MAX ROOF SHADE ALLOWED
* 20% Of second floor sq.
Second Level
Roof Shade Structure

Key features and dimensions include:

- Property Lines:** N62°20'05"W 174.90'(M&R), N28°12'28"E 150.60'(M&R), S57°22'10"E 169.80'(M&R)
- Setbacks:** SIDE BUILDING SETBACK LINE 16'-5", REAR BUILDING SETBACK 26'-2" LINE, ACCESSORY BUILDING SETBACK, FRONT BUILDING SETBACK 20'-0", FRONT BUILDING SECOND FLOOR SETBACK 30'-0", 10' SETBACK LINE
- Roof Areas:** ROOF, MECH EQUIPMENT, ROOF TERRACE, ROOF TERRACE BELOW, ROOF TERRACE BELOW
- Structures:** GUNMETAL LOUVERED SHADE STRUCTURE, ELEVATOR, SKYLIGHT, PLANTER
- Other Features:** 2' SEAWALL, 6' UTILITY EASEMENT, 10' FENCE WALL
- Dimensions:** Various setbacks and building dimensions are provided in feet and inches (e.g., 23'-1", 29'-0", 48'-8", 26'-2", 13'-1", 29'-6", 86'-2", 67'-9", 51'-8", 13'-2", 27'-3", 68'-0", 34'-4", 13'-6", 7'-8", 12'-6", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-4", 54'-10", 42'-9", 21'-11", 24'-9", 38'-0", 34'-0", 35'-0", 21'-0", 6'-8", 6'-1", 9'-0", 7'-6", 38'-0", 39'-0", 29'-2", 24'-4", 18'-5", 14'-9", 16'-0", 26'-0", 21'-10", 23'-4", 26'-10", 30'-3", 24'-1", 15'-0", 44'-2", 18'-9", 26'-3", 24'-6", 18'-7", 42'-2", 48'-9", 62'-8", 69'-0", 10'-0", 10'-0", 20'-0", 64'-10", 21'-5", 9'-0", 35'-

A compass rose with four quadrants. The top quadrant is labeled 'N' for North. A thick black line is drawn from the center towards the top-left, indicating a direction. The area between this line and the top vertical line is shaded black.

Date	07/05/2021	Sheet No. A3.03
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AXONOMETRIC SE VIEW

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ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE

5212 NORTH BAY ROAD
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AXONOMETRIC RENDERING
SLIDE 27

Date	07/05/2021	Sheet No.
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AXONOMETRIC RENDERING
SLIDE 28

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A7.02
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RENDERING

SLIDE 29

Date	07/05/2021	Sheet No.
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RENDERING

SLIDE 30

Date	07/05/2021	Sheet No.
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Planning Department, 1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	5212 NORTH BAY ROAD, MIAMI, FL 33140		
2	Folio number(s):	02-3215-003-1940		
3	Board and file numbers :	DRB 21-0685		
4	Year built:	1929	Zoning District:	RS-3
5	Base Flood Elevation:	8'-0" NGVD	Grade value in NGVD:	3.52' NGVD
6	Adjusted grade (Flood+Grade/2):	5.76' NGVD	Free board:	+2.00' NGVD (10'-0" NGVD)
7	Lot Area:	27,334 SF		
8	Lot width:	163'-9"	Lot Depth:	174'-0"
9	Max Lot Coverage SF and %:	8,200 SF (30%)	Proposed Lot Coverage SF and %:	8,200 SF (30%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	2,203 SF (67%)	Rear Yard Open Space SF and %:	2,982 SF (75%)
12	Max Unit Size SF and %:	13,667 SF (50%)	Proposed Unit Size SF and %:	13,626 SF (50%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	8,200 SF (30%)
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	N/A PER ORDINANCE 2020-4359
15			Proposed Second Floor Unit Size SF and % :	5,836 SF (21%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	90 SF (0.3%)

	Zoning Information / Calculations	Required	Existing	Proposed	Deficiencies
17	Height:	24'- FLAT ROOFS		28'-0"	4' HEIGHT WAIVER
18	Setbacks:				
19	Front First level:	20'-0"		21'-5"	
20	Front Second level:	30'-0"		42'-9"	
21	Side 1:	16'-5" MIN.		16'-5"	
22	Side 2 or (facing street):	24'-6 1/4" MIN.		24'-10"	
23	Rear:	26'-2"		29'-0"	
	Accessory Structure Side 1: NORTH	7'-6"		7'-7"	
24	Accessory Structure Side 2 or (facing street) : SOUTH	7'-6"		8'-9"	
25	Accessory Structure Rear:	13'-0"		13'-6"	
26	Sum of side yard :	40'-11 1/4" (25% of Lot Width)		41'-3" (26% of Lot Width)	
27	Located within a Local Historic District?			Yes or <input type="checkbox"/> No	
28	Designated as an individual Historic Single Family Residence Site?			Yes or <input type="checkbox"/> No	
29	Determined to be Architecturally Significant?			Yes or <input type="checkbox"/> No	
	Additional data or information must be presented in the format outlined in this section				

Notes:

If not applicable write N/A

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN HEIGHT OF 2'-0" AND 8'-0" ABOVE AVERAGE GRADE (5.935' N.G.V.D) MEASURED AT THE DRIVEWAY OR AT THE TRIANGLE OF VISIBILITY AND INTERSECTION.
THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE CANAL.
SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH SECTION R4101.17.1.1 THROUGH R4101.17.1.14 OF THE FLORIDA BUILDING CODE, 2010 RESIDENTIAL. POOL, EQUIPMENT AND POOL BARRIER ARE UNDER A SEPARATE PERMIT.

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A0.03	EXISTING STRUCTURES
A0.04	EXISTING STRUCTURES
A0.05	EXISTING STRUCTURES
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A7.02	AXONOMETRIC RENDERING

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ZONING

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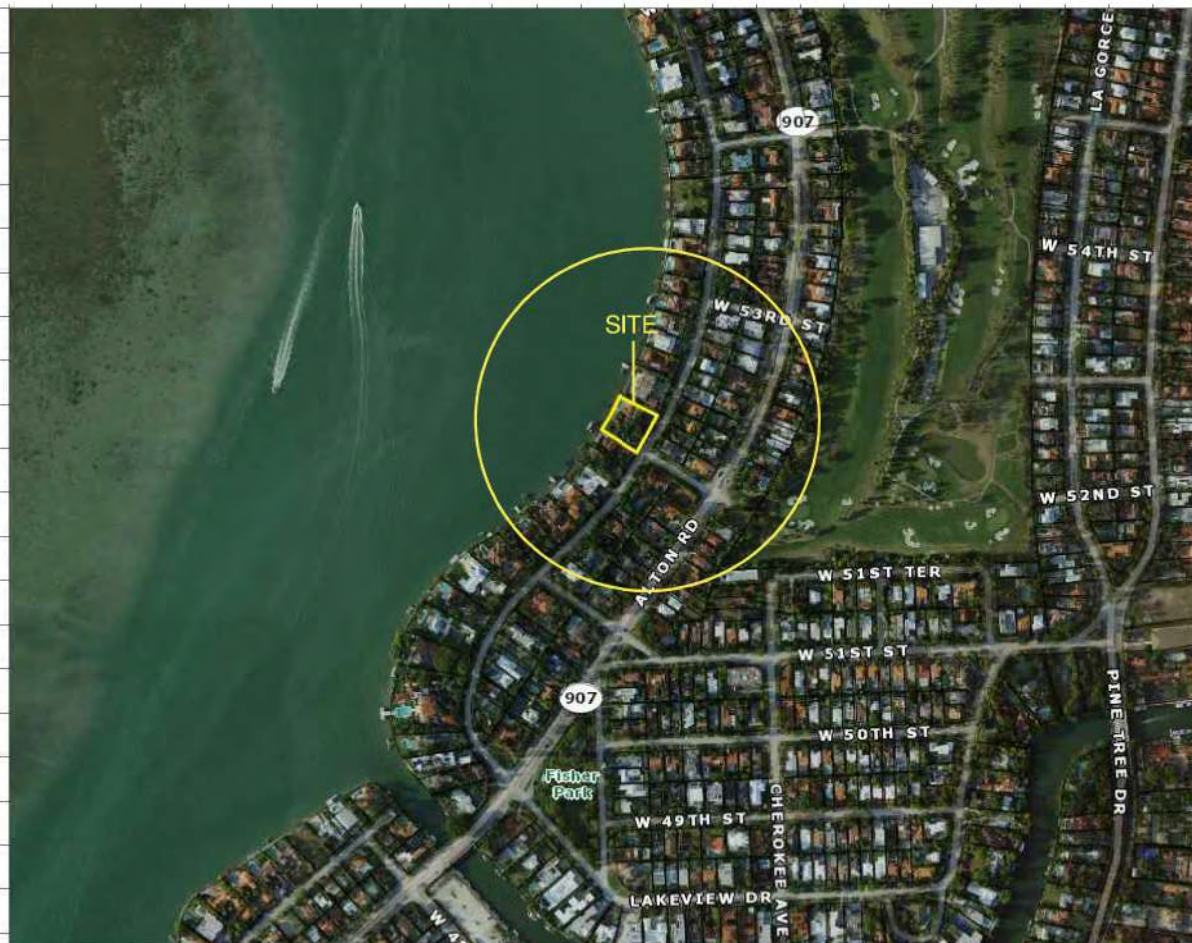
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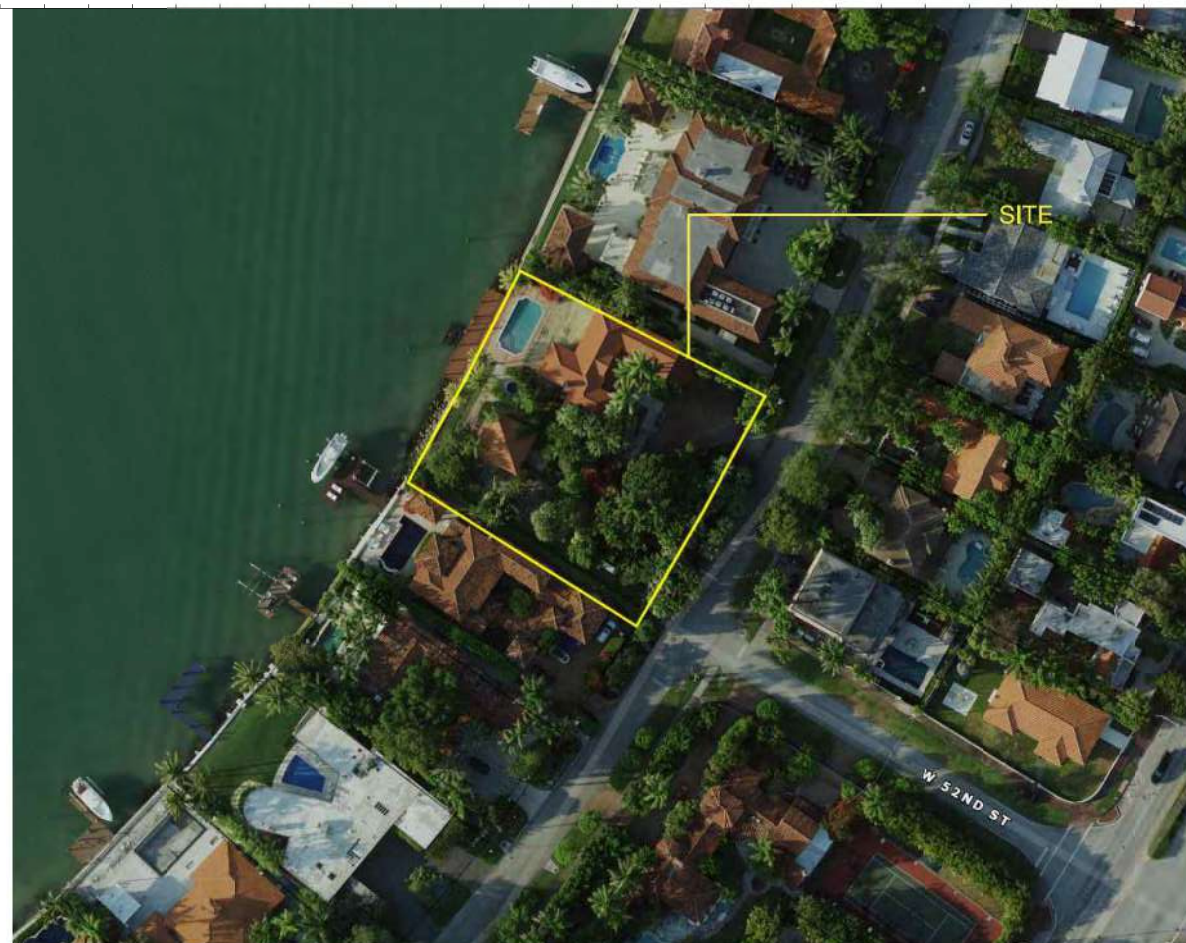


ZONING DATA

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LOCATION

Date	07/05/2021	Sheet No. A0.02
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LOCATION MAP

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SITE

Scale N.T.S



1 5222 N BAY RD

N.T.S



2 5226 N BAY RD

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ZONING

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PROJECT SITE
Exist. Structures

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LOCATION MAP

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3 5235 N BAY RD

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4 5231 N BAY RD

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5 5235 N BAY RD

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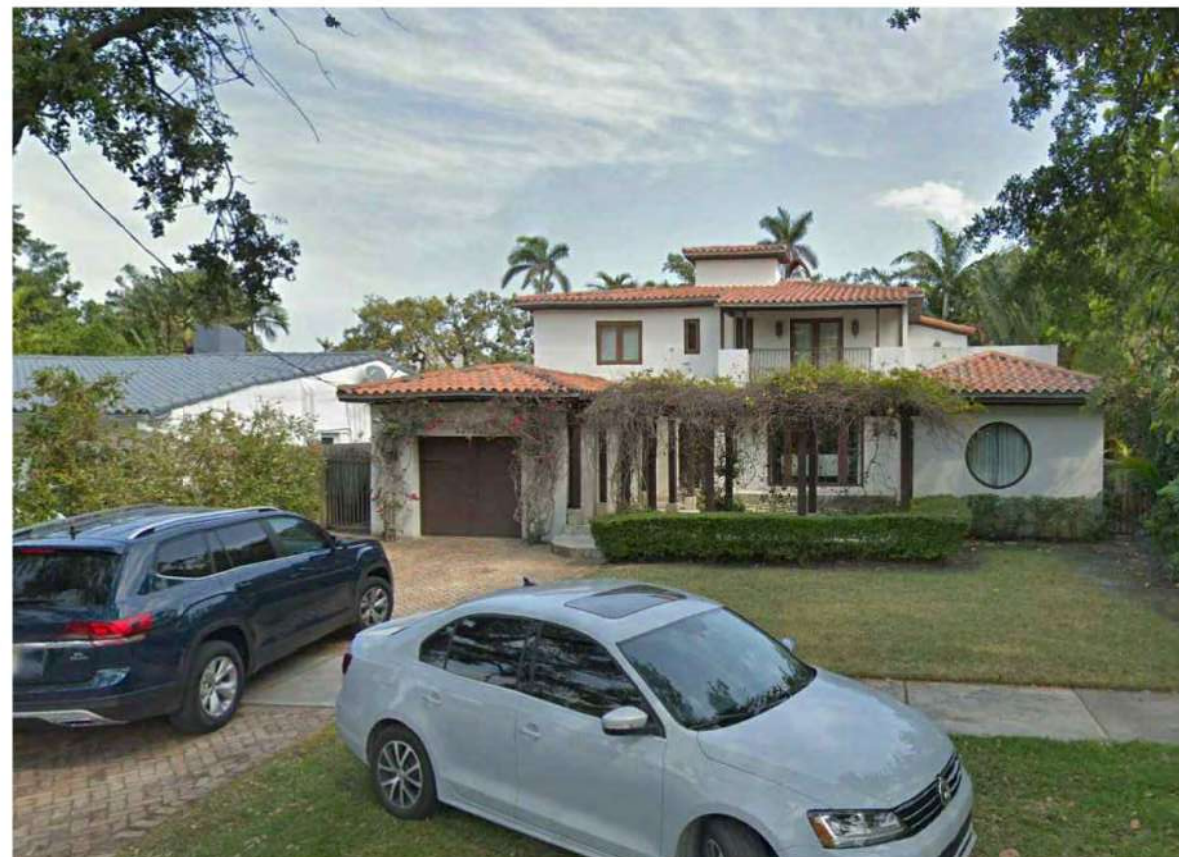


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Scale	AS MENTIONED	A0.04
Project	2030	



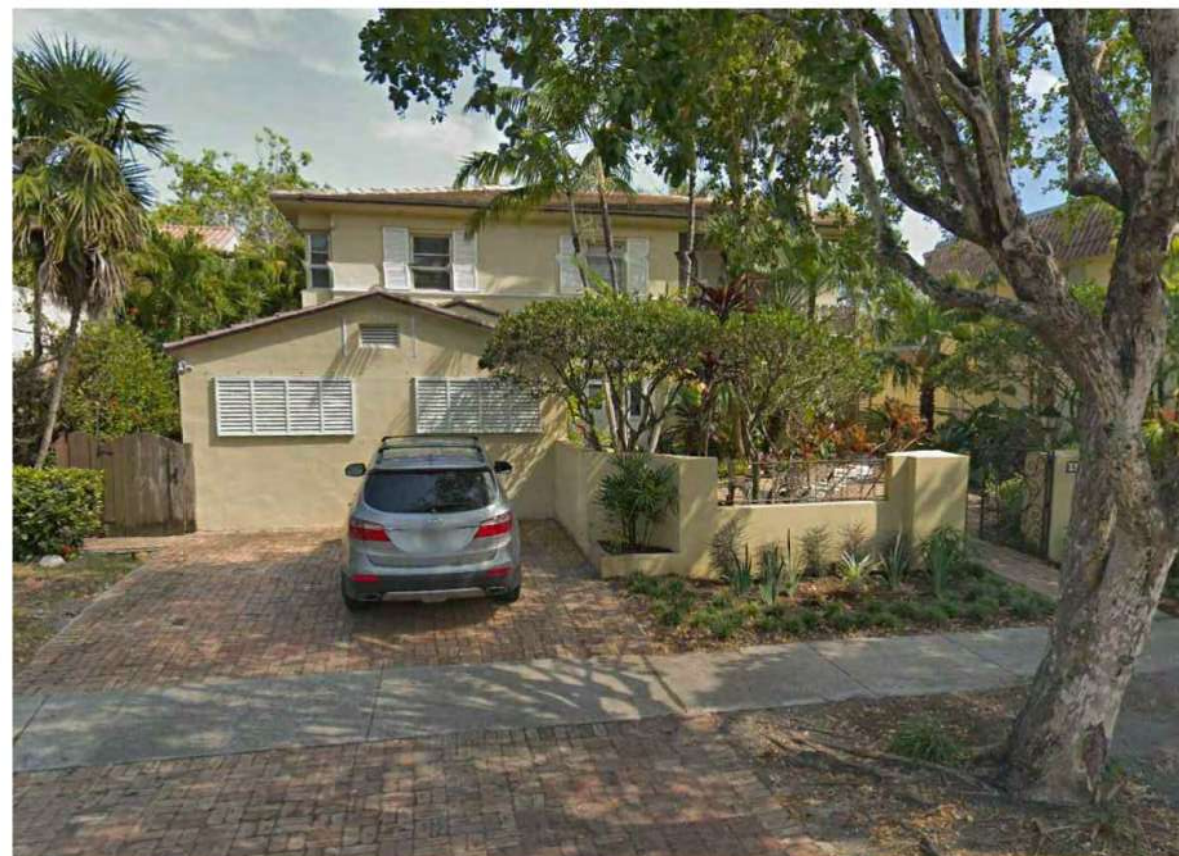
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PROJECT SITE
Exist. Structures

Date	07/05/2021	Sheet No. A0.05
Scale	AS MENTIONED	
Project	2030	



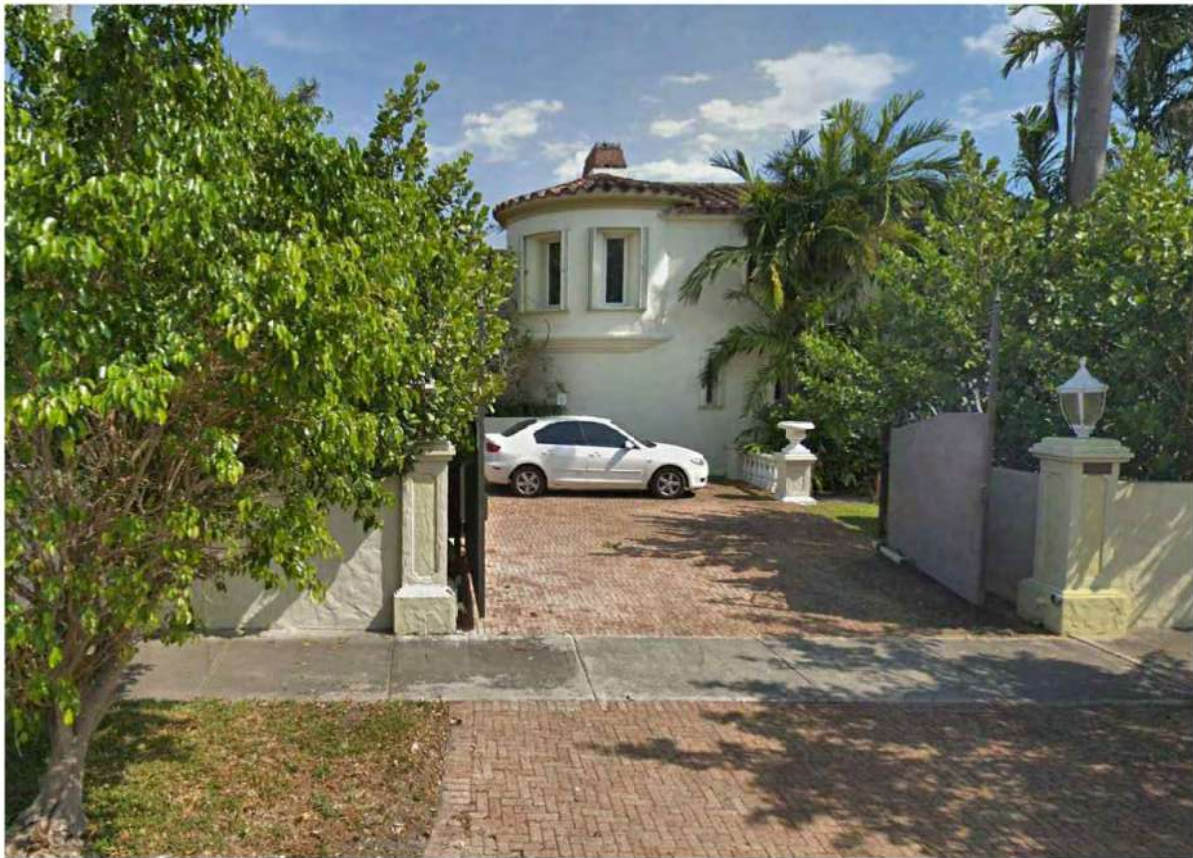
LOCATION MAP

Scale N.T.S



9 5201 N BAY RD

N.T.S



10 5185 N BAY RD

N.T.S



11 5180 N BAY RD

N.T.S

Rev.	Date	Rev.	Date

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ZONING

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PROJECT SITE
Exist. Structures

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.06
Project	2030	



LOCATION MAP

Scale N.T.S



12 5201 N BAY RD

N.T.S



13 N BAY RD - SOUTH STREET VIEW

N.T.S



14 W 52 ND ST - STREET VIEW

N.T.S

Rev.	Date	Rev.	Date

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PROJECT SITE
Exist. Structures

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.07
Project	2030	



LOCATION MAP

Scale N.T.S



15 N BAY RD - NORTH STREET VIEW

N.T.S



16 WATERFRONT VIEW

N.T.S

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PROJECT SITE
Exist. Structures

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.08
Project	2030	



LOCATION MAP

Scale N.T.S



A1 FRONT ELEVATION

N.T.S



A2 FRONT ENTRANCE

N.T.S



B REAR ELEVATION

N.T.S

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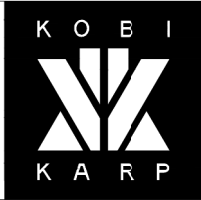
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PROJECT SITE
Exist. Site

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.09
Project	2030	



C NORTH SIDE YARD

N.T.S



D NORTH SIDE YARD

N.T.S

Rev.	Date	Rev.	Date

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PROJECT SITE
Exist. Site

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.10
Project	2030	



E1 PERGOLA

N.T.S



E2 CABANA

N.T.S



E3 PATIO

N.T.S



E4 SPA / CABANA

N.T.S

Rev.	Date	Rev.	Date

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PROJECT SITE
Exist. Site

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A0.11
Project	2030	

B I S C A Y N E B A Y

N O R T H B A Y R O A D

WEST 52ND ST

Legend

- REQUIRED YARD AREAS
- PERVIOUS
- POOL
- ACCESSORY STRUCTURE

FRONT YARD AREA	3,303 SF
MIN. PERVIOUS AREA	(50%) 1,652 SF
PROPOSED PERVIOUS SOIL AREA	2,203 SF
TOTAL	(67%) 2,203 SF

REAR YARD AREA	3,959 SF
MIN. PERVIOUS AREA	(70%) 2,771 SF
POOL AREA	796 SF
50% of pool area	(50%) 398 SF
PROPOSED PERVIOUS SOIL AREA	2,375 SF
TOTAL	(70%) 2,773 SF

REAR YARD AREA	3,959 SF
MAX ACC. BLDG COVERAGE	(25%) 990 SF
ACC. BUILDINGS TOTAL	(13%) 541 SF

POOL AREA = 796 SF
50% OF POOL = 398 SF

Scale: 3/32" = 1'-0"

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Lic. # AR0012578



ZONING DIAGRAMS

Pervious

SLIDE 3

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A1.01
Project	2030	

B I S C A Y N E B A Y

N O R T H B A Y R O A D

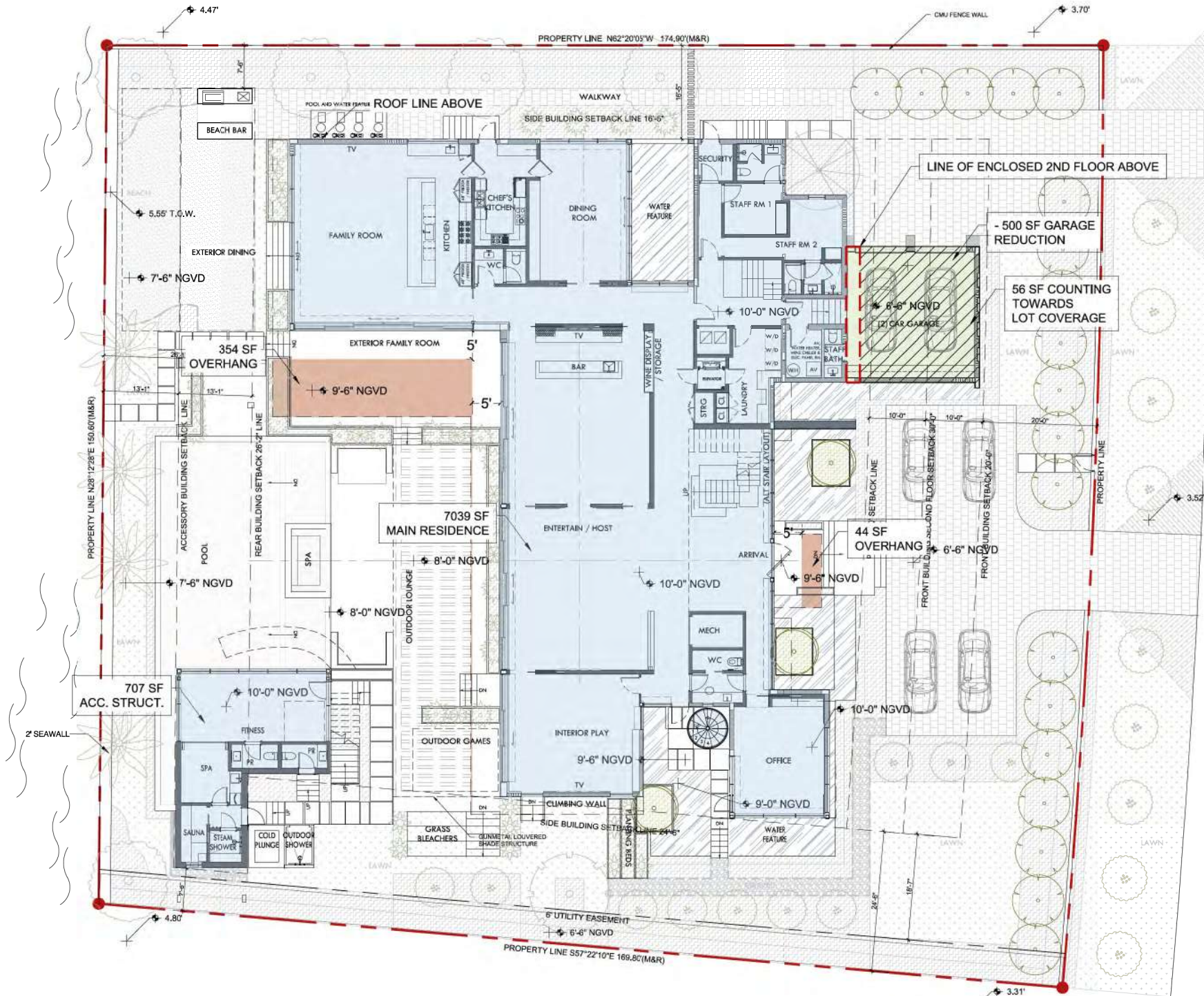
WEST 52ND ST

Legend

RESIDENCE	7,746 SF
OVERHANGS	398 SF
GARAGE	556 SF
Garage deduction	- 500 SF = 56 SF
TOTAL	(30%) 8,200 SF

1 LOT COVERAGE

Scale: 3/32" = 1' - 0"



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ZONING DIAGRAMS
Lot Coverage **SLIDE 4**

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A1.02
Project	2030	

B I S C A Y N E B A Y

N O R T H B A Y R O A D

WEST 52ND ST

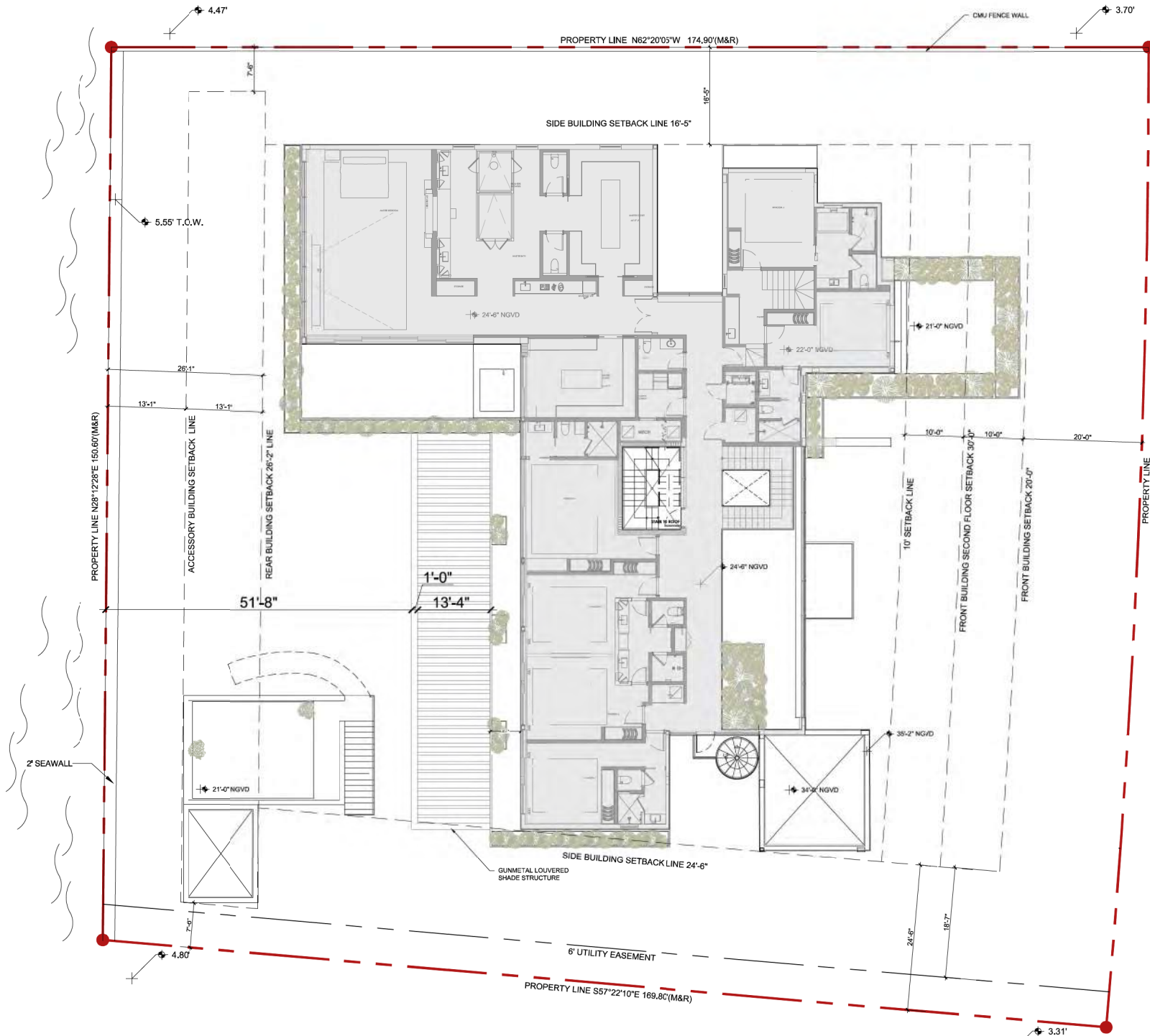
Second Floor

MAX UNIT SIZE	(50%) 13,667 SF
Ground Level	8,200 SF
Second Level	5,836 SF
Roof Level	90 SF
Credit	-500 SF
*for enclosed floor space used for off street parking	

TOTAL (49.85%) 13,626 SF

1 SECOND FLOOR UNIT SIZE

Scale: 3/32"=1'-0"



60' TOTAL
PUBLIC R/W

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ZONING DIAGRAMS

Unit Size

SLIDE 6

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A1.04
Project	2030	

B I S C A Y N E B A Y

N O R T H B A Y R O A D

WEST 52ND ST

Roof Floor

MAX UNIT SIZE	(50%) 13,667 SF
Ground Level	8,200 SF
Second Level	5,836 SF
Roof Level	90 SF
Credit	-500 SF

TOTAL (49.85%) 13,626 SF

1 ROOF LEVEL UNIT SIZE

Scale: 3/32"=1'-0"

MAX ROOF DECK ALLOWED	1,459 SF
* 25% Of second floor sq.	
Second Level	5,836 SF
Roof Level	1,149 SF (19.69%)
MAX ROOF SHADE ALLOWED	1,167 SF
* 20% Of second floor sq.	
Second Level	5,836 SF
Roof Shade Structure	984 SF (16.87%)

60' TOTAL
PUBLIC R/W

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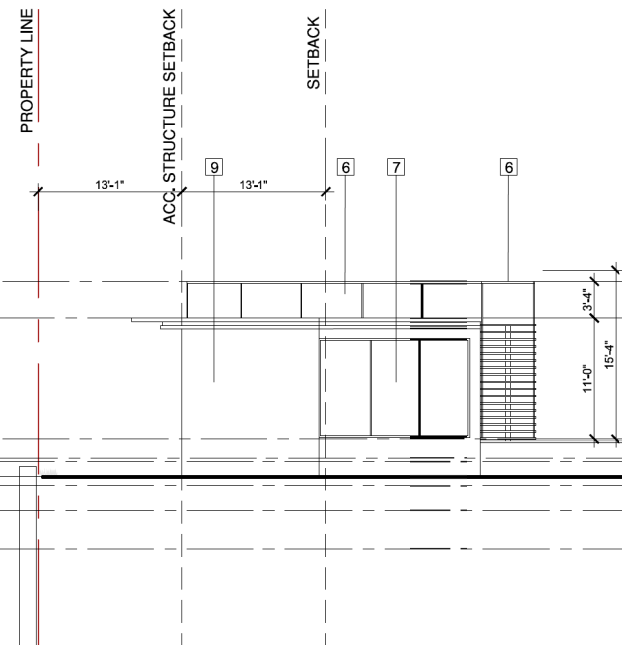


ZONING DIAGRAMS

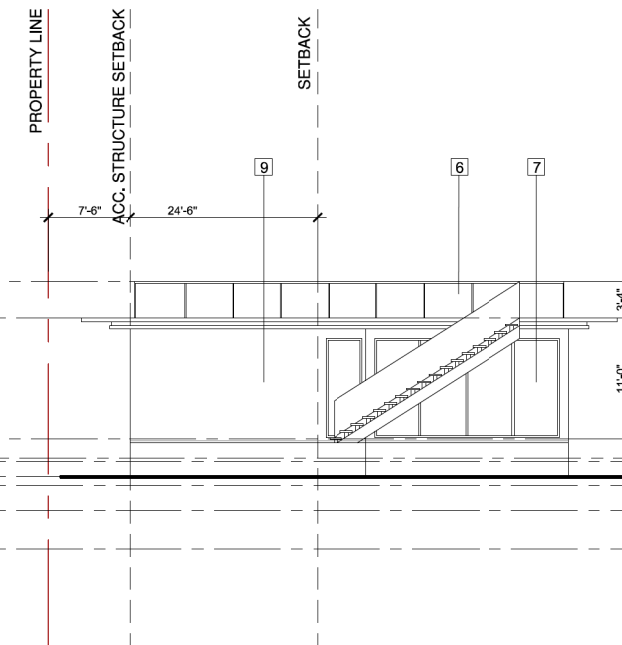
Unit Size

SLIDE 7

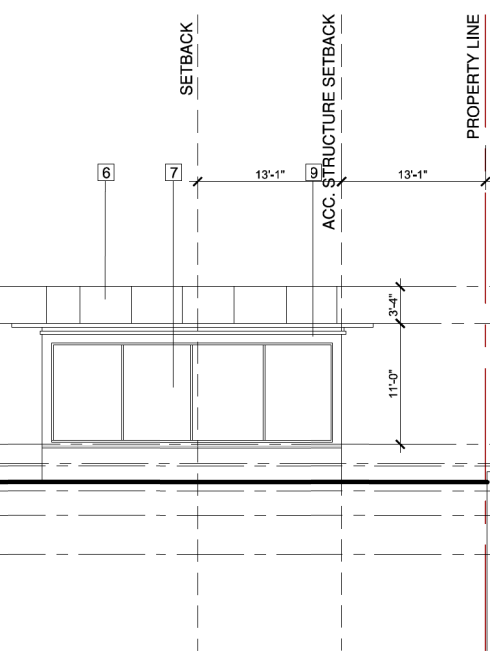
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Scale	AS MENTIONED	A1.05
Project	2030	



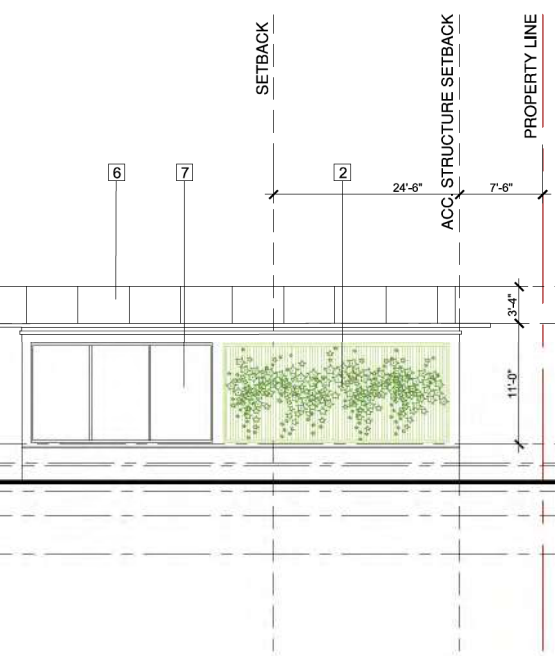
1 ACCESSORY ELEVATION - SOUTH
Scale: 1/8"=1'-0"



2 ACCESSORY ELEVATION - EAST
Scale: 1/8"=1'-0"



3 ACCESSORY ELEVATION - NORTH
Scale: 1/8"=1'-0"



4 ACCESSORY ELEVATION - SOUTH
Scale: 1/8"=1'-0"

- 1. PLANTERS
- 2. GREENWALL
- 3. ARCHITECTURAL LOUVERS
- 4. TRAVERTINE
- 5. WOOD SOFFIT
- 6. BLACK METAL RAILING W/ WOOD CAP
- 7. GUNMETAL FRAME GLAZING SYSTEM
- 8. EXPOSED BOARD FORM CONCRETE
- 9. PAINTED SMOOTH STUCCO WHITE

- RAILING (24.40' NGVD)
- ACCESSORY STRUCTURE (21.00' NGVD)
- T.O.S. LEVEL 1 (10.00' NGVD)
- 30" ABOVE ADJUSTED GRADE (8.26' NGVD)
- SIDE YARD (6.56' NGVD)
- B.F.E. (8'-0" NGVD)
- ADJUSTED GRADE (5.76' NGVD)
- GRADE / STREET (3.52' NGVD)
- ZERO (0.00' NGVD)

Rev.	Date	Rev.	Date	Rev.	Date

ZONING
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ELEVATION

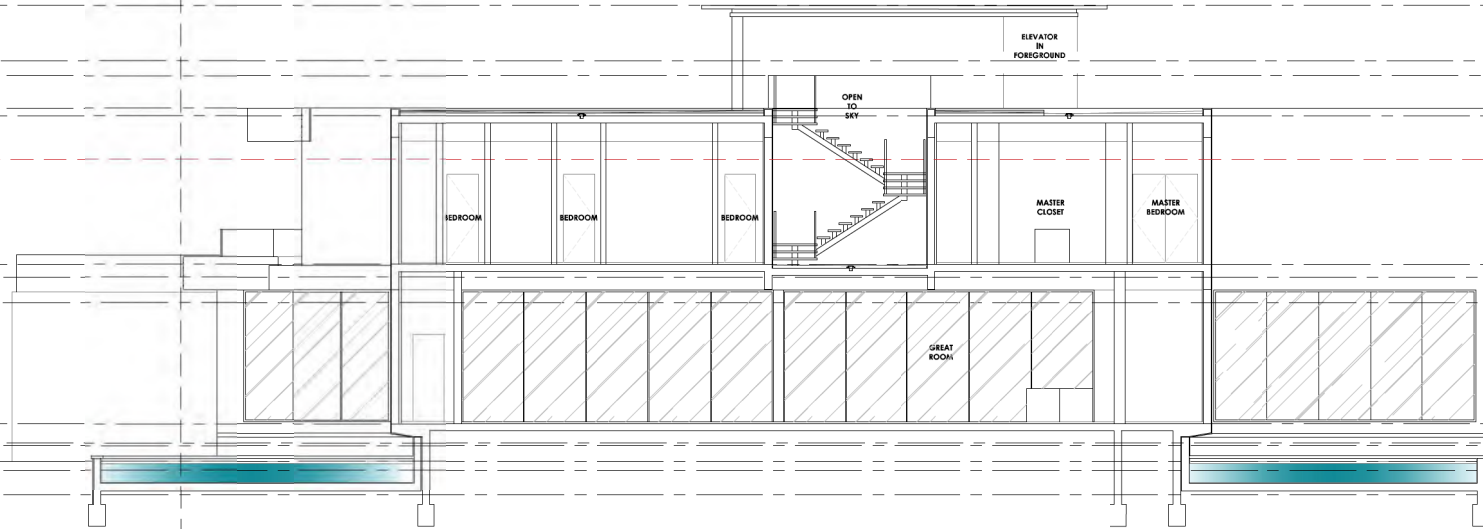
Date	07/05/2021	Sheet: No. A4.03
Scale	AS MENTIONED	
Project	2030	

PROPERTY LINE

SETBACK

SETBACK

PROPERTY LINE



- BULKHEAD (48.00' NGVD)
- SKYLIGHT (43.0' NGVD)
- RAILING (41.8' NGVD)
- PARAPET (38.8' NGVD)
- T.O.S. ROOF (38.00' NGVD)
- HEIGHT WAIVER
- T.O.S. LEVEL 2 (24.50' NGVD)
- MAX BUILDING HEIGHT
- SHADE STRUCTURE (23.40' NGVD)
- ACCESSORY STRUCTURE (21.00' NGVD)
- T.O.S. LEVEL 1 (10.00' NGVD)
- 30" ABOVE ADJUSTED GRADE (8.26' NGVD)
- B.F.E. (8'-0" NGVD)
- ADJUSTED GRADE (5.76' NGVD)
- GRADE / STREET (3.52' NGVD)
- ZERO (0.00' NGVD)

1 SECTIONS

Scale: 1/8"=1'-0"

PROPERTY LINE

SETBACK

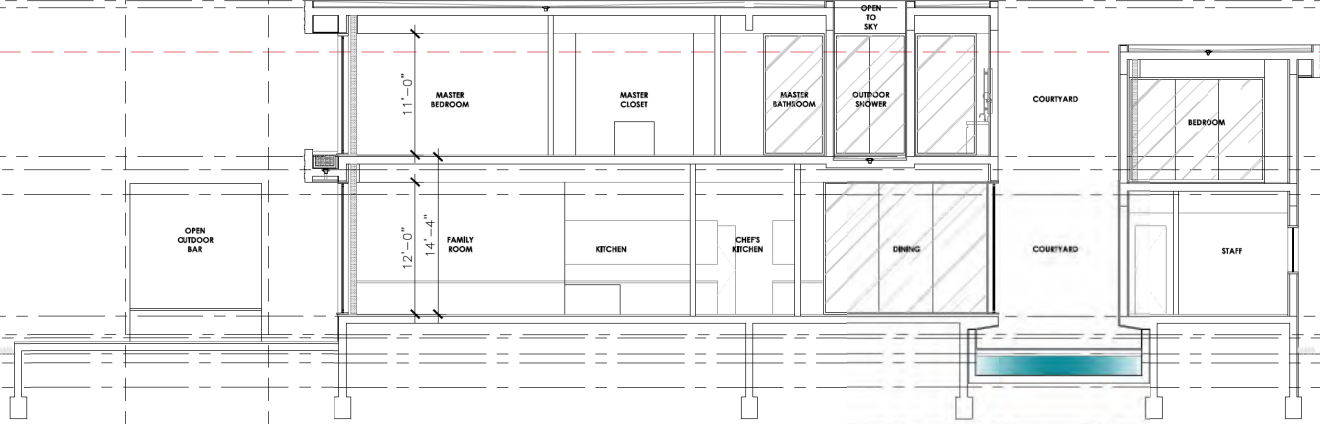
SETBACK

SETBACK

SETBACK

SETBACK

PROPERTY LINE



- BULKHEAD (48.00' NGVD)
- SKYLIGHT (43.0' NGVD)
- RAILING (41.8' NGVD)
- PARAPET (38.8' NGVD)
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- ZERO (0.00' NGVD)

2 SECTIONS

Scale: 1/8"=1'-0"

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SECTIONS

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A5.01
Project	2030	

PROPERTY LINE

SETBACK

SETBACK

SETBACK

SETBACK

SETBACK

PROPERTY LINE

PROPERTY LINE

SETBACK

SETBACK

SETBACK

SETBACK

SETBACK

PROPERTY LINE

3 SECTIONS

Scale: 1/8"=1'-0"

4 SECTIONS

Scale: 1/8"=1'-0"

BULKHEAD
(48.00' NGVD)
SKYLIGHT
(43.0' NGVD)
RAILING
(41.8' NGVD)
PARAPET
(38.8' NGVD)
T.O.S. ROOF
(38.00' NGVD)

HEIGHT WAIVER

T.O.S. LEVEL 2
(24.50' NGVD)

MAX BUILDING HEIGHT

SHADE STRUCTURE
(23.40' NGVD)
ACCESSORY STRUCTURE
(21.00' NGVD)

T.O.S. LEVEL 1
(10.00' NGVD)
30" ABOVE ADJUSTED GRADE
(8.26' NGVD)

B.F.E.
(8'-0" NGVD)

ADJUSTED GRADE
(5.76' NGVD)

SIDE YARD
(6.56' NGVD)

GRADE / STREET
(3.52' NGVD)

ZERO
(0.00' NGVD)

BULKHEAD
(48.00' NGVD)
SKYLIGHT
(43.0' NGVD)
RAILING
(41.8' NGVD)
PARAPET
(38.8' NGVD)
T.O.S. ROOF
(38.00' NGVD)

HEIGHT WAIVER

T.O.S. LEVEL 2
(24.50' NGVD)

MAX BUILDING HEIGHT

SHADE STRUCTURE
(23.40' NGVD)
ACCESSORY STRUCTURE
(21.00' NGVD)

T.O.S. LEVEL 1
(10.00' NGVD)
30" ABOVE ADJUSTED GRADE
(8.26' NGVD)

B.F.E.
(8'-0" NGVD)

ADJUSTED GRADE
(5.76' NGVD)

SIDE YARD
(6.56' NGVD)

GRADE / STREET
(3.52' NGVD)

ZERO
(0.00' NGVD)

Rev.	Date	Rev.	Date

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ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE

5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:

PRIVATE RESIDENCE

Consultant:

Name
Address
Address
Tel:
Email

Consultant:

Name
Address
Address
Tel:
Email

Landscape Architect:

CLAD Landscape Architecture & Design
8020 NE 4th Ave., Suite 113
Miami, FL 33138
Tel: +1(786) 536 6076

Architect of Record:

Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

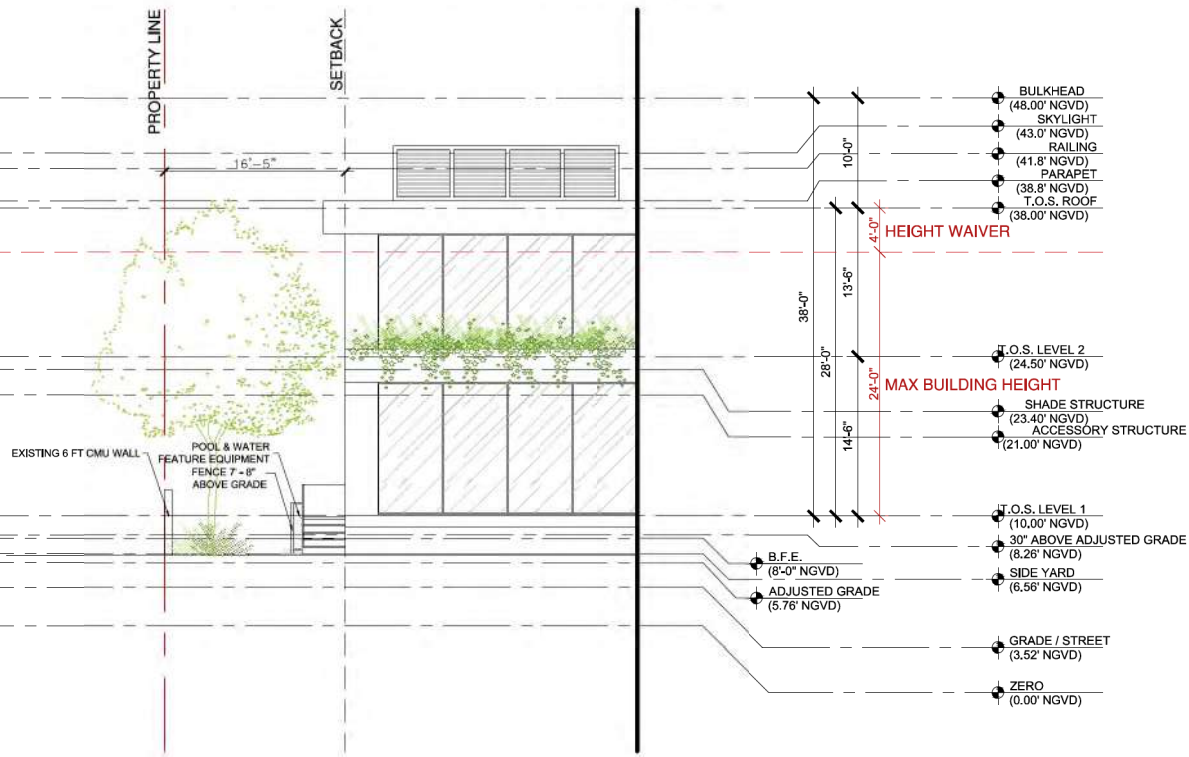


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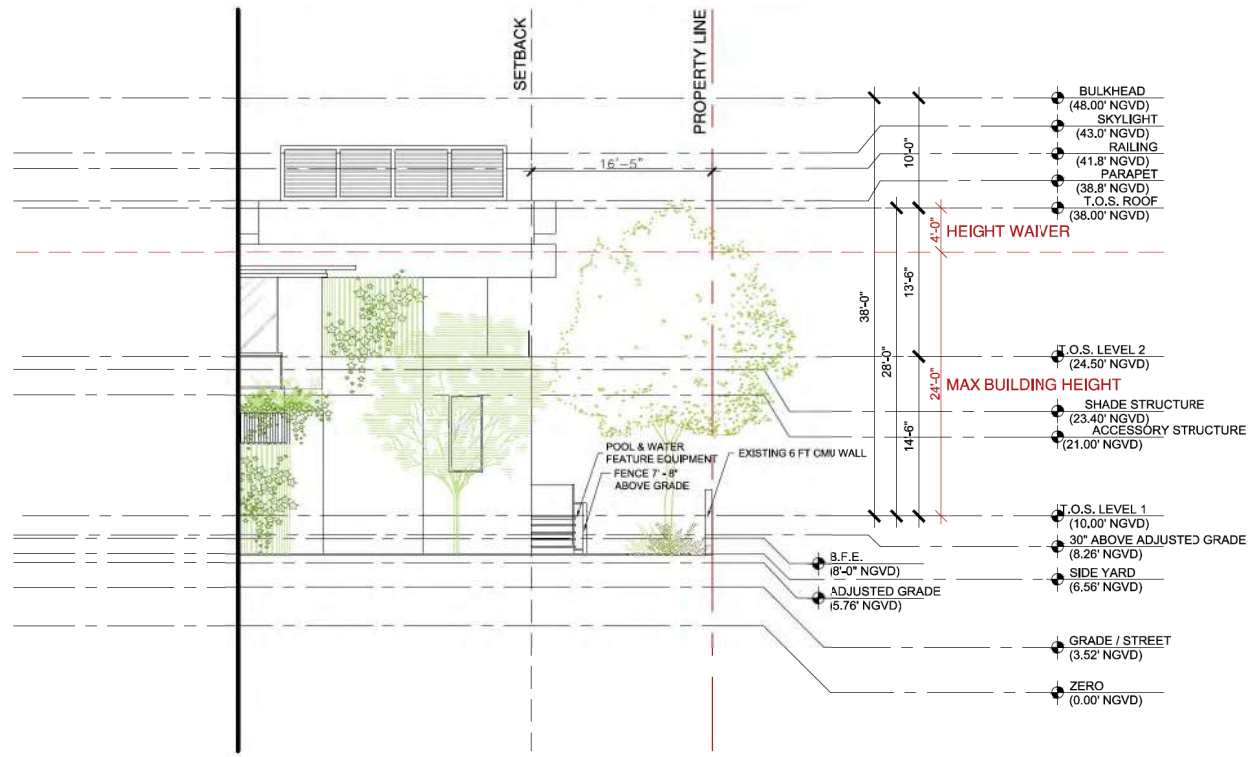
SECTIONS

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A5.02
Project	2030	



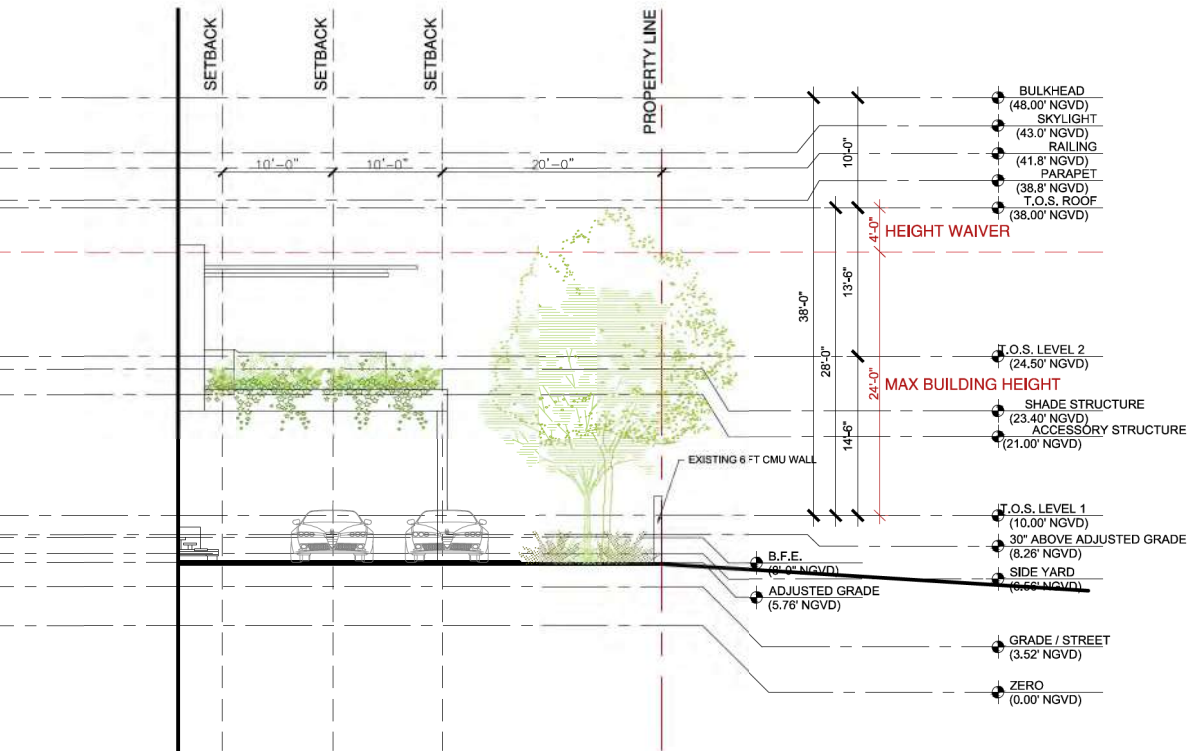
6 NW SIDE YARD SECTION

Scale: 1/8"=1'-0"



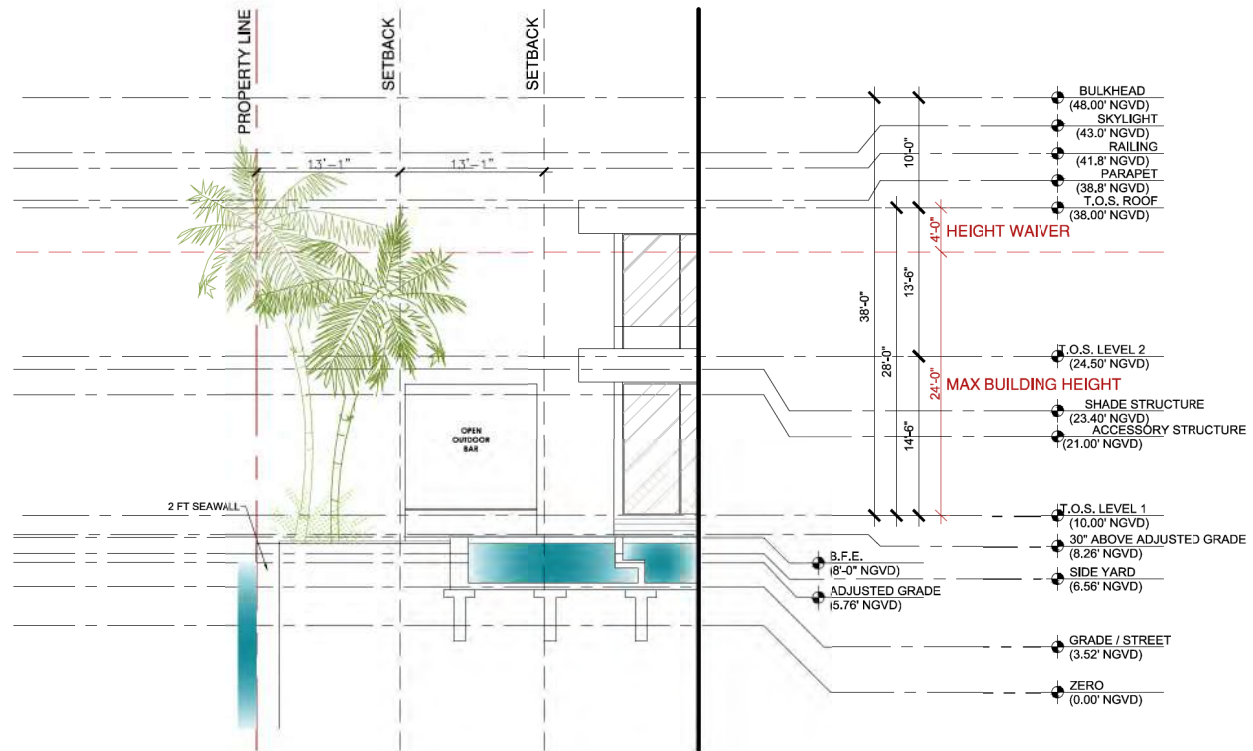
7 NE SIDE YARD SECTION

Scale: 1/8"=1'-0"



8 E SIDE YARD SECTION

Scale: 1/8"=1'-0"



9 W SIDE YARD SECTION

Scale: 1/8"=1'-0"

Rev.	Date	Rev.	Date	Rev.	Date

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ZONING

FINAL DRB 21-0685 SUBMITTAL

RESIDENCE

5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:

PRIVATE RESIDENCE

Consultant:

Name
Address
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Consultant:

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Email

Landscape Architect:

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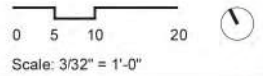
Architect of Record:

Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



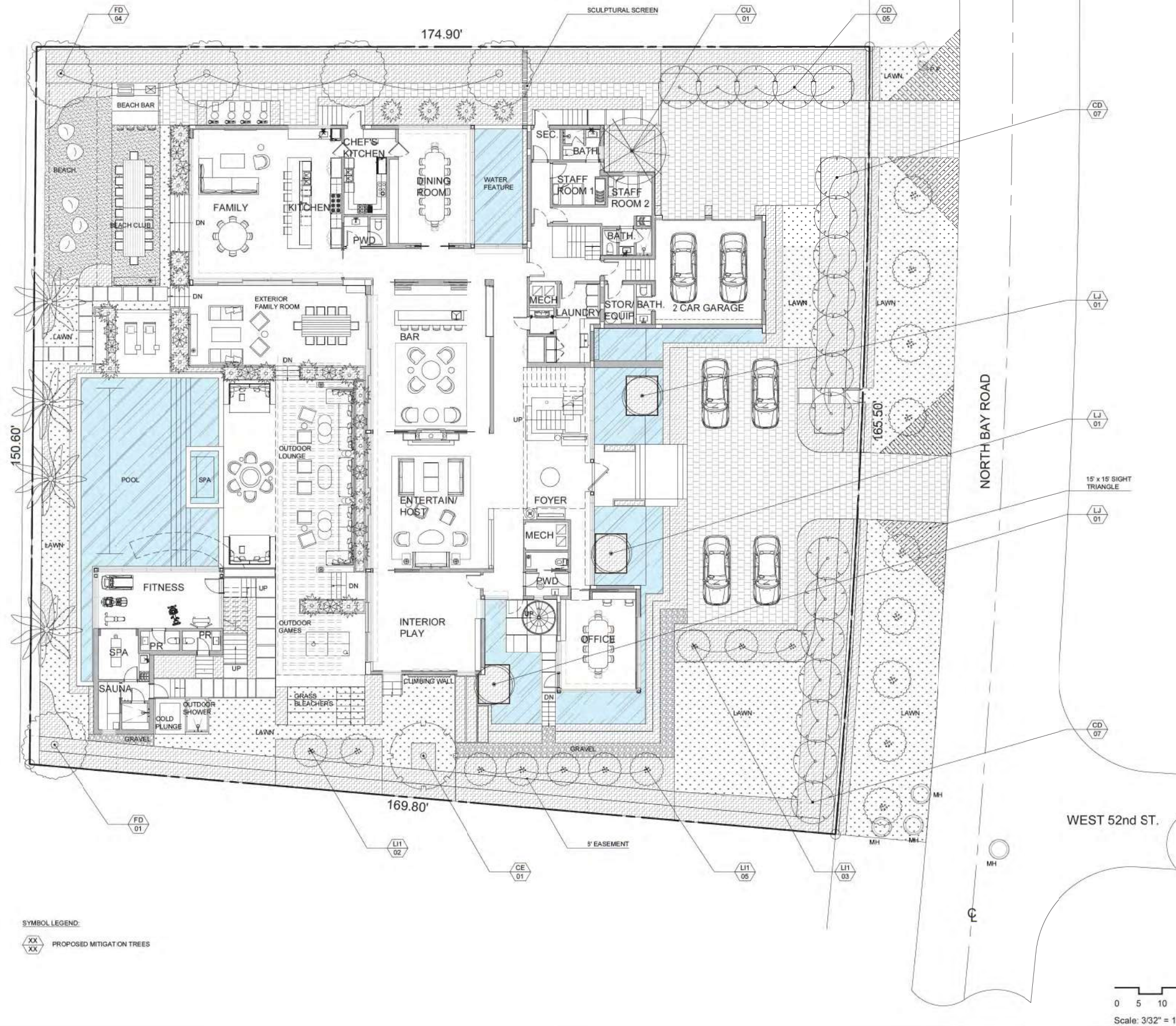
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Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A5.04
Project	2030	



L-1.1

BISCAYNE BAY



5212 NORTH BAY ROAD
RESIDENCE
MIAMI BEACH, FL

SITE ADDRESS:
5212 NORTH BAY ROAD
MIAMI BEACH, FL

LANDSCAPE ARCHITECT:
CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6075
INFO@CLADLANDSCAPE.COM

SEAL:

Carolina Monteiro
Digitally signed by Carolina Monteiro
Date: 2021.07.01 13:24:22 -04'00'

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:
TREE MITIGATION
PLAN

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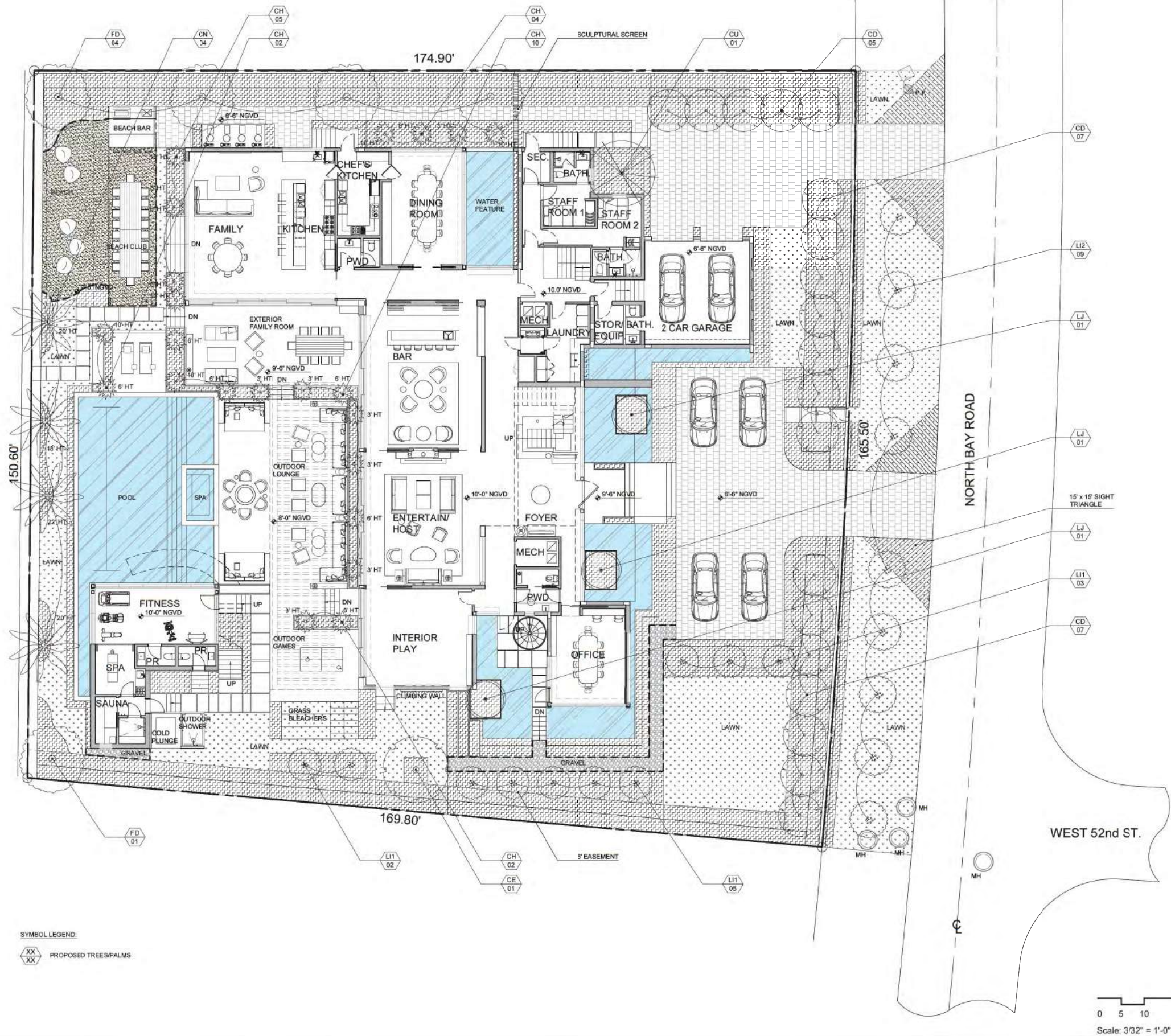
REVISIONS:

ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21

SCALE:
1/32" = 1'-0"

PROJ. N°:
2116
SHEET N°:
L-1.2

BISCAYNE BAY



SYMBOL LEGEND:

XX
XX
PROPOSED TREES/PALMS



5212 NORTH BAY ROAD
RESIDENCE
MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD
MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

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MIAMI, FL 33138
(786) 536-6075
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SEAL:

Carolina Monteiro
Digitally signed
by Carolina Monteiro
Date: 2021.07.01
13:25:01 -04'00'

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

CANOPY PLANTING
PLAN

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REVISIONS:

ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21

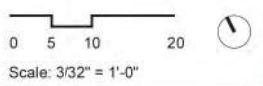
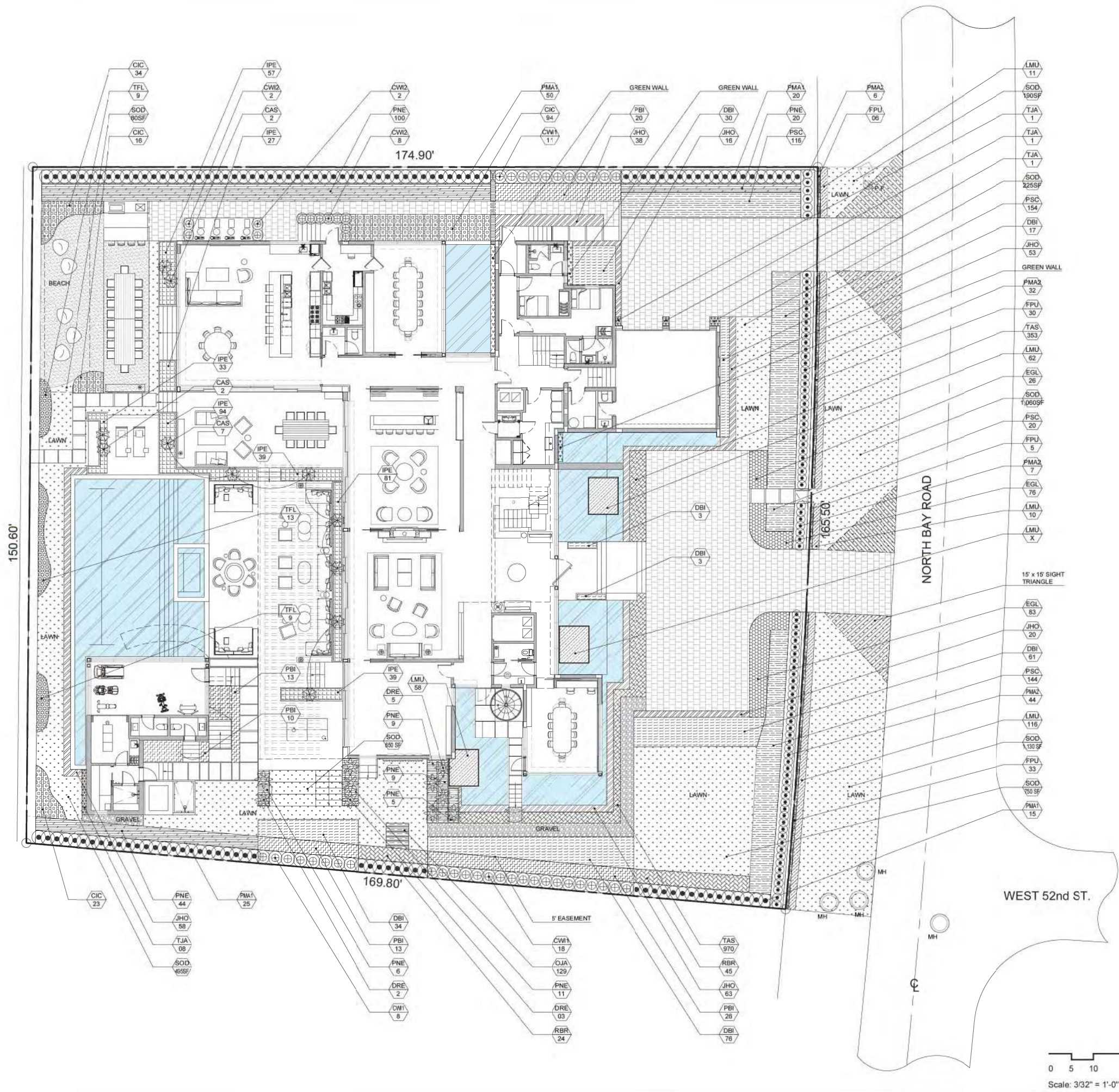
SCALE:
1/32" = 1'-0"



PROJ. N°:
2116
SHEET N°:

L-5

BISCAYNE BAY



5212 NORTH BAY ROAD
RESIDENCE
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(786) 536-6075
INFO@CLADLANDSCAPE.COM

SEAL:

Digitally signed
by Carolina
Monteiro
Date: 2021.07.01
13:25:15 -04'00'
CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:
UNDERSTORY PLANTING
PLAN

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REVISIONS:	
ISSUE	DATE
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DRB FINAL SUBMITTAL	07/05/21

SCALE:
1/32" = 1'-0"
PROJ. N°:
2116
SHEET N°:
L-5.1

